



PETITION FOR A SPECIAL PRIVILEGE

cc1-246 (7/15)

SP 2714

CCF 150922

- New application \$250.00 Fee
- Amendment to add items to Special Privilege # _____ (\$125.00 Fee)
- Amendment to remove items from Special Privilege # _____ (No fee)
- Amendment for change of ownership for Special Privilege # _____ (No fee)

- File petition with the Department of Public Works, Attention: Special Privileges, 841 North Broadway, Room 919, Milwaukee, WI 53202.
- Fee must be submitted with petition. Checks should be made payable to the City of Milwaukee.
- Questions? Call 414-286-2454

To the Honorable, The Common Council of the City of Milwaukee:

The Licensee U.C JONAS INC.
(Name of Individual, Partners, Corporation or LLC)

being the owners of the following property known by street address as 2301 S LOGAN
(Street Address and Zip Code)

in the 14th Aldermanic District respectfully petition the Common Council of the City of Milwaukee according to the provisions of Section 66.0425 of the Wisconsin Statutes, that the following privilege be granted:

Description of Special Privilege: STAIRWAY

Of which a plan or sketch is herewith submitted. Petitioner agrees to comply with all laws and all ordinances of the City of Milwaukee, to abide by any order or resolution of the Common Council affecting this privilege, to be primarily liable for damages to person or property by reason of the granting of such privilege, pay annual compensation as provided by law in the sum to be fixed by the proper city officers, and to file and keep current throughout the existence of the privilege, a certificate of insurance indicating applicant holds a public liability policy in at least the sums of \$25,000.00/\$50,000.00 bodily injury, and \$10,000.00 property damage, insuring the city against any liability that might arise by reason of the privilege.

Petitioner further agrees to remove said privilege whenever public necessity so requires when so ordered upon resolution adopted by the Common Council or other legislative body.

Should this special privilege be discontinued for any reason whatsoever, petitioner agrees to remove all construction work executed pursuant to this special privilege, to restore to its former condition and to the approval of the Commissioner of Public Works, any curb, pavement, or other public improvement which was removed, changed or disturbed by reason of the granting of this special privilege. Petitioner further agrees not to contest the validity of Section 66.0425 of the Wisconsin Statutes, or the legality of this special privilege in any way.

Name (Please Print): PAUL JONAS
(Individual, Partner, or Agent if corporation or LLC as shown above)

Signature: *Paul Jonas* Date: 10/14/08
(Individual, Partner, or Agent if corporation or LLC)

Corporation or LLC Name: U.C. JONAS INC.
(If applicable, as shown above)

Mailing Address (If different than property address above): 1501 E MANITOBA ST

(OVER)

City: MILWAUKEE State: WI Zip: 53207

Telephone: 414-588-7366 E-Mail: PYJONAS@YAHOO.COM

Architect/Engineer/Contractor (If Applicable)

Name: TOM VAVRA

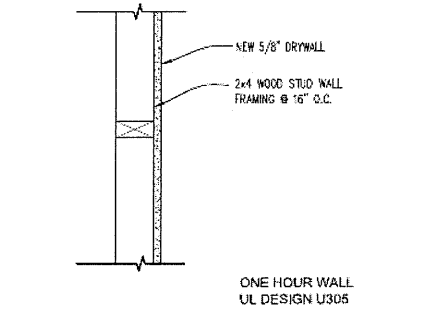
Address: .5 1st STREET

City: MILWAUKEE State: WI Zip: 53207

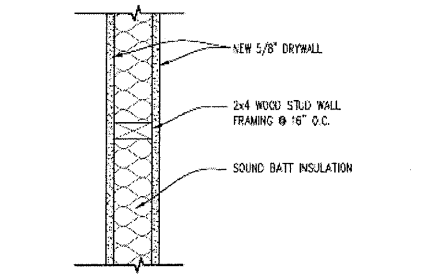
Telephone: _____ E-Mail: _____

IMPORTANT NOTICE FOR CUSTOMERS PAYING BY CHECK

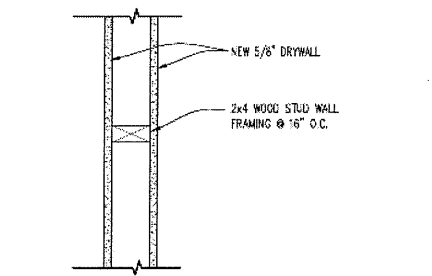
When you provide a check as payment, you authorize us either to use information from your check to make a one-time electronic fund transfer from your account or to process the payment as a check transaction.



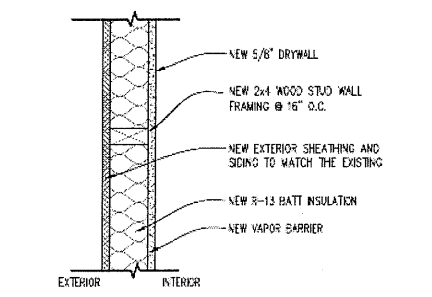
A INTERIOR PARTITION
 SCALE: 1 1/2" = 1'-0"



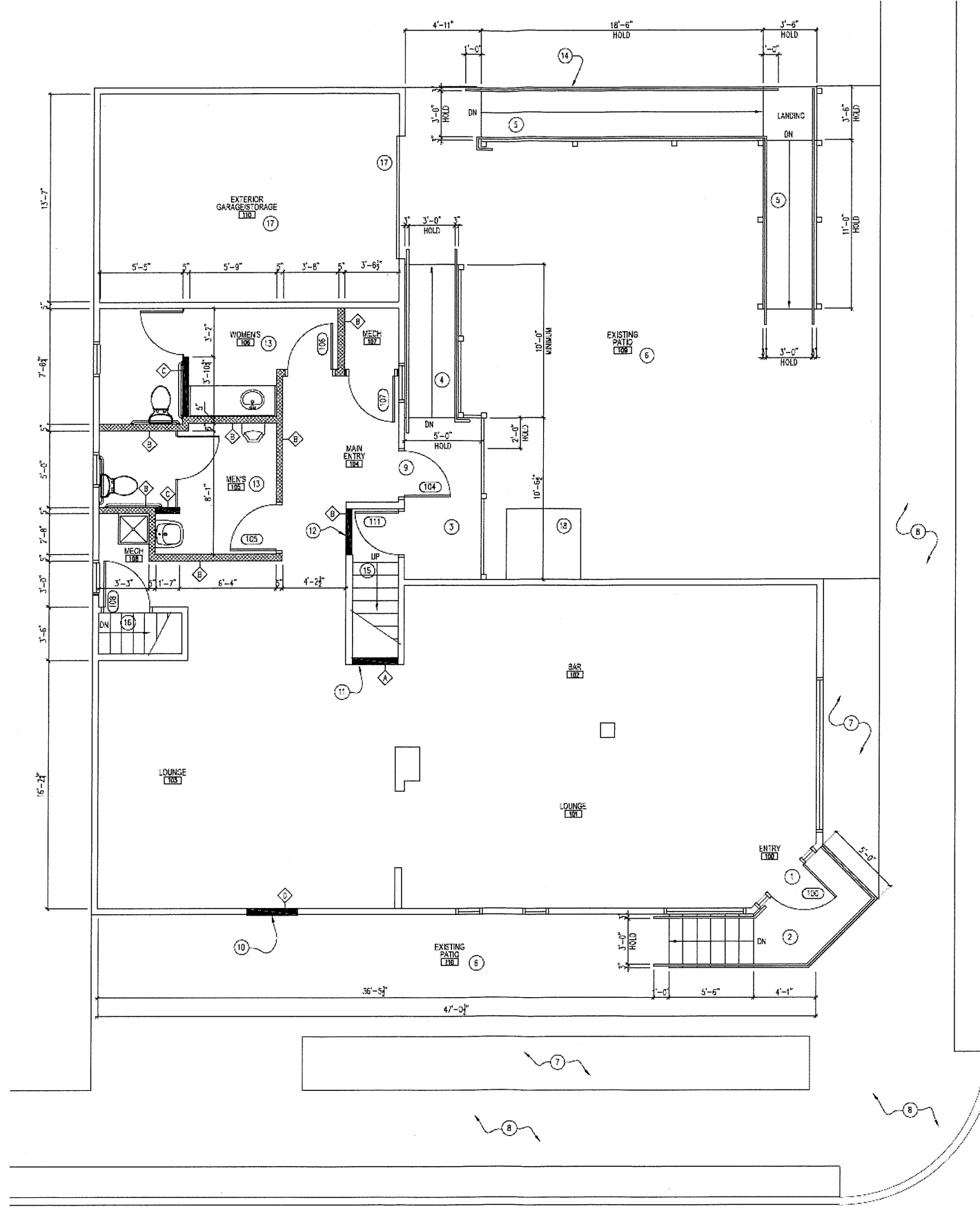
B INTERIOR PARTITION
 SCALE: 1 1/2" = 1'-0"



C INTERIOR PARTITION
 SCALE: 1 1/2" = 1'-0"

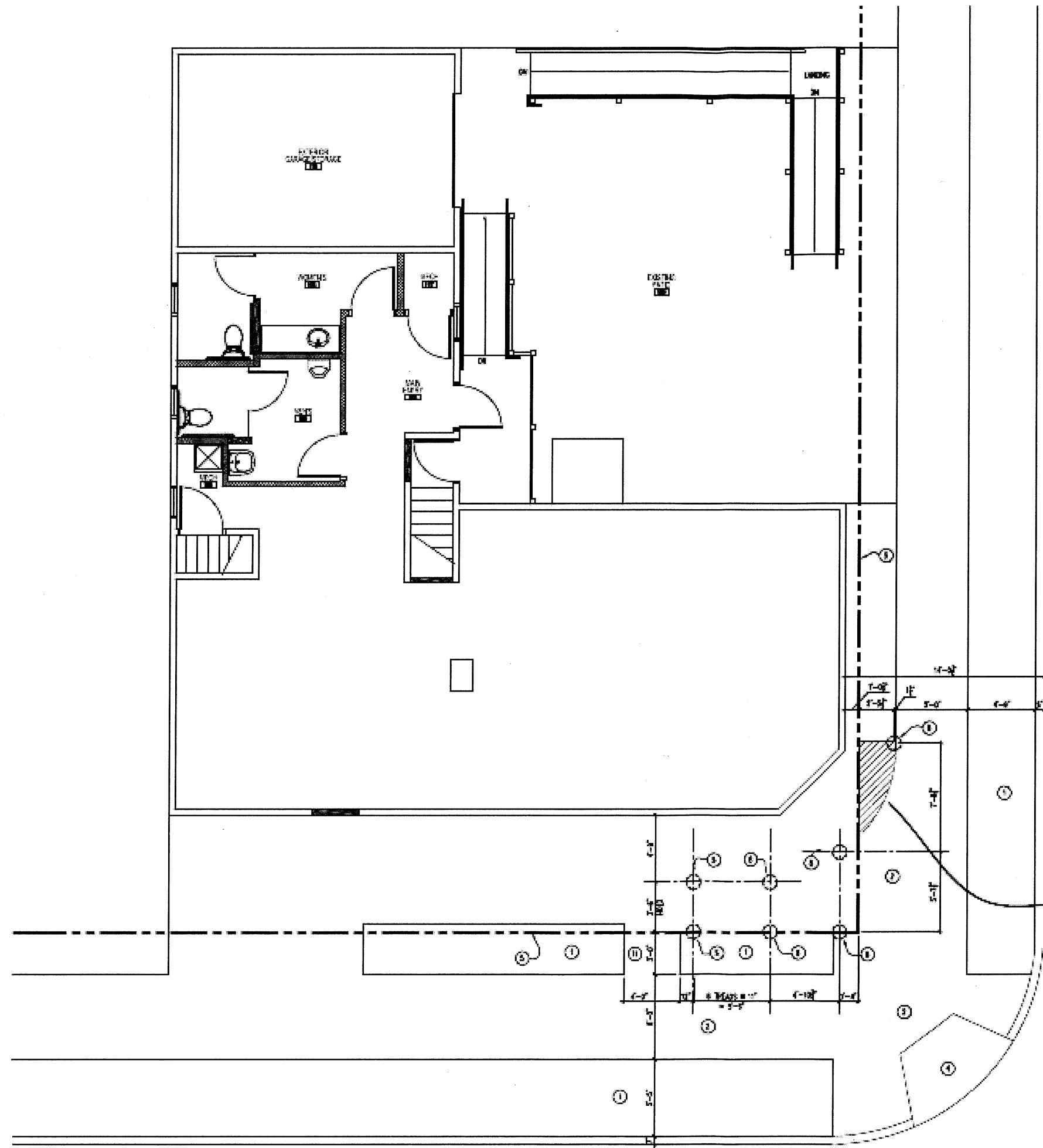


D EXTERIOR PARTITION
 SCALE: 1 1/2" = 1'-0"



- FIRST FLOOR KEYED NOTES**
- 1 NEW ENTRY DOOR AND SIDELITES
 - 2 NEW TREATED WOOD LANDING AND STAIRS ON 12" DIAMETER SOND TUBE CONCRETE FOOTINGS. AFTER DEMOLITION OF THE EXISTING ENTRY STRUCTURE VERIFY IF THERE IS AN EXISTING FOUNDATION SYSTEM THAT CAN BE USED FOR THE NEW STAIR AND LANDING. THE EXACT STRUCTURAL FRAMING TO BE DESIGNED ONCE THE DEMOLITION IS COMPLETE. THE NEW STAIR TO HAVE A GUARD RAIL AT 42" ABOVE THE FINISHED SURFACE AND THE STAIRS ARE TO HAVE A 42" GUARDRAIL ON THE OPEN SIDE OF THE STAIR WITH HANDRAILS AT 36" MEASURED OFF THE NOSE OF THE STAIRS ON BOTH SIDES WITH 12" EXTENSIONS AT THE TOP AND BOTTOM. THE STAIRS SHALL HAVE A TREAD WITH A MINIMUM OF 11" TREADS AND A MAXIMUM OF 7" RISERS.
 - 3 NEW TREATED WOOD RAMP LANDING WITH A 42" HIGH GUARDRAIL WITH A CABLE RAIL SYSTEM WITH THE WIRE AT 4" O.C.
 - 4 NEW TREATED WOOD RAMP WITH A MAXIMUM OF A 1:12 PITCH WITH A 42" HIGH GUARDRAIL WITH A CABLE RAIL SYSTEM WITH THE WIRE AT 4" O.C. AND TO HAVE HANDRAILS ON BOTH SIDES AT 36" ABOVE THE RAMP SURFACE WITH 12" EXTENSIONS AT EACH END
 - 5 NEW Poured CONCRETE RAMP WITH A MAXIMUM OF A 1:12 PITCH WITH A 42" HIGH GUARDRAIL WITH A CABLE RAIL SYSTEM WITH THE WIRE AT 4" O.C. AND TO HAVE HANDRAILS ON BOTH SIDES AT 36" ABOVE THE RAMP SURFACE WITH 12" EXTENSIONS AT EACH END
 - 6 THE EXISTING CONCRETE PATIO TO REMAIN
 - 7 THE EXISTING PLANTER BEDS TO REMAIN
 - 8 THE EXISTING CONCRETE SIDEWALK TO REMAIN
 - 9 NEW ENTRY / EXIT DOOR IN THE ENLARGED WINDOW OPENING. USE (2) 2x10 WOOD LINTEL
 - 10 NEW EXTERIOR WALL INFILL WHERE THE EXISTING DOOR WAS REMOVED
 - 11 NEW WALL INFILL WHERE THE STAIR FRAMING WAS PUSHED BACK
 - 12 NEW WALL FRAMING WHERE THE EXISTING DOOR WAS REMOVED
 - 13 NEW BATHROOMS SEE THE ENLARGED BATHROOM PLANS FOR DETAILS
 - 14 THE EXISTING FENCE LINE TO REMAIN ALONG THE EXISTING PROPERTY LINE
 - 15 THE EXISTING STAIR TO THE SECOND FLOOR TO REMAIN
 - 16 THE EXISTING STAIR TO THE BASEMENT TO REMAIN
 - 17 THE EXISTING GARAGE / STORAGE AND OVERHEAD DOOR TO REMAIN
 - 18 EXISTING HATCH FOR THE DELIVERY STAIR TO REMAIN

FIRST FLOOR PLAN
 SCALE = 1/4" = 1'-0"



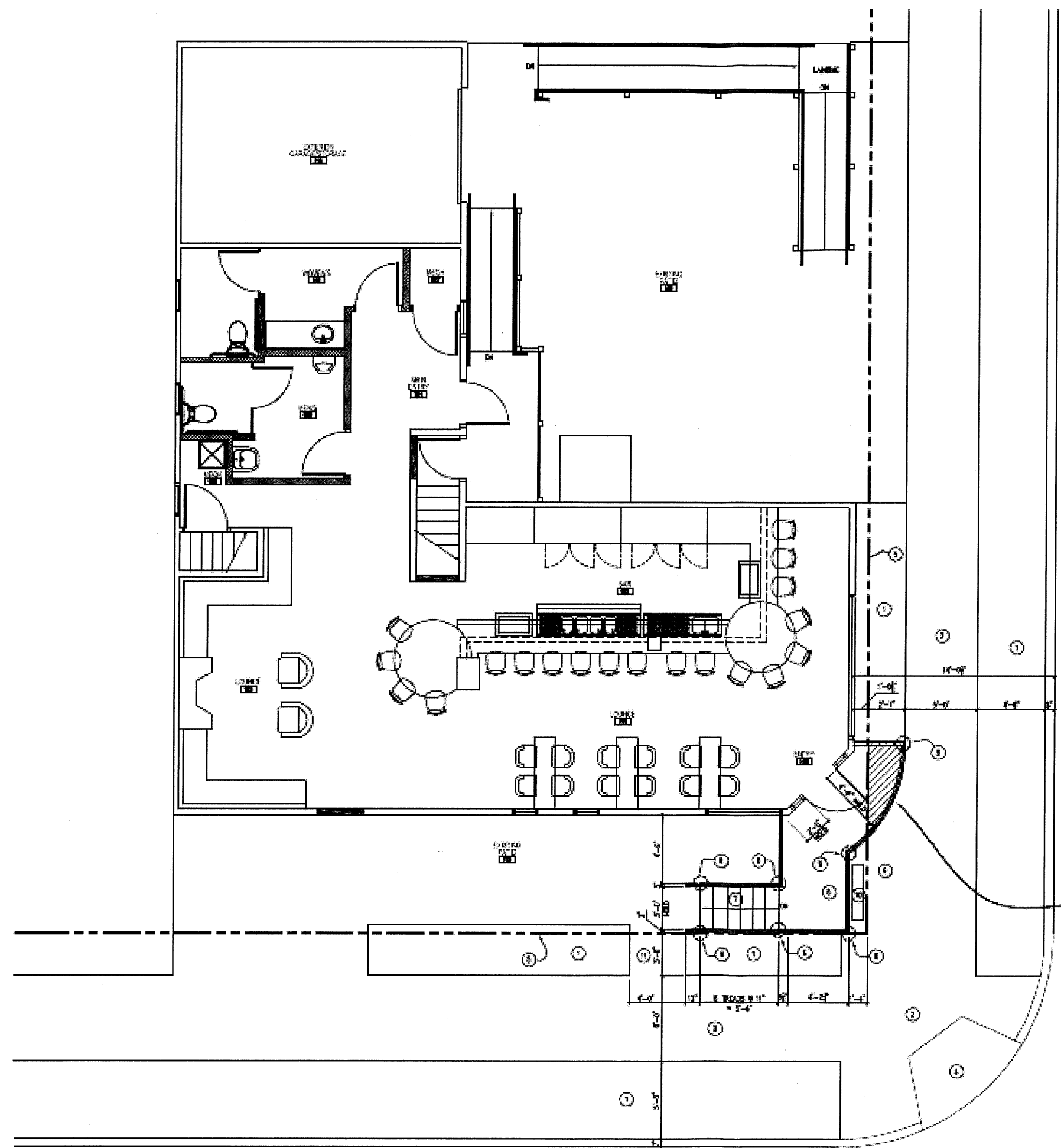
- SITE PLAN KEYED NOTES**
- ① EXISTING GRASS AREA TO REMAIN
 - ② EXISTING SIDEWALK TO REMAIN
 - ③ EXISTING CONCRETE CURB TO REMAIN
 - ④ EXISTING ADA CURB CUT TO REMAIN
 - ⑤ LME REPRESENTS THE EXISTING PROPERTY LINES
 - ⑥ NEW WOOD ENTRY DOOR WITH A CABLE RAIL SYSTEM
 - ⑦ NEW WOOD STAIRS TO HAVE A MINIMUM OF 11" TREADS AND A MAXIMUM OF 7" RISES TYPICAL WITH A GUARD RAIL 8" HIGH AWAY FROM THE FACE OF THE ROSE OF THE STAIR TREADS WITH STAIRS 4" O.C. AND WITH A 1 1/2" DIA. RAIL HAVING A 3" MEASUREMENT FROM THE ROSE OF THE STAIR TREADS
 - ⑧ 12" WIDE TANK CONCRETE FOOTING PLACED TO A MINIMUM 4" BELOW GRADE AND THE TOP SURFACE TO BE LEVEL WITH THE SURROUND
 - ⑨ AREA OF CONCRETE TO REMAIN
 - ⑩ NEW SIDEWALK
 - ⑪ NEW CONCRETE WALK TO THE REVERSED ENTRY

AREA IN THE CITY RIGHT OF WAY = 12.4 SQFT



PROPOSED FOOTING PLAN

SCALE = 1/8" = 1'-0"



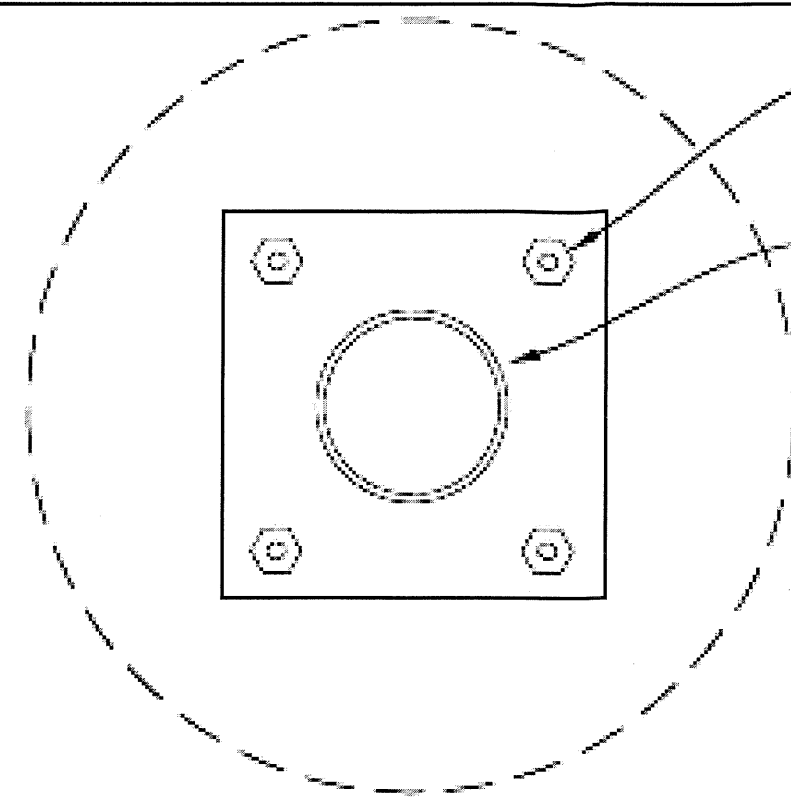
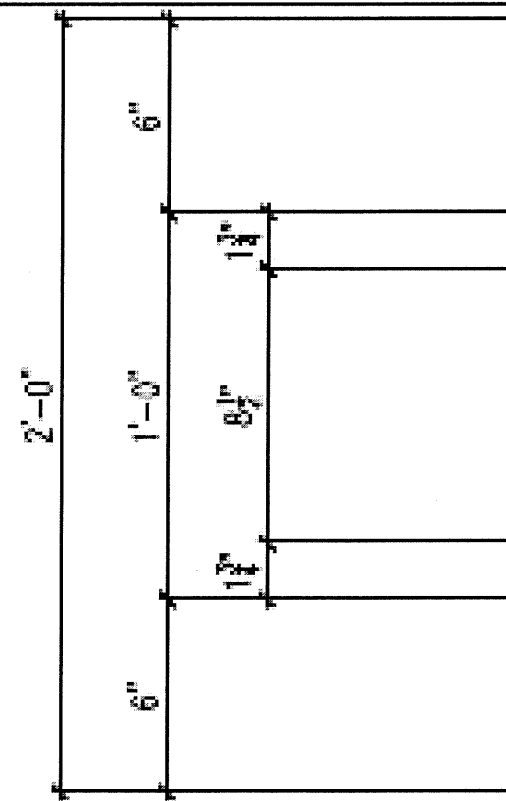
- SITE PLAN KEYED NOTES**
- ① EXISTING GRASS AREA TO REMAIN
 - ② EXISTING SIDEWALK TO REMAIN
 - ③ EXISTING CONCRETE CURB TO REMAIN
 - ④ EXISTING ADA CURB CUT TO REMAIN
 - ⑤ LINE REPRESENTS THE EXISTING PROPERTY LINES
 - ⑥ NEW WOOD ENTRY DECK WITH A CABLE RAIL SYSTEM
 - ⑦ NEW WOOD STAIRS TO HAVE A MINIMUM OF 1" TREADS AND A MAXIMUM OF 1" RISES TYPICAL WITH A HAND RAIL 4" NOT MEASURED OUT THE FACE OF THE NOSE OF THE STAIR TREADS WITH STILES @ 4" O.C. AND WITH A 1 1/2" DIAMETER HANDRAIL @ 36" MEASURED OFF THE NOSE OF THE STAIR TREADS
 - ⑧ 12" SOLO TUBE CONCRETE FOOTING PLACED TO A MINIMUM 4" BELOW GRADE AND THE TOP SURFACE TO BE LEVEL WITH THE SIDEWALK
 - ⑨ AREA OF CONCRETE TO REMAIN
 - ⑩ NEW STORAGE
 - ⑪ NEW CONCRETE WALL TO THE KEYED ENTRY

AREA IN THE CITY RIGHT OF WAY = 12.4 SQ FT



PROPOSED SITE PLAN

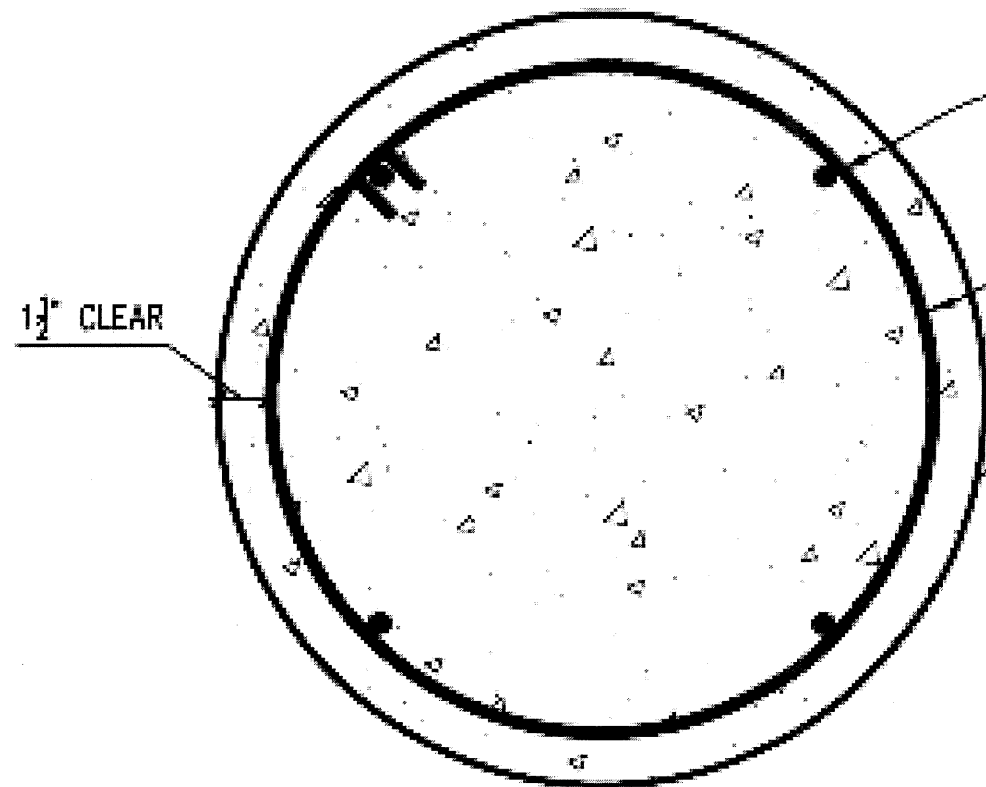
SCALE = 1/8" = 1'-0"



(4) 3/8" DIA. x 24" LONG GALVANIZED J-ANCHORS BY MASON CONTRACTOR

5" DIA. STANDARD STEEL POST ON A 12x12 1" BASE PLATE BY OWNER

3
A4-04 **CONCRETE FOOTING CAP PLAN DETAIL**
SCALE - 1 1/2" = 1'-0"



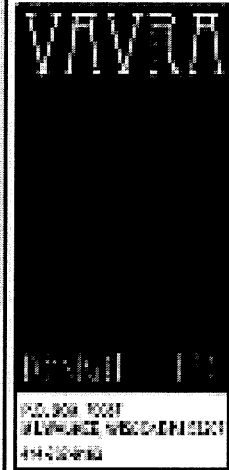
(4) #4 DOWELS

#3 TIES (TYPICAL)

24" DIAMETER x 4'-0" MIN DEEP CONCRETE FOOTING

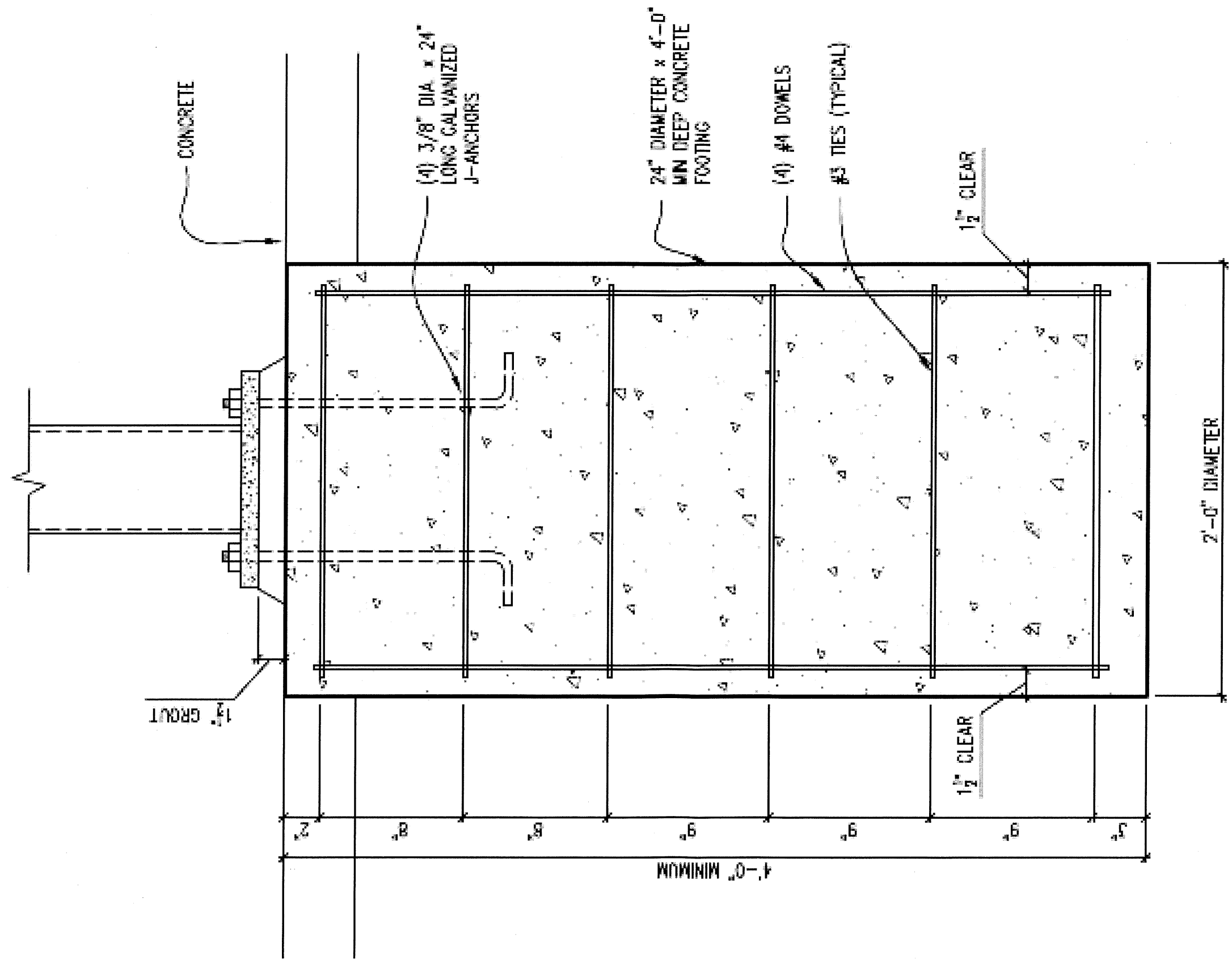
1 1/2" CLEAR

3
A4-04 **CONCRETE FOOTING PLAN DETAIL**
SCALE - 1 1/2" = 1'-0"



SHEET TITLE: MR. JONAS SPORTS BAR
2201 SOUTH LODAN AVE
MILWAUKEE, WISCONSIN 53207

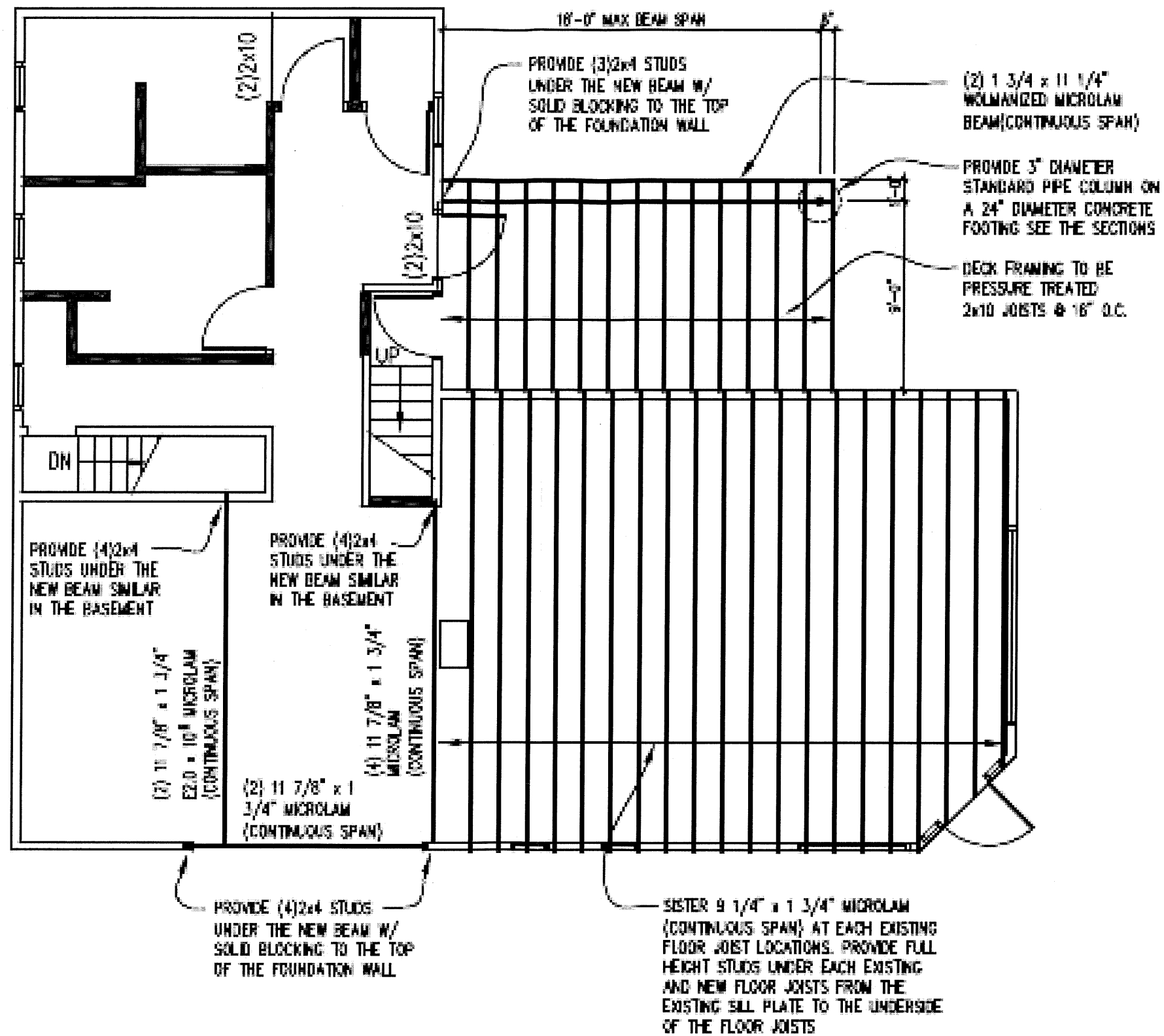
DATE ISSUED: AUGUST 25th 2015



3 CONCRETE FOOTING SECTION DETAIL

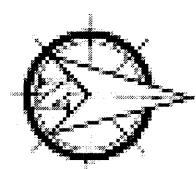
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 A4-04

SCALE - 1/2" = 1'-0"



SECOND FLOOR FRAMING PLAN

SCALE = 1/8" = 1'-0"



SHEET TITLE MR JONAS SPORTS BAR

2301 SOUTH LOGAN AVE
MILWAUKEE, WISCONSIN 53207

DATE ISSUED AUGUST 25th 2015

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