

EXHIBIT A
FN 040947

revised to meet CBC conditions

THE TOWNHOMES ON ARTHUR STREET

S 5th STREET and W ARTHUR STREET

MILWAUKEE, WI 53207

PROJECT No: 21150 DATE: DECEMBER 8, 2004

CONSTRUCTION MANAGER:
CADRE MANAGEMENT SERVICES, INC
1300 N 4th STREET
MILWAUKEE, WI 53212
(414) 224-7793
FAX (414) 224-7765

OWNER:
PEOPLE'S ACTION REDEVELOPMENT COALITION.
1300 N FOURTH STREET
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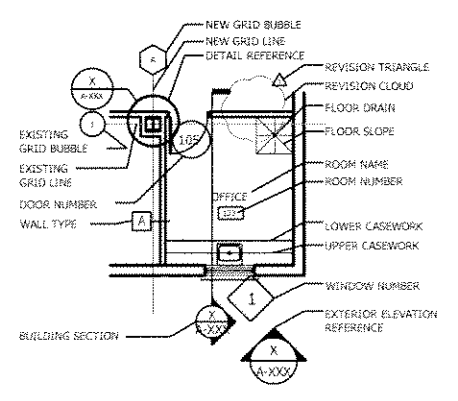
BUILDER:
BALDERAS CONSTRUCTION
2302 W FOREST HOME AVENUE
MILWAUKEE, WI 53215
(414) 384-1492

ARCHITECT:
CENTRAL CITY CONSTRUCTION.
1300 N 4th STREET
MILWAUKEE, WI 53212
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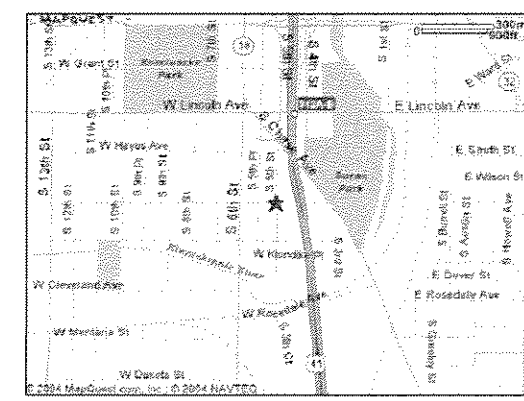
CIVIL:
NORRIS AND ASSOCIATES, INC.
7100 WEST CENTER STREET
MILWAUKEE, WI 53210
(414) 302-9156
FAX (414) 302-9157

DRAWING INDEX:

FLOOR PLAN SYMBOL DESIGNATIONS



ARCHITECTURAL:	TITLE/INDEX
EC1	EROSION CONTROL PLAN
A1	SITE PLAN
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SITE LOCATION

Project Title
THE TOWNHOMES ON ARTHUR STREET
S 5th AND W ARTHUR ST.
MILWAUKEE, WI 53207
Project Number
21150
Date of Issue
8 DECEMBER, 2004
Rev Dates

Filename
Cover_Sheet

Design
RMT
Draw
RMT
Check
-
Approved
-

OWNER:

1300 N. FOURTH ST.
MILWAUKEE, WI 53212
PHONE: 414 224-7793
FAX: 414 224-7765
Drawing Description
TITLE/INDEX

Sheet Number

EROSION CONTROL NOTES

DESIGN CRITERIA AND REQUIREMENTS

ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK, REVISIONED BY THE WISCONSIN DNR. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS.

MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES SHALL BE PROVIDED TO ENSURE INTENDED PURPOSE IS ACCOMPLISHED. SEDIMENT CONTROL MEASURES ARE TO BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.

AFTER ANY SIGNIFICANT RAINFALL, SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED FOR INTEGRITY.

SEDIMENT CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREAS SERVED HAVE ESTABLISHED VEGETATIVE COVER.

TEMPORARY GRAVEL TRACKING PADS SHALL BE PLACED AT THE ENTRANCE TO THE CONSTRUCTION SITE PRIOR TO THE START OF GRADING. THE TRACKING PAD SHALL CONSIST OF A SIX INCH LAYER OF 2 TO 3 INCH AGGREGATE, 30 FEET IN LENGTH AND 24 FEET IN WIDTH.

TRACKED SOIL SHALL BE COLLECTED FROM PAVED ROADS LOCATED NEAR THE CONSTRUCTION SITE.

SEMENT CREATED FROM OVERLAND FLOW SHALL BE PREVENTED FROM LEAVING THE WORK SITE BY INSTALLING SILT FENCE DOWNHILL FROM THE WORK AREA.

SEDIMENT CONTROL FOR PIPELINE CONSTRUCTION: EXCAVATED TRENCH MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF THE TRENCH.

EROSION CONTROL SILT FENCE SHALL BE PLACED AROUND THE BASE OF ALL SOIL STOCKPILES AND SEEDED WITH ANNUAL RYE # LEFT UNDISTURBED FOR 15 OR MORE DAYS. SOIL STOCKPILES MUST BE PLACED A MINIMUM OF 25 FEET FROM DRAINAGE SWALES.

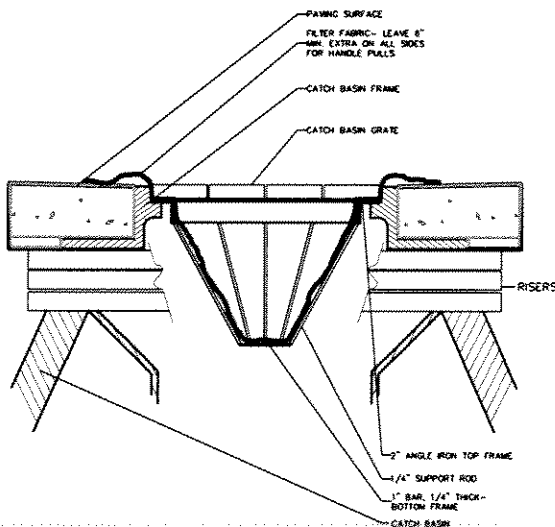
PERIMETER SILT FENCE NOTES

DESIGN CRITERIA AND REQUIREMENTS

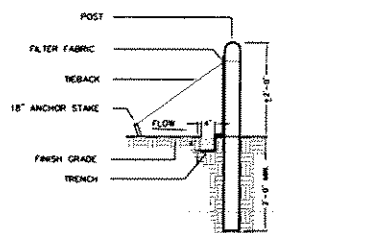
- INSTALLATION:** SILT FENCES SHALL BE INSTALLED PRIOR TO DISTURBING THE UPSLOPE AREA.
- REMOVAL:** SILT FENCES MAY BE REMOVED ONCE THE DISTURBED AREA IS STABILIZED BY PERMANENT BEST MANAGEMENT PRACTICES.
- PLACEMENT:** SILT FENCES SHALL BE PLACED ON THE CONTOUR TO THE EXTENT PRACTICABLE. SILT FENCES MAY NOT BE PLACED PERPENDICULAR TO THE CONTOUR ON SLOPES OF GREATER THAN 2%. PARALLEL FENCES MAY BE USED; THE PARALLEL SPACING MAY NOT EXCEED THE SLOPE LENGTHS FOR THE APPROPRIATE SLOPE SPECIFIED ABOVE. THE ENDS OF THE FENCE SHALL BE TURNED UPSLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS OF THE FENCE.
- HEIGHT:** INSTALLED SILT FENCES SHALL BE A MINIMUM OF 14 INCHES HIGH AND SHALL NOT EXCEED 20 INCHES IN HEIGHT. (THE HEIGHT REQUIREMENT IS MEASURED FROM THE GROUND SURFACE TO THE TOP OF THE FENCE; THIS DOES NOT INCLUDE ANCHOR MATERIAL.)
- SUPPORT:** THE FULL HEIGHT OF THE SILT FENCE SHALL BE SUPPORTED BY 3 1/2" x 1 1/2" AIR OR WALK DRIED POSTS OF HICKORY, OAK, OR EQUIVALENT. THE POSTS SHALL BE 3 FEET LONG FOR 24 INCH SILT FENCE. (AT LEAST 20 INCHES OF THE POST SHALL EXTEND INTO THE GROUND AFTER FENCE INSTALLATION.) THE SILT FENCE FABRIC SHALL BE STAPLED, USING AT LEAST 0.5 INCH STAPLES, TO THE UPSLOPE SIDE OF THE POSTS. THE MAXIMUM SPACING OF POSTS FOR NON-WOVEN SILT FENCE SHALL BE 3 FEET (NO SUPPORT CORD IS REQUIRED FOR THE 3 FOOT POST SPACING). THE MAXIMUM POST SPACING FOR NON-WOVEN FABRIC WITH SUPPORT NET AND TOP SUPPORT CORD OR FOR WOVEN FABRIC WITH SUPPORT CORD SHALL BE 8 FEET.
- ANCHORING:** THE SILT FENCE FABRIC SHALL BE ANCHORED BY SPREADING AT LEAST 8 INCHES OF THE FABRIC IN A 4 INCH x 4 INCH TRENCH OR 4 INCH DEEP 1/2-TRENCH ON THE UPSLOPE SIDE OF THE FENCE. THE TRENCH SHALL BE BACKFILLED AND COMPACTED (SEE DETAIL A).
- FABRIC SPECIFICATIONS:** THE FILTER FABRIC SHALL MEET THE FOLLOWING SPECIFICATIONS:
 - NONWOVEN SILT FENCE**
 - GRAB STRENGTH: 100 LBS. MINIMUM IN ANY PRINCIPAL DIRECTION (ASTM D4832).
 - WALKER BURST: MINIMUM 200 PSF (ASTM D-3788).
 - EQUIVALENT OPENING SIZE:
 - BETWEEN 70 AND 140 FOR SOILS WITH MORE THAN 15% BY WEIGHT PASSING A NO. 200 SIEVE.
 - BETWEEN 20 AND 70 FOR SOILS WITH LESS THAN 15% BY WEIGHT PASSING A NO. 200 SIEVE.
 - WATER FLOW RATE OF 10 GAL/MIN/50 FT AT 50 MM CONSTANT HEAD AS DETERMINED BY MULTIPLYING PERMEABILITY IN 1/SEC AS DETERMINED BY ASTM D-4491 BY A CORRECTION FACTOR OF 74.
 - ULTRA VIOLET RADIATION STABILITY OF 90% USING TEST METHOD ASTM D-4355.
 - FABRIC WITH SUPPORT NETTING SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A 3/4" SPACING OR EQUIVALENT. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED. (NOTE: FOR INSTALLATION WHERE POST SPACING IS 3 FEET OR LESS, SUPPORT CORD IS NOT REQUIRED.)
 - WOVEN SILT FENCE**
 - GRAB STRENGTH: 100 LBS. MINIMUM IN ANY PRINCIPAL DIRECTION (ASTM D4832).
 - WALKER BURST: MINIMUM 200 PSF (ASTM D-3788).
 - EQUIVALENT OPENING SIZE: BETWEEN 50 AND 140.
 - WATER FLOW RATE OF 10 GAL/MIN/50 FT AT 50 MM CONSTANT HEAD AS DETERMINED BY MULTIPLYING PERMEABILITY IN 1/SEC AS DETERMINED BY ASTM D-4491 BY A CORRECTION FACTOR OF 74.
 - ULTRA VIOLET RADIATION STABILITY OF 90% USING TEST METHOD ASTM D-4355.
 - A HEAVY DUTY NYLON TOP SUPPORT CORD, SLP CORD, OR EQUIVALENT IS REQUIRED TO PROVIDE SUPPORT AND PREVENT FENCE SAGGING.

MAINTENANCE

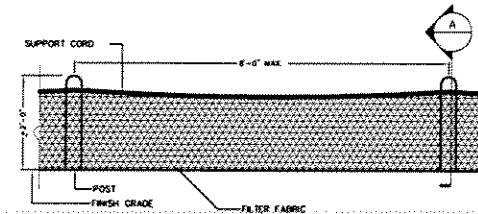
- SILT FENCES SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING PROLONGED RAINFALL. REPAIR OR REPLACEMENT SHALL BE DONE IMMEDIATELY IF FENCING IS TORN, SAGGING, OVERTOPPED, BLOWN OVER (LEAVING GAPS), SHOWS A LACK OF MATERIAL INTEGRITY, OR IN ANY WAY IS NOT FUNCTIONING AS DESIGNED.
- SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN DEPOSITS REACH 0.5 THE HEIGHT OF THE BARRIER.



INLET BASKET SECTION 2
NO SCALE ECI

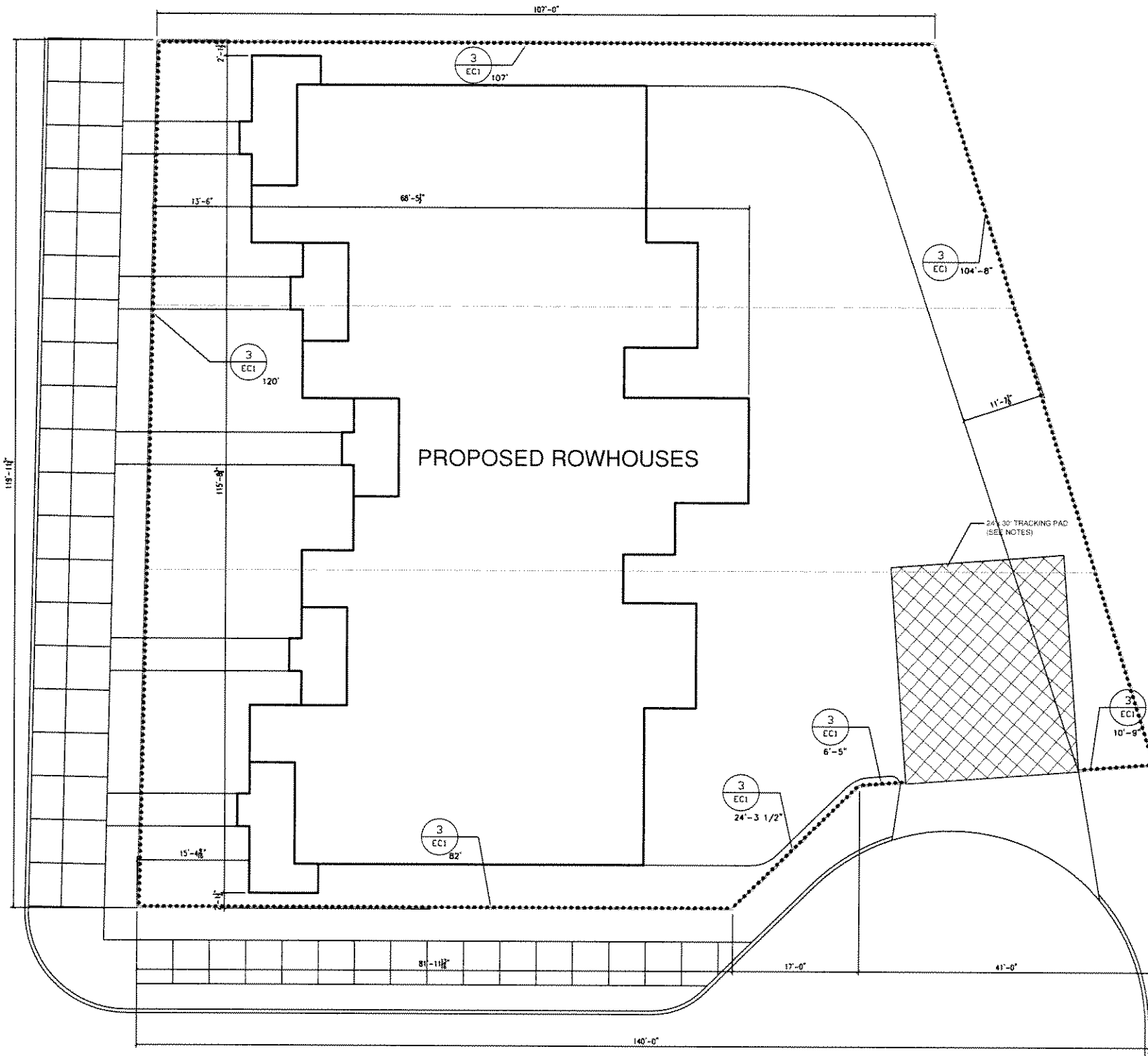


SILT FENCE SECTION A
NO SCALE



SILT FENCE ELEVATION 3
NO SCALE ECI

SOUTH 5th STREET



WEST ARTHUR STREET

1 EROSION CONTROL PLAN
1/8" = 1'-0"



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MILWAUKEE, WI 53207

Project Number
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Rev Dates

Filename
ECPlan.ECI

Design
RMT

Draw
RMT

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-

Approved
-

DWNER:



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MILWAUKEE, WI 53212
PHONE: 414 224-7793
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Drawing Description
EROSION CONTROL PLAN

Sheet Number

EC1



Project Title
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 ARTHUR STREET

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 21150

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Rev Dates

Filename
 SitePlan

Design
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Drawing Description
 SITE PLAN

Sheet Number
 A1

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Project Title
**THE TOWNHOMES ON
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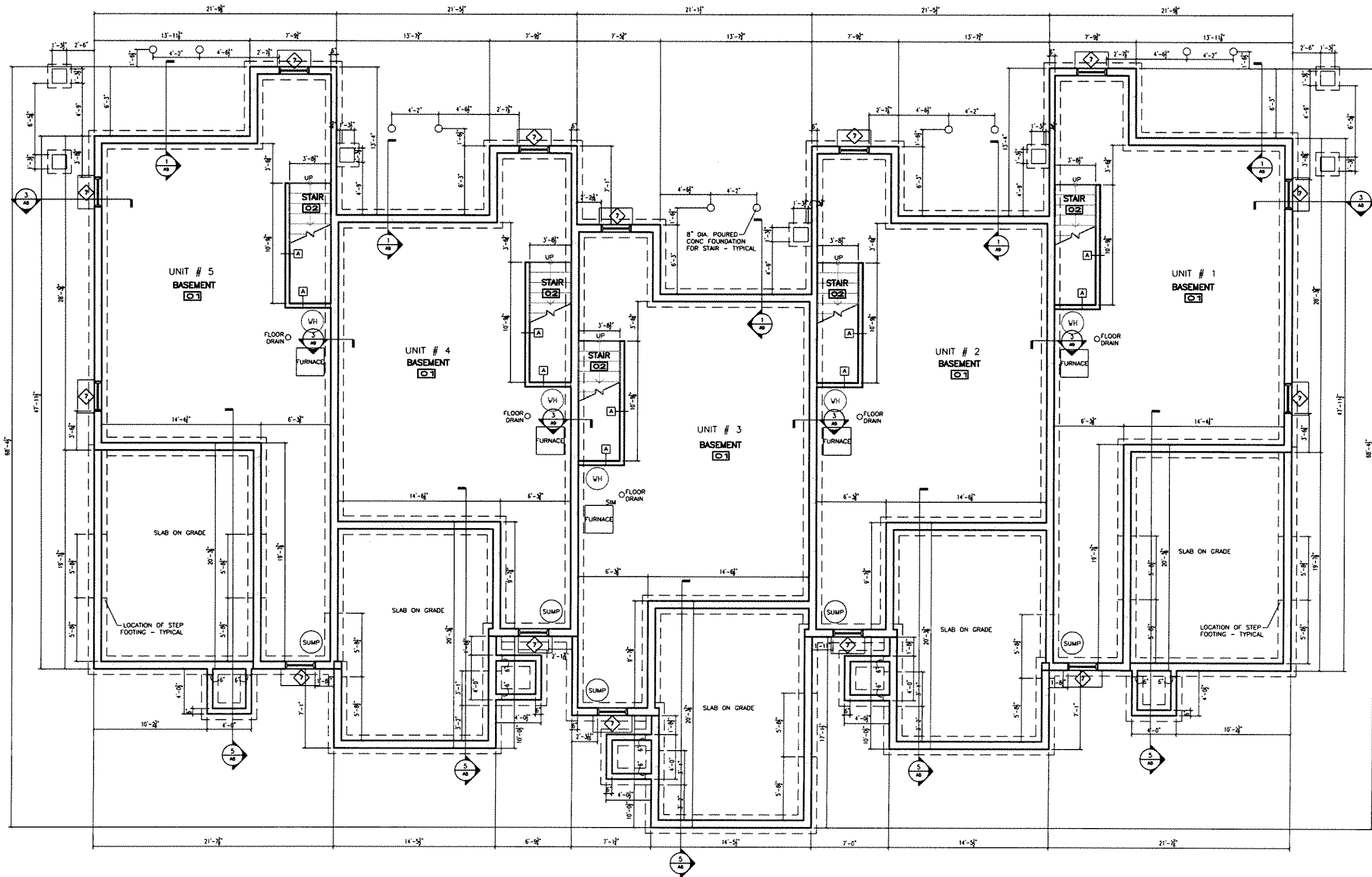
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RMT
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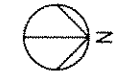
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MILWAUKEE, WI 53212
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FAX: 414 224-7765
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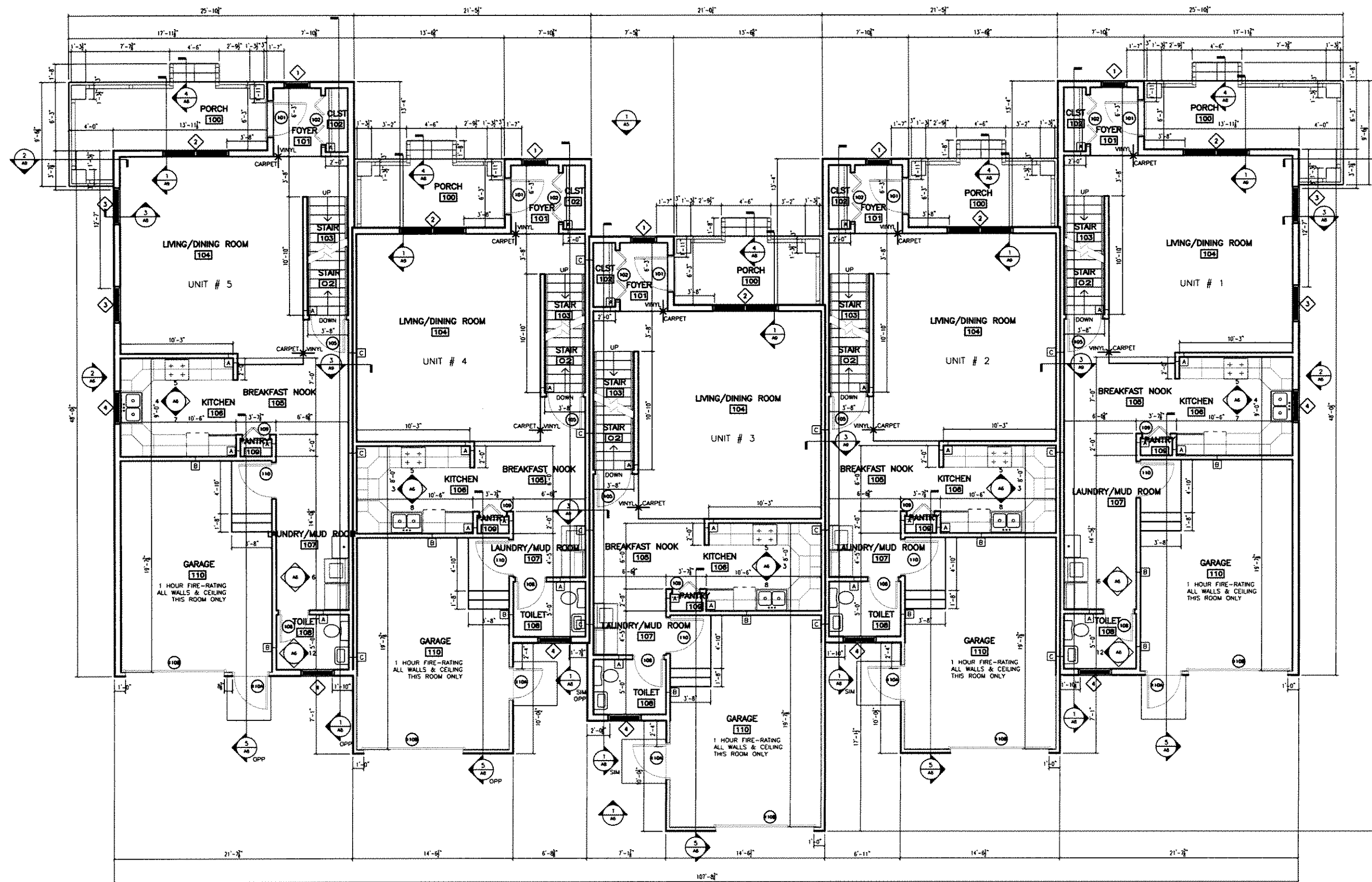


NOTE: ALL FOUNDATION WALLS
ARE 8" THICK U.N.O.

1 BASEMENT PLAN



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THE TOWNHOMES ON ARTHUR STREET

S 5th AND W ARTHUR ST.
 MILWAUKEE, WI 53207

Project Number
 21150

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Rev Dates

Filename
 FloorPlan

Design
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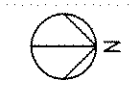
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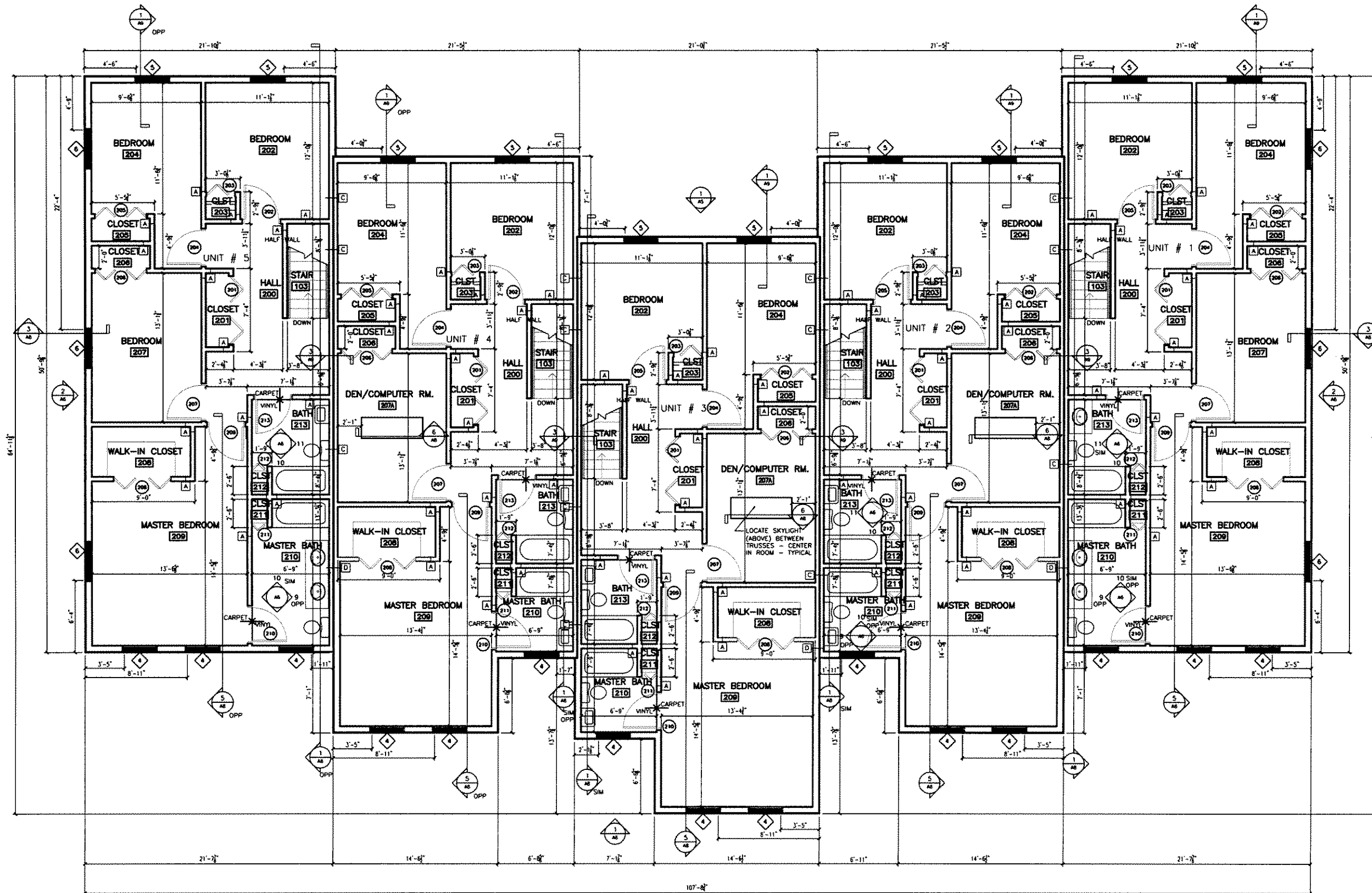
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1 FIRST FLOOR PLAN



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THE TOWNHOMES ON ARTHUR STREET

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 MILWAUKEE, WI 53207

Project Number
 21150

Date of Issue
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Filename
 2ndFloorPlan

Design
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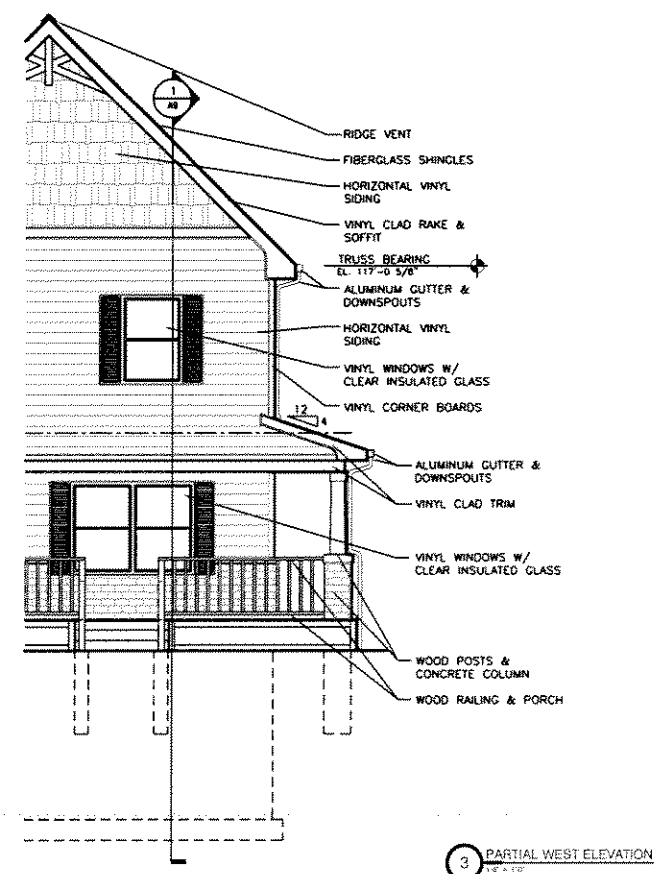
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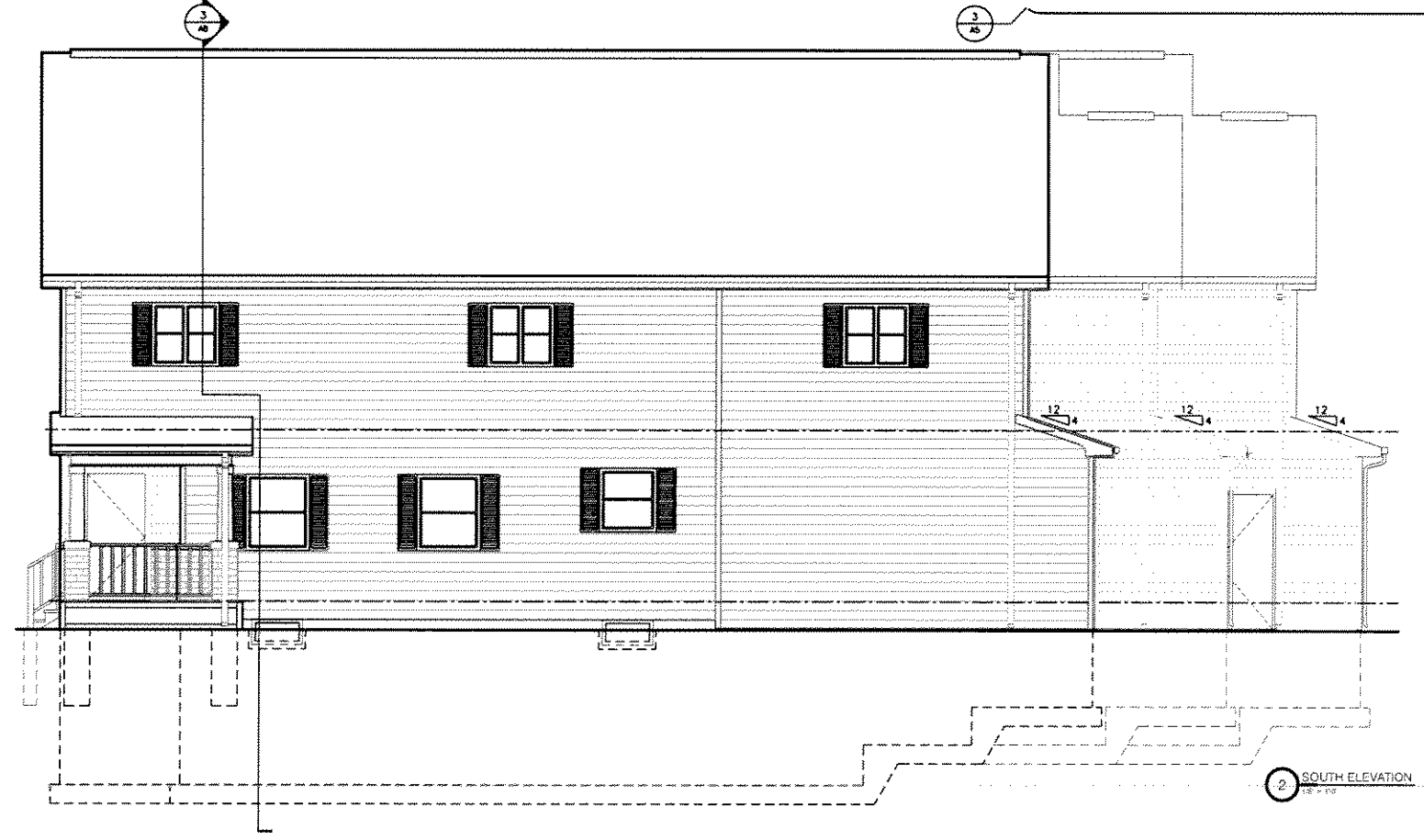
1 SECOND FLOOR PLAN



Sheet Number
A4



3 PARTIAL WEST ELEVATION
18' x 10'




2 SOUTH ELEVATION
18' x 10'

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**THE TOWNHOMES ON
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 S 5th AND W ARTHUR ST.
 MILWAUKEE, WI 53207

Project Number
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 8 DECEMBER, 2004
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Filename
 Elevations

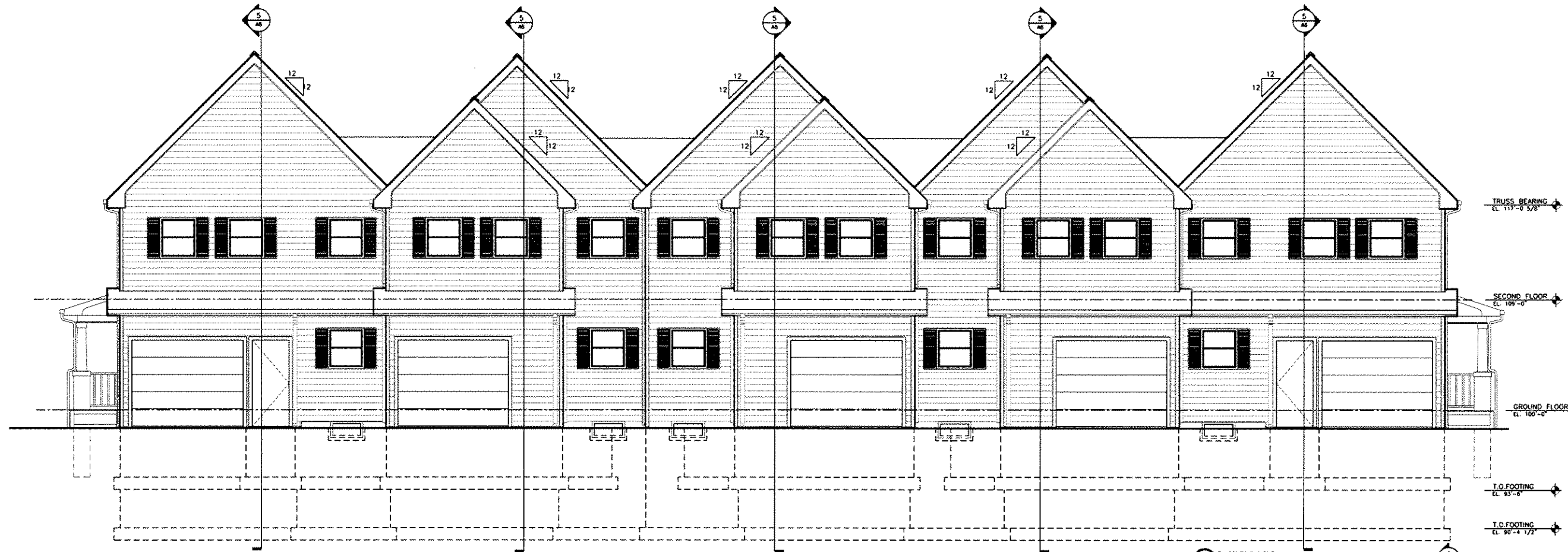
Design
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 RMT
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Drawing Description
 EXTERIOR ELEVATIONS

Sheet Number
A5

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1 EAST ELEVATION
1/25/05

Project Title
THE TOWNHOMES ON ARTHUR STREET
 S 5th AND W ARTHUR ST.
 MILWAUKEE, WI 53207
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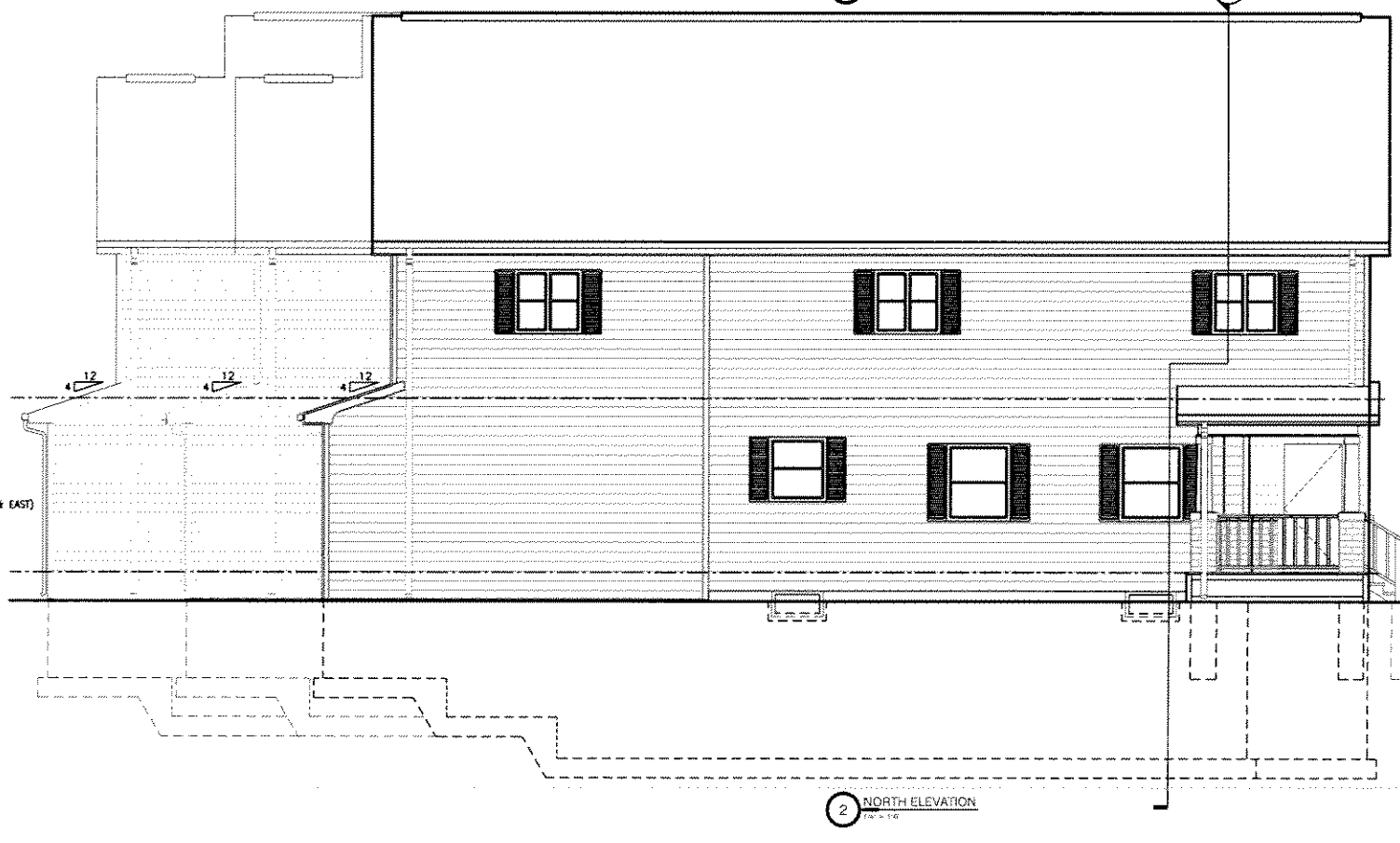
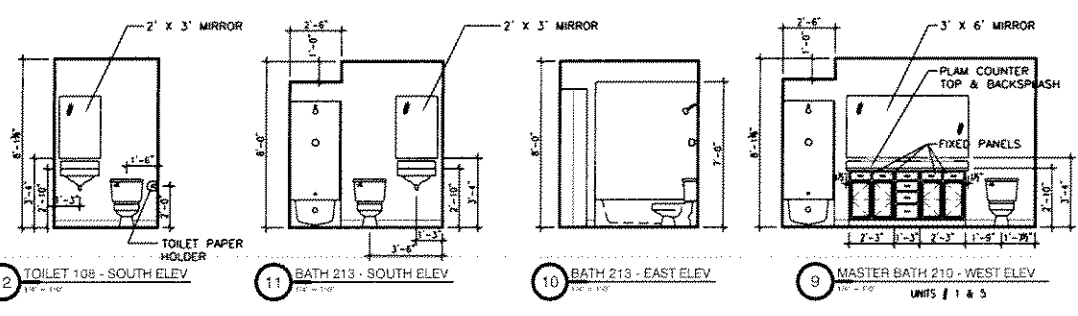
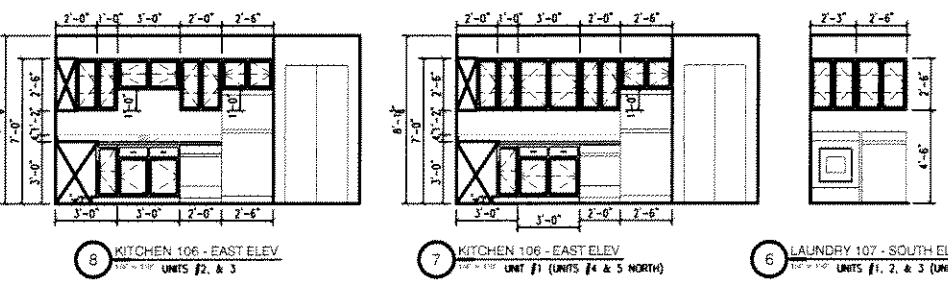
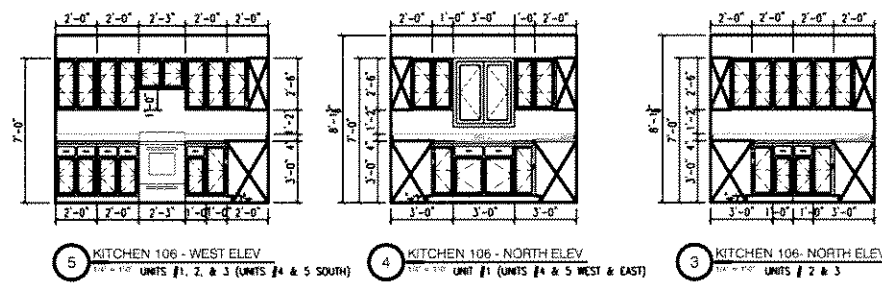
Filename
 Elevations

Design
 Draw RMT
 Check RMT
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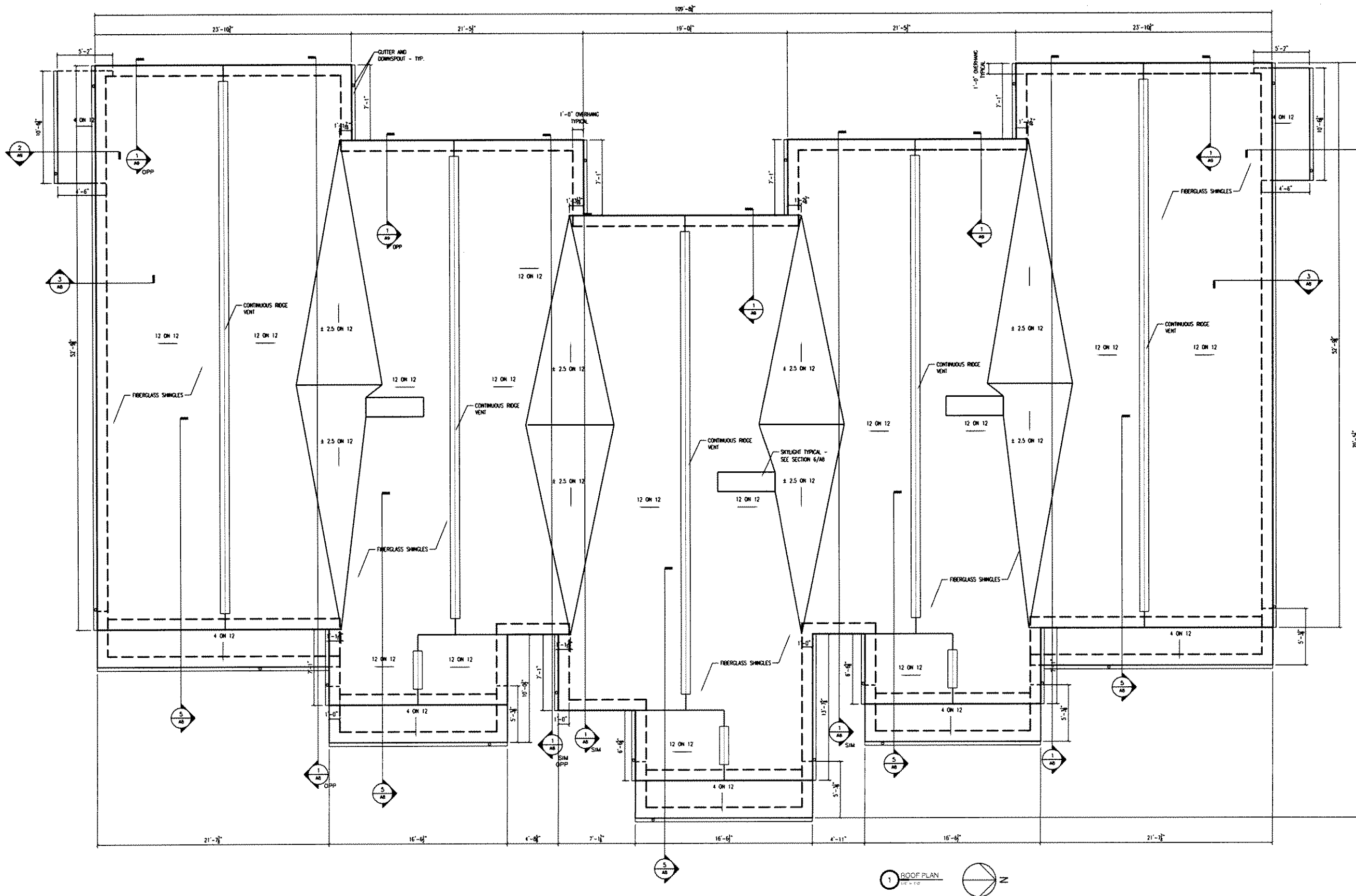
Drawing Description
 INTERIOR & EXTERIOR
 ELEVATIONS

Sheet Number
A6



2 NORTH ELEVATION
1/25/05

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Filename
 RoofPlan

Design
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 RMT
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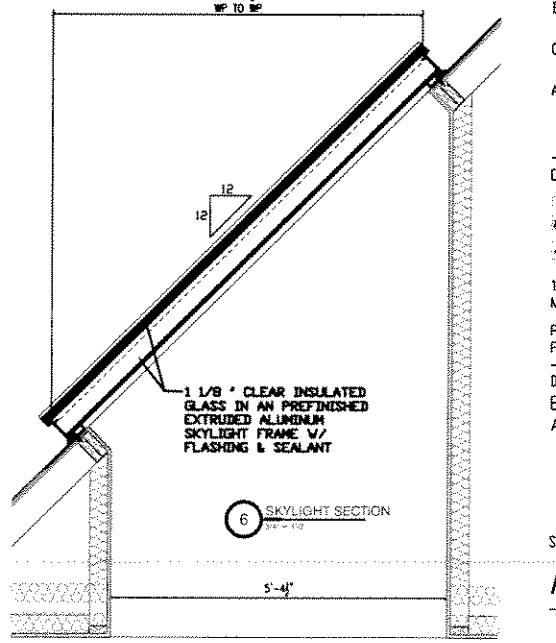
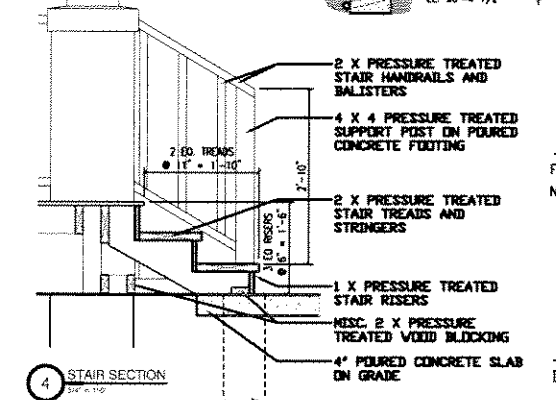
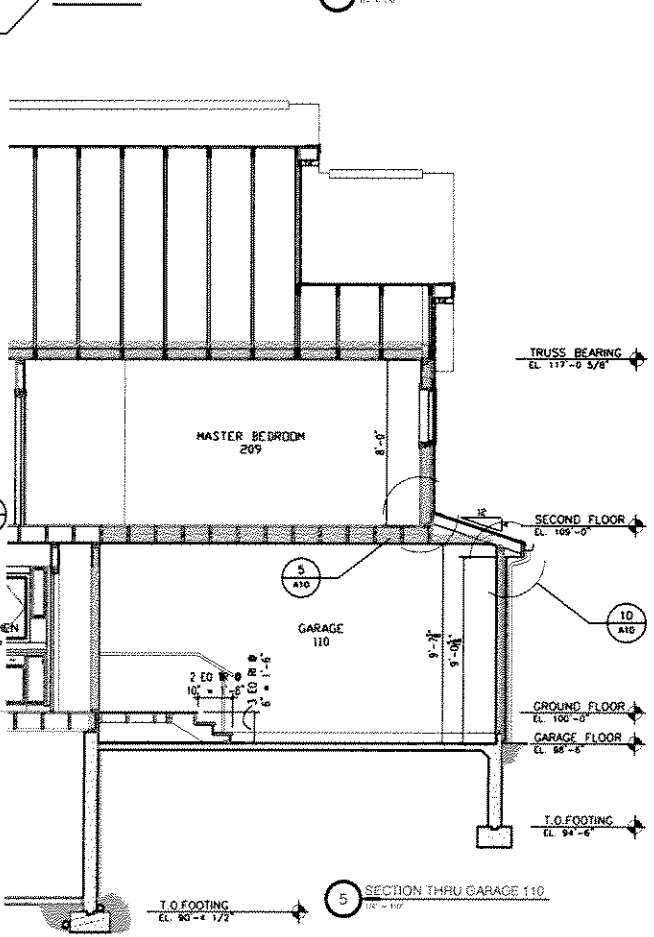
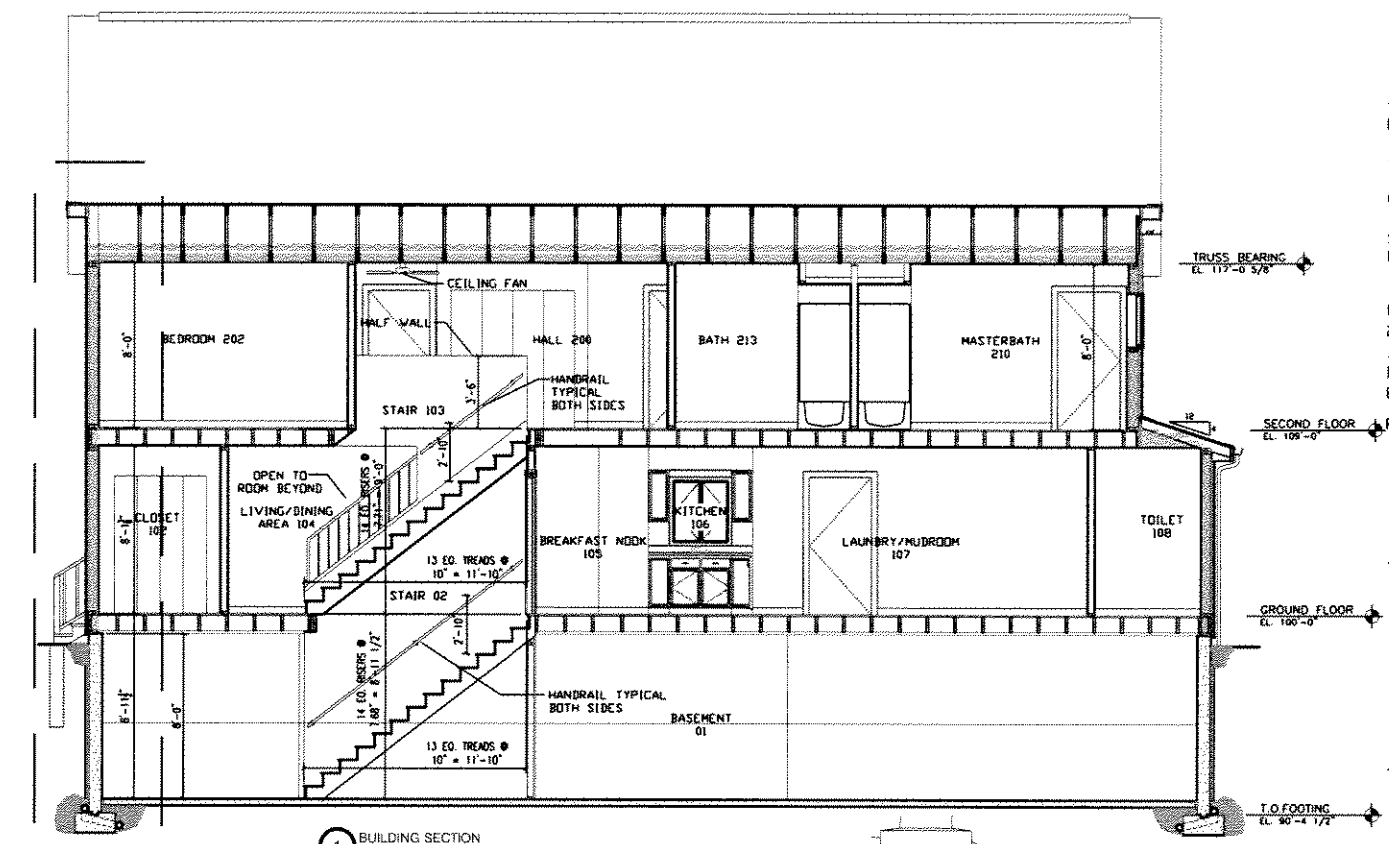
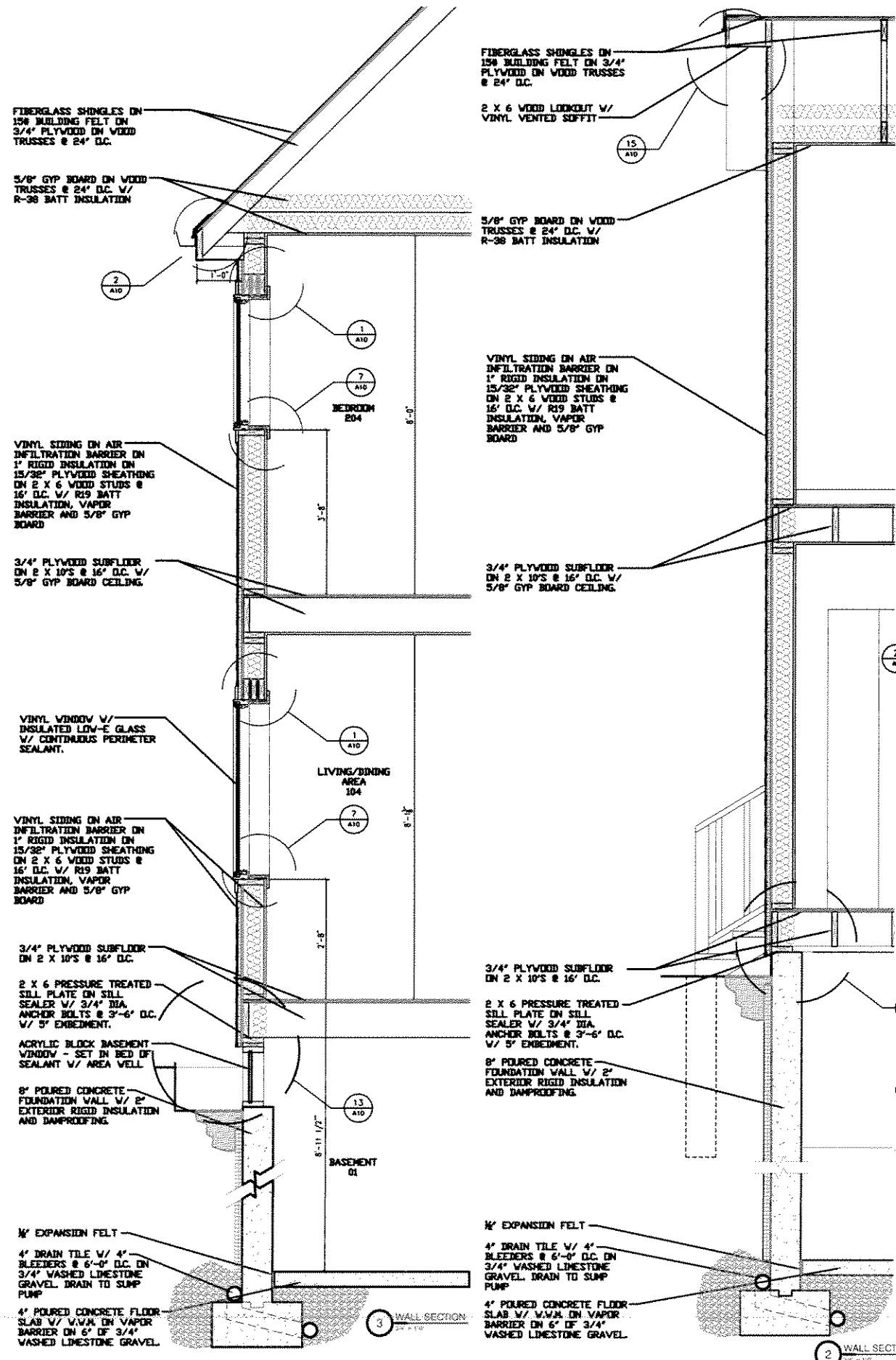
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Drawing Description
ROOF PLAN

Sheet Number

A7

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Project Title
THE TOWNHOMES ON ARTHUR STREET
 S 5th AND W ARTHUR ST. MILWAUKEE, WI 53207

Project Number
 21150
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Filename
 NarrowerSections

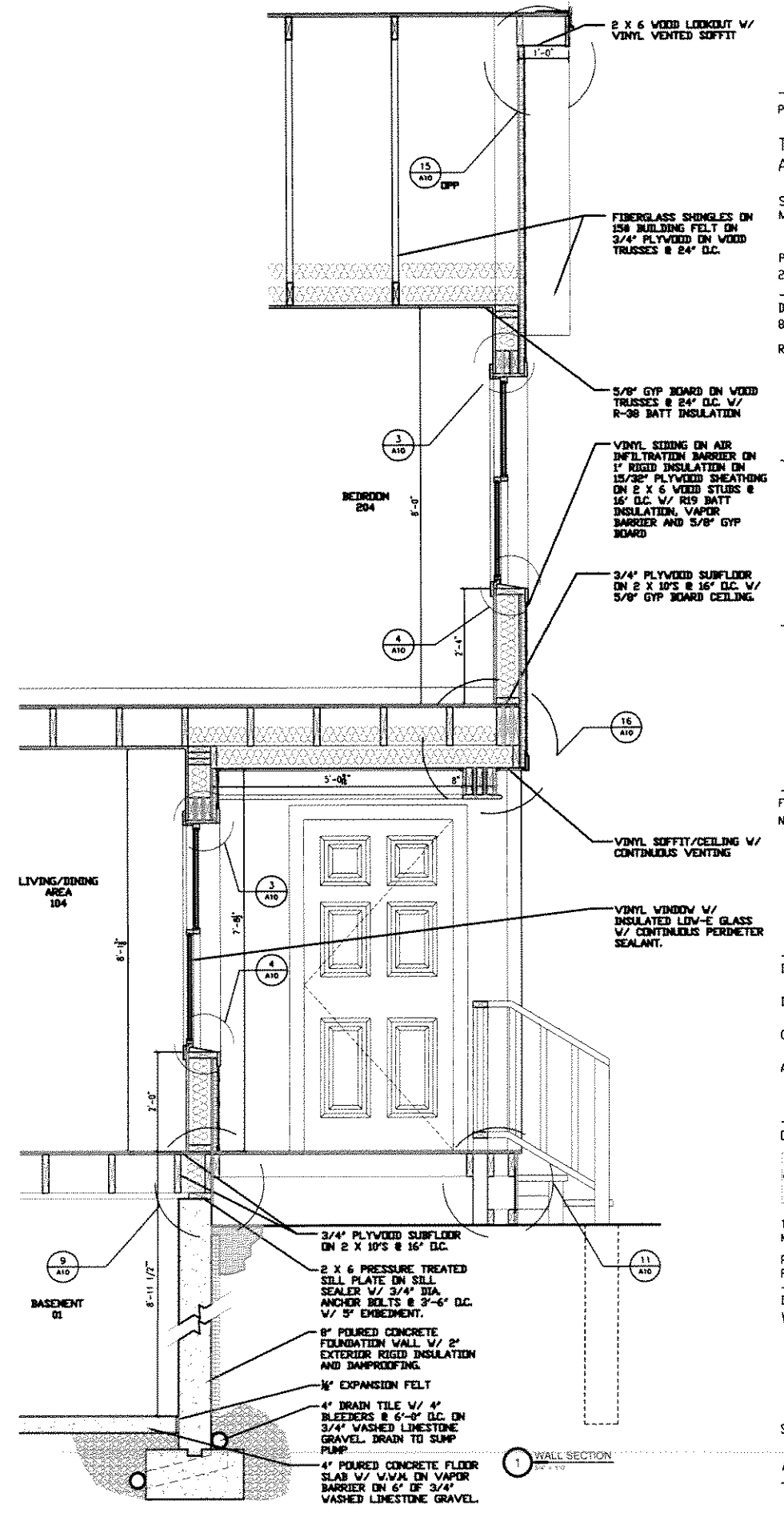
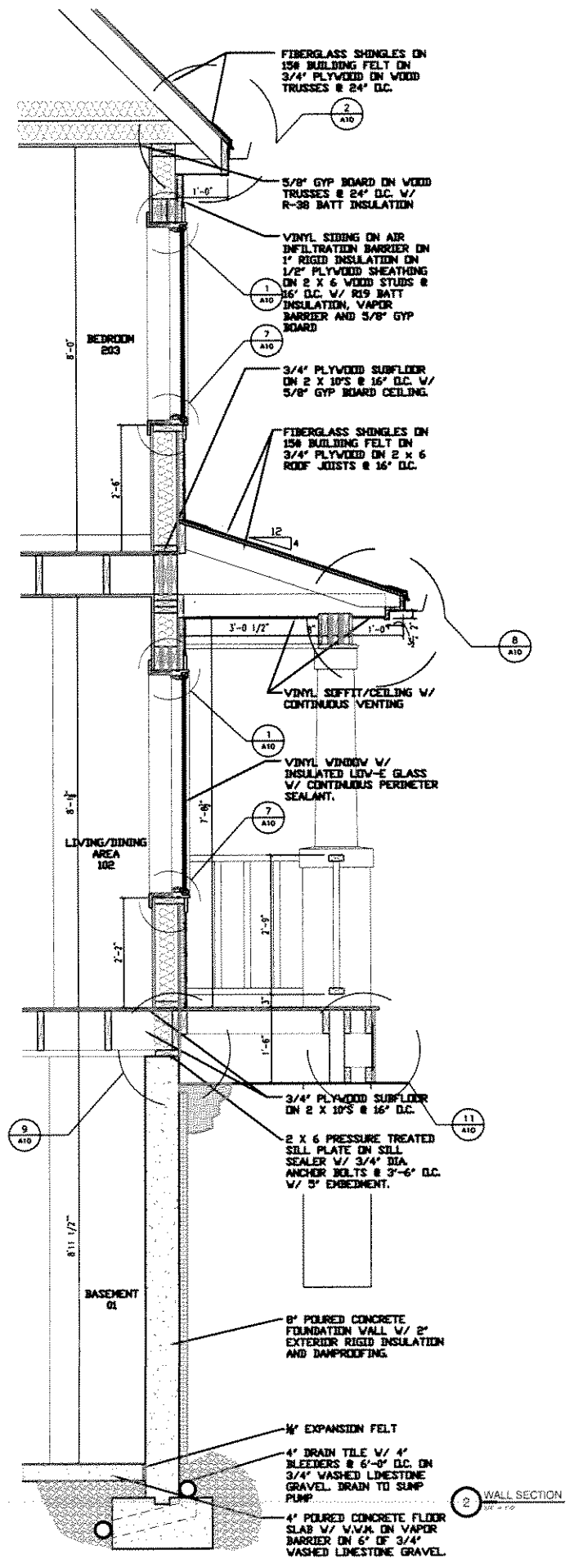
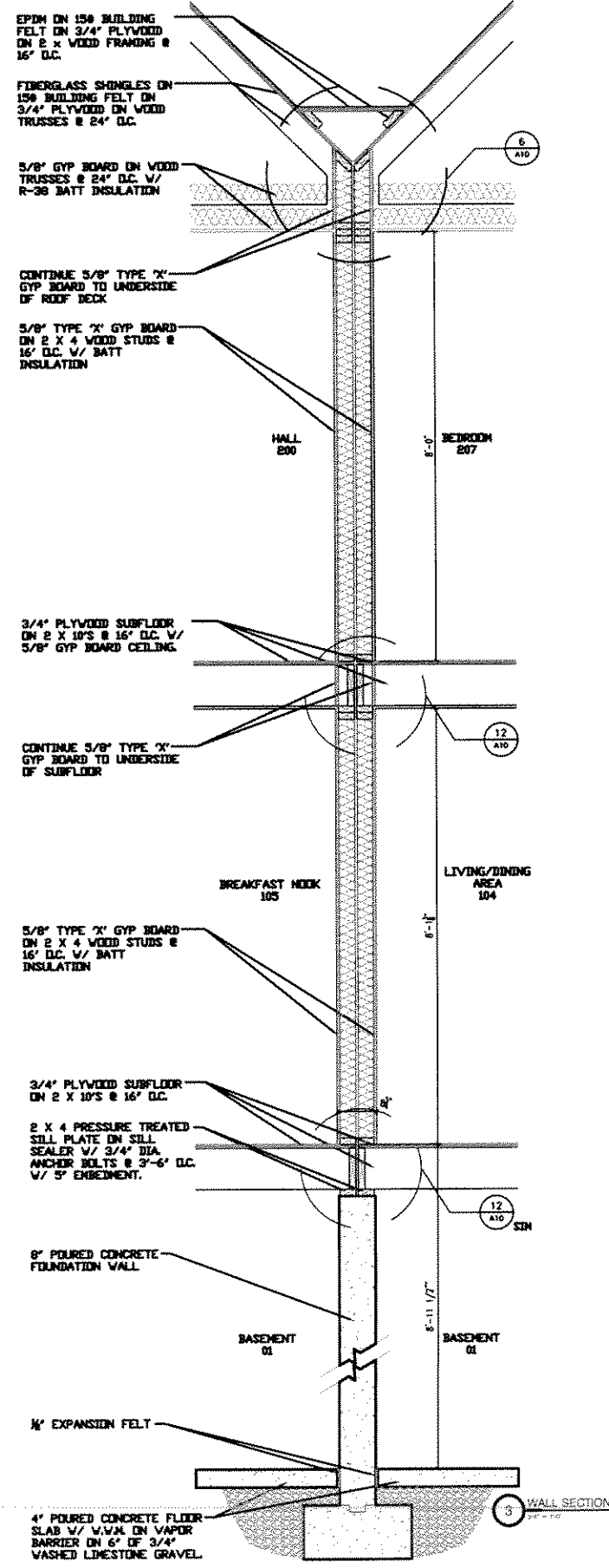
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Drawing Description
BUILDING SECTION AND WALL SECTIONS

Sheet Number
A8



Project Title
THE TOWNHOMES ON ARTHUR STREET
 S 5th AND W ARTHUR ST.
 MILWAUKEE, WI 53207
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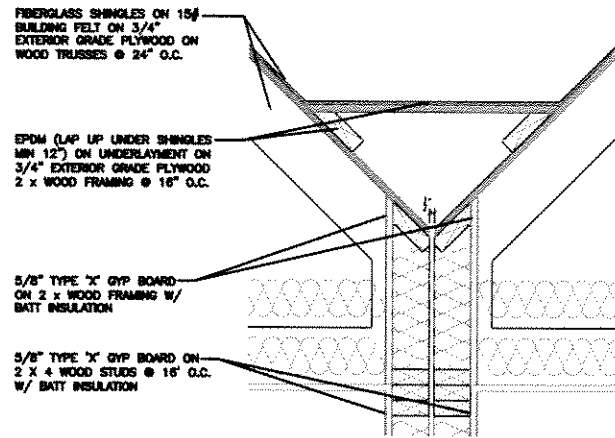
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 Check
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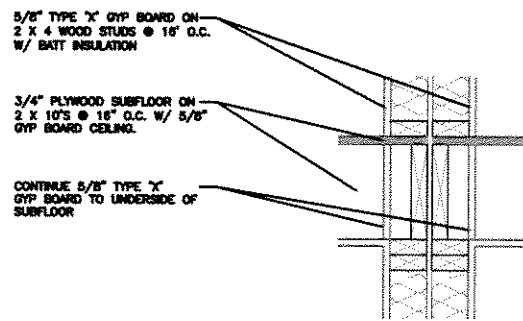
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Drawing Description
WALL SECTIONS

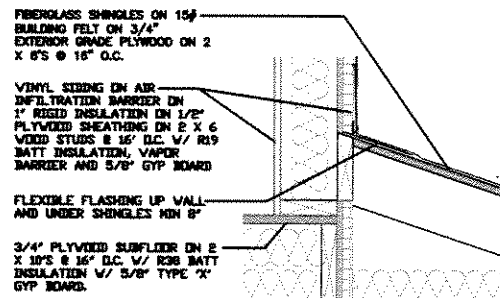
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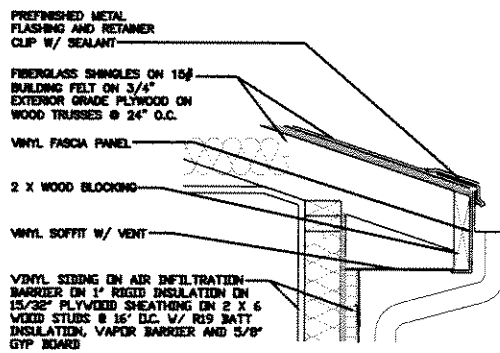
6 ROOF/WALL DETAIL
11/2 x 11/2



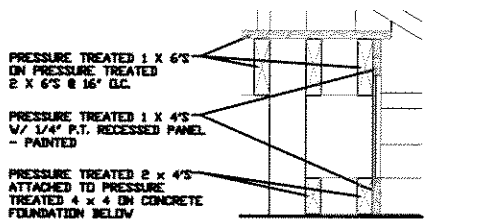
12 WALL/FLOOR DETAIL
11/2 x 11/2



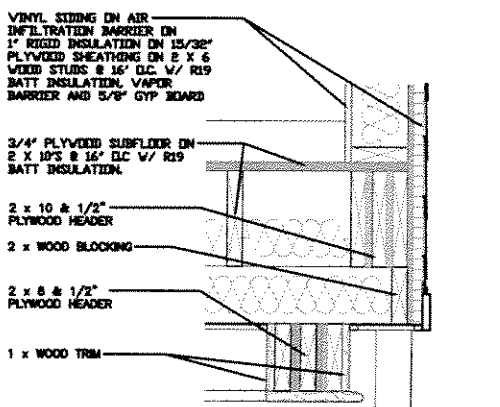
5 ROOF/WALL DETAIL
11/2 x 11/2



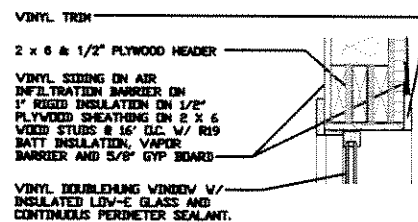
10 ROOF EDGE DETAIL
11/2 x 11/2



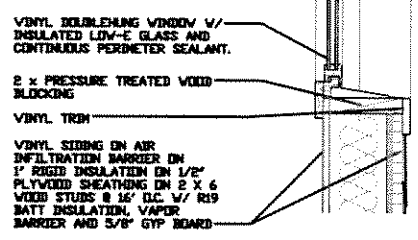
11 PORCH EDGE DETAIL
11/2 x 11/2



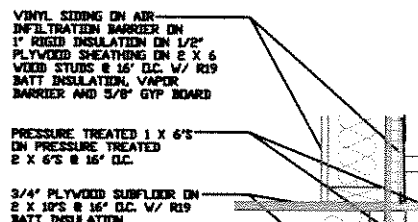
16 WALL/PORCH CEILING DETAIL
11/2 x 11/2



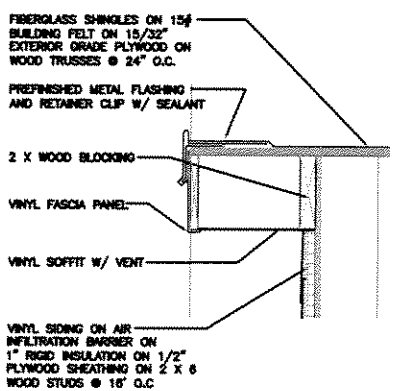
3 WINDOW HEAD DETAIL
11/2 x 11/2



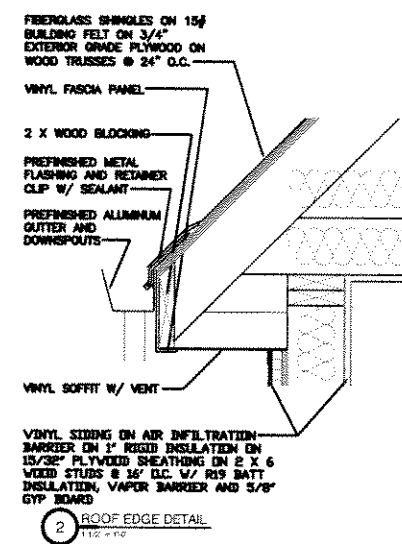
4 WINDOW SILL DETAIL
11/2 x 11/2



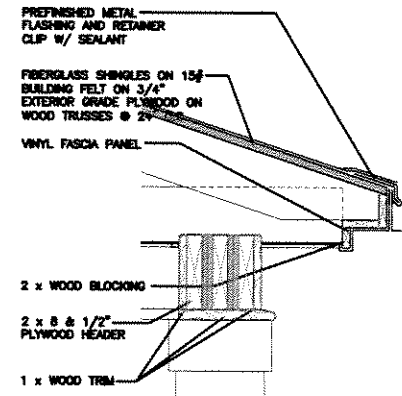
9 FLOOR EDGE/PORCH DETAIL
11/2 x 11/2



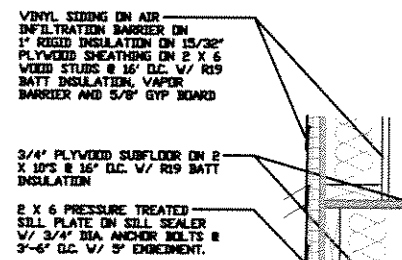
15 ROOF EDGE DETAIL
11/2 x 11/2



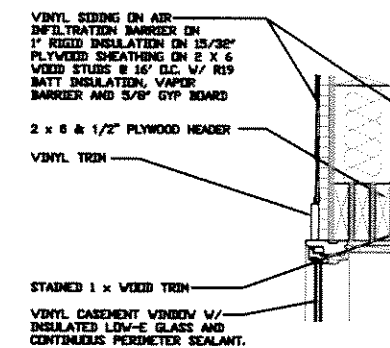
2 ROOF EDGE DETAIL
11/2 x 11/2



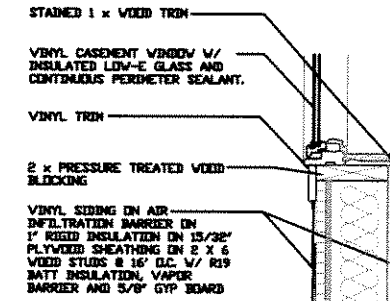
8 ROOF EDGE DETAIL
11/2 x 11/2



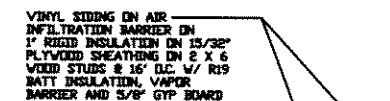
14 FLOOR/WALL DETAIL
11/2 x 11/2



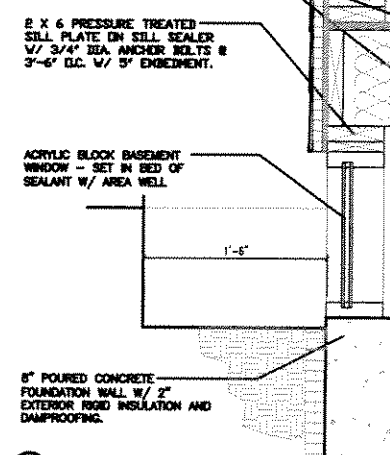
1 WINDOW HEAD DETAIL
11/2 x 11/2



7 WINDOW SILL DETAIL
11/2 x 11/2



13 ROOF EDGE DETAIL
11/2 x 11/2



13 BASEMENT WINDOW/FLOOR EDGE DETAIL
11/2 x 11/2

Project Title
THE TOWNHOMES ON ARTHUR STREET

5 5th AND W ARTHUR ST.
MILWAUKEE, WI 53207

Project Number
21150

Date of Issue
8 DECEMBER, 2004

Rev Dates

Filename
NarrowerDetails

Design
RMT
Draw
RMT
Check
-
Approved
-

OWNER:



1300 N. FOURTH ST.
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Drawing Description
DETAILS

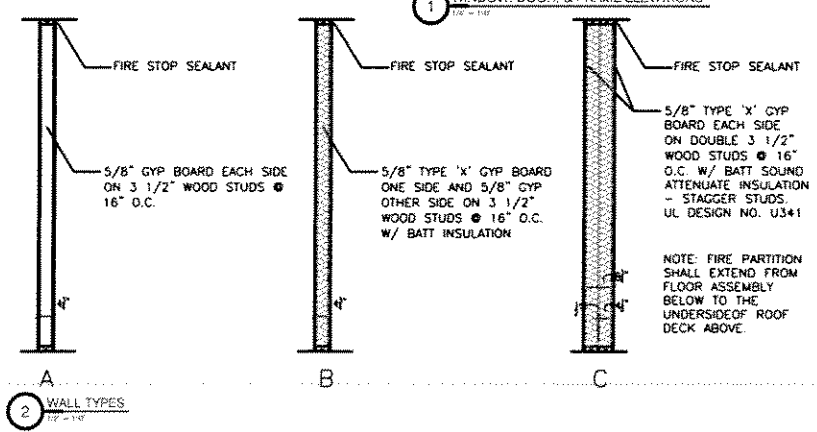
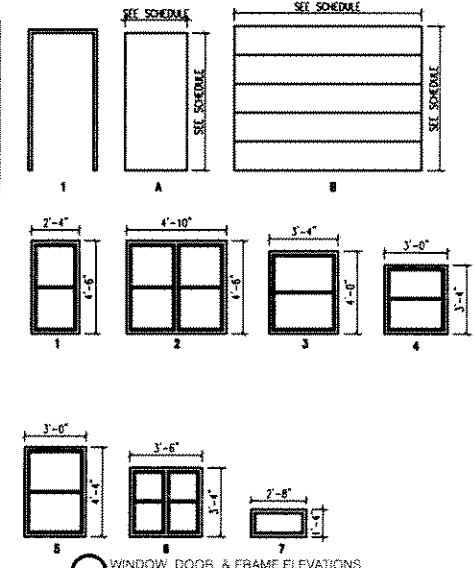
Sheet Number

A10

DOOR AND FRAME SCHEDULE														
MARK	DOOR			FRAME							FIRE RATING LABEL	HARDWARE		NOTES
	WD	HGT	THK	MATL	TYPE	GLAZING	MATL	TYPE	DETAIL			SET NO	KEYSIDE RM NO	
										HEAD	JAMB	SILL		
101	3'-0"	6'-0"	1 1/4"	HD	A									
102	3'-0"	6'-0"	1 1/4"	HD	B									
103	3'-0"	6'-0"	1 1/4"	HD	C									
104	3'-0"	6'-0"	1 1/4"	HD	D									
105	3'-0"	6'-0"	1 1/4"	HD	E									
106	3'-0"	6'-0"	1 1/4"	HD	F									
107	3'-0"	6'-0"	1 1/4"	HD	G									
108	3'-0"	6'-0"	1 1/4"	HD	H									
109	3'-0"	6'-0"	1 1/4"	HD	I									
110	3'-0"	6'-0"	1 1/4"	HD	J									
111	3'-0"	6'-0"	1 1/4"	HD	K									
112	3'-0"	6'-0"	1 1/4"	HD	L									
113	3'-0"	6'-0"	1 1/4"	HD	M									
114	3'-0"	6'-0"	1 1/4"	HD	N									
115	3'-0"	6'-0"	1 1/4"	HD	O									
116	3'-0"	6'-0"	1 1/4"	HD	P									
117	3'-0"	6'-0"	1 1/4"	HD	Q									
118	3'-0"	6'-0"	1 1/4"	HD	R									
119	3'-0"	6'-0"	1 1/4"	HD	S									
120	3'-0"	6'-0"	1 1/4"	HD	T									
121	3'-0"	6'-0"	1 1/4"	HD	U									
122	3'-0"	6'-0"	1 1/4"	HD	V									
123	3'-0"	6'-0"	1 1/4"	HD	W									
124	3'-0"	6'-0"	1 1/4"	HD	X									
125	3'-0"	6'-0"	1 1/4"	HD	Y									
126	3'-0"	6'-0"	1 1/4"	HD	Z									

ROOM FINISH SCHEDULE														
ROOM NO	ROOM NAME	FLOOR	BASE	WALLS						CEILING				NOTES
				N	S	E	W	FIN	FIN	FIN	MATL	FIN	HEIGHT	
01	BASEMENT													
02	PORCH													
03	LOBBY													
04	HALL													
05	OFFICE													
06	CONFERENCE ROOM													
07	LAUNDRY ROOM													
08	BATH													
09	KITCHEN													
10	DINING ROOM													
11	LIVING ROOM													
12	BEDROOM													
13	BEDROOM													
14	BEDROOM													
15	BEDROOM													
16	BEDROOM													
17	BEDROOM													
18	BEDROOM													
19	BEDROOM													
20	BEDROOM													
21	BEDROOM													
22	BEDROOM													
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39	BEDROOM													
40	BEDROOM													
41	BEDROOM													
42	BEDROOM													
43	BEDROOM													
44	BEDROOM													
45	BEDROOM													
46	BEDROOM													
47	BEDROOM													
48	BEDROOM													
49	BEDROOM													
50	BEDROOM													

WINDOW SCHEDULE					
MARK	SIZE		TYPE	MATERIAL	NOTES
	WIDTH	HEIGHT			
1	2'-4"	4'-0"	A	WHT	
2	2'-0"	4'-0"	A	WHT	
3	3'-4"	4'-0"	A	WHT	
4	3'-0"	4'-0"	A	WHT	
5	3'-0"	4'-0"	A	WHT	
6	3'-0"	4'-0"	A	WHT	
7	3'-0"	4'-0"	A	WHT	
8	3'-0"	4'-0"	A	WHT	
9	3'-0"	4'-0"	A	WHT	
10	3'-0"	4'-0"	A	WHT	



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OWNER:

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 Drawing Description
SCHEDULES, WALL TYPES, & WINDOW, DOOR, AND FRAME ELEVATIONS

Sheet Number
A11