ARCHITECTS · CONTRACTORS · ENGINEERS



EXHIBIT A

RYDER TRANSPORTATION SERVICES 9301 WEST HEATHER AVENUE **MILWAUKEE, WISCONSIN 53224** DETAIL PLANNED DEVELOPMENT (DPD) - AMENDMENT EXHIBIT A

INTRODUCTION

This Amendment to the Detailed Plan Development for the Ryder facility is a proposal to construct a 20' x 60' x 16' high addition on the southwest side of the building. The proposed addition consists of a 20' x 26' tire storage room and a 20' x 12' machine room for the automated truck wash equipment.

DESCRIPTION OF THE EXISTING DEVELOPMENT

The Northwest Commerce Center industrial park was created and approved by the City of Milwaukee and Hallmark III in the mid 1990s. This industrial development provided approximately 40 acres of land just west of 91st Street and south of Brown Deer Road. This industrial park is a continuation of Heather Avenue, which intersected 91st Street at the location. The Northwest Commerce Center includes five businesses which are: Ryder Transportation Services; Innovative Packaging (manufactures corrugated paper); Midland Paper (distributes sheet paper and office paper); Arbour Center I (multi-tenant building, with one of the major tenants being DOZR Manufacturing; and Milwaukee Wire (manufacturer of wire products for the automotive industry). The existing businesses are a combination of heavy industrial producers as well as warehousing and distribution business. In the case of Innovative Packaging, they are both a major manufacturer of corrugated paper as well as shipping 30 to 50 trailers a day of completed product. Milwaukee Wire produces dipsticks and other automotive components, Midland warehouses and distributes, and DOZR Manufacturing warehouses and distributes. The Ryder facility is 14,404 square feet located on Heather Avenue between Innovative Packaging and Milwaukee Wire. They have selected this location to provide better service to their customers in the northwest part of Milwaukee, most of whom are industrial accounts.

MSI General

Corporation

P.O. Box 7

Oconomowoc

Wisconsin

53066

262.367.3661

Fax 262.367.7390

www.msigeneral.com

Single Source Responsibility™

BACKGROUND

Ryder System, Inc. is a Fortune 500 provider of leading-edge transportation, logistics and supply chain management solutions worldwide. Ryder's product offerings include: Fleet Management Solutions (FMS), which provides leasing, rental and programmed maintenance of trucks, tractors and trailers to commercial customers; Supply Chain Solutions (SCS), which manages the movement of materials and related information from the acquisition of raw materials to the delivery of finished products to end-users; and Dedicated Contract Carriage (DCC), which provides a turn-key transportation service that includes vehicles, drivers, routing and scheduling. Ryder serves customer needs throughout North America, Latin America, Europe and Asia.



For more than seven decades, Ryder has earned high marks for serving customers in a cost-effective and reliable manner. That reputation has helped Ryder to continually rank among the industry's leading companies in many publications, including Fortune's Most Admired Companies, the Information Week 500 of leading business users of information technology and Internet Week's top 100 U.S. companies for effectiveness in using the Internet to achieve tangible business benefits.

EMPLOYMENT

Currently, Ryder employs approximately 41 associates in their Greater Milwaukee operations (21 from the Highway 100 location, 11 from the Heather Avenue location and nine (9) from the Pewaukee location).

The facility on Heather Avenue is Ryder's main administrative office for business operations in the southeast part of Wisconsin. From this location, they process paperwork for approximately 200 employees statewide. Since it is also the main mechanical repair facility, Ryder would expect employment of clerical and technical associates to grow as they grow in the Milwaukee area.

DESCRIPTION OF CURRENT BUSINESS

Currently, Ryder operates almost 2,950 vehicles in the State of Wisconsin. Of the 2,950 vehicles, approximately 241 are domiciled at the Heather Avenue location. Many are leased to companies within a 12 mile radius from the site.

HEATHER AVENUE OPERATIONS

Ryder's hours of operation are Monday through Friday, 7:00 a.m. to 11:30 p.m. As their business grows, Ryder will add associates to the various shifts that they are operating. Given enough sufficient business growth or a need by their customers, Ryder might eventually operate 24 hours per day, seven days per week.

DESCRIPTION OF BRANCH LOCATION OPERATIONS

Ryder is organized into business units referred to as a "branch". Each branch has two functions, the first is to provide mechanical repair and upkeep of their vehicles, the second is to give administrative support to the branch, including lease and rental sales.

With respect to mechanical repair and upkeep of Ryder's vehicles, each branch employs technicians and service agents who work on their vehicles. Ryder's business is based on supplying vehicles to their customers that are clean and well serviced thus unlikely to breakdown on the road.

The single most frequent activity that occurs in the branch, is preventive maintenance inspections (PMI). During a PMI, checks are performed on various systems of a vehicle to ensure that the vehicle is performing properly. If a malfunction is detected, the problem is noted and then corrected immediately after the PMI is completed. As part of certain PMIs, engine oil and filters are changed as well as lubricating the chassis as necessary.

While Ryder expects that their PMI program will eliminate mechanical failures, the vehicles do, from time to time, develop problems between PMIs. When this occurs, Ryder schedules the vehicle into the branch shop and makes the repairs necessary for the safe operation of the vehicle. Further, vehicles are washed on a periodic basis to present a desirable image to the public. Ryder also provides their customers with the opportunity to purchase diesel fuel at the branch for a one-stop shopping approach to the operation of vehicles.

With respect to administrative support, each branch performs various functions for the successful operation of their business. Ryder has a branch staff that processes bills that they receive from local suppliers so they can be paid from the office in Milwaukee. Ryder's branch staff also creates the information needed to bill their customers and each branch is responsible to collect those billings. They also provide secretarial support for their sales department.

At this branch, Ryder has from one to three sales associates who concentrate on selling long term, full-service leasing. Long term, full-service leasing means that Ryder provides everything but the driver, fuel and insurance for one periodic charge plus a charge for miles traveled. Also operating from this branch, Ryder has one outside rental sales associate who concentrates on selling short term rentals.

Short term rental is different in several respects than long term, full-service leasing. Short term rentals are generally less than one year in length while full service leasing is up to 12 years in length. The vehicles that are rented are identified with Ryder markings and logos, while long term lease vehicles are identified with the customer's markings and logos.

Overseeing all of this activity is Ryder's area vice president who is responsible for the overall operation of the branch and the customer service manager who is responsible for all mechanical repair and upkeep of the vehicles.

BOUNDARIES

The existing Ryder legal description and plat of survey has been attached with this correspondence. The area included in the overall general plan is located on the northwest section of Milwaukee bordered by 91st, Brown Deer Road, Heather Avenue and Milwaukee County park lands (Little Menomonee River).

TOPOGRAPHY

The topography of the Ryder site consists of a long and narrow lot of which the approximate rear fifth of that lot is close or encroaching on a 100 year floor plain as well as a steep drop off at that location.

ACCESS

Access to the site includes the intersection of Heather Avenue and 91st Street which turns into the Northwest Commerce Center. Specific unto the site are two driveways located on the site plan submitted. Heather Avenue is a 48' wide concrete road with curb and gutter.

UTILITIES

The utility design and construction has been completed for this industrial park. The storm sewer system which this site drains into, as well as sanitary, gas, electric and telephone are all in place either in the road or in the right-of-way along side the road. Additionally, Ryder's electrical service hook-up allows Wisconsin Electric the opportunity to provide an uninterruptible source of power (loop) to Innovative Packaging at the end of Heather Avenue who has a critical need for continuous service.

STANDARDS

The detailed Planned Development Standards, District Standards, and Section 295-811 have been met for this development. These include the following:

- 1. Size The tract of land for Ryder is 8.26 acres.
- 2. Density The green space ratio for this development, including the building and parking areas, is approximately 62%.
- 3. Space Between Structures There is approximately 160' to the south of the development and 380' to the north of the development between the next two lots.
- 4. Setbacks The setbacks around this parcel meet the City of Milwaukee code requirements for front and side yard setbacks.
- 5. Screening Review of the landscape plan shows a heavily landscaped lot with mature vegetation to provide screening of the parking areas from view between neighbors and from the road. The office walls will have a 24" parapet to help screen the rooftop equipment and the location of the rooftop units will be 46' behind the front wall.

- 6. Open spaces in this development have been screened with landscaping where appropriate or allowable by design and layout.
- 7. Circulation Facilities The general circulation pattern for this lot is to enter the proposed lot at the south driveway and either park the vehicles, bring the vehicles in for service, or move around the back of the building and to the north side for refueling of company vehicles only.
- 8. Lighting The lighting of the building and parking areas has been achieved through the use of cutoff style wall pack fixtures as well as poles with single or dual lamps.
- 9. Utilities All utilities are installed underground.
- 10. Signs The signage for this parcel includes a wall sign which is mounted directly above the front entry door, which is a 7' x 6' internally lit box style sign that sits on the face of the canopy structure. Additionally, there is a sign at each of the entrances directing traffic both inbound and outbound. The southern entrance says "truck and car entrance", the north driveway says "exit only, do not enter".
- 11. Fuel Island There is a canopied fuel island for fueling only of the vehicles owned and leased by Ryder.

PROPOSED DETAILED PLAN DEVELOPMENT (DPD)

The Proposed Detailed Plan Development Amendment is to permit Ryder to construct an addition for storage and equipment of approximately 800 square feet. The building materials will include the use of decorative concrete block to match existing. The existing building architecture has a front elevation which overlaps the rear service area of the building by approximately 10' on each side. This front entrance provides the main focus of the building, as well as screening for the service areas. The front office of this building includes a planting area 8' wide in front of the building as well as a landscape island to the south.

More specifically, this Detailed Plan Development proposes the following impact on this site:

- Ryder's total building floor area is currently 14,404 square feet and will be 15,204 square feet
- Total building coverage area is 10,804 square feet and will be 11,604 square feet.
- Land area is 359,805 square feet.
- Parking area is 119,920 square feet.
- Rear drive area is included in the above.
- Total open land area is 229,081 square feet which is 63% and will be 228,281 square feet which is 63%.

CONCLUSION

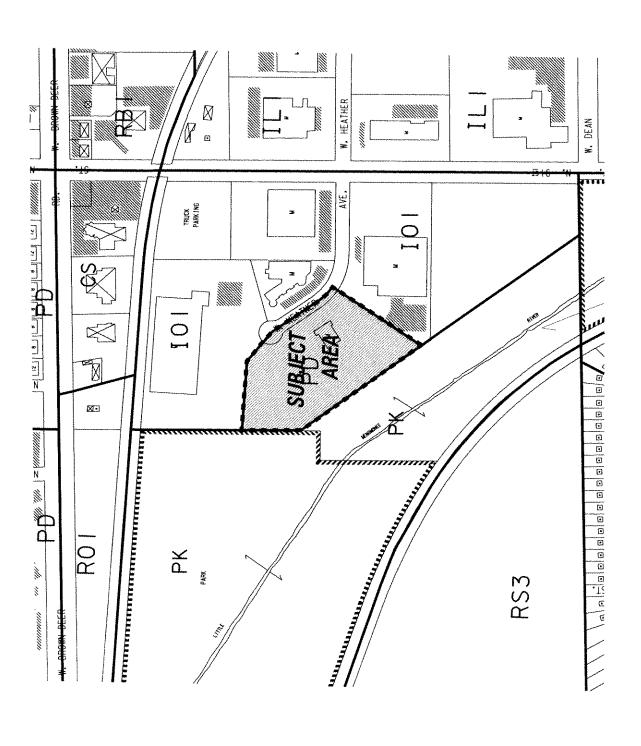
The Detailed Plan Development Amendment is intended to meet the needs of the northwestern industrial community of Milwaukee and to expand upon the high quality, unified concept, design and operational intent of the Northwest Commerce Center industrial park. It is Ryder's desire to construct an addition of equally high standards as the surrounding neighbors in terms of architecture, hours of operation and operation in the City of Milwaukee and State of Wisconsin. It is with these intentions that this Detailed Plan Development Amendment is respectively submitted for approval to the City Plan Commission and Common Council.

MSI GENERAL CORPORATION

Scott J. Klein

Project Director, Special Projects

SJK:ak



PROJECT NAME

BUILDING ADDITION FOR RYDER TRUCK

PROJECT ADDRESS

9301 HEATHER AVE MILWAUKEE, WI

SHEET INDEX

C-100 EXISTING SITE PLAN

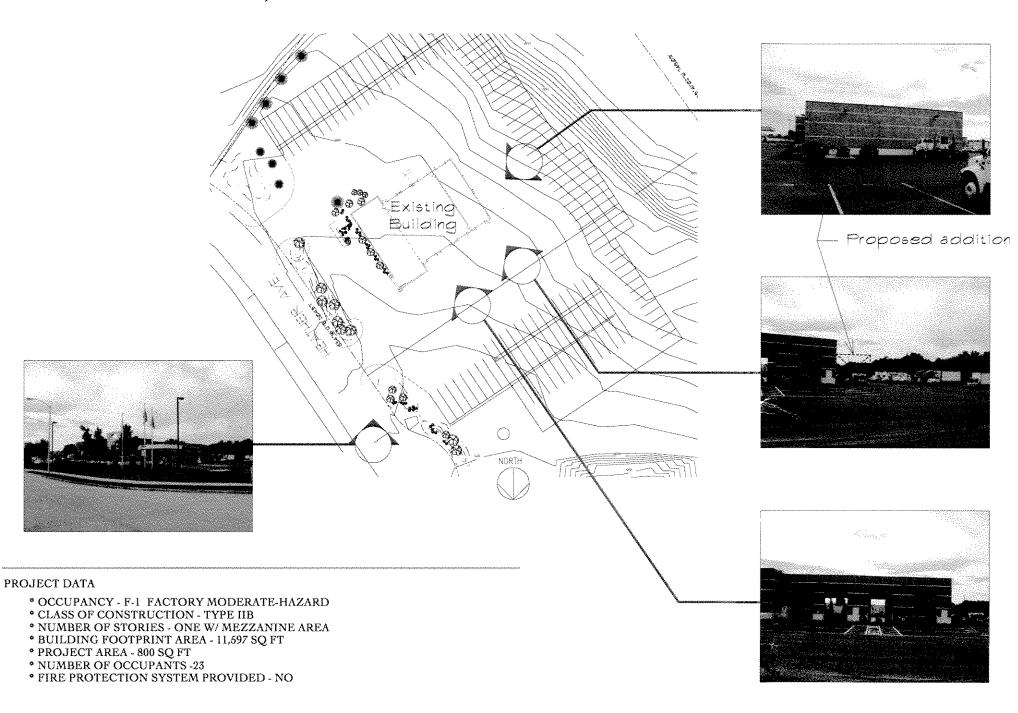
S-502 CONCRETE DETAILS

A-101 FIRST FLOOR PLAN A-201 BUILDING ELEVATIONS

A-301 BUILDING SECTIONS

A-501 DETAILS

A-501-1 DETAILS

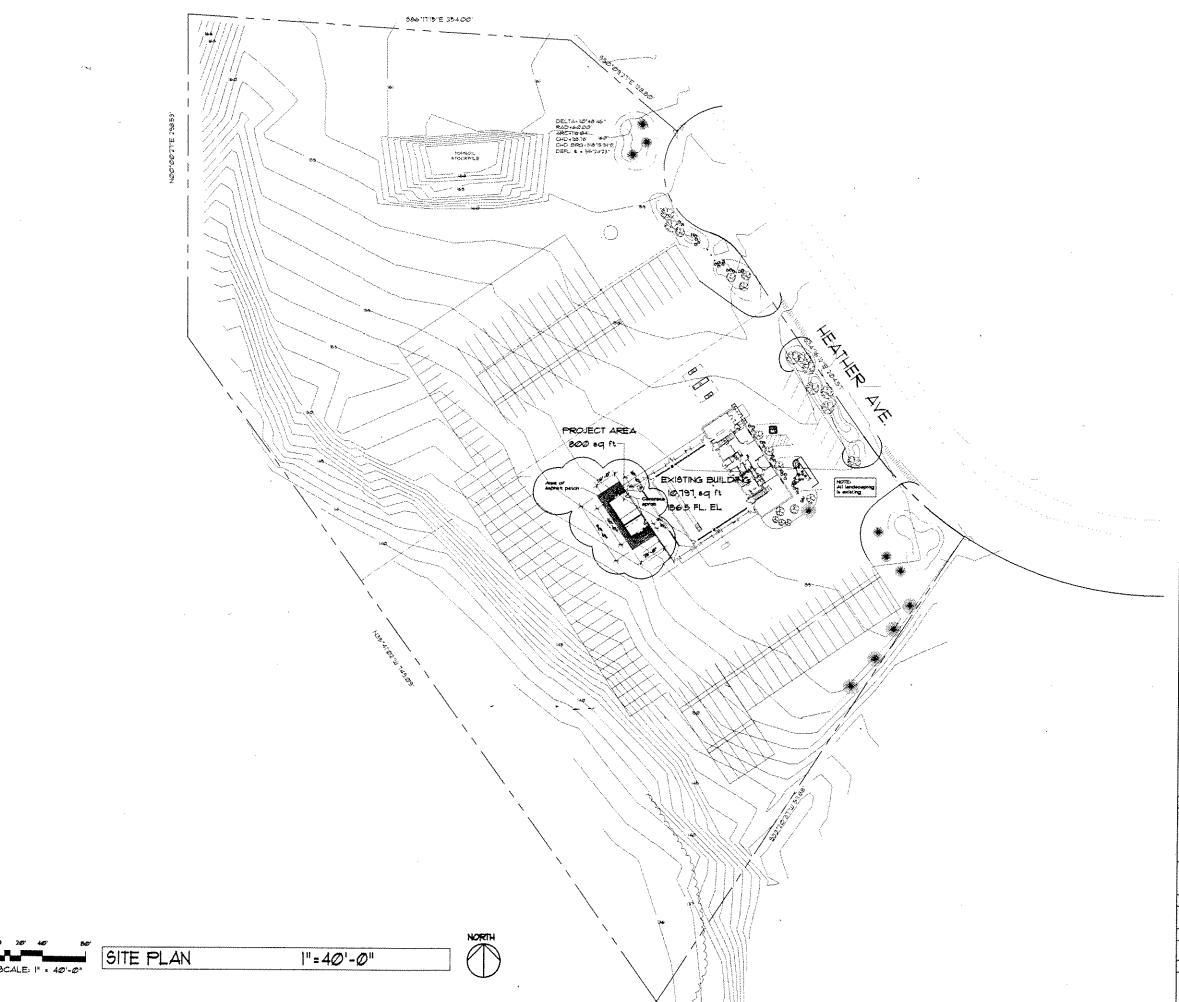


ABRRV alterwisein algermase sharewisein algermase sharewise sharew GENERAI ARCHITECTS CONTRACTORS DEVELOPERS MANAGERS REV_L MSI General Corporation P.O. Box 7 262.367.3661 Fax 262.367.2764 Estimating 262.367.3662 www.msigeneral.con Single Source Responsibility 18 Project Address 930! Heather Ave اللة بعضائك Date: 06:504 Drawn By: KJ Neitzke Sheet Title: COVER SHEET G-001 P.8186

ABBREVIATIONS

ARCHITECTS SEAL

ENGINEERS SEAL





ARCHITECTS ENGINEERS CONTRACTORS DEVELOPERS MANAGERS

Rev	isions	
		-
		-
		^-
		-
		~
	,	-
.,,,		-
		^
	•	
,,,,,,,,,	^^^	•
		•
		_

All work to be completed as shown, and in accordance with the latest edition of the MSI General Master Specification

MSI General Corporation P.O. Box 7 Wisconsin 53066 262.367.3661 Fax 262.367.2764

Estimating 262,367,3662 www.maigeneral.com

Single Source Responsibility **

Project Address:

Ryder Truck 9301 Heather Ave. Milozukoa, W

Date: Ø6/5Ø4

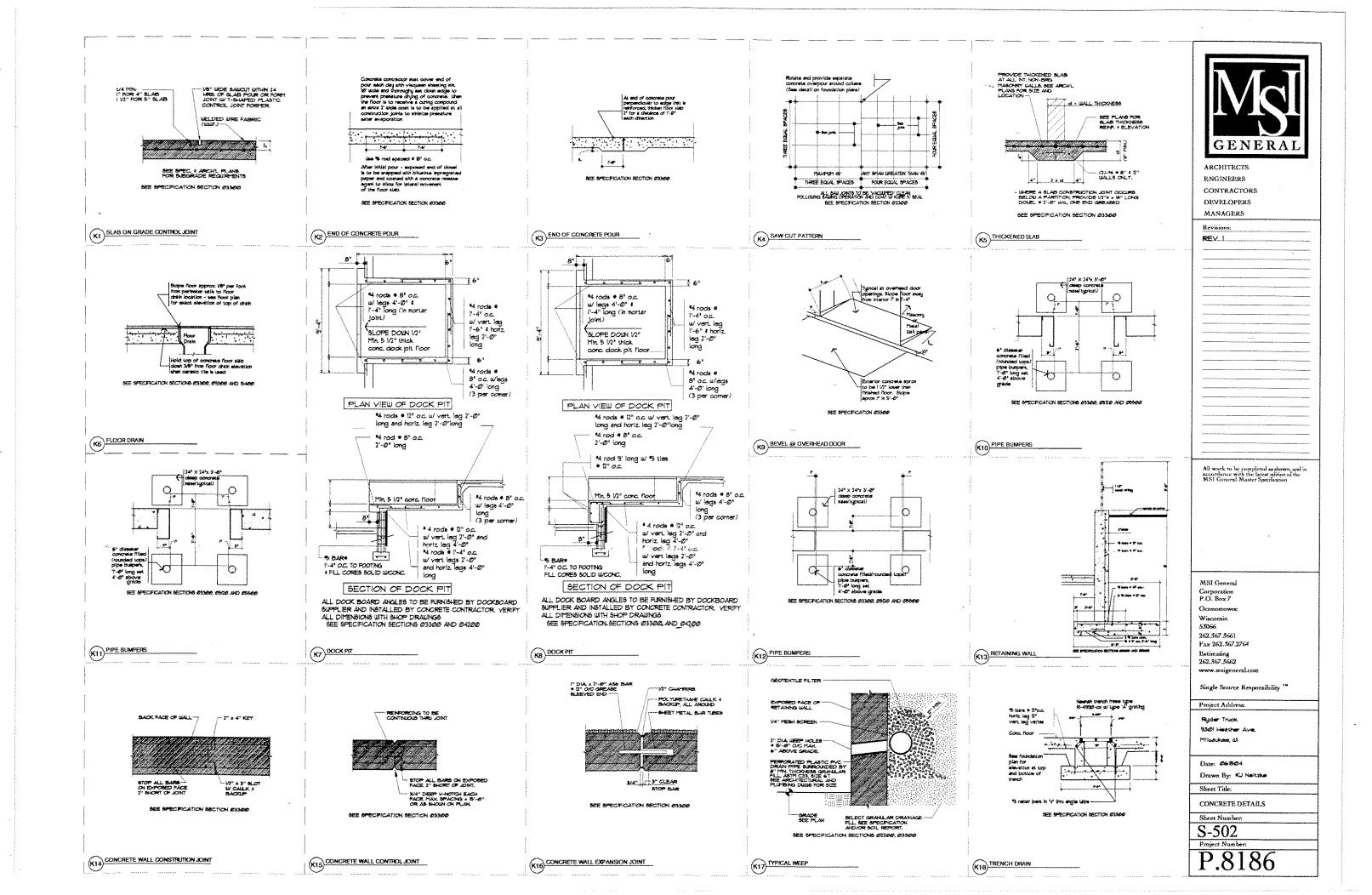
Drawn By: KJ Neitzke

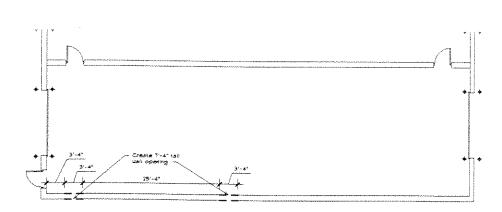
Sheet Title:

EXISTING SITE PLAN

Sheet Number: C-100

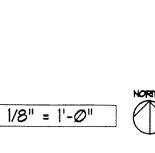
Project Numbers
P.8186

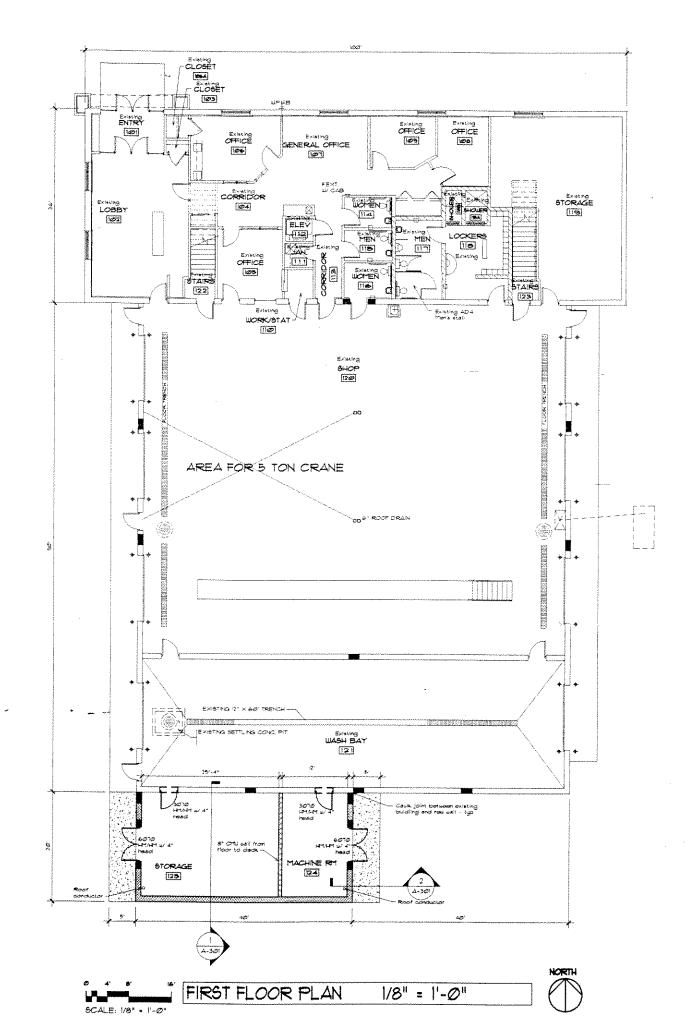




FIRST FLOOR DEMO PLAN

SCALE: 1/8" - 1'-@"







ARCHITECTS
ENGINEERS
CONTRACTORS
DEVELOPERS
MANAGERS

R	visions:
R	EV. L
	· · · · · · · · · · · · · · · · · · ·
-	
_	
	-
_	
_	

All work to be completed as shown, and in accordance with the latest edition of the MSI General Master Specification

MSI General Corporation P.O. Box 7 Oconomowoc Wisconsin 53066 262.367.3661 Fax 262.367.2764 Eatimating 262.367.3662 www.msigeneral.com

Single Source Responsibility ***

Project Address:

Rycler Truck 9301 Heather Ave. Millelukee, Ui

Date: Ø6|804

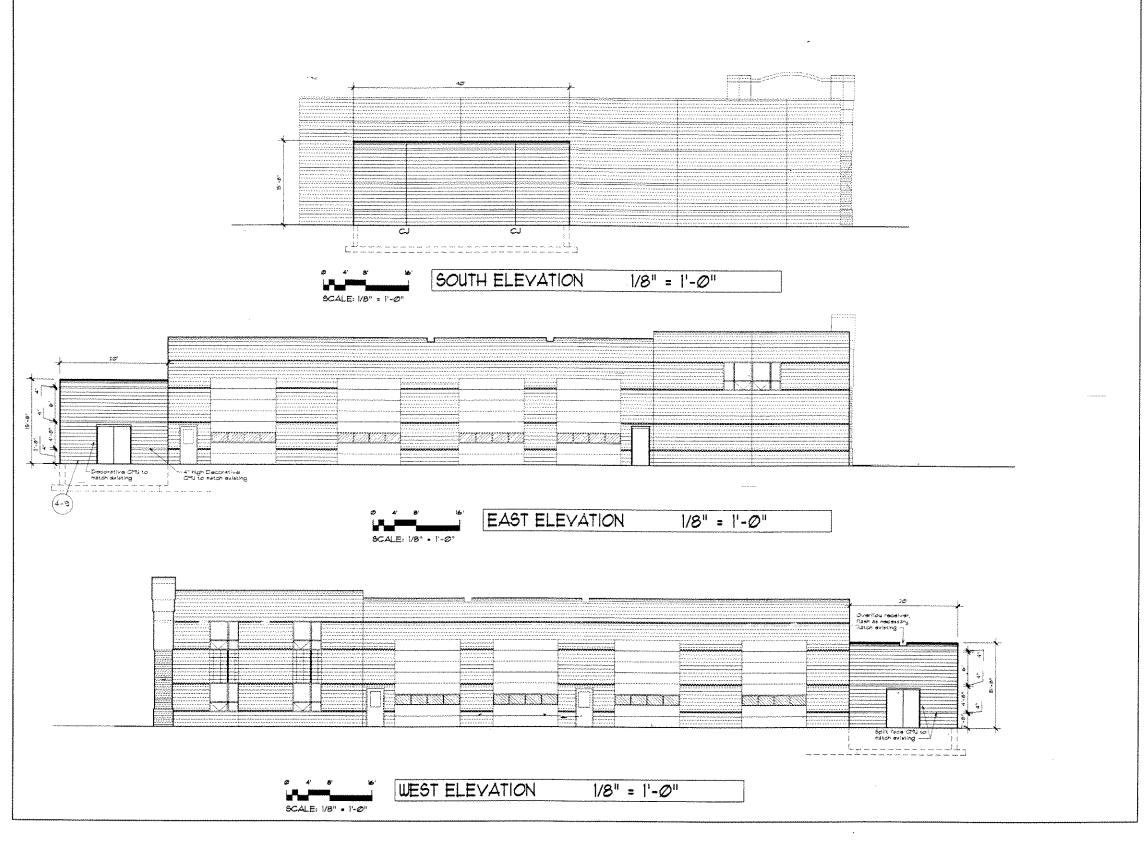
Drawn By: KJ Neitzke

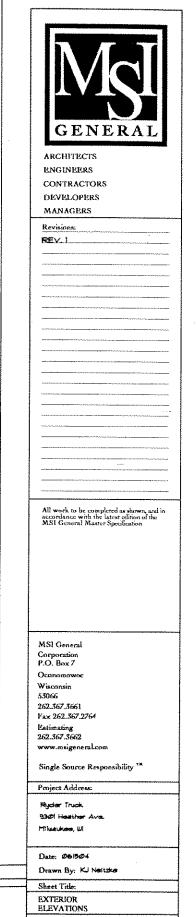
Sheet Title: FLOOR PLAN

Sheet Number:

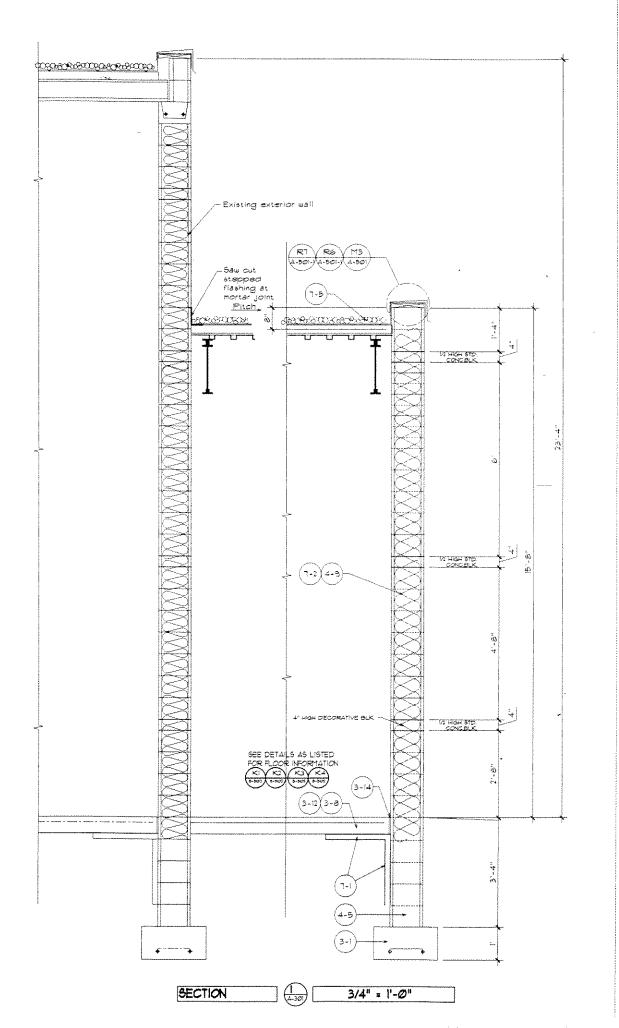
A-101 Project Numbers

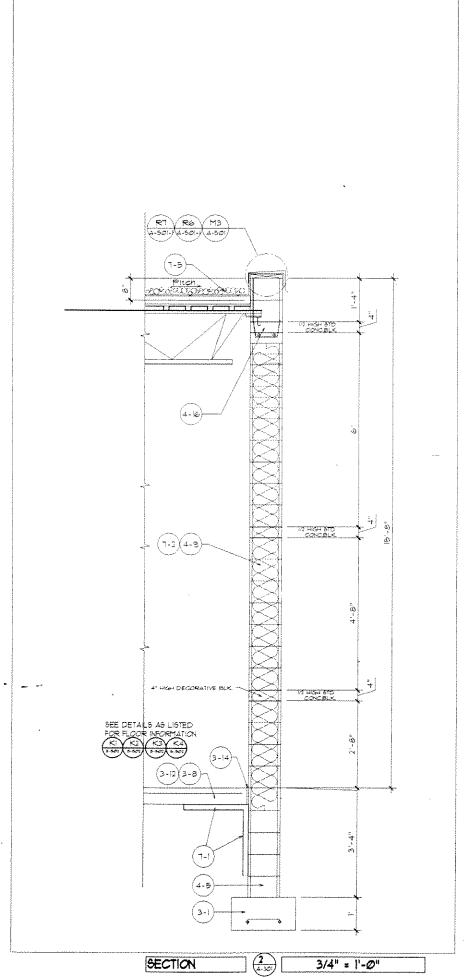
P.8186





										Date: 061504
REFERENCE KEYNOTES									· · · · · · · · · · · · · · · · · · ·	Drawn By: KJ Neitzke
Division 81- General	Division 63- Concrete		Division #4- Mesorry		Division #5- Metals	Division 99 - Sloock and Flastics	Division #1- Thermal and Moisture Protect	i kore	Divine St. Femiles	Sheet Title:
Set precent has took Set precent has based Dirthelion 677 - Situal Tapina one 5" sion bound 6706/0009 Tapina one	(ii) T agis 1 f feb ground commits bottom with at 1 th year cont. (iii) I f with a f feb ground commits bottom with a statistical and address. (iii) I f with at 1 f feb ground commits bottom with a statistical and address. (iii) I f with a f feb ground commits bottom with a statistical and address. (iii) I f with a feb ground with a feb ground with a statistical and address with a feb ground with a fe	# government over if non it if non it is the CAMP, CREATE - Course and it is fifth socialisticate - Course and it is fifth socialisticate - Course and it is first non-institute - It is non-institute - The course include is course of the admitted and institute - The course include part has admitted and institute - The course include part has a first non-institute - The course include part has a first non-institute - The course include part has a course of the admitted and institute - The course include part has a first non-institute - The course include part has a first non-institute - The course include part of the admitted and institute - The course include part of the admitted and institute - The course include part of the admitted and institute - The course include part of the admitted and institute - The course include part of the admitted and institute		Fig. 17 proces paint (1961) Fig. 17 process paint (1964) Fig. 17 pr	S' dis contrate (Their plant insign and in TVI d' trait, ains in TVI d' trait d'	Place communication at REGION 35 sects used and or made 4 60' critication 36 sects shall be shall be 15' critication Place communication or bridge (64-60) critication or control or bridge (64-60) critication or control or bridge (64-60) critication or control or bridge (64-60) critication of critication of critication or critication of critication or critication of critication or critication of critication of critication or critication of critication or critication or critication of critication or critic	Premier microstrate: Lone III materia roue of biosoffate)	7. Super profession bears the pand Childro 3. 10° Dealer material (1998) 4. Tulker) halasses fiction 5. Tulker) halasses fiction 5. Tulker) halasses ficing fiction 5. Tulker) halasses ficing fiction 6. Description sales fiction 6. Description halasses (specificial) 6. Description halasses 6. Description halasses 6. Description 6. De		Sheet I file: EXTERIOR ELEVATIONS Sheet Number: A-201 Project Number:
(2-4) Handicappond prebang salid sega (2-4) Cultural, stempent sanidphe recognisations	Fig. 9 parest comment from at 4" some 6.7" by intelligence concent. 4 present comment from at 4" some 1.2" by intelligence possible 7 present comment from at 4" stone 1.2" by intelligence possible 7 present comment from at 4" stone 1.2" by intelligence possible	Securities agrees and cubs cut per suitcaple sequimental (\$2000)	(4-9) 2" decorative comments are \$6000 (4-19) have broad \$60000! (4-1) of precise plant \$5000.				(1-5) of any local charter tradeout (F100): (1-4) If brown it invalidate(F100): (1-5) It gains Surjectured Standor material (F100): (1-5) It gains Surjectured Standor material (F100):	Two transactions of the state o		P.8186





REFERENCE KEYNOTES	
Division St. Darwell	
10 precent has load 30 20 precent has load	
Divisipe St. St.	
(-): If aging over all accessional INSEPTION (-): If aging over if some transformation	
35 ST NE I SE MINE ON PROPONIESSESSES	
(a) (11 (17 × 137) apies ove 6° som benističitisticiti) (b) Hankapped parasij kali sep	
Secretaria de prescion activamente Se constituir de prescion activamente	
Division alle Compress	
	GENERAL
3.5 7 who a Titted power canonic facility and w? 5 bits part. and impact and 5 prove part *laps or lace 6" oct \$1,000; 3.5 7 min a Titted power of contract of a Catalogue and a Catalogue a	OBITERIE
Fig. 1 main s IF that count counts however that is 7 % one can. and import and 7 grow can't Plaps of salt IF occidings.	£ 13.CV Thronky Clause
Thirdward floor side ment of \$ 5 hard your, and deposit and 5 cross bars 4 was or seen to acceptable?	ARCHITECTS
Grade treat States was Southfall and a 1-5 type one, and impress and 5-come time in large or each of could book	ENGINEERS
G Comman compose, mini foundation and if basis finalment describibilities	CONTRACTORS
(1) 5º poesar commen floor et 4º sons 17º to 100/0000, 819001	DEVELOPERS
Se et parest connectour et il sore 17 (la tristable, consist	MANAGERS
3 % Toposed corona floor of it some 17 th; (\$150000, 65000) 4 dp. of present corona floor of it some 17 th; (\$150000, 65000)	
(a) County and all the Martin supplies	Revisions:
(i) Counte rent ai été 1674 sel (189016) (ii) Counte rent ai Commité rantocky(18016)	REV.1
O 17 appenso yen massi (2006)	***************************************
(A) the contract of contract (COO)	
(ii) if common repping read as less 46/40 mat/200601 Filt 18 de Locases trains pais crop solid as concreni 65/200 (40000)	
Source growed art at personal engineers (2006)	
Division #4 : Security	***************************************
(*) (*) mandard streeter aware; shill/9000/	
(-) if simpled upones sectory unit (PADI) 4-5-10" sectoric concrete enemy unit (PADI)	**************************************
W sinded cocces secony uni 84281	
-5 1° electric common electro; unit 64200 -3 1° decombina common electro; unit 642000	***************************************
Language contains mouth tale posts.	
e de de descrito a antiqua secreçario (CCC)	
िकु के तहराज्ञास्त्र प्रधानम् अस्त्रम् अस्त्रम् अस्त्रम् । स्कृतिस्त्रा (more/SM)	
(a) & bacen benegates	
ing of presentations	
Farecular Had Sout town red of Fiber and and inspect (#1966/8468)	***************************************
(4) of cuspose filed bord base real of 1 th base case and lapped (1997), 0400. (4) of coverne (filed bord base had all 1 these cost, and lapped (1997), 04000.	
Notation #5- Metalis	
 a" dia contrasa (Find pipe busper see in 21/21) conc asse. Jabbito, ShCohybhroc 	
\$ 12 gaps mani dans, har joinn and man operated (1966) \$ 1966 hair unt an oppositud remonstanced teams (1966)	
Gonzene (Sea seul per sich un ei dones mervillisch), Motto	
gi i ili da mai attegitibili:	
Tylesigen (Pille - Signatula area) ("Sant You	
) Plante lammer skripe vilk (1881)) 3H stood met will be mete 4 61 oct (1840)	All work to be completed as shown, and in accordance with the latest edition of the
) The wood what will at made # 34" p.20%#001	MSI General Master Specification
Finals indicate constructs and home conventional R. (folial) de-east:	
g that and policities the colors	
Tylkhan Mil- Pransabilishing Pransabiles	
Ferman tuintori 6700/	
2) Local fit bearing it come of block of 1880;	
3) : 17 mps con marcin (1980) 4) al risma marcin (1984)	
EPCM ballated roof spream in 3" (in sprame resistion, 34" Resour	
के 14 gage 12 anso not paer है और। है 16 gage vide to canand and not or sal paer है और।	
3. And group programme surprises or an extension to the state of the s	
S Contract Contract Relation (COD) of 17 major to Indiana (COD)	MSI General
ugi 37 tripium ili meateur († 1200) ji Agege Scolphand Sharker anni aut paesi 1740)	Corporation
25 gaps professor acce for parel 5 lets:	P.O. Bex 7
3 50" District Health or 10" P0000	Осополючес
1 (CLARE) Instancial Habita 31 SEPT Enterco Holiston Parin Sprant Digital (ESTAN)	Wisconsin
• •	53066
Nation Stiffs Departs and Walking	262.367.3661 V 262.367.2764
Companies institute giant 67-4000000	Fax 262.367.2764
Conjune Institute glanica (Projection)	Estimating 262.367.3662
) Con implest glass ID-MCCOOK? Discourse account classes from the basing ID-MC	www.msigeneral.com
Clair sections states from the harry (5646)	_
Good clad sinches and	Single Source Responsibility **
Autologia (1970) - Parliateria Si 1971 (mai bering in Self depart 1978), 1955 (s	Project Address:
Imperial select opins FDE:	2 rojett Midlesse
S) Set dynad coding crawka (plant (1990; 1950a)) B) Mankon inpu notic or expectativities	Ryder Truck
Tainer legan world an artist	5301 Heather Ave.
) 5.50° seculi anad mall hal hit, for chest, will elected # \$2° cool/2000 5.50° climpael hal hit, no recolf chest/200567	Milandras, Wi
\$ 94,00km; in 4, know oranii kriszay.	
	Date: 26:504
	Drawn By: K.i Neitzke
	Sheet Title:
	BUILDING SECTIONS
	Sheet Number:
	A-301
!	Project Number:
	P.8186
1	PXIXA

