



MILWAUKEE

HISTORIC
PRESERVATION
COMMISSION

LIVING WITH HISTORY

Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property

City of Milwaukee, owner

817 N. 28TH ST., Concordia Historic District

Description of work

Replace all missing or damaged wood sidewall shingles. Replace porch railings, upper and lower, on front porch. Replace lattice skirting with slats 1-3/4" wide and spaced 3/4" apart. Repair foundation bricks as needed. Repair/replace missing or damaged areas of crown molding on eaves as needed.

Date issued

6/23/2011

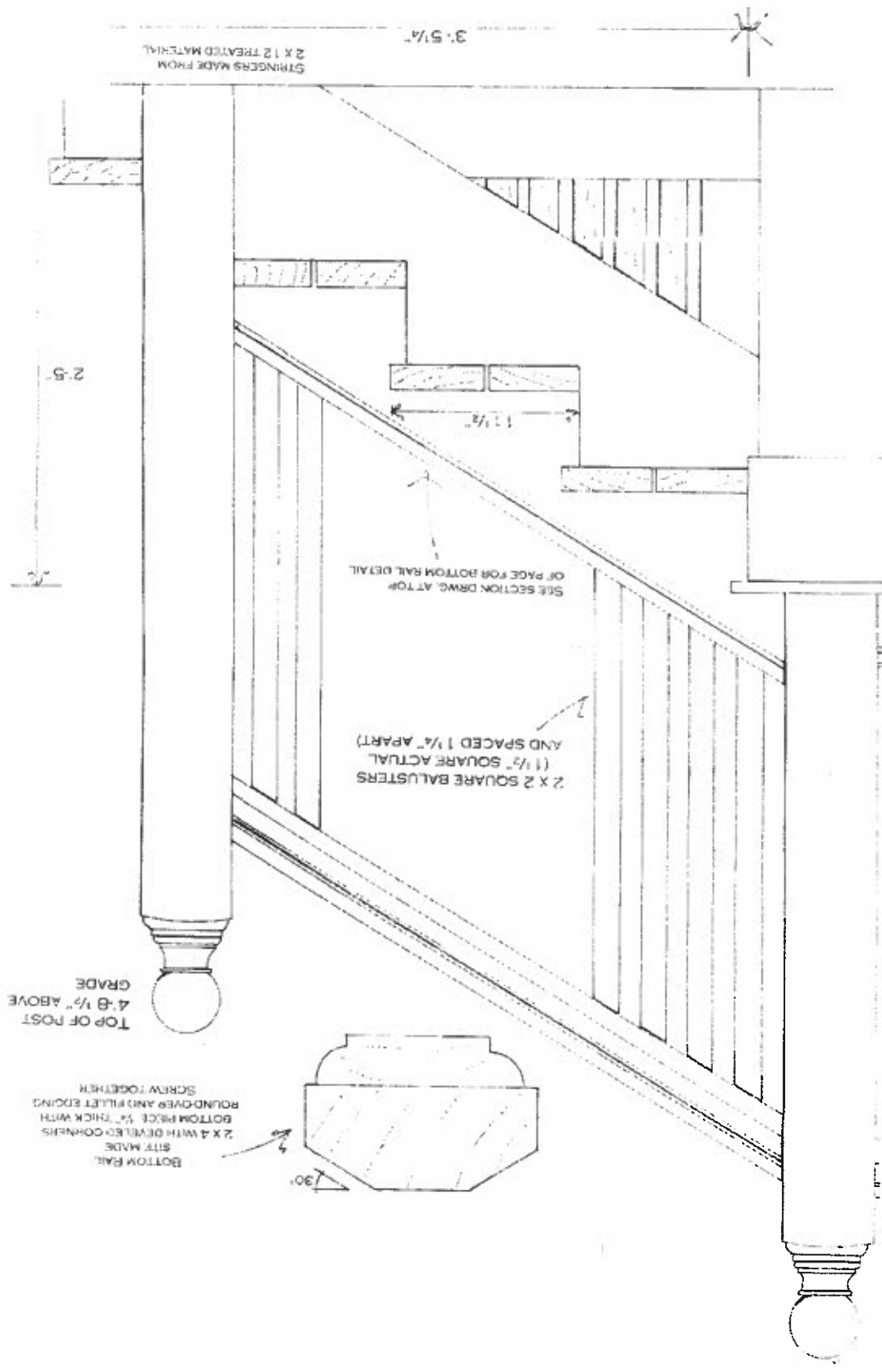
PTS ID 45264 COA, exterior repairs

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness: All work will be done according to attached drawings. All new wood will be painted or stained upon completion. Please note that research has shown that when new, bare wood is exposed to the elements for a period of only a week or two the life of the paint job applied over it is likely to be decreased. All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: piakub@milwaukee.gov. If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.mkedcd.org/build, or call (414) 286-8210.

Paul Jakubovich

City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Robert Bauman, Inspector Joel Walloch (286-8160)



All porch railings and guardrails to be built according to this detail