



CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK

Tuesday, June 08, 2021

COMMITTEE MEETING NOTICE

AD 03

BOURAXIS-AWADALLAH, Dina, Agent
CANELA CAFE LLC
2621 N Downer Ave

Milwaukee, WI 53211

You are requested to attend a virtual hearing to be held on:

Tuesday, June 22, 2021 at 10:30 AM

Regarding: Your Class B Tavern and Food Dealer License Applications as agent for "CANELA CAFE LLC" for "Canela Cafe" at 2621 N DOWNER Av.

This meeting will be held via GoToMeeting. Please see the enclosed best practices document for further instructions. The access code is <https://global.gotomeeting.com/join/743465261>. If you wish to call in, please call +1 (571) 317-3112 and use Access Code: 743-465-261.

There is a possibility that your application may be denied for one or more of the following reasons: The recommendation of the committee regarding the application shall be based on evidence presented at the hearing. Per MCO 85-2.7-4, probative evidence concerning whether or not a new license should be granted may be presented on the following subjects: whether or not the applicant meets the municipal requirements, the appropriateness of the location and premises where the licensed premises is to be located and whether use of the premises for the purposes or activities permitted by the license would tend to facilitate a public or private nuisance or create undesirable neighborhood problems such as disorderly patrons, unreasonably loud noise, litter, and excessive traffic and parking congestion. Probative evidence relating to these matters may be taken from the plan of operation submitted with the license application, if any, but shall not include the content of any music. Evidence regarding the fitness of the location of the premises to be maintained as the principal place of business, including but not limited to whether there is an overconcentration of businesses of the type for which the license is sought; whether the proposal is consistent with any pertinent neighborhood business or development plans, or the location's proximity to areas where children are typically present. The applicant's record in operating similarly licensed premises; and whether or not the applicant has been charged with or convicted of any felony, misdemeanor, municipal offense or other offense, the circumstances of which substantially relate to the activity to be permitted by the license being applied for or any other factor which reasonably relates to the public health, safety or welfare may also be considered. See attached police report or correspondence.

Notice for applicants with warrants or unpaid fines:

Proof of warrant satisfaction or payment of fines must be submitted at the hearing on the above date and time. Failure to comply with this requirement may result in a delay of the granting/denial of your application.

Failure to attend this meeting may result in the denial of your license. Individual applicants and partnership applicants must attend or attend by an attorney. The agent or attorney for corporate or limited liability applicants must attend. If you wish to do so and at your own expense, you may be accompanied by an attorney of your choosing to represent you at this hearing.

You will be given an opportunity to speak on behalf of the application and to respond and challenge any charges or reasons given for the denial. No petitions can be accepted by the committee, unless the people who signed the petition attend the virtual hearing and are willing to testify. You may present witnesses under oath and you may also confront and cross-examine opposing witnesses under oath. If you have difficulty with the English language, you should request an interpreter attend the meeting with you, at your expense, so that you can answer questions and participate in your hearing.

PLEASE NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through sign language interpreters or other auxiliary aids. For additional information or to request this service, contact the Council Services Division ADA Coordinator at (414) 286-2998, Fax - (414) 286-3456, TDD - (414) 286-2025.

JIM OWCZARSKI, CITY CLERK

BY: _____

Jim Cooney

License Division Manager

If you have questions regarding this meeting, please contact the staff assistant, Molly Kuether-Steele at (414) 286-2775 or molly.kuether-steele@milwaukee.gov.

200 E. Wells Street, Room 105, City Hall, Milwaukee, WI 53202. www.milwaukee.gov/license
Phone: (414) 286-2238 Fax: (414) 286-3057 Email Address: License@milwaukee.gov



CITY OF MILWAUKEE
OFFICE OF THE CITY CLERK

Tuesday, June 08, 2021

COMMITTEE MEETING NOTICE

AD 03

BOURAXIS-AWADALLAH, Dina, Agent
CANELA CAFE LLC
2553 W ORCHARD HILLS DR #210

Oak Creek, WI 53134

You are requested to attend a virtual hearing to be held on:

Tuesday, June 22, 2021 at 10:30 AM

Regarding: Your Class B Tavern and Food Dealer License Applications as agent for "CANELA CAFE LLC" for "Canela Cafe" at 2621 N DOWNER Av.

This meeting will be held via GoToMeeting. Please see the enclosed best practices document for further instructions. The access code is <https://global.gotomeeting.com/join/743465261>. If you wish to call in, please call **+1 (571) 317-3112** and use Access Code: 743-465-261.

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JIM OWCZARSKI, CITY CLERK

BY: _____

Jim Cooney

License Division Manager

If you have questions regarding this meeting, please contact the staff assistant, Molly Kuether-Steele at (414) 286-2775 or molly.kuether-steele@milwaukee.gov.

200 E. Wells Street, Room 105, City Hall, Milwaukee, WI 53202. www.milwaukee.gov/license
Phone: (414) 286-2238 Fax: (414) 286-3057 Email Address: License@milwaukee.gov

Date: June 1, 2021
Officer: Felix, Carlos

City of Milwaukee Police Department
90-5-1.5 Crime Prevention Survey
Tavern Inspection

Name of Premise: Canela Café
Address: 2621 N Downer
Phone:

Owner:
Owner address:
City State Zip:
Owner Phone:
Owner email:

Licensee/Agent: Dina Bouraxis-Awadallah
Home Address: 2553 W Orchard Hills Dr.
City State Zip: Oak Creek, Wi 53154
Phone: 414-617-0992
Email: Dinavf530@gmail.com

Preferred contact: Same

Location currently open: YES NO

Projected open date: August 1

Day's open: S M T W Th F SA ALL

Hours of Operation: Sun: 7A-3P 24 hours Y N
Mon: 7A-3P
Tue: 7A-3P
Wed: 7A-3P
Thu: 7A-3P
Fri: 7A-3P
Sat: 7A-3P

Premise Type: Tavern/Bar
 Restaurant
 Other:

Licenses currently held:

- Alcohol: Yes No Class: #:
- Tobacco: Yes No #:
- Food: Yes No #:
- Occupancy: Yes No #:
- Other: Yes No Type: #:
- Other: Yes No Type: #:

Exterior Survey:

1. Is the area around the location clean? Yes No
2. What surrounds the location? (Check all the apply)
 - a. Park
 - b. School
 - c. Youth Center
 - d. Church
 - e. Tavern(s) If so, how many
 - f. Residential
 - g. Other businesses
 - h. Other:
3. Can you see from the outside of the location into the interior Yes No
4. Can you see the employees inside of the location from the outside Yes No
5. Are exterior windows free of signage Yes No
6. Is there a bus stop? Yes No
7. Is there a bus shelter? Yes No N/A
8. Street parking Yes No
9. Is there a parking lot Yes No
10. Is the parking lot clean? Yes No N/A
11. Is the parking lot well lit? Yes No N/A
12. Valet Parking Yes No
 - a. Will this lot have a guard? Yes No N/A
 - b. Will this lot have cameras? Yes No N/A
13. Are there areas where a person could conceal themselves Yes No
14. Is there exterior lighting? Yes No. Does it appears to be adequate Yes No
15. Exterior Payphone? Yes No
16. Are there No Loitering Signs posted? Yes No
17. Are there exterior security cameras Yes No How Many:
18. Are the address numbers prominently displayed and easy to see Yes No

Exterior Comments:

Camera Survey:

19. Does this location have security cameras? Yes No
20. Are they in working order? Yes No
21. What format are the cameras?
 - a. Color Yes No
 - b. Digital Yes No
 - c. VCR Yes No

- d. Recorded Yes No
22. How long is footage stored for later viewing: N/A
23. Are there exterior cameras Yes No How many:
24. Are there interior cameras Yes No How many: 4
25. Do all employees know how to retrieve recorded digital images/footage? Yes No
26. Cameras located in parking lot Yes No N/A How many

Camera Survey Comments:

Interior Survey:

27. What is the planned/posted capacity UNKNOWN
28. What is the minimum number of employees that will be on premise 15
29. Is the storeowner willing to be a standing complainant regarding loitering? Yes No
- a. If yes have them fill out the standing complaint form and give them two of the commercial signs Yes No
30. Is the interior of the location neat and clean? Yes No
31. Does an interior camera face the entrance/exit? Yes No
32. Are emergency and non-emergency numbers posted near the phone? Yes No
33. Does the owner know how to contact their police district directly? Yes No
- a. Did you provide a district contact guide to the owner? Yes No

Interior Comments:

Security

34. How many security personnel are going to be employed: N/A
35. How will they be deployed: Interior Exterior N/A
36. What days will they be deployed Mon Tue Wed Thu Fri Sat Sun ALL
37. Will the security be managed by business or contracted
38. Will they be armed Yes No N/A
39. What type of security measures will be used: N/A
- Wanding/metal detector
 - ID Scanner
 - Dress Code
 - Cover Charge
 - Age restriction
 - Other
40. When at capacity, how will the overflow crowd be managed? Waiting list
41. Will a guard monitor the overflow crowd at all times? Yes No

Security Comments:

ADDITIONAL COMMENTS/RECOMMENDATIONS:

On Tuesday June 1, 2021 at 12:00PM I Officer Carlos Felix conducted a CPTED inspection at 2621 N. Downer Ave. I met with the agent and her husband Reiod Awadllah at the property. Reiod explained that there is some minor renovation but the floor plan will remain the same as that of the old business. The property is divided into three sections, a front, center, and rear section that can be closed off. The Rear section will be used as an overflow room or for large parties. There are four interior cameras in place, but were not functional at the time of the

inspection. Plans are to add four additional interior cameras. The office is located off the kitchen area and has a locking door. I advised that a camera should monitor the office, and the camera hard drive should be secured along with a safe box that was not bolted down in the office. There will not be a bar and all drinks will be served by staff, and only wine and beer is planned to be sold.

End of CPTED

2621 N Downer Ave

Summary

Name	Count	Area(ft ²)	Length(mi)
Alcohol Licenses	18		

Alcohol Licenses

#	Legal Entity	Trade Name	Licensee	Address	License Type Name	Total Capacity	Expiration Date	Count
1	Giri Corporation	Stone Creek Coffee	Eric A Resch, Agt	2650 N Downer AV	Class B Fermented Malt Beverage Retailer's License		9/20/2021, 7:00 PM	1
2	Giri Corporation	Stone Creek Coffee	Eric A Resch, Agt	2650 N Downer AV	Class C Wine Retailer's License	144	9/20/2021, 7:00 PM	1
3	Yangzi, LLC	Huan Xi	Jun Yang, Agt	2428 N Murray AV	Class B Fermented Malt Beverage Retailer's License		10/31/2021, 7:00 PM	1
4	CAFE HOLLANDER DOWNER AVE LLC	CAFE HOLLANDER	ERIC G WAGNER, Agt	2608 N DOWNER AV	Class B Tavern License	200	11/1/2021, 7:00 PM	1
5	Yangzi, LLC	Huan Xi	Jun Yang, Agt	2428 N Murray AV	Class C Wine Retailer's License		10/31/2021, 7:00 PM	1
6	Nehring's Sendik's on Downer, LLC	Nehring's Sendik's on Downer	ANNE C FINCH-NEHRING, Agt	2643 N Downer AV	Class B Tavern License		10/13/2021, 7:00 PM	1
7	HENRY'S TAVERN, LLC	HENRY'S TAVERN	NADER H PAKROO, Agt	2523 E BELLEVIEW PL	Class B Tavern License	50	2/9/2022, 6:00 PM	1
8	WHOLE FOODS MARKET GROUP, INC	WHOLE FOODS MARKET	Brooke M Remitz, Agt	2305 N PROSPECT AV	Class B Tavern License		6/12/2021, 7:00 PM	1
9	EASTCASTLE PLACE, INC	EASTCASTLE PLACE	LAURA A WENGLER, Agt	2505 E BRADFORD AV	Class B Tavern License		6/18/2021, 7:00 PM	1
10	Za Man, LLC	Pizza Man	Kaelyn M Cervero, Agt	2595-97 N Downer AV	Class B Tavern License		7/5/2021, 7:00 PM	1
11	Cinema Beverages Holding Company LLC	Downer Theatre	DEBORAH TZORTZOS, Agt	2589 N Downer AV	Class B Tavern License	465	4/12/2022, 7:00 PM	1
12	The Jazz Estate Inc	The Jazz Estate	JOHN M DYE, Agt	2423 N MURRAY AV	Class B Tavern License	65	12/14/2021, 6:00 PM	1
13	KCS WINE & SPIRITS, INC	DOWNER WINE & SPIRITS	MARK G NORD, Agt	2638 N DOWNER AV	Class A Malt & Class A Liquor License		7/10/2021, 7:00 PM	1
14	Milwaukee Catholic Home Inc	Milwaukee Catholic Home	Robert F Frediani, Agt	2462 N PROSPECT AV	Class B Tavern License		7/30/2021, 7:00 PM	1
15	H & H ASSAD, LLC	PARKSIDE LIQUOR & GROCERY	HANA O UPRIGHT, Agt	2700 N MURRAY AV	Class A Malt & Class A Liquor License		8/16/2021, 7:00 PM	1
16	FOUR STAR INC OF MILWAUKEE	MURRAY PANTRY	MURAD M ALI, Agt	2430 N MURRAY AV	Class A Fermented Malt Beverage Retailer's License		1/14/2022, 6:00 PM	1
17	MARY BART, LLC	BARTOLOTTA'S LAKE PARK BISTRO	JOHN M WISE, Agt	3133 E NEWBERRY BL	Class B Tavern License	200	9/21/2021, 7:00 PM	1

18	BelAir Cantina Downer Inc	BelAir Cantina Downer	KRISTYN A Eitel, Agt	2625 N DOWNER AV	Class B Tavern License	150	9/27/2021, 7:00 PM	1
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Establishments within a 0.5 miles radius centered on area of interest.



Tuesday, June 08, 2021

Licenses Committee Notice of Hearing

Java Dream LLC
UPSIDE DOWNER LLC
2025 N Summit Av #200
Milwaukee, WI 53202

The Licenses Committee will consider the following license application:

Class B Tavern and Food Dealer License Applications
BOURAXIS-AWADALLAH, Dina, Agent
Canela Cafe at 2621 N DOWNER Av

Date: 6/22/2021

Time: 10:30 AM

Location: The hearing before the Licenses Committee will take place virtually on Tuesday, June 22, 2021. This is a public hearing. Those wishing to view the proceeding are able to do so via the City Channel – Channel 25 on Spectrum Cable – or on the Internet at <http://city.milwaukee.gov/citychannel>. Those wishing to provide oral testimony will be asked to do so by phone or internet and are asked to contact the staff assistant, Molly Kuether-Steele at (414) 286-2775 or molly.kuether-steele@milwaukee.gov for necessary information. Please make such requests no later than one business day prior to the start of the meeting. You are not required to attend the hearing, but please see the information below if you would like to provide testimony

Please note this application may be recommended for denial based on fitness of the location due to concentration of alcohol beverage outlets in the area. If the application is denied for this reason, no other application for an alcohol beverage license for this location shall be recommended for approval by the Licenses Committee within three years of the date of denial unless the applicant has demonstrated a change of circumstances since the prior denial.





Tuesday, June 08, 2021



Notice of Public Hearing

blank
notice

BOURAXIS-AWADALLAH, Dina, Agent
Canela Cafe at 2621 N DOWNER Av
Class B Tavern and Food Dealer License Applications

Tuesday, June 22, 2021 at 10:30 AM

To whom it may concern:

The above application has been made by the above named applicant(s). This requires approval from the Licenses Committee and the Common Council of the City of Milwaukee. The hearing before the Licenses Committee will take place virtually on 6/22/2021 at 10:30 AM. This is a public hearing. Those wishing to view the proceeding are able to do so via the City Channel – Channel 25 on Spectrum Cable – or on the Internet at <http://city.milwaukee.gov/citychannel>. Those wishing to provide oral testimony will be asked to do so by phone or internet and are asked to contact the staff assistant, Molly Kuether-Steele at (414) 286-2775 or molly.kuether-steele@milwaukee.gov for necessary information. Please make such requests no later than one business day prior to the start of the meeting. You are not required to attend the hearing, but please see the information below if you would like to provide testimony. Once the Licenses Committee makes its recommendation, this recommendation is forwarded to the full Common Council for approval at its next regularly scheduled hearing.

Important details for those wishing to provide information for the Licenses Committee to consider when making its recommendation:

1. The license application is scheduled to be heard at the above time. Due to other hearings running longer than scheduled, you may have to wait some time to provide your testimony.
2. You must testify as to matters that you have personally experienced or seen. (You cannot provide testimony for your neighbor, parent or anyone else; this is considered hearsay and cannot be considered by the committee.)
3. No letters or petitions can be accepted by the committee (unless the person who wrote the letter or the persons who signed the petition are willing to testify).
4. Persons opposed to the license application are given the opportunity to testify first; supporters may testify after the opponents have finished.
5. When you are called to testify, you will be sworn in and asked to give your name, and address. (If your first and/or last names are uncommon please spell them.)
6. You may then provide testimony.
 - a. Include only information relating to the above license application.
 - b. Include only information you have personally witnessed or seen.
 - c. Provide concise and relevant information detailing how this business has affected or may affect the peaceful enjoyment of your neighborhood.
 - d. If by the time you have the opportunity to testify, the information you wish to share has already been provided to the committee, you may state that you agree with the previous testimony. Redundant or repetitive testimony will not assist the committee in making its recommendation.
7. After giving your testimony, the members of the Licenses Committee and the licensee may ask questions regarding the testimony you have given or other factors relating to the license application.
8. Business Competition is not a valid basis for denial or non-renewal of a license.

Please Note: If you have submitted an objection to the above application your objection cannot be considered by the committee unless you personally testify at the hearing.

OCCUPANT	MAIL ADDRESS	CITY STATE ZIP
BUSINESS OCCUPANT	2523 E BELLEVIEW PL	MILWAUKEE, WI 53211-4226
BUSINESS OCCUPANT	2524 E WEBSTER PL, 201	MILWAUKEE, WI 53211-4257
BUSINESS OCCUPANT	2524 E WEBSTER PL, 202	MILWAUKEE, WI 53211-4257
BUSINESS OCCUPANT	2524 E WEBSTER PL, 203	MILWAUKEE, WI 53211-4257
BUSINESS OCCUPANT	2524 E WEBSTER PL, 301	MILWAUKEE, WI 53211-4268
BUSINESS OCCUPANT	2524 E WEBSTER PL, 302	MILWAUKEE, WI 53211-4268
BUSINESS OCCUPANT	2524 E WEBSTER PL, 303	MILWAUKEE, WI 53211-4268
BUSINESS OCCUPANT	2524 E WEBSTER PL, 304	MILWAUKEE, WI 53211-4268
BUSINESS OCCUPANT	2524 E WEBSTER PL, 305	MILWAUKEE, WI 53211-4268
BUSINESS OCCUPANT	2532 E BELLEVIEW PL	MILWAUKEE, WI 53211-4225
BUSINESS OCCUPANT	2532 E BELLEVIEW PL	MILWAUKEE, WI 53211-4225
BUSINESS OCCUPANT	2551 N DOWNER AVE	MILWAUKEE, WI 53211-4242
BUSINESS OCCUPANT	2559 N DOWNER AVE	MILWAUKEE, WI 53211-4242
BUSINESS OCCUPANT	2567 N DOWNER AVE	MILWAUKEE, WI 53211-4242
BUSINESS OCCUPANT	2580 N DOWNER AVE	MILWAUKEE, WI 53211-4243
BUSINESS OCCUPANT	2581 N DOWNER AVE	MILWAUKEE, WI 53211-4242
BUSINESS OCCUPANT	2589 N DOWNER AVE	MILWAUKEE, WI 53211-4242
BUSINESS OCCUPANT	2590 N DOWNER AVE	MILWAUKEE, WI 53211-4243
BUSINESS OCCUPANT	2607 N DOWNER AVE	MILWAUKEE, WI 53211-4245
BUSINESS OCCUPANT	2608 N DOWNER AVE	MILWAUKEE, WI 53211-4244
BUSINESS OCCUPANT	2615 N DOWNER AVE	MILWAUKEE, WI 53211-4245
BUSINESS OCCUPANT	2618 N HACKETT AVE	MILWAUKEE, WI 53211-3832
BUSINESS OCCUPANT	2621 N DOWNER AVE	MILWAUKEE, WI 53211-4245
BUSINESS OCCUPANT	2622 N DOWNER AVE	MILWAUKEE, WI 53211-4244
BUSINESS OCCUPANT	2624 N DOWNER AVE	MILWAUKEE, WI 53211-4244
BUSINESS OCCUPANT	2625 N DOWNER AVE	MILWAUKEE, WI 53211-4245
BUSINESS OCCUPANT	2629 N DOWNER AVE	MILWAUKEE, WI 53211-4245
BUSINESS OCCUPANT	2631 N DOWNER AVE	MILWAUKEE, WI 53211-4245
BUSINESS OCCUPANT	2632 N DOWNER AVE	MILWAUKEE, WI 53211-4244
BUSINESS OCCUPANT	2634 N DOWNER AVE	MILWAUKEE, WI 53211-4244
BUSINESS OCCUPANT	2636 N DOWNER AVE	MILWAUKEE, WI 53211-4244
BUSINESS OCCUPANT	2638 N DOWNER AVE	MILWAUKEE, WI 53211-4244
BUSINESS OCCUPANT	2639 N DOWNER AVE	MILWAUKEE, WI 53211-4254
BUSINESS OCCUPANT	2639 N DOWNER AVE, 1	MILWAUKEE, WI 53211-4254
BUSINESS OCCUPANT	2639 N DOWNER AVE, 2	MILWAUKEE, WI 53211-4254
BUSINESS OCCUPANT	2639 N DOWNER AVE, 3	MILWAUKEE, WI 53211-4254
BUSINESS OCCUPANT	2639 N DOWNER AVE, 4	MILWAUKEE, WI 53211-4254
BUSINESS OCCUPANT	2639 N DOWNER AVE, 5	MILWAUKEE, WI 53211-4254
BUSINESS OCCUPANT	2643 N DOWNER AVE	MILWAUKEE, WI 53211-4245
BUSINESS OCCUPANT	2647 N STOWELL AVE	MILWAUKEE, WI 53211-4221
BUSINESS OCCUPANT	2649 N DOWNER AVE	MILWAUKEE, WI 53211-4245
BUSINESS OCCUPANT	2650 N DOWNER AVE	MILWAUKEE, WI 53211-4244
BUSINESS OCCUPANT	2651 N DOWNER AVE, 10	MILWAUKEE, WI 53211-4270
BUSINESS OCCUPANT	2651 N DOWNER AVE, 6	MILWAUKEE, WI 53211-4270
BUSINESS OCCUPANT	2651 N DOWNER AVE, 7	MILWAUKEE, WI 53211-4270
BUSINESS OCCUPANT	2651 N DOWNER AVE, 8	MILWAUKEE, WI 53211-4270

CURRENT OCCUPANT	2508 E BELLEVIEW PL, 51	MILWAUKEE, WI 53211-4230
CURRENT OCCUPANT	2508 E BELLEVIEW PL, 52	MILWAUKEE, WI 53211-4230
CURRENT OCCUPANT	2508 E BELLEVIEW PL, 53	MILWAUKEE, WI 53211-4230
CURRENT OCCUPANT	2508 E BELLEVIEW PL, 54	MILWAUKEE, WI 53211-4230
CURRENT OCCUPANT	2508 E BELLEVIEW PL, 55	MILWAUKEE, WI 53211-4230
CURRENT OCCUPANT	2508 E BELLEVIEW PL, 56	MILWAUKEE, WI 53211-4230
CURRENT OCCUPANT	2508 E BELLEVIEW PL, 57	MILWAUKEE, WI 53211-4230
CURRENT OCCUPANT	2508 E BELLEVIEW PL, 58	MILWAUKEE, WI 53211-4230
CURRENT OCCUPANT	2508 E BELLEVIEW PL, 59C	MILWAUKEE, WI 53211-4230
CURRENT OCCUPANT	2508 E BELLEVIEW PL, 59D	MILWAUKEE, WI 53211-4230
CURRENT OCCUPANT	2508 E BELLEVIEW PL, 6	MILWAUKEE, WI 53211-4228
CURRENT OCCUPANT	2508 E BELLEVIEW PL, 61	MILWAUKEE, WI 53211-4230
CURRENT OCCUPANT	2508 E BELLEVIEW PL, 62	MILWAUKEE, WI 53211-4230
CURRENT OCCUPANT	2508 E BELLEVIEW PL, 63	MILWAUKEE, WI 53211-4230
CURRENT OCCUPANT	2508 E BELLEVIEW PL, 64	MILWAUKEE, WI 53211-4230
CURRENT OCCUPANT	2508 E BELLEVIEW PL, 65	MILWAUKEE, WI 53211-4230
CURRENT OCCUPANT	2508 E BELLEVIEW PL, 66	MILWAUKEE, WI 53211-4230
CURRENT OCCUPANT	2508 E BELLEVIEW PL, 67	MILWAUKEE, WI 53211-4230
CURRENT OCCUPANT	2508 E BELLEVIEW PL, 68	MILWAUKEE, WI 53211-4230
CURRENT OCCUPANT	2508 E BELLEVIEW PL, 7	MILWAUKEE, WI 53211-4228
CURRENT OCCUPANT	2508 E BELLEVIEW PL, 8	MILWAUKEE, WI 53211-4228
CURRENT OCCUPANT	2508 E BELLEVIEW PL, 9B	MILWAUKEE, WI 53211-4233
CURRENT OCCUPANT	2511 E BELLEVIEW PL, A	MILWAUKEE, WI 53211-4234
CURRENT OCCUPANT	2511 E BELLEVIEW PL, B	MILWAUKEE, WI 53211-4234
CURRENT OCCUPANT	2511 E BELLEVIEW PL, C	MILWAUKEE, WI 53211-4234
CURRENT OCCUPANT	2511 E BELLEVIEW PL, D	MILWAUKEE, WI 53211-4234
CURRENT OCCUPANT	2511 E BELLEVIEW PL, E	MILWAUKEE, WI 53211-4234
CURRENT OCCUPANT	2511 E BELLEVIEW PL, F	MILWAUKEE, WI 53211-4234
CURRENT OCCUPANT	2513 E PARK PL, 1	MILWAUKEE, WI 53211-3723
CURRENT OCCUPANT	2513 E PARK PL, 2	MILWAUKEE, WI 53211-3723
CURRENT OCCUPANT	2513 E PARK PL, 3	MILWAUKEE, WI 53211-3723
CURRENT OCCUPANT	2513 E PARK PL, 4	MILWAUKEE, WI 53211-3723
CURRENT OCCUPANT	2513 E PARK PL, 5	MILWAUKEE, WI 53211-3723
CURRENT OCCUPANT	2513 E PARK PL, 6	MILWAUKEE, WI 53211-3723
CURRENT OCCUPANT	2576 N STOWELL AVE, U	MILWAUKEE, WI 53211-4215
CURRENT OCCUPANT	2576 N STOWELL AVE, V	MILWAUKEE, WI 53211-4215
CURRENT OCCUPANT	2576 N STOWELL AVE, W	MILWAUKEE, WI 53211-4215
CURRENT OCCUPANT	2576 N STOWELL AVE, X	MILWAUKEE, WI 53211-4215
CURRENT OCCUPANT	2576 N STOWELL AVE, Y	MILWAUKEE, WI 53211-4215
CURRENT OCCUPANT	2576 N STOWELL AVE, Z	MILWAUKEE, WI 53211-4215
CURRENT OCCUPANT	2577 N DOWNER AVE, 202	MILWAUKEE, WI 53211-4253
CURRENT OCCUPANT	2577 N DOWNER AVE, 208	MILWAUKEE, WI 53211-4253
CURRENT OCCUPANT	2582 N STOWELL AVE, APT N	MILWAUKEE, WI 53211-4218
CURRENT OCCUPANT	2582 N STOWELL AVE, APT O	MILWAUKEE, WI 53211-4218
CURRENT OCCUPANT	2582 N STOWELL AVE, APT Q	MILWAUKEE, WI 53211-4218
CURRENT OCCUPANT	2582 N STOWELL AVE, APT R	MILWAUKEE, WI 53211-4218
CURRENT OCCUPANT	2582 N STOWELL AVE, APT S	MILWAUKEE, WI 53211-4218

CURRENT OCCUPANT	2582 N STOWELL AVE, APT T	MILWAUKEE, WI 53211-4218
CURRENT OCCUPANT	2590 N STOWELL AVE, G	MILWAUKEE, WI 53211-4219
CURRENT OCCUPANT	2590 N STOWELL AVE, H	MILWAUKEE, WI 53211-4219
CURRENT OCCUPANT	2590 N STOWELL AVE, J	MILWAUKEE, WI 53211-4219
CURRENT OCCUPANT	2590 N STOWELL AVE, K	MILWAUKEE, WI 53211-4219
CURRENT OCCUPANT	2590 N STOWELL AVE, L	MILWAUKEE, WI 53211-4219
CURRENT OCCUPANT	2590 N STOWELL AVE, M	MILWAUKEE, WI 53211-4219
CURRENT OCCUPANT	2594 N STOWELL AVE	MILWAUKEE, WI 53211-4213
CURRENT OCCUPANT	2611 N STOWELL AVE, A	MILWAUKEE, WI 53211-4222
CURRENT OCCUPANT	2611 N STOWELL AVE, B	MILWAUKEE, WI 53211-4222
CURRENT OCCUPANT	2611 N STOWELL AVE, C	MILWAUKEE, WI 53211-4222
CURRENT OCCUPANT	2611 N STOWELL AVE, D	MILWAUKEE, WI 53211-4222
CURRENT OCCUPANT	2611 N STOWELL AVE, E	MILWAUKEE, WI 53211-4222
CURRENT OCCUPANT	2611 N STOWELL AVE, F	MILWAUKEE, WI 53211-4222
CURRENT OCCUPANT	2613 N STOWELL AVE	MILWAUKEE, WI 53211-4221
CURRENT OCCUPANT	2618 N STOWELL AVE	MILWAUKEE, WI 53211-4220
CURRENT OCCUPANT	2619 E PARK PL	MILWAUKEE, WI 53211-3841
CURRENT OCCUPANT	2621 N STOWELL AVE	MILWAUKEE, WI 53211-4221
CURRENT OCCUPANT	2622 N STOWELL AVE	MILWAUKEE, WI 53211-4220
CURRENT OCCUPANT	2624 N STOWELL AVE	MILWAUKEE, WI 53211-4220
CURRENT OCCUPANT	2625 N STOWELL AVE	MILWAUKEE, WI 53211-4221
CURRENT OCCUPANT	2627 N STOWELL AVE	MILWAUKEE, WI 53211-4221
CURRENT OCCUPANT	2628 N STOWELL AVE, 1	MILWAUKEE, WI 53211-4223
CURRENT OCCUPANT	2628 N STOWELL AVE, 2	MILWAUKEE, WI 53211-4223
CURRENT OCCUPANT	2628 N STOWELL AVE, 3	MILWAUKEE, WI 53211-4223
CURRENT OCCUPANT	2628 N STOWELL AVE, 4	MILWAUKEE, WI 53211-4223
CURRENT OCCUPANT	2628 N STOWELL AVE, 5	MILWAUKEE, WI 53211-4223
CURRENT OCCUPANT	2628 N STOWELL AVE, 6	MILWAUKEE, WI 53211-4223
CURRENT OCCUPANT	2629 N HACKETT AVE	MILWAUKEE, WI 53211-3833
CURRENT OCCUPANT	2633 N HACKETT AVE, A	MILWAUKEE, WI 53211-3834
CURRENT OCCUPANT	2633 N HACKETT AVE, B	MILWAUKEE, WI 53211-3834
CURRENT OCCUPANT	2633 N HACKETT AVE, C	MILWAUKEE, WI 53211-3834
CURRENT OCCUPANT	2633 N HACKETT AVE, D	MILWAUKEE, WI 53211-3834
CURRENT OCCUPANT	2633 N HACKETT AVE, E	MILWAUKEE, WI 53211-3834
CURRENT OCCUPANT	2633 N HACKETT AVE, F	MILWAUKEE, WI 53211-3834
CURRENT OCCUPANT	2633 N STOWELL AVE	MILWAUKEE, WI 53211-4221
CURRENT OCCUPANT	2634 N STOWELL AVE, 7	MILWAUKEE, WI 53211-4224
CURRENT OCCUPANT	2634 N STOWELL AVE, A	MILWAUKEE, WI 53211-4224
CURRENT OCCUPANT	2634 N STOWELL AVE, B	MILWAUKEE, WI 53211-4224
CURRENT OCCUPANT	2634 N STOWELL AVE, C	MILWAUKEE, WI 53211-4224
CURRENT OCCUPANT	2634 N STOWELL AVE, D	MILWAUKEE, WI 53211-4224
CURRENT OCCUPANT	2634 N STOWELL AVE, E	MILWAUKEE, WI 53211-4224
CURRENT OCCUPANT	2634 N STOWELL AVE, F	MILWAUKEE, WI 53211-4224
CURRENT OCCUPANT	2635 N STOWELL AVE	MILWAUKEE, WI 53211-4221
CURRENT OCCUPANT	2637 N STOWELL AVE	MILWAUKEE, WI 53211-4221
CURRENT OCCUPANT	2640 N STOWELL AVE	MILWAUKEE, WI 53211-4220
CURRENT OCCUPANT	2641 N HACKETT AVE, 1	MILWAUKEE, WI 53211-3835

CURRENT OCCUPANT	2641 N HACKETT AVE, 2	MILWAUKEE, WI 53211-3835
CURRENT OCCUPANT	2641 N HACKETT AVE, 3	MILWAUKEE, WI 53211-3835
CURRENT OCCUPANT	2641 N HACKETT AVE, 4	MILWAUKEE, WI 53211-3835
CURRENT OCCUPANT	2641 N HACKETT AVE, 5	MILWAUKEE, WI 53211-3835
CURRENT OCCUPANT	2641 N HACKETT AVE, 6	MILWAUKEE, WI 53211-3835
CURRENT OCCUPANT	2649 N HACKETT AVE, 1	MILWAUKEE, WI 53211-3836
CURRENT OCCUPANT	2649 N HACKETT AVE, 2	MILWAUKEE, WI 53211-3836
CURRENT OCCUPANT	2649 N HACKETT AVE, 3	MILWAUKEE, WI 53211-3836
CURRENT OCCUPANT	2649 N HACKETT AVE, 4	MILWAUKEE, WI 53211-3836
CURRENT OCCUPANT	2649 N HACKETT AVE, 5	MILWAUKEE, WI 53211-3836
CURRENT OCCUPANT	2649 N HACKETT AVE, 6	MILWAUKEE, WI 53211-3836
CURRENT OCCUPANT	2649 N HACKETT AVE, 7	MILWAUKEE, WI 53211-3836
CURRENT OCCUPANT	2651A N DOWNER AVE	MILWAUKEE, WI 53211-4245
blank	notice	

Total Records: 200

Radius: 250.0 feet and Center of Circle: 2621 N Downer Ave



BUSINESS LICENSE PLAN OF OPERATION

ccl-busplan 5/12/2020

Office of the City Clerk License Division
200 E. Wells St. Room 105, Milwaukee, WI 53202
(414) 286-2238 www.milwaukee.gov/license e-mail address: license@milwaukee.gov

1. Type of Business

Applying for: Extended Hours (12AM to 5AM) - If a food establishment, check all that apply: Delivery Drive Thru Dining Room
 Self Service Laundry Massage Establishment Filling Station
 Other (supplemental application for specific license also required)

Provide a detailed description of the type of business you plan on operating:

Restaurant - Food & drinks served in dining room

Do you have any experience operating this type of business? No Yes If yes, explain: I've work in the industry for over 20 years.

2. Business Operations

- a. Proposed Opening Date: July 1st, 2021
- b. Is this premise under construction? No Yes If yes, list estimated completion date: _____
- c. Is this a franchise? No Yes
- d. Is this premises currently licensed? No Yes If yes, list type of license: _____
- e. Is the current licensee operating? No Yes If no, list date closed: _____
- f. Do you have future plans for other businesses, licenses or permits at this location? No Yes
If yes, explain: _____
- g. Have you previously held an Extended Hours License in Milwaukee? No Yes
If yes, list address(es): _____
- h. Are other businesses operating in the same building? No Yes If yes, describe: building has multiple units

3. Litter & Noise

- a. How are grounds kept clean? Sweep Pressure Wash Pick Up Litter Other: _____
- b. How often will grounds be cleaned? Daily Weekly As Needed Monthly Other: _____
- c. Grounds cleaned by: Licensee Building Owner Employees Hired Maintenance Other: _____
- d. How are noise issues prevented and/or addressed? Security Manager approaches customer(s) Call Police
 Signs Posted Other: _____
- e. Will a sound amplification system be used? No Yes If yes, describe: _____

4. Smoking & Sanitation

- a. Are there designated outdoor smoking areas? No Yes If yes, describe: _____
- b. Number of Garbage Cans: Inside: 12 Locations: bathrooms, kitchen, dining rooms and entrance
Outside: 2 Locations: behind building in alley
- c. Is a crowd control barrier used? No Yes If yes, describe: _____
- d. How many restrooms are on the premises? 4
- e. Name of solid waste contractor: Advanced Disposal Waste Management Other: _____

5. Security

a. Are there onsite parking spaces? No Yes If yes, how many? _____ and describe the parking security plan: _____

b. Is there a loading zone? No Yes If yes, describe the loading area security plan: _____

c. Will you have security personnel on premise? No Yes If yes, how many? _____ and answer the following:

What are their responsibilities? _____

Is security equipment used? No Yes If yes, describe _____

List their licensing, certification, or training credentials _____

d. Will there be security cameras? No Yes If yes, how many? 4 and list locations: kitchen, dining rooms, front entrance and back door

e. Will searches/identification checks be done upon entry? No Yes If yes, describe _____

6. Percentage of Sales (must total 100%)

Alcohol <u>15%</u>	Food <u>85%</u>	Secondhand Merchandise <u>0%</u>	Precious Metals & Gems <u>0%</u>
Entertainment <u>0%</u>	Cigarettes <u>0%</u>	Personal Services (such as tattoo, body piercing, salon, tailor, tanning, etc.) <u>0%</u>	Other _____% Describe: _____
Pawnbroker Activity <u>0%</u>	Salvaged Materials (such as scrap metal) <u>0%</u>		

7. Businesses/Licenses on the Premises (check all that apply):

Type 1

- Full Service Restaurant
- Night Club
- Banquet Hall
- Hotel/Motel: Number of Floors: _____ Number of Rooms: _____
- Cafe/Coffee Shop
- Tavern
- Sports Facility
- Rooming House: Number of Floors: _____ Number of Rooms: _____
- Deli or Fast Food Restaurant
- Cocktail Lounge
- Bowling Alley
- Private/Fraternal/Veterans Club
- Teen Club

Type 2

- Liquor Store
- Gas Station
- Used Car Dealer
- Corner Store
- Amusement/Phonograph Distributor
- Personal Service Establishment (such as tattoo business, hair salon, tailor, etc.)
- Supermarket
- Convenience Store
- Recycling, Salvage or Towing
- Recording Studio

What other licenses/permits will you hold at this location? (check all that apply)

- Occupancy Permit
- Cigarette & Tobacco
- Gas Station
- Extended Hours
- Class "B" Tavern
- Weights & Measures
- Secondhand Dealer
- Precious Metal & Gem
- Other: _____

8. Legal Capacity (only if a Type 1 premises in #7 above)

Capacity 140 (Call the Milwaukee Development Center at 414-286-8211 if you have questions.)

9. Premises Description

- a. Identify all area(s) of the premises that will be used in operating this business (include areas used only for storage):
 1st Floor 2nd Floor Basement Storage Patio Beer Garden Sidewalk Café Deck Rooftop
 Other: Describe: _____
- b. Describe Location: Major Thoroughfare Secondary Street Other: _____
- c. Nearest Major Cross Street: Downer Ave & Locust St.
- d. Describe Building: Free Standing Building Strip Mall Other: _____
- e. Describe Premises Structure: Single Story Multi-Story - # of Stories _____ Other: _____
- f. Describe Surrounding Area: Commercial Residential Industrial Other: _____
- g. Building Owner Name: DOMINION Properties Phone Number: (414) 264-5901
 Building Owner Address: 2025 N. Summit Ave suit 200 Milwaukee WI 53202

10. Hours of Operation & Customers


Will customers be entering the premises? No Yes

Day of the Week	Proposed Hours of Operation:		Estimated Number of Customers expected each day	Potential Age Range of Customers	Class B Tavern Applicant Only: Age Restriction (If none, write 'None')
	Open Time (Include a.m. or p.m.)	Close Time (Include a.m. or p.m.)			
Sunday	7:00 am	3:00 pm	750	8-65	21
Monday	7:00 am	3:00 pm	200		
Tuesday	7:00 am	3:00 pm	200		
Wednesday	7:00 am	3:00 pm	250		
Thursday	7:00 am	3:00 pm	300		
Friday	7:00 am	3:00 pm	350		
Saturday	7:00 am	3:00 pm	700		

An Extended Hours Establishment License is required for any convenience store, filling station, personal service establishment (such as tattoo, body piercing, salon, tailor, tanning, etc.); recording studio or restaurant which is open between the hours of 12:00 a.m. and 5:00 a.m.

Alcohol Establishments Permitted Hours of Operation: Class A: 8:00 am to 9:00 pm Sunday thru Saturday
 Class B: 6:00 am to 2:00 am Sunday thru Thursday, 6:00 am to 2:30 am Friday & Saturday
 Entertainment Outdoor Closing Hours: 10:00pm Sunday-Thursday; 12:00am Friday & Saturday; unless a different time, either earlier or later, is established by the Common Council in its approval of the licensee's plan of operation.

11. Signature(s)

 _____
 Signature of Sole Proprietor, Partner, or 20% or more Shareholder
 (If there are no 20% or more shareholders, Corporate Officer: print name/title and sign)

 Signature of additional partner or 20% or more shareholder

See Application Information for a complete list of all required application forms.



ALCOHOL BEVERAGE & PUBLIC ENTERTAINMENT PREMISES SUPPLEMENTAL APPLICATION

Office of the City Clerk License Division
200 E. Wells St. Room 105, Milwaukee, WI 53202
(414) 286-2238 e-mail address: license@milwaukee.gov www.milwaukee.gov/license

Legal Entity Name:	<u>Canela Cafe LLC</u>
Premise Address:	<u>2621 N. Downer Ave. Milwaukee, WI 53211</u>
Proximity of Premises to Church, School, Daycare Center or Hospital	
Is the building within 300 feet of any church, school, daycare center or hospital?	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes
"Service Bar Only" Designation	
If applying for Class B or C license, are you applying for "Service Bar Only"?	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes
Service Bar Only means customers cannot sit at the bar. Alcohol is served to employees who serve patrons seated at tables. No stools, chairs or other articles of furniture shall be placed at the service bar for patrons to sit upon.	
Business Information	
a) Are you taking out this application for anyone that may not be eligible for a license?	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes
If yes, list their name and address: _____	
b) Will the agent, a partner or the individual licensee be conducting the day-to-day operations of the business?	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes
If no, list the name and address of the person(s) who will: _____	
Class B Applicants: If the agent, a partner or the individual licensee will not be conducting the day-to-day operations of the business, the person(s) listed above must obtain a Class B Managers license.	
c) Does anyone else have money invested or any other interest in this business?	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes
If yes, explain: _____	
d) Have you made an agreement with anyone to repay any loan or any other payments based upon income from the business?	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes
If yes, list name and address: _____	
Property Information (New & Transfer Applicants Only)	
a) Do you own or lease the building?	<input type="checkbox"/> Own <input checked="" type="checkbox"/> Lease
b) Who owns the fixtures (for example, coolers, etc.)?	<u>Lessee owns fixtures</u>
c) Are you purchasing the stock and/or fixtures?	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If yes, amount paid \$ _____
d) Total amount paid for business	\$ <u>0</u>
e) Total amount paid for goodwill of the business	\$ <u>0</u>
Goodwill comprises the reputation and customer relationships of an existing business. If the price you pay for the business exceeds the fair market value of all of the rest of the assets of the business, the excess may be considered goodwill.	
f) Have you made arrangements with the seller for payment of personal property taxes?	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes
Lease Information (New & Transfer Applicants who are leasing the premises only)	
a) Date lease begins	<u>3/5/21</u> Ends <u>3/5/31</u>
b) Monthly rental	\$ <u>11,000</u>
c) Do you have an option to renew the lease?	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes
d) Does your lease allow for assignment to another party without the consent of the owner?	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes
e) For what length of time have you been guaranteed occupancy (number of years)?	<u>10</u>

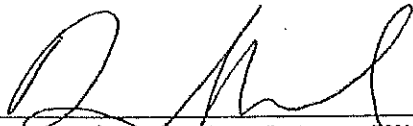
Lease Information (Continued)

- f) In addition to paying the monthly rental, will you have to pay anything additional to the owner of the building to guarantee performance of the lease? No Yes If yes, explain _____
- g) Does the present owner or occupancy object to the granting of your license? No Yes
If yes, explain _____

Change of Agent Applicants Only

Have there been any changes to the floor plan since the last application was submitted? No Yes
If no, a new floor plan is not required. If yes, submit a new floor plan and explain the change(s):

Signature



Signature of Sole Proprietor, Partner or 20% or More Shareholder
(If no 20% or more Shareholder, Corporate Officer - print name/title and sign)



FOOD DEALER LICENSE PLAN OF OPERATION

ccl-foodplan 2/28/19

OFFICE OF THE CITY CLERK, LICENSE DIVISION
CITY HALL, 200 E. WELLS ST, ROOM 105, MILWAUKEE, WI 53202
(414) 286-2238 • license@milwaukee.gov • www.milwaukee.gov/license

Legal Entity Name:	Canela Cafe LLC
Premises Address:	2021 N. Downer Ave. Milwaukee, WI
SECTION 1 TYPE OF BUSINESS	
What will be the majority of your food sales? (check one)	
<input checked="" type="checkbox"/> Restaurant Items (meals): MEALS include, but are not limited to, chicken, ribs, sandwiches, roasted corn, baked potatoes, hot dogs, brats, tacos, nachos w/ cheese and meat, French fries, cooked or deep fried vegetables/fruit, cooked cheese curds, corn dogs, egg rolls, salads.	
<input type="checkbox"/> Retail Items (snacks and beverages): RETAIL items include, but are not limited to, ice cream/soft serve, lemonade, snow cones, coffee, espresso, cappuccino, tea, fruit juice, smoothies, candy, dispensed soda, fruit cups, bakery, cookies, kettle corn, cotton candy, funnel cakes, fritters, tortilla chips w/ cheese.	
Will it be a convenience store? <input type="checkbox"/> Yes <input type="checkbox"/> No A convenience store contains less than 5,000 square feet of retail space and has, as its primary business, the sale of basic food items and in addition, sells household products or is a filling station that sells basic food items and household products.	
<input type="checkbox"/> Bed & Breakfast <input type="checkbox"/> Micro Market	
All Applicants: Submit a menu or a list of food items that will be sold.	
Will any wholesale business be done? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes If yes, what percentage of food sales will be wholesale?	
<input type="checkbox"/> Less than 25%	
<input type="checkbox"/> 25% or More AND:	
<input type="checkbox"/> Restaurant items (meals) will be sold – Complete this application and also contact DATCP.	
<input type="checkbox"/> NO restaurant items (meals) will be sold - Do NOT complete this application. Contact DATCP only.	
SECTION 2 FOOD PROCESSING	
Will any food processing be done? <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes	
Processing is defined as assembling, grinding, cutting, mixing, baking, coating, stuffing, packing, bottling, grilling, canning, extracting, fermenting, distilling, pickling, freezing, drying, smoking, or packaging.	
SECTION 3 FOOD REQUIRING TEMPERATURE CONTROL	
Will any food that requires temperature control be sold? <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes (includes dairy products such as milk, cheese, and ice cream, fish, shellfish, meat, poultry)	
If yes, list the types of food items: <u>seafood, Dairy, meat & poultry</u>	

53211

SECTION 4 DETAILS OF OPERATION

- Will you have seating on site for dining? No Yes
- Will you be doing any catering? No Yes
- Will you be doing any delivery? No Yes
- Will you have outdoor activities? No Yes - Check all that apply: Bar Cooking/Grilling Dining
- Will you have a drive thru window? No Yes - Are hours different from inside? No Yes
 If Yes, provide drive thru hours: _____
- Will scales or barcode scanners be used? No Yes - You must also apply for a Weights & Measures License.

SECTION 5 ADDITIONAL SITES

Where will food be prepared and/or sold?
 At a single site At multiple sites: How many? _____ (for example, a hotel with several dining rooms or bars)
 If multiple sites, attach a Food Dealer Additional Site Addendum (ccl-foodadd) for each additional site.

SECTION 6 CONSTRUCTION OR CHANGES

Are you planning any construction, remodeling or equipment changes?
 No If No, SKIP to Section 8
 Yes If Yes, check all that apply: New construction of a building Renovation or remodeling
 Construction changes to existing building Equipment changes only

Provide a brief description of the changes: _____

Start date: _____

Name, Address & Phone Number of Architect: _____

Name, Address & Phone Number of Contractor: _____

SECTION 7 ALCOHOL BEVERAGES

Are you applying for an alcohol beverage license?
 No If No, SKIP to Section 8
 Yes If YES, if your food license is approved prior to the alcohol license, when do you want the food license issued?
 Immediately At the same time as the alcohol license

SECTION 8 ACKNOWLEDGEMENTS & SIGNATURE

You must initial each item confirming your understanding:

I understand the Health Department must conduct an inspection and advise the License Division of their approval before the license may be issued.

I understand I must obtain an occupancy permit from the Department of Neighborhood Services and an inspection may be required. Neighborhood Services must advise the License Division of their approval before the license may be issued.

I understand the district alderperson will review and either support or object to my application. If he/she objects, I may appeal and be scheduled to appear before the Licenses Committee. The Licenses Committee will then make a recommendation to the Common Council. The Common Council must grant the license before it may be issued.

I understand proof of payment for all license fees must be on file in the License Division before the license may be issued and the license must be issued and posted in my establishment prior to opening for business.

I will not operate my food business until the license has been issued and posted in the establishment.

Signature of Sole Proprietor, Partner, or 20% Shareholder: _____

Signature of Additional Partner: _____

*Open daily
7am - 3pm*

Canela Cafe

Brunch Menu

2621 N Downer Ave.
Milwaukee, WI 53211

MAINS

Buttermilk or Buckwheat Pancakes	8.99
French Toast	9.99
Belgian Waffle	9.99
The Junior	8.99
South of the Border Scrambler	10.99
Lumberjack Omelet	10.99
Mediterranean Omelet	10.99
French Twist	9.99

SPECIALS

Corned Beef Hash	11.99
Grilled Flatiron Steak & Eggs	18.99
The Legend Breakfast Sandwich	10.99
Chorizo and Black Bean Egg Burrito	13.99

COMBOS

Pancake Combo	6.99
Classic Combo	5.99
Hawaiian Combo	7.99

BAKERY & SNACKS

Bagel	2.99
Blueberry Muffin	3.99
Cheese Danish	4.99
Croissant	3.99
Morning Bun	3.99
Chocolate Cookies (2)	3.99

SIDES

Muffin of the Day	1.99
Bagel and Cream Cheese	2.75
Granola, Fruit, and Yogurt	3.99
Steel Cut Oats with Fruit	3.99
Cold Cereal	2.99
Wheat Toast	1.99
Fried Potatoes	2.99
Bacon Strips (3)	2.99

DRINKS

	12 OZ	16 OZ	20 OZ
Herbal Tea	1.99	2.99	3.99
Coffee/Decaf	1.99	2.99	3.99
Espresso		single 1.99	double 2.99
Latte	2.99	3.99	4.99

DRINKS

	16 OZ
Soda	2.99
Apple, Orange, Tomato Juice	3.99
Milk / Chocolate Milk	1.99

Canela Cafe *Lunch Menu*

SALADS

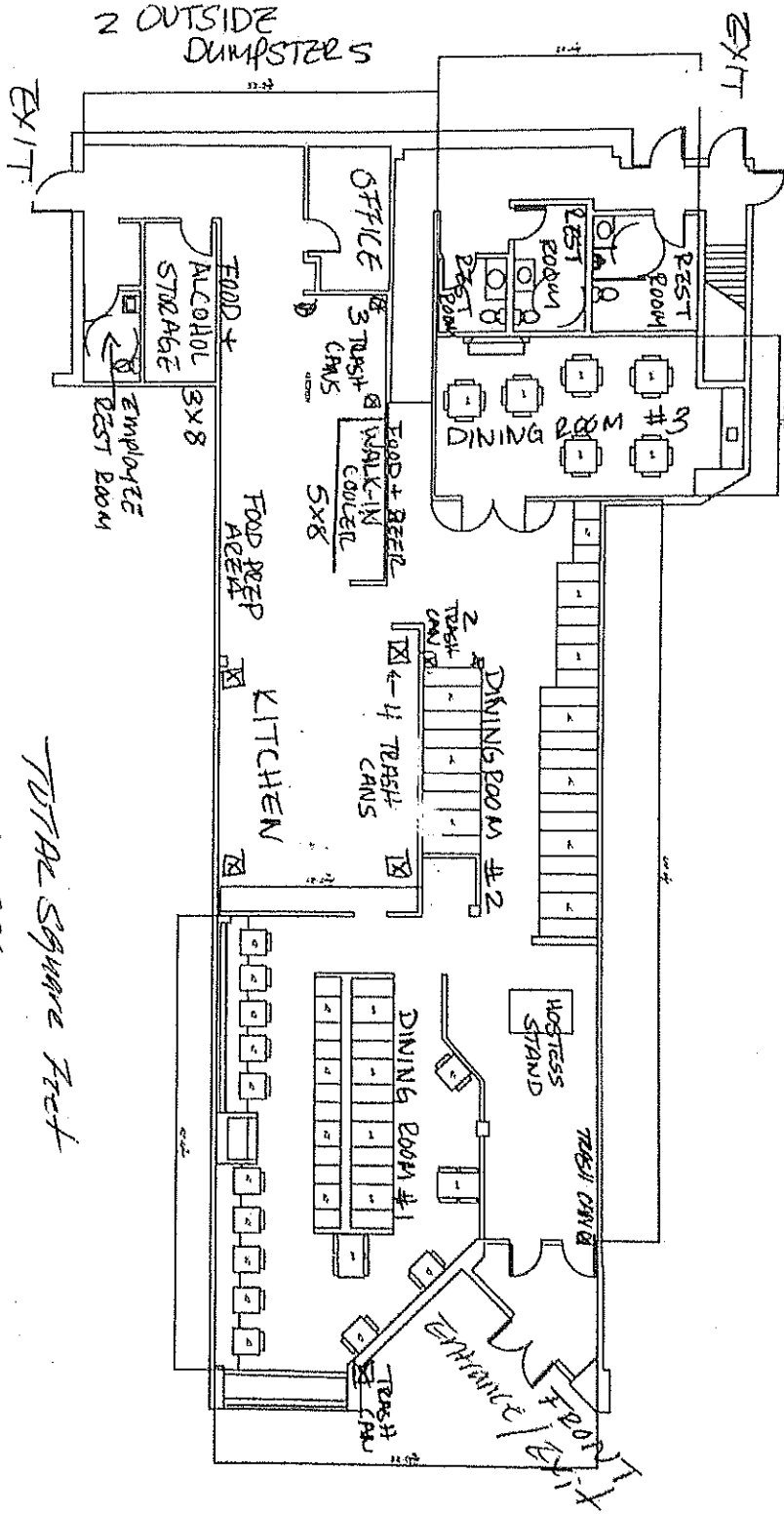
All salads come with your choice of dressing.

Cobb Salad	9.99
Chicken Salad	9.99
Salmon Salad	12.99

SANDWICHES & WRAPS

All sandwiches and wraps come with your choice of French fries or sweet potato fries.

Cheeseburger	10.99
Grilled Chicken Sandwich	11.99
Rueben	10.99
BLT	8.99
Caesar Wrap	9.99
Burger Wrap	9.99
Club Chicken Wrap	11.99



CANZELA CAFE LLC
 DINA BOYAKHS-AWADULLAH

TOTAL Square Feet
 44058
 NO PARKING LOT

Sheet Name	CANZELA CAFE 2021 N DOWNER AVE MILWAUKEE, WI 53211	Scale	5/22-1-0
Client	CANZELA CAFE 2021 N DOWNER AVE MILWAUKEE, WI 53211	Sheet Number	1
Designer	ANNALES RICHMOND		

DOWNER AVE.