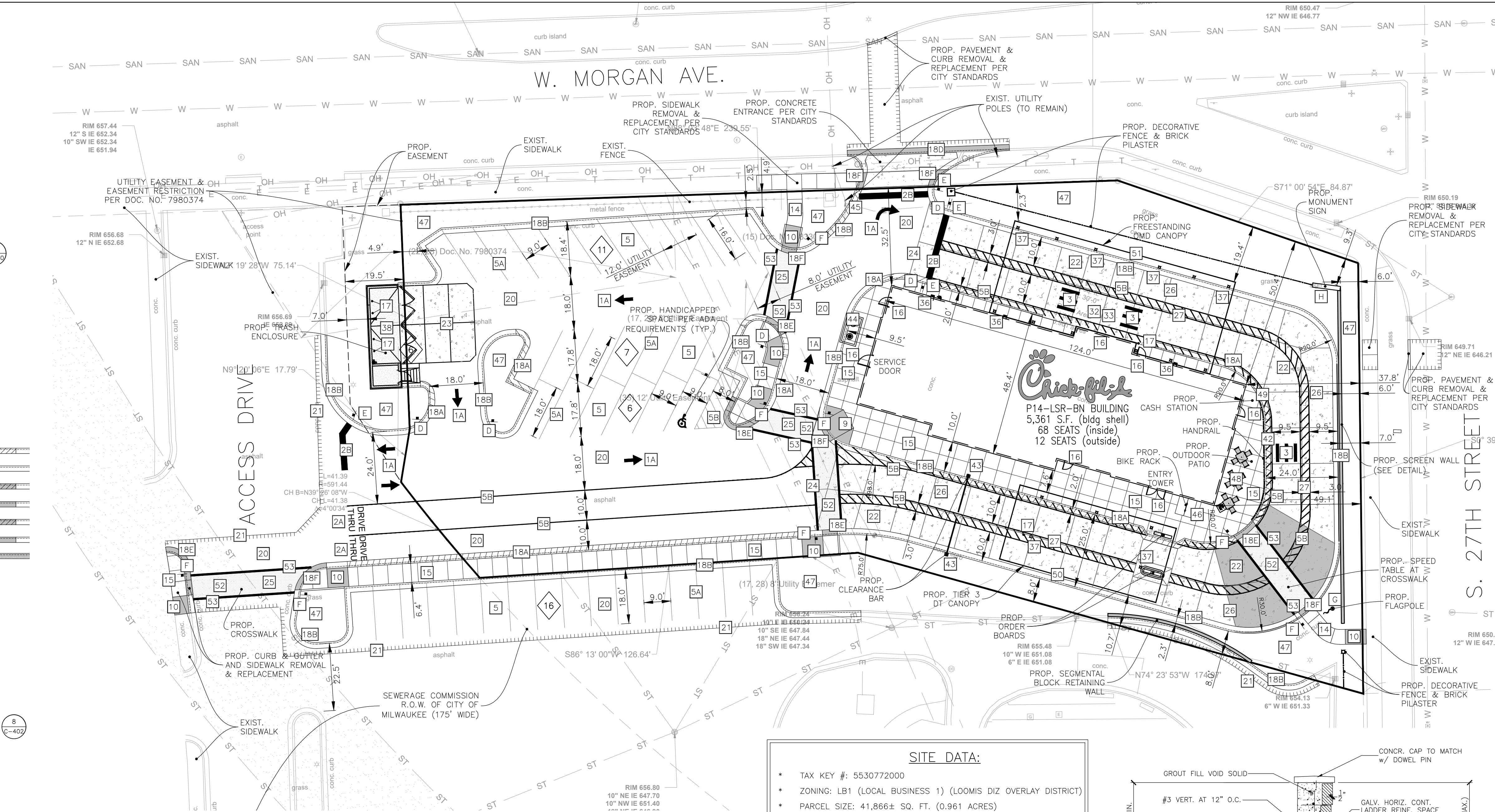


SITE PLAN DESIGN NOTES & KEY PLAN

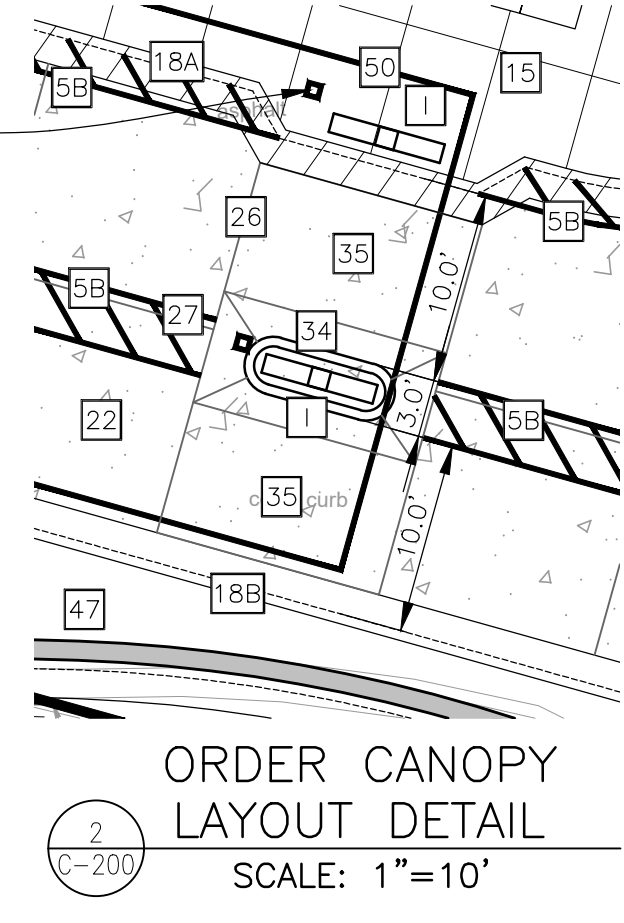
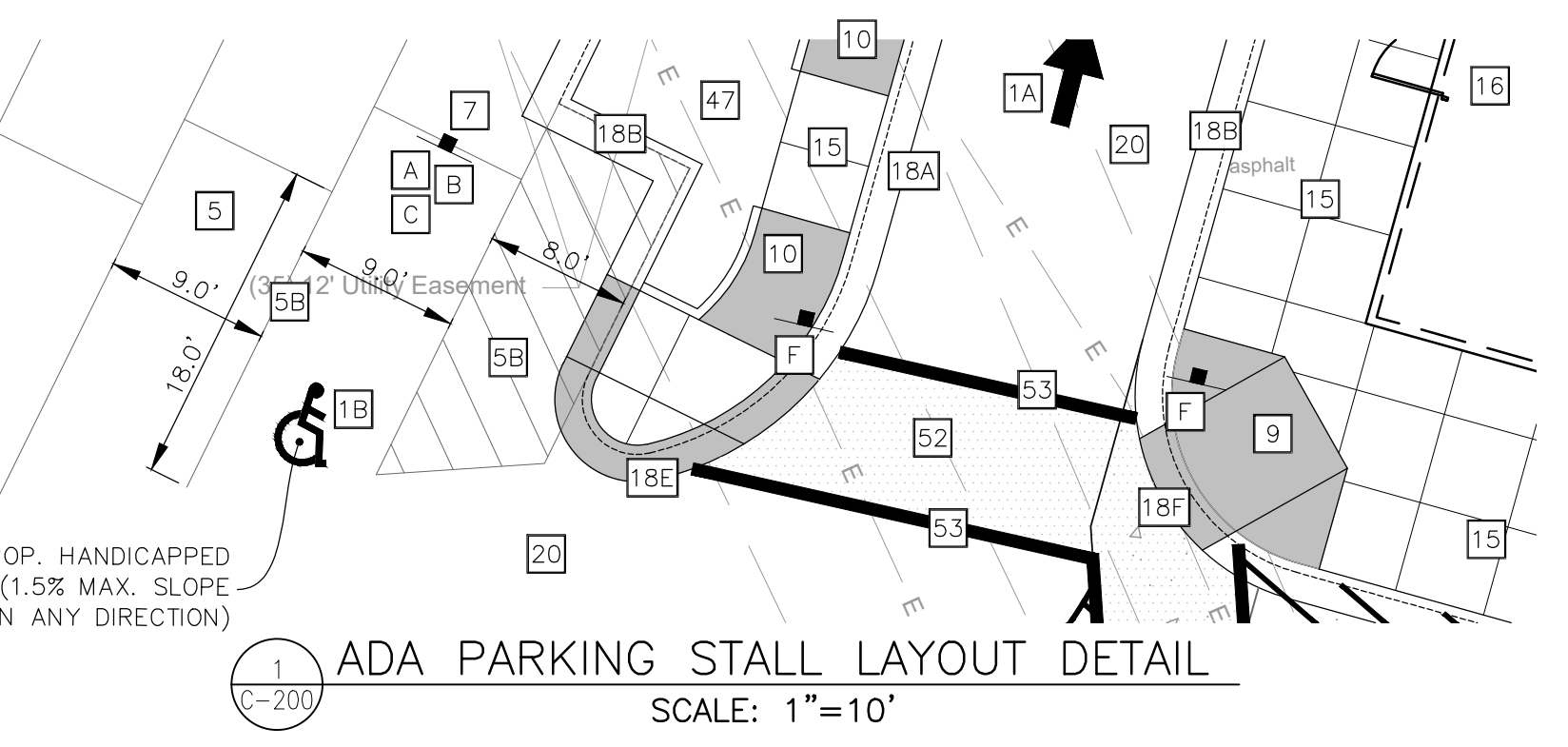
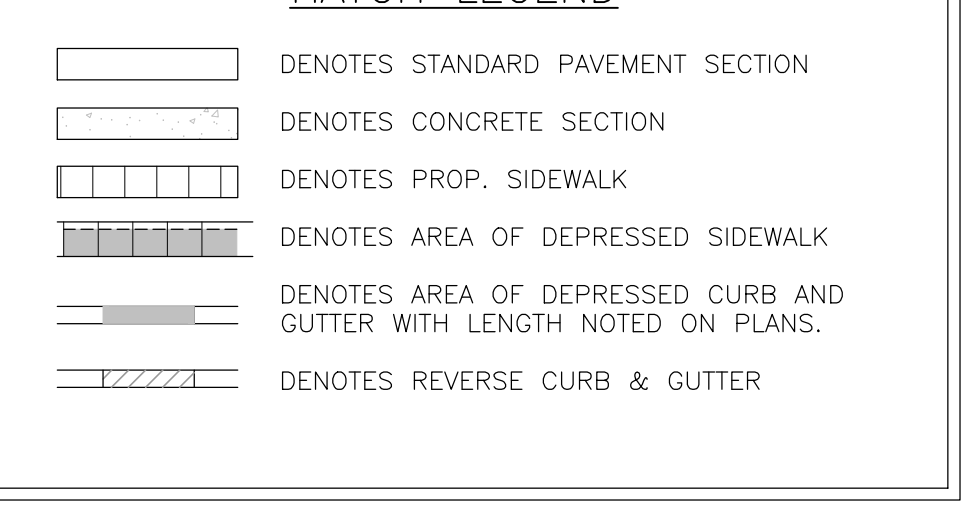
- 1A DIRECTIONAL ARROW (C-400)
- 1B PAINTED HANDICAP PARKING SYMBOL (C-400)
- 2A DRIVE-THRU GRAPHICS (C-400)
- 2B STOP BAR GRAPHIC (C-400)
- 3 CROSSWALK MARKINGS (C-400)
- 4 MULTI-LANE DIRECTIONAL GRAPHICS (C-400)
- 5 STANDARD OR HANDICAP PARKING STALL PER CODE (C-400)
- 5A 4" SOLID WHITE STRIPING
- 5B 4" SOLID YELLOW STRIPING
- 5C 4" SKIP-DASH YELLOW STRIPING
- 6 SOLID PLASTIC WHEEL STOP (C-400)
- 7 BOLLARD MOUNTED SIGN (C-400)
- 8 CURB RAMP w/ SHORT FLARED SIDES (GRASSED AREAS) (C-400)
- 9 CURB RAMP w/ FLARED SIDES (IN SIDEWALK) (C-400)
- 10 RETURNED CURB HANDICAP RAMP (C-400)
- 11 SIDEWALK ACCESSIBLE RAMP (C-400)
- 12 DETECTABLE WARNING DEVICE (C-401)
- 13 TYPICAL ADA RAMP & HANDRAIL (C-401)
- 14 CONCRETE SIDEWALK (C-401)
- 15 CONCRETE SIDEWALK w/ CURB & GUTTER (C-401)
- 16 ENTRY DOOR FROST SLAB DETAIL (C-401)
- 17 CONCRETE BOLLARD (C-401)
- 18 CONCRETE CURB & GUTTER (C-401)
- 18A SPILLING CURB & GUTTER
- 18B CATCHING CURB & GUTTER
- 18C DEPRESSED SPILLING CURB & GUTTER
- 18D DEPRESSED CATCHING CURB & GUTTER
- 18E SPILLING GUTTER SECTION AT ACCESSIBLE RAMP
- 18F CATCHING GUTTER SECTION AT ACCESSIBLE RAMP
- 18G MOUNTABLE CURB & GUTTER
- 19 LANDSCAPE & IRRIGATION PROTECTOR (C-401)
- 20 TYPICAL HMAC PAVEMENT SECTION (C-402)
- 21 BUTT JOINT (C-402)
- 22 CONCRETE PAVEMENT DRIVE-THRU LANE (C-402)
- 23 CONCRETE APRON AT TRASH ENCLOSURE (C-402)
- 24 PAVEMENT EDGE DETAIL (START & END OF DRIVE-THRU LANES) (C-402)
- 25 CONCRETE PAVEMENT SECTIONS (C-402)
- 26 TRANSVERSE & LONGITUDINAL CONTRACTION JOINT (C-402)
- 27 TRANSVERSE & LONGITUDINAL DOWELED CONSTRUCTION JOINT (C-402)
- 28 CONTRACTION JOINT (C-402)
- 29 KEYED CONSTRUCTION JOINT (C-402)
- 30 LONGITUDINAL BUTT JOINT (C-402)
- 31 EXPANSION JOINT (C-402)
- 32 DRIVE-THRU PLAN - FLUSH WITH FFE (C-403)
- 33 DRIVE-THRU ISOMETRIC (C-403)
- 34 DRIVE-THRU ORDER POINT ISLAND (C-403)
- 35 MENU BOARD LOOP DETECTION SYSTEM (C-403)
- 36 BUILDING DOWNSPOUT CONNECTION (TO SITE DRAINAGE SYSTEM) (C-403)
- 37 CANOPY DOWNSPOUT CONNECTION (TO SITE DRAINAGE SYSTEM) (C-403)
- 38 SCREENED REFUSE ENCLOSURE (REFER TO ARCH PLANS FOR ADDITIONAL DETAILS) (C-403)
- 39 CLEAN-OUT (OUTSIDE OF BUILDING) (C-403)
- 40 THICKENED PAVEMENT @ STRUCTURES (C-403)
- 41 STORM STRUCTURE WEEP HOLE DETAILS (C-403)
- 42 ALUMINUM HANDRAIL (REFER TO ARCH PLANS)
- 43 DRIVE-THRU CLEARANCE BAR (REFER TO SIGNAGE PACKAGE)
- 44 GREASE TRAP
- 45 EXISTING POLE MOUNTED TRANSFORMER (TO BE REUSED)
- 46 BIKE RACK
- 47 LANDSCAPED AREA
- 48 TYPICAL LOCATION FOR OUTDOOR TABLES (REFER TO ARCH PLANS)
- 49 CONCRETE PAD FOR OPTIONAL CASH STATION
- 50 FREE-STANDING ORDER POINT CANOPY
- 51 FREE-STANDING OUTSIDE MEAL DELIVERY CANOPY
- 52 COLORED CONCRETE CROSSWALK (RED)
- 53 4" SOLID YELLOW STRIPING



SIGN LEGEND

- ** CONTRACTOR TO REFER TO THE SIGNAGE PACKAGE FOR PLACEMENT AND SPECIFICATIONS OF ALL SIGNS **
- A HANDICAP PARKING SIGN (SEE SIGNAGE PACKAGE) R7-8; 12" X 18" (TYP.)
- B HANDICAP PARKING FINE SIGN (SEE SIGNAGE PACKAGE) 6" X 12" (TYP.)
- C "VAN ACCESSIBLE" SIGN (SEE SIGNAGE PACKAGE) R7-8P; 6" X 12" (TYP.)
- D "DO NOT ENTER" SIGN (SEE SIGNAGE PACKAGE) R5-1; 24" X 24" (TYP.)
- E STOP SIGN (SEE SIGNAGE PACKAGE) R1-1; 30" X 30" (TYP.)
- F CFA PEDESTRIAN CROSSING SIGN (SEE SIGNAGE PACKAGE)
- G FLAG POLE (SEE SIGNAGE PACKAGE)
- H CFA PYLON SIGN (SEE SIGNAGE PACKAGE)
- I DIGITAL DRIVE-THRU MENU BOARDS

HATCH LEGEND



SITE DATA:

- TAX KEY #: 5530772000
- ZONING: LB1 (LOCAL BUSINESS 1) (LOOMIS DIZ OVERLAY DISTRICT)
- PARCEL SIZE: 41,866± SQ. FT. (0.961 ACRES)
- PROP. PROPERTY ACQUISITION: 1,563± SQ. FT. (0.036 ACRES)

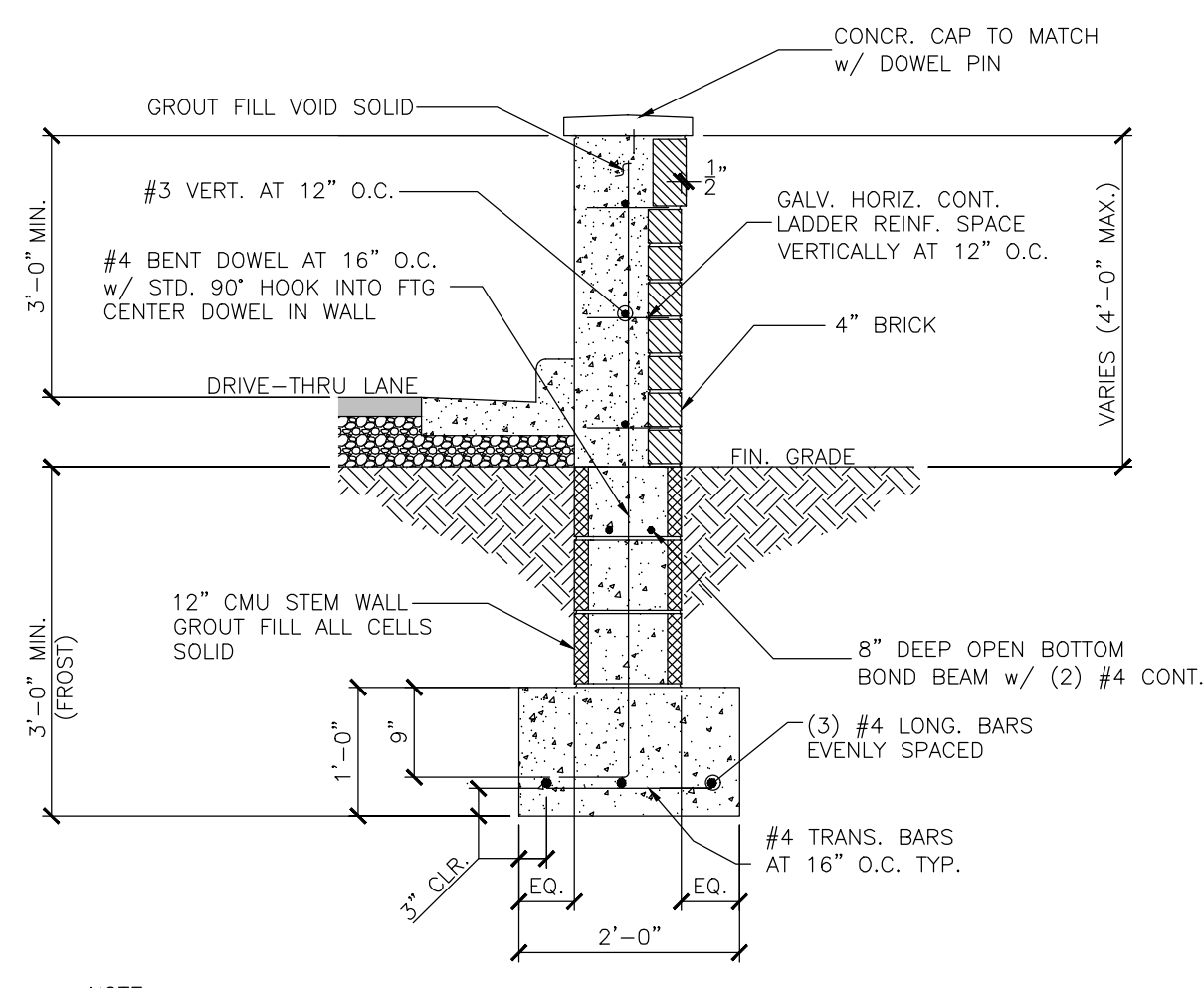
BUILDING DATA:

- BUILDING FLOOR AREA: 5,361± SQ. FT.
- NUMBER OF EMPLOYEES DURING LARGEST SHIFT = 20 EMPLOYEES
- TOTAL NUMBER OF SEATS = 80
- INDOOR SEATS = 68
- OUTDOOR SEATS = 12

PARKING DATA:

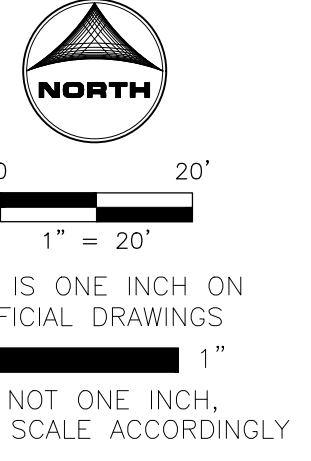
- NUMBER OF REGULAR PARKING SPACES: 23
- NUMBER OF ADA SPACES: 1
- TOTAL NUMBER OF SPACES PROVIDED: 24
- MAXIMUM NUMBER OF SPACES ALLOWED: 19
- TYPICAL PARKING WIDTH: 9.0'
- TYPICAL 90° PARKING LENGTH: 18.0'
- MINIMUM ISLE WIDTH: 24.0' (90°)

- PARKING FORMULA:
- MINIMUM 1 PARKING SPACE FOR EACH 1,000 SF OF GROSS FLOOR AREA; MAXIMUM 3.5 FOR 1,000 SF OF GROSS FLOOR AREA (5,361/1000 X 3.5 = 18.8)
 - MINIMUM PARKING REQUIRED = 5 SPACES
 - MAXIMUM PARKING ALLOWED = 19 SPACES



PROJECT NOTES:

- ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS AND/OR CONNECTION TO PUBLIC SEWERS AND STREETS SHALL COMPLY WITH THE CITY OF MILWAUKEE STANDARD CONSTRUCTION SPECIFICATIONS.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE CITY TO OBTAIN APPLICABLE CITY PERMITS.
- INGRESS/EGRESS WILL BE PROVIDED INTERNAL AND EXTERNAL TO THIS SITE.
- ALL CONCRETE CURB & GUTTER SHALL BE 24" (B6.18) UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL PAVEMENT DIMENSIONS ARE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION MATERIALS, DUMPSTER, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC RIGHT-OF-WAY.



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Atlanta, Georgia
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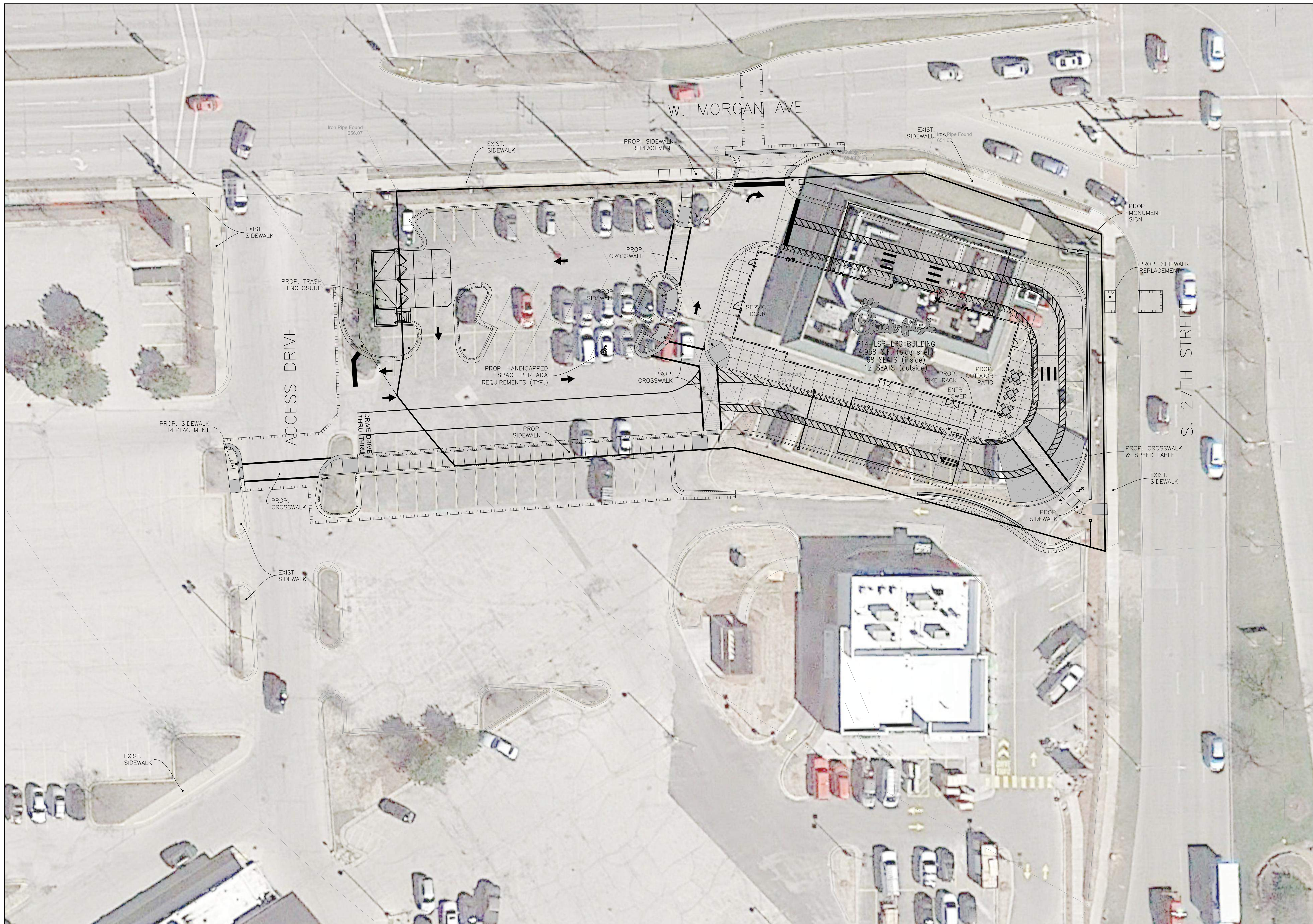
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27TH & LOOMIS (W) FSU
2701 W. MORGAN AVENUE
MILWAUKEE, WI 53221

FSU# 05405

REVISION SCHEDULE	NO.	DATE	DESCRIPTION

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SHEET	SITE PLAN
SHEET NUMBER	C-200



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REVISION SCHEDULE		DESCRIPTION
NO.	DATE	

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SHEET
OVERALL SITE PLAN
SHEET NUMBER
C-201

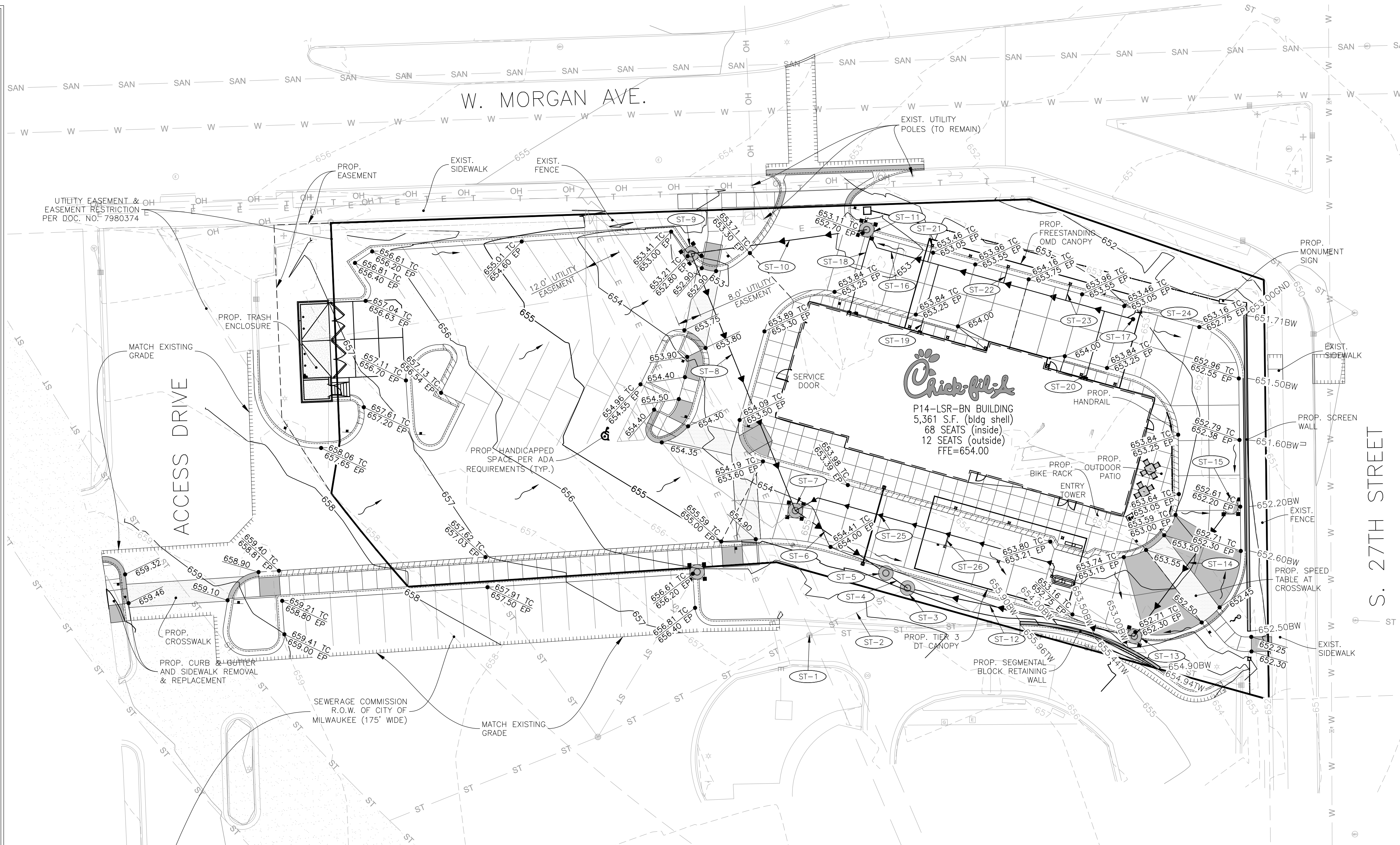


0 20'
1" = 20'

BAR IS ONE INCH ON OFFICIAL DRAWINGS
0 1"
IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY

GRADING & DRAINAGE NOTES

- CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE UTILITY SERVICE SIZES ARE TO BE DETERMINED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES TO AVOID CONFLICTS AND ENSURE PROPER DEPTHS ARE ACHIEVED. THE JURISDICTION UTILITY REQUIREMENTS SHALL ALSO BE MET, AS WELL AS COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE CONFLICTS EXIST WITH THESE SITE PLANS, ENGINEER IS TO BE NOTIFIED PRIOR TO CONSTRUCTION TO RESOLVE SAME.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL BE SUBMITTED IN COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT. SUBBASE MATERIAL FOR SIDEWALKS, CURBS, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER OR OWNER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT.
- ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION SHALL BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND SHALL BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
- PAVEMENT SHALL BE SAW CUT IN STRAIGHT LINES TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS SHALL BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
- THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS SHALL BE ADJUSTED, IF REQUIRED, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR TO ENSURE 0.75% MINIMUM SLOPE ALONG ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT, TO PREVENT PONDING. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFICATION IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% CUTTER GRADE ALONG CURB FACE. ENGINEER TO APPROVE FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION.
- IN CASE OF DISCREPANCIES BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE. IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICTS.
- CONTRACTOR SHALL BE REQUIRED TO SECURE ALL NECESSARY PERMITS AND APPROVALS FOR ALL OFF-SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR SHALL SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- SEE EROSION CONTROL PLAN FOR EROSION CONTROL MEASURES AND NOTES.
- ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, & ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED & DISPOSED OF OFF SITE. NO ON SITE BURNING WILL BE ALLOWED
- ALL DRAINAGE STRUCTURES SHALL BE PRE-CAST.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
- GENERAL CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY AND LOCATE ALL UTILITIES PRIOR TO GRADING START.
- NO PART OF THE PROPOSED PROJECT IS LOCATED WITHIN A FLOOD HAZARD AREA
- SPOT ELEVATIONS SHOWN ARE @ EDGE OF PAVEMENT UNLESS OTHERWISE NOTED ON PLAN.
- ALL CONCRETE CURB & GUTTER SHALL BE TYPE B-6.1.8 CURB UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL STORM SEWER JOINTS SHALL HAVE O-RING GASKETS.
- MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
- BACKFILL TO THE TOP OF CURBS.
- SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS
- ALL SIDEWALK CROSS SLOPES SHALL BE A MAXIMUM OF 1.5%.
- DESIGNATED HANDICAP PARKING AREAS SHALL BE GRADED TO A MAXIMUM OF 1.5%
- SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING OF PAVEMENT.
- THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
- ALL FIELD TILES ENCOUNTERED SHALL BE REPLACED AND/OR CONNECTED TO THE STORM SEWER SYSTEM AND LOCATED AND IDENTIFIED ON THE RECORD PLANS BY THE CONTRACTOR.
- ALL STORM DRAINAGE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE MOST CURRENT CITY OF MILWAUKEE STANDARDS & SPECIFICATIONS AND THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES STANDARDS.

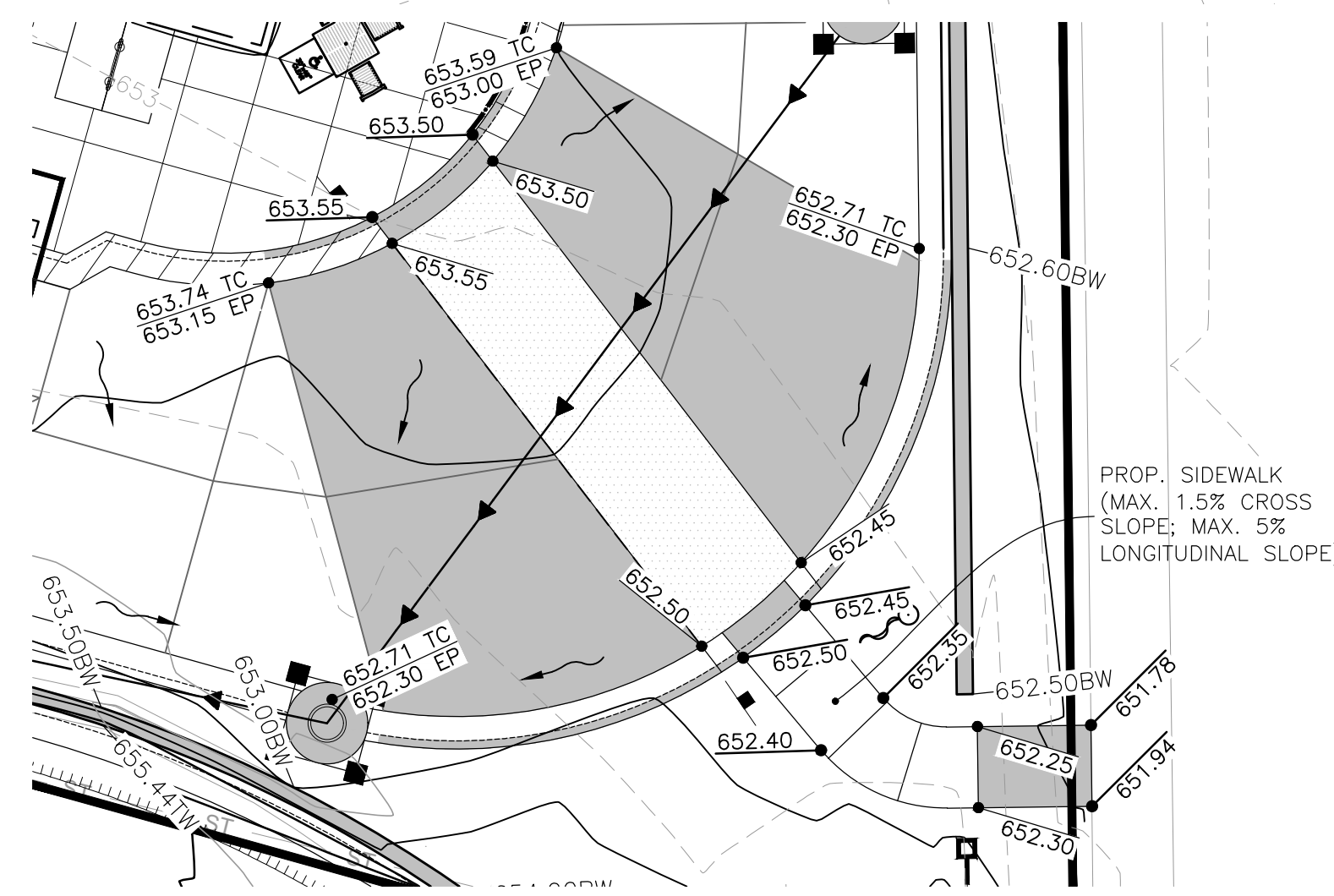


GENERAL NOTES:

- ACCESSIBLE PARKING, RAMPS, AND SIGNAGE SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS, NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- 1 WEEK PRIOR TO CONSTRUCTION WITHIN CITY OR STATE ROW OR ANY CONNECTION TO PUBLIC SEWERS, CONTRACTOR SHALL NOTIFY THE APPROPRIATE CITY ENGINEERING DIVISION.
- CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/ SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT. CUT/TRIM EXPANSION JOINTS TO BE FLUSH WITH SURFACE.
- ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR SHALL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OR MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
- THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
- ALL CONSTRUCTION WITHIN PUBLIC ROW/EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND LATEST EDITION OF WISDOT DESIGN STANDARDS
- EXCAVATION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.
- CONTRACTOR TO GRADE 4" BELOW THE BACK OF CURB TO ALLOW FOR THE PLACEMENT OF TOPSOIL. A MINIMUM OF 4" OF TOPSOIL SHALL BE PLACED IN ALL PLANTING BEDS AND ALL GRASSED AREAS. GRADED AREAS TO BE HELD DOWN TO THE APPROPRIATE ELEVATION TO ACCOUNT FOR TOPSOIL. SEE SHEET L-101 FOR DETAILS.

TRAFFIC CONTROL NOTES:

- ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY ROW OR LANE CLOSURES.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
- THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.



DRIVE-THRU SPEED TABLE GRADING DETAIL

SCALE: 1"=10'

HATCH LEGEND

	DENOTES REVERSE (SPILLING) CURB & GUTTER		DENOTES AREA OF DEPRESSED SIDEWALK
	DENOTES CONCRETE CURB & GUTTER (CATCHING)		XXX.XX DENOTES EXISTING AND OR PROPOSED SPOT ELEVATIONS.
	DENOTES AREA OF DEPRESSED SPILLING CURB & GUTTER		~ DENOTES PROPOSED DRAINAGE DIRECTION ARROW.
	DENOTES AREA OF DEPRESSED CATCHING CURB & GUTTER		↑ DENOTES PROPOSED OVERFLOW DIRECTION ARROW.

STORM TAGS

* SEE SHEET PS-101 FOR STORM SEWER TAGS

NOTE:

* ALL STORM STRUCTURES WITHIN PAVED AREAS REQUIRE WEEP HOLES. SEE DETAILS 40 & 40A ON SHEET C-404 FOR WEEP HOLE DETAILS.



0 20'
1" = 20'
BAR IS ONE INCH ON OFFICIAL DRAWINGS
0 1"
IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY



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SHEET	GRADING PLAN
SHEET NUMBER	C-300

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UTILITY NOTES

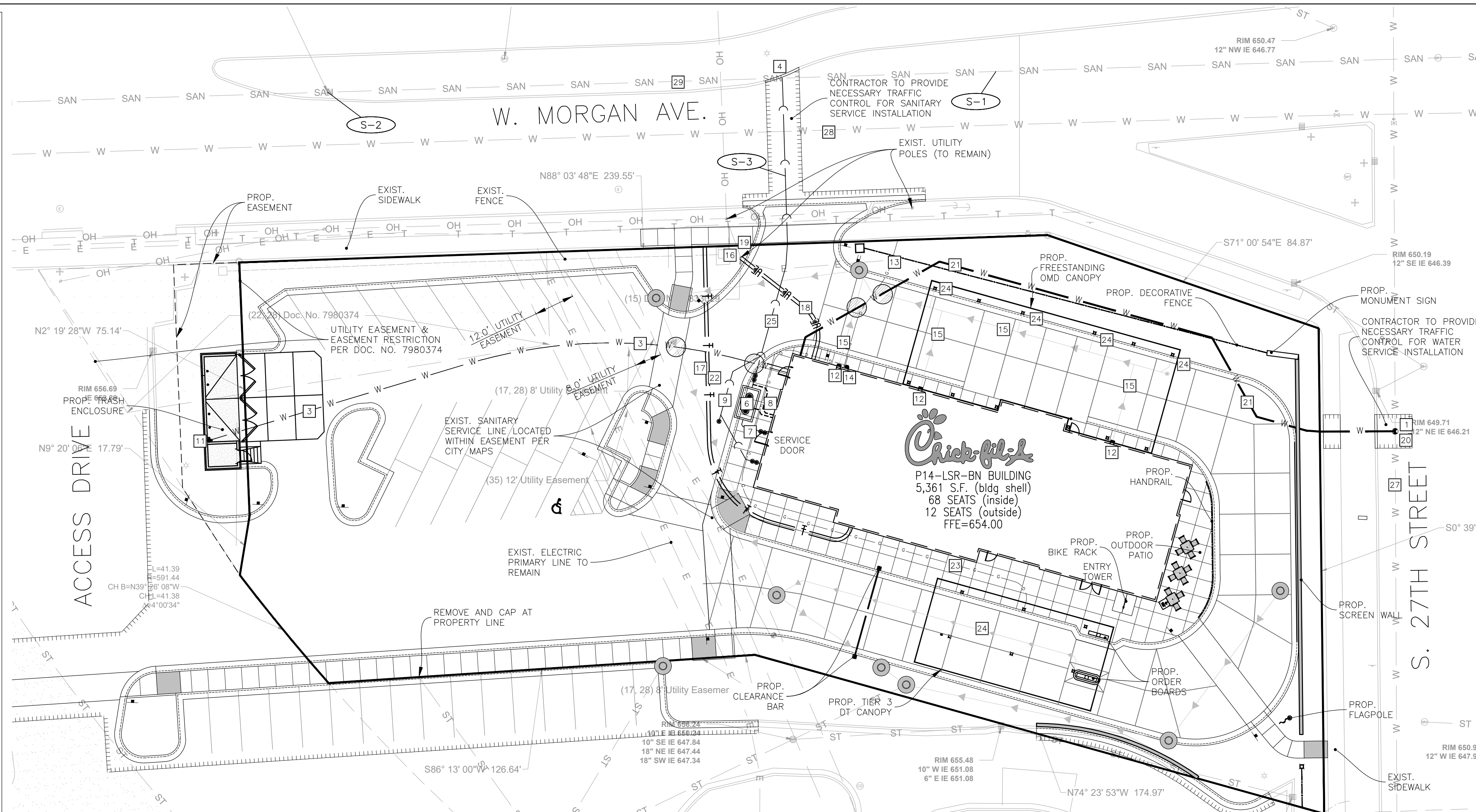
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING PLANS FOR DUTY SERVICE SIZES AND EXACT LOCATIONS. CONTRACTOR TO CONFIRM SIZES OF ALL SERVICES PRIOR TO INSTALLATION. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- MAINTAIN A MINIMUM OF 6.0' COVER OVER ALL WATER MAINS.
- MAINTAIN A MINIMUM OF 6.0' COVER OVERALL SANITARY SEWER.
- ADJUST ALL MANHOLES AND FRAMES TO FINISHED GRADES.
- ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF MILWAUKEE AND STATE OF WISCONSIN PLUMBING CODE.
- 12" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY/STORM SEWER AND WATER MAIN.
- MAINTAIN A MINIMUM OF 8' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND PUBLIC WATER MAINS.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN, IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY CALL DIGGERS HOTLINE AT 1-800-242-8511 AT LEAST 72 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- LOCATION OF SITE UTILITIES SHALL BE VERIFIED WITH PROPER UTILITY COMPANY PROVIDING SERVICE.
- ALL WATER AND SANITARY LEADS TO BUILDING SHALL END 5' OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END.
- SEE SITE SPECIFICATIONS "UNDERGROUND UTILITIES" FOR BACKFILLING AND COMPACTION REQUIREMENTS.
- GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAP AND TIE ON FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
- ELECTRICAL SERVICE TO PAD MOUNTED TRANSFORMER SHALL BE RUN UNDERGROUND, FROM ROAD RIGHT-OF-WAY TO TRANSFORMER LOCATION. ASSOCIATED COST BY GENERAL CONTRACTOR.
- ALL EXISTING UTILITIES TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- FOR EXACT LIGHT POLE LOCATIONS SEE PHOTOMETRICS PLAN.
- MATERIAL PERMITTED FOR USE AS SANITARY SEWER PIPES SHALL BE SDR 26 FOR 4" & 6".
- WE ENERGIES WILL FURNISH AND INSTALL THE GAS MAINS AND GAS SERVICE UP TO AND INCLUDING THE METER. WE ENERGIES WILL BORE THE NEW SERVICE LINE UNDER PAVEMENT.
- CONTRACTOR TO FURNISH AND INSTALL (1) 4" SCHEDULE 40 PVC CONDUITS FOR TELEPHONE SERVICE FROM AT&T MAIN TO BUILDING, AT&T TO SUPPLY, PROVIDE AND INSTALL PRIMARY TELEPHONE SERVICE. CONDUITS TO BE INSTALLED A MINIMUM 24" BELOW FINISHED GRADE.
- WE ENERGIES RESUSE EXISTING POLE MOUNTED TRANSFORMERS FOR NEW SERVICE. CONTRACTOR TO FURNISH AND INSTALL (4) 4" SCHEDULE 40 PVC CONDUITS WITH PULL WIRE FOR SECONDARY ELECTRIC SERVICE. CONDUITS SHALL HAVE A MINIMUM OF 36" OF COVER. CONTRACTOR TO PROVIDE AND INSTALL SECONDARY SERVICE IN ACCORDANCE WITH WE ENERGIES SPECIFICATIONS AND REQUIREMENTS.
- CONTRACTOR TO FURNISH AND INSTALL (1) 3" SCHEDULE 40 PVC CONDUIT WITH PULL STRING FOR ISP SERVICE FROM AT&T MAIN TO BUILDING, AT&T TO SUPPLY, PROVIDE AND INSTALL ISP SERVICE. CONDUIT TO BE INSTALLED MINIMUM 24" BELOW FINISHED GRADE.
- ALL SEWER CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE CITY OF MILWAUKEE AND THE MILWAUKEE METROPOLITAN SEWERAGE DISTRICT (MMSD).
- ALL CONNECTIONS TO PUBLIC SANITARY SEWERS SHALL BE PER CITY AND MMSD STANDARD SPECIFICATIONS.
- THE CFA COMBINED FIRE/DOMESTIC WATER SERVICE PIPE SHALL BE DUCTILE IRON CL 52 PIPE.
- ALL DUCTILE IRON WATER SERVICE PIPING SHALL BE INSTALLED WITH POLYETHYLENE WRAP.
- ALL FIELD TILES ENCOUNTERED SHALL BE REPLACED AND/OR CONNECTED TO THE STORM SEWER SYSTEM AND LOCATED AND IDENTIFIED ON THE RECORD PLANS BY THE CONTRACTOR.
- ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.
- PROVIDE UNDERDRAINS FROM SEEPS OR SPRINGS ENCOUNTERED. EXTEND TO STORM SEWER SYSTEM OR DAYLIGHT AT THE BOTTOM OF THE FILL SLOPE.
- ALL PROPOSED PIPE CONNECTIONS TO EXISTING OR PROPOSED MANHOLES SHALL CONFORM TO ASTM-C923.
- TRACER WIRE IS REQUIRED PER STATE AND CITY STANDARDS.
- IF EXISTING SANITARY/WATER LATERALS ARE NOT TO BE USED/REUSED, THEY SHALL BE ABANDONED AT MAIN PER CITY & MMSD STANDARDS.

MISCELLANEOUS NOTES:

- ALL BUILDING UTILITY SERVICE LOCATIONS TO BE VERIFIED W/ ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
- FOR EXACT LIGHT POLE LOCATIONS SEE PHOTOMETRICS PLAN.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE CITY AND/OR WISDOT TO OBTAIN APPLICABLE PERMITS.
- WORK WITHIN THE ROW SHALL BE DONE IN ACCORDANCE WITH THE CITY SPECIFICATIONS.
- ONLY THE CITY OF MILWAUKEE PUBLIC WORKS DEPARTMENT MAY OPERATE EXISTING VALVES.
- THE CONTRACTOR MUST CONTACT THE CITY OF MILWAUKEE PUBLIC WORKS DEPARTMENT TO SCHEDULE INSPECTIONS FOR ALL WORK WITHIN THE ROW.
- TRACER WIRE ON THE WATER SERVICE SHALL BE CONNECTED TO THE TRACER WIRE ON THE WATER MAIN AND INSTALLED IN ACCORDANCE WITH CITY SPECIFICATIONS.
- ANY WORK PERFORMED IN THE ROW SHALL BE PERFORMED BY A CITY "QUALIFIED" CONTRACTOR AND MONITORED BY PUBLIC WORKS.

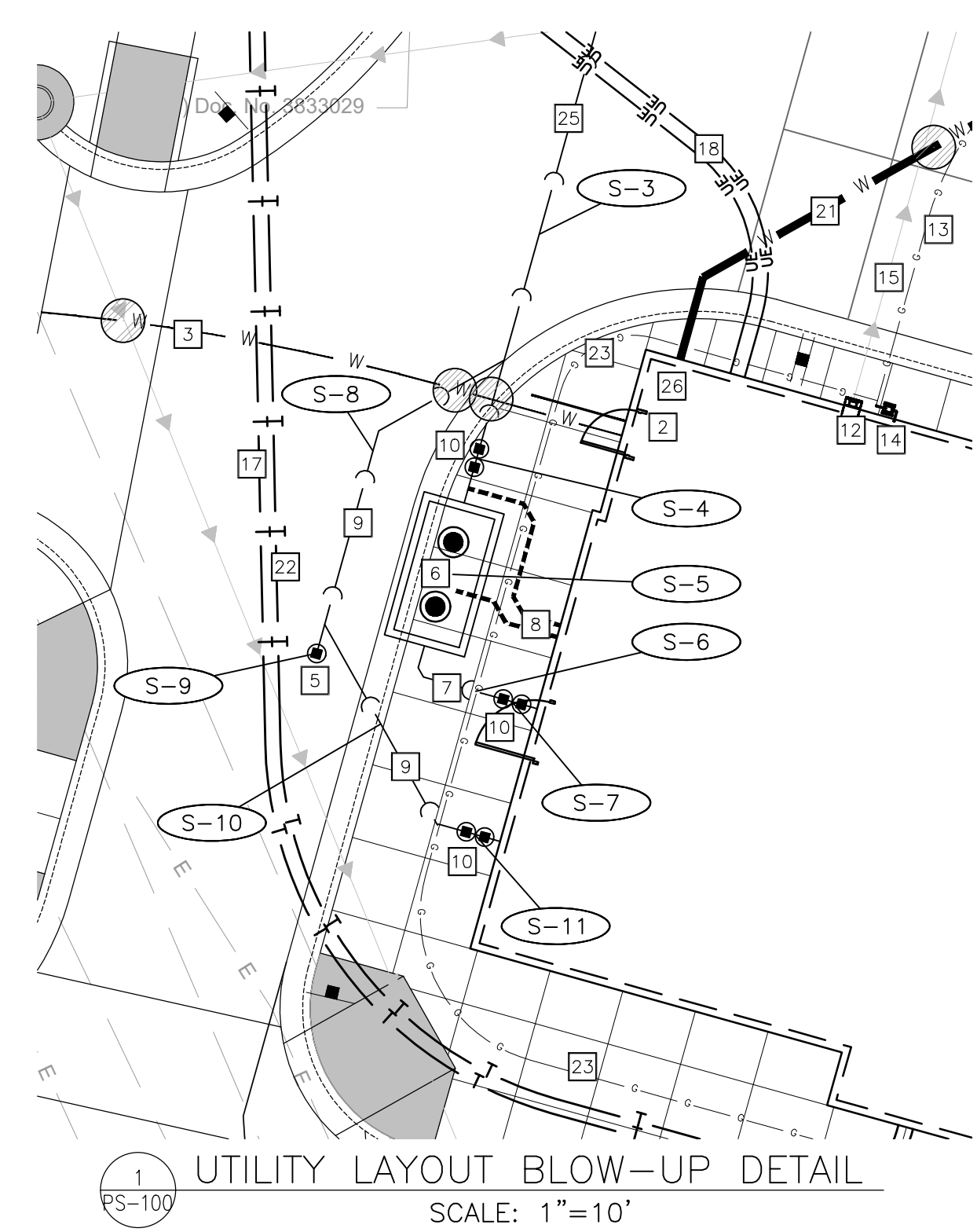
ONSITE WATERLINE NOTES:

- THRUST BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, AND FIRE HYDRANTS.
- ALL FIRE HYDRANTS SHALL BE PROVIDED WITH AN APPROVED AUXILIARY GATE VALVE.
- ALL WATER MAINS SHALL BE HYDROSTATICALLY TESTED AND DISINFECTED BEFORE ACCEPTANCE. SEE SITE WORK SPECIFICATIONS.
- ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
- GENERAL CONTRACTOR SHALL HAVE APPROVAL OF ALL GOVERNING AGENCIES HAVING JURISDICTION OVER THIS SYSTEM PRIOR TO INSTALLATION.
- ALL 6" DIAMETER WATER SERVICE PIPE SHALL BE DUCTILE IRON PIPE CLASS 52.
- ALL DIRECT BURIED DUCTILE IRON PIPE, FITTINGS, VALVES, ETC. SHALL BE ENCASED WITH POLYETHYLENE ENCASEMENT PER CITY OF MILWAUKEE SPECIFICATIONS.
- ALL 2" DIAMETER AND SMALLER WATER SERVICE PIPE SHALL BE TYPE K COPPER.



LAYOUT NOTES

- PAY CONNECTION FEES FOR 2" DOMESTIC / 6" FIRE WATER SERVICE AND METER. DOMESTIC SERVICE TO SPLIT OFF FIRE SERVICE INTERNAL TO BUILDING.
- 1.5" SOFT COPPER (TYPE K) IRRIGATION LINE TO HAVE SEPARATE METER LOCATED INTERNAL TO THE BUILDING.
- 3/4" CW TO DUMPSTER POST HYDRANT (SOFT COPPER TYPE K)
- CONNECTION TO EXIST. SANITARY MAIN PER CITY/MMSD REQUIREMENTS. CONTRACTOR TO VERIFY EXISTING PIPE INVERT PRIOR TO ORDERING STRUCTURES. (SEE SANITARY TAGS FOR INFO)
- 4" OR 6" CLEAN OUT (SEE DETAIL). CLEANOUT SHALL BE FLUSH W/ PAVEMENT & INSTALLED UNDER A PROTECTIVE METAL BOX COVER SIMILAR TO A METER PIT COVER WITH A TRAFFIC BEARING LID.
- PRECAST 1,000 GAL. CAPACITY GREASE TRAP. PLUMBING CONTRACTOR TO COORDINATE WITH BUILDING CONTRACTOR. TOP OF MANHOLE TO BE 0.2' ABOVE FINISH GRADE AND MATCH SIDEWALK GRADES WHERE REQUIRED. VERIFY GREASE TRAP MEETS CITY/COUNTY SPECIFICATIONS PRIOR TO INSTALLATION. REFER TO PLUMBING PLAN. SHEET P-101.
- 4" KITCHEN WASTE LINE. (SEE SANITARY TAGS FOR INFO)
- 3" VENT LINE. CONNECT TO GREASE INTERCEPTOR. (SEE SHEET P-101 FOR LOCATION)
- 4" RESTROOM WASTE LINE. (SEE SANITARY TAGS FOR INFO)
- 4" TWO-WAY CLEAN OUT. (REFER TO PLUMBING PLANS)(SEE DETAIL 37/C-403)
- DUMPSTER POST HYDRANT REFER TO THE FIXTURE CONNECTION SCHEDULE (P-303) DEPICTED ON THE PROJECT PLUMBING PLANS.
- DOWNSPOUT FOR ROOF DRAINAGE. (REFER TO ARCHITECTURAL PLANS)
- PROPOSED GAS SERVICE. (SEE NOTE 19)
- COORDINATE GAS METER INSTALLATION WITH GAS COMPANY.
- 8" PVC SDR 26 ROOF DRAIN PIPE SYSTEM. (CONNECT TO SITE STORM DRAIN)
- UNDERGROUND PRIMARY ELECTRIC SERVICE. (SEE NOTE 21)
- UNDERGROUND PRIMARY TELEPHONE SERVICE. (SEE NOTE 20)
- UNDERGROUND SECONDARY ELECTRIC SERVICE TO BUILDING. (SEE NOTE 21)
- EXISTING POLE MOUNTED TRANSFORMER TO BE REUSED.
- CFA SERVICE TAP. CONNECT TO EXISTING WATERMAIN VIA TAPPING SLEEVE & VALVE. EXISTING WATERMAIN SIZE & DEPTH TO BE FIELD VERIFIED.
- 6" FIRE SERVICE - DI CL52 PIPE - OPEN TRENCH
- UNDERGROUND ISP SERVICE (SEE NOTE 22)
- 1.5" GAS LINE TO DT CANOPY (REFER TO CANOPY DRAWINGS FOR CONNECTION)
- 6" PVC SDR 26 CANOPY DRAIN PIPE SYSTEM. (CONNECT TO SITE STORM DRAIN)
- 6" SANITARY SERVICE LINE - PVC SDR 26
- FIRE DEPARTMENT CONNECTION
- EXISTING 12" WATERMAIN (LOCATION, SIZE, & DEPTH TO BE VERIFIED)
- EXISTING 48" FEEDER WATERMAIN
- EXISTING 15" SANITARY MAIN



S-# SANITARY SEWER TAGS

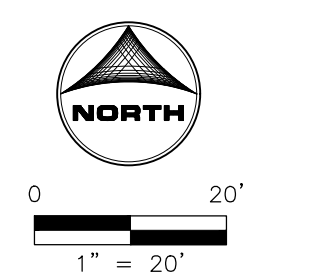
SEE SHEET PS-101 FOR TAGS

A CONFLICT TAGS

SEE SHEET PS-101 FOR TAGS

LEGEND:

⊙ DENOTES MAINTAIN 18" VERTICAL SEPARATION PER WIDNR'S REQUIREMENTS



1 UTILITY LAYOUT BLOW-UP DETAIL
SCALE: 1"=10'



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27TH & LOOMIS (WI) FSU
2701 W. MORGAN AVENUE
MILWAUKEE, WI 53221

FSU# 05405

REVISION SCHEDULE NO.	DATE	DESCRIPTION

PRELIMINARY

ENGINEER'S PROJECT #	2202468
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PLUMBING SITE PLAN	

SHEET NUMBER
PS-100

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ST-# STORM TAGS

ST-1	EXIST. STM INLET EXIST. RIM = 656.24 INV = 647.34 SW 18" RCP INV = 647.84 SE 10" RCP INV = 650.24 E 10" RCP INV = 647.44 NE 18" RCP (CONTRACTOR TO VERIFY CONDITION OF STRUCTURE AND REPLACE IF NECESSARY)	ST-14	53 LIN FT SS RCP, 12" @ 0.57%
ST-2	33 LIN FT SS RCP, 18" @ 0.50% (ASSUMED)	ST-15	STM SWR CB 2' DIA., R-3235 TY A GRATE T/C = 652.61 INV = 649.00 SW 12" RCP
ST-3	STM SWR MH 6' DIA., R-1713 CL RESTRICTOR STRUCTURE RIM = 655.00 INV = 647.60+/- SW 18" (EXIST.) INV = 648.30 E 15" RCP INV = 648.00 NW 18" RCP (CONTRACTOR TO VERIFY EXIST. INVERT) WEIR WALL INV = 652.20 12.5" ORIFICE INV = 648.00	ST-16	98 LIN FT SS PVC ROOF DRAIN, 8" SDR 26 @ 1.00%
ST-4	4 LIN FT SS RCP, 18" @ 2.50%	ST-17	CLEANOUT (SEE DETAIL) RIM = 653.05 INV = 649.98
ST-5	UP-FLO FILTER WOU, 4' DIA. (SEE DETAIL) RIM = 654.40 INV = 648.10 E 18" RCP INV = 648.10 NW 18" RCP	ST-18	26 LIN FT SS PVC ROOF DRAIN, 8" SDR 26 @ 1.00%
ST-6	34 LIN FT SS RCP, 18" @ 0.59%	ST-19	24 LIN FT SS PVC ROOF DRAIN, 8" SDR 26 @ 1.00%
ST-7	STM SWR CB 5' DIA., R-1713 CL RIM = 654.20 INV = 648.30 SE 18" RCP INV = 649.00 NE 6" PVC INV = 648.30 NW 15" RCP	ST-20	24 LIN FT SS PVC ROOF DRAIN, 8" SDR 26 @ 1.00%
ST-8	91 LIN FT SS RCP, 15" @ 0.44%	ST-21	6 LIN FT SS PVC CANOPY DRAIN, 6" SDR 26 @ 1.00%
ST-9	STM SWR CB 4' DIA., R-3235 TY A GRATE T/C = 653.21 INV = 648.70 S 15" RCP INV = 648.70 NE 12" RCP	ST-22	6 LIN FT SS PVC CANOPY DRAIN, 6" SDR 26 @ 1.00%
ST-10	58 LIN FT SS RCP, 12" @ 0.52%	ST-23	6 LIN FT SS PVC CANOPY DRAIN, 6" SDR 26 @ 1.00%
ST-11	STM SWR CB 2' DIA., R-3235 TY A GRATE T/C = 653.11 INV = 649.00 SW 12" RCP INV = 649.00 SE 8" PVC	ST-24	6 LIN FT SS PVC CANOPY DRAIN, 6" SDR 26 @ 1.00%
ST-12	75 LIN FT SS RCP, 15" @ 0.53%	ST-25	97 LIN FT SS PVC CANOPY DRAIN, 6" SDR 26 @ 1.00% INV @ CANOPY DOWNSPOUT = 649.97
ST-13	STM SWR CB 4' DIA., R-3235 TY A GRATE T/C = 652.71 INV = 648.70 W 15" RCP INV = 648.70 NE 12" RCP	ST-26	4 LIN FT SS PVC CANOPY DRAIN, 6" SDR 26 @ 1.00% INV @ ST-25 = 649.55 INV @ CANOPY DOWNSPOUT = 649.59

NOTE:
* ALL STORM STRUCTURES WITHIN PAVED AREAS REQUIRE WEEP HOLES. SEE DETAILS 51 & 52 ON SHEET C-404 FOR WEEP HOLE DETAILS.

S-# SANITARY SEWER TAGS

S-1	EXIST. 329 LIN FT SAN SWR, 15" @ 0.20% (ASSUMED) (PUBLIC)
S-2	EXIST. SANITARY SWR MH (PUBLIC) RIM = 656.84 INV = 642.44 S 6" INV = 638.04 W.E 15"
S-3	93 LIN FT SAN SERVICE, 6" PVC SDR 26 (PRIVATE) (7 LF SERVICE RISER @ 1:1 SLOPE) (86 LF @ 2.72%) INV @ MAIN = 637.77 (CONTRACTOR TO VERIFY INVERT) INV @ TOP OF RISER = 644.77 (CONTRACTOR TO VERIFY INVERT AT MAIN PRIOR TO ORDERING UPSTREAM STRUCTURES. NOTIFY ENGINEER WITH ANY DISCREPANCIES.)
S-4	TWO-WAY CLEAN OUT (SEE DETAIL) RIM = 653.90 INV = +/- 647.03
S-5	GREASE TRAP (1,000 GAL.) SEE BUILDING PLUMBING PLAN FOR DETAILS RIM(S) = 653.90 N, 653.90 S INV = 647.28 (INLET) INV = 647.11 (OUTLET)
S-6	11 LIN FT SAN SERVICE, 6" PVC SDR 26 (PRIVATE) @ 2.00% INV @ BLDG = 647.50 (VERIFY WITH ARCHITECT/PLANS)
S-7	TWO-WAY CLEAN OUT (SEE DETAIL) RIM = 653.95 INV = +/- 647.46
S-8	25 LIN FT SAN SERVICE, 6" PVC SDR 26 (PRIVATE) @ 2.00% INV @ S-3 = 646.84
S-9	CLEANOUT (SEE DETAIL) RIM = 653.50 INV = +/- 647.34
S-10	20 LIN FT SAN SERVICE, 6" PVC SDR 26 (PRIVATE) @ 2.00% INV @ S-8 = 647.30 INV @ BLDG = 647.50 (VERIFY WITH ARCHITECT/PLANS)
S-11	TWO-WAY CLEAN OUT (SEE DETAIL) RIM = 653.95 INV = +/- 647.46

A CONFLICT TAGS

* OMITTED FOR THIS SUBMITAL



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27TH & LOOMIS (WI) FSU
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MILWAUKEE, WI 53221

FSU# 05405

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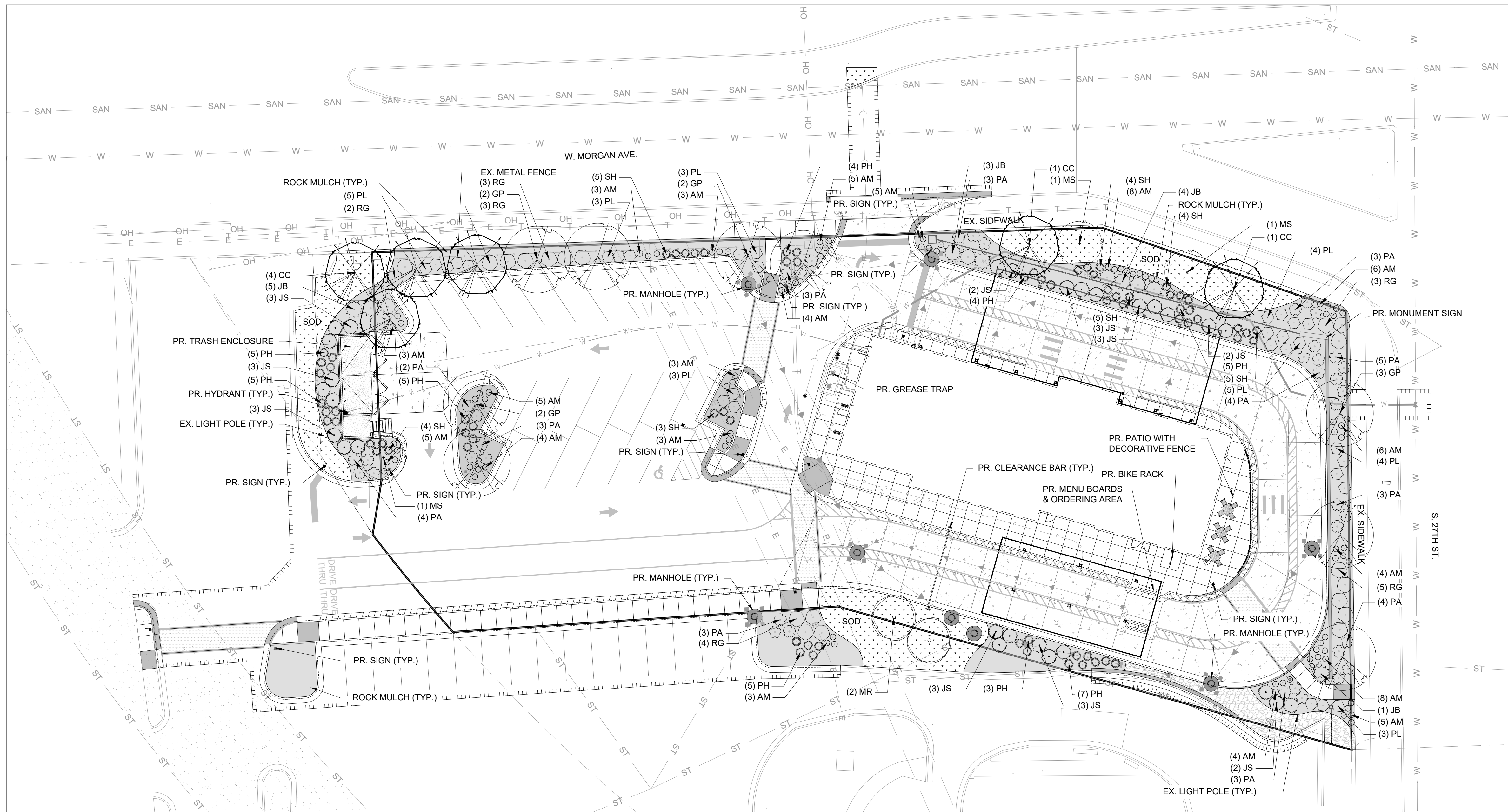
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SHEET
UTILITY TAGS

SHEET NUMBER
PS-101

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GROUNDCOVER LEGEND

	SHREDDED CEDAR MULCH	6863	SF
	1-2" COBBLE	458	SF
	SOD	3018	SF

PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	CC	6	CERCIS CANADENSIS / EASTERN REDBUD	2.5" CAL.
	GP	9	GINKGO BILOBA 'PRINCETON SENTRY' / PRINCETON SENTRY MAIDENHAIR TREE	2.5" CAL.
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	JS	28	JUNIPERUS CHINENSIS 'SPARTAN' / SPARTAN JUNIPER	4' HT.
ORNAMENTAL TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	MR	2	MALUS X 'ROYAL RAINDROPS' / ROYAL RAINDROPS CRABAPPLE	2.5" CAL.
	MS	3	MALUS X 'SPRING SNOW' / SPRING SNOW CRABAPPLE	2.5" CAL.
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	PL	30	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL' / LITTLE DEVIL™ DWARF NINEBARK	5 GAL.
	RG	20	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL.
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	JB	13	JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP CREEPING JUNIPER	5 GAL.
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	PH	43	PANICUM VIRGATUM 'HEAVY METAL' / HEAVY METAL SWITCH GRASS	1 GAL.
	SH	30	SPOROBOLUS HETEROLEPIS / PRAIRIE DROPSEED	1 GAL.
PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE
	AM	87	ACHILLEA X 'MOONSHINE' / MOONSHINE YARROW	1 GAL.
	PA	40	PEROVSKIA ABROTANOIDES / RUSSIAN SAGE	1 GAL.

SITE CALCULATIONS

ZONING: LB1 (LOCAL BUSINESS 1) (LOOMIS DIZ OVERLAY DISTRICT)
 TOTAL SITE AREA: 41,866 SF (0.961 ACRES)
 NUMBER OF REGULAR PARKING STALLS: 23
 NUMBER OF HANDICAP PARKING STALLS: 1
 TOTAL NUMBER OF STALLS: 24

LANDSCAPE REQUIREMENTS

PARKING LOT SCREENING FROM STREETS
 SCREENING IS REQUIRED WHEN A PARKING LOT IS ADJACENT TO PUBLIC STREET. MINIMUM WIDTH OF LANDSCAPE AREA FIVE (5) FEET.
 LOW-LEVEL PLANTS REQUIRED LOW SHRUBS, PERENNIALS AND/OR ORNAMENTAL GRASSES. CANOPY TREES REQUIRED, ONE (1) TREE PER TWENTY (20) LINEAR FEET.

AREA/MATERIAL	REQUIRED	PROVIDED
CANOPY TREES	11	11

LOW-LEVEL PLANTS

LOW-LEVEL PLANTS HELP TO DEFINE SPACES WHILE ALLOWING FOR NATURAL SURVEILLANCE OF PUBLIC AREAS. THEY SHOULD BE USED ALONG STREET FRONTAGES. MINIMUM NUMBER OF PLANTS REQUIRED AT STREET EDGE LANDSCAPE AREA WITH AN ORNAMENTAL FENCE. FOUR (4) LOW SHRUBS OR EIGHT (8) PERENNIALS/ORNAMENTAL GRASSES PER 20 LINEAR FEET

AREA/MATERIAL	REQUIRED	PROVIDED
SHRUBS	24	24

PARKING LOT LANDSCAPING

A MINIMUM AMOUNT OF TREES AND LANDSCAPE AREAS ARE REQUIRED AT ALL PARKING LOTS. ONE (1) CANOPY TREE AND ONE HUNDRED (100) SQUARE FEET OF LANDSCAPED AREA IS REQUIRED FOR EVERY FOUR (4) PARKING SPACES OR FRACTION THEREOF.

AREA/MATERIAL	REQUIRED	PROVIDED
TREES	6	9
PLANTING	600 SF	5301 SF



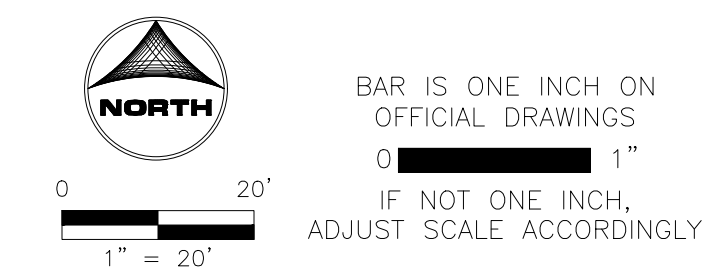
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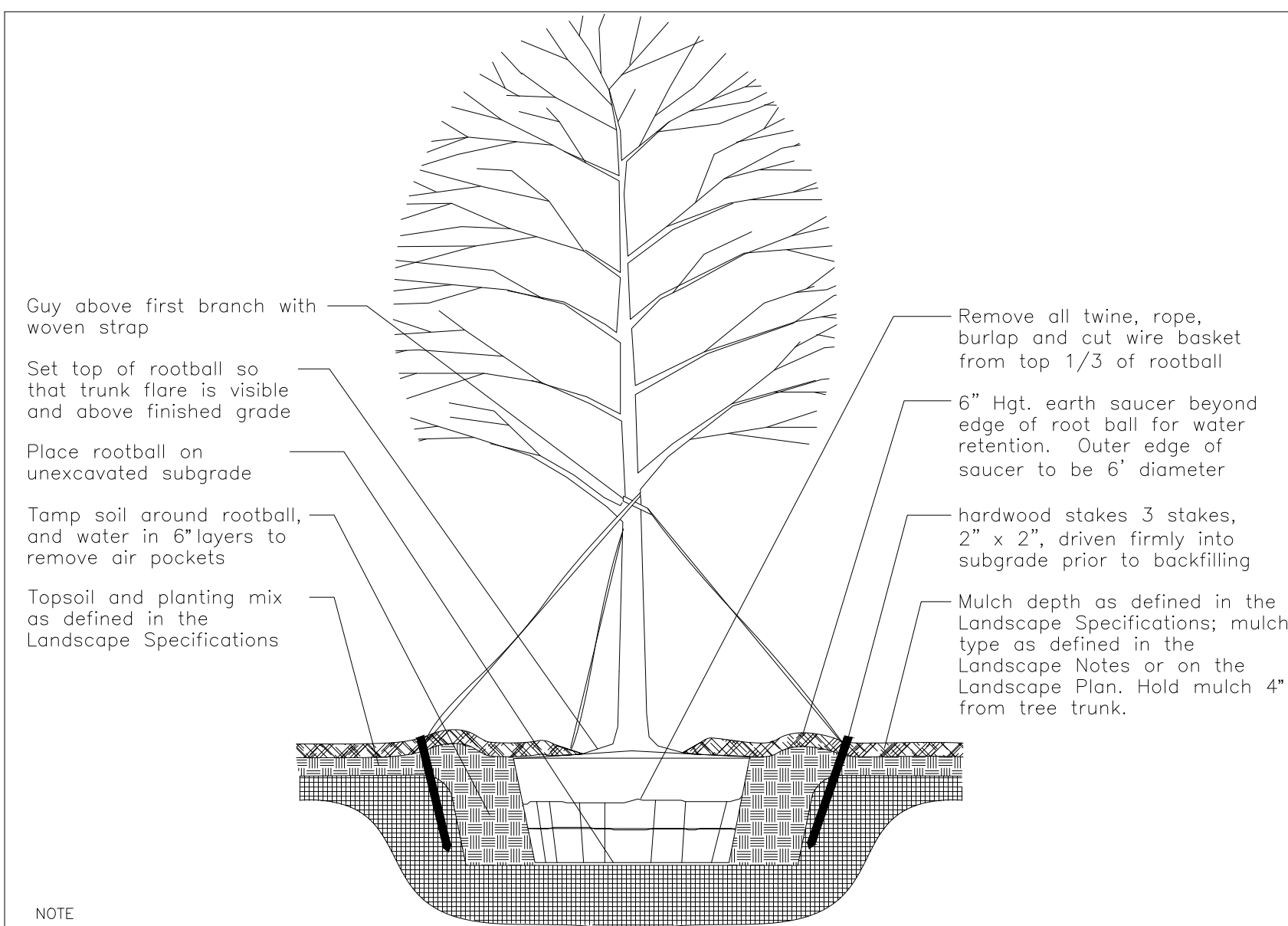
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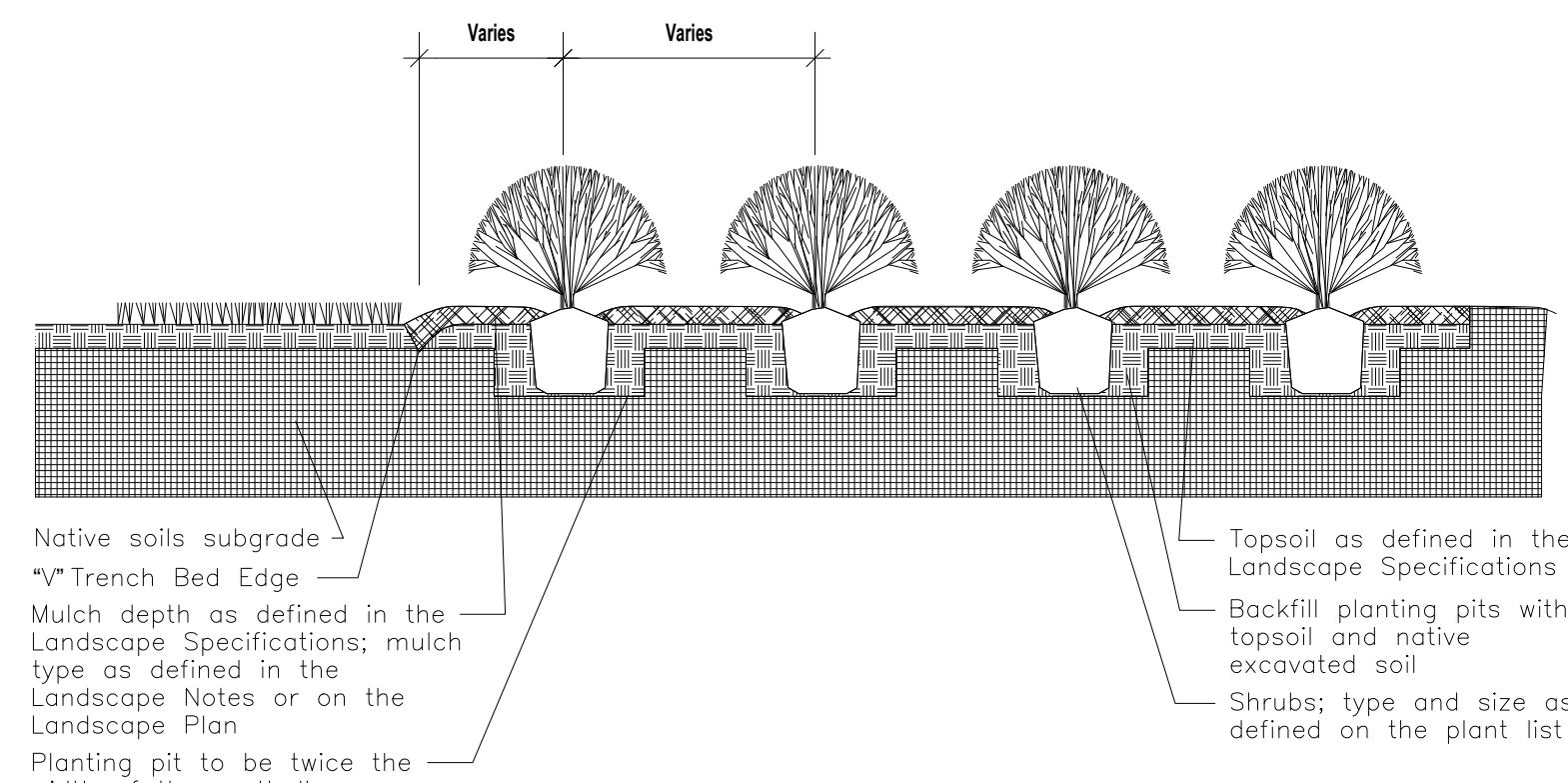
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SHEET	
LANDSCAPE PLAN	
SHEET NUMBER	
L-101	

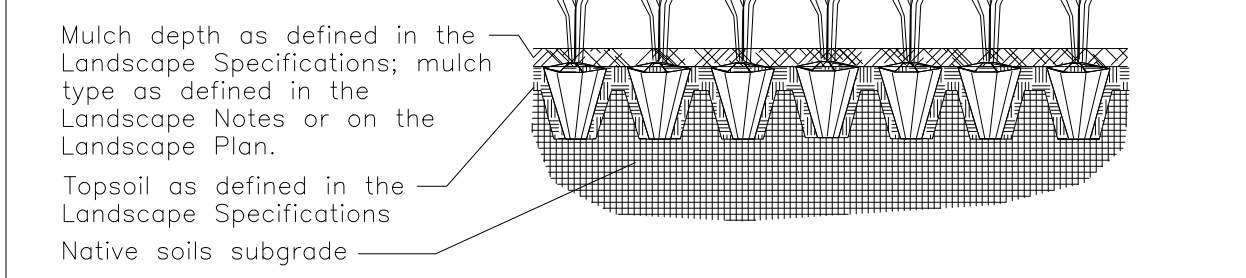
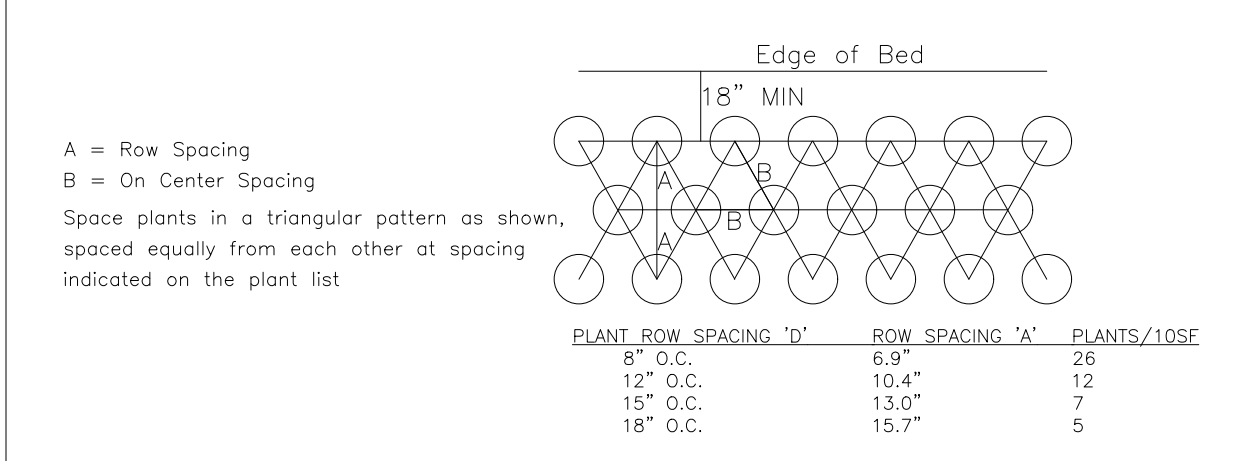


- NOTE
- Hole to be twice the width of the rootball.
 - Do not heavily prune tree at planting; Prune only crossover limbs, broken or dead branches; Do not remove the terminal buds of branches that extend to the edge of the crown.
 - Each tree must be planted such that the trunk flare is visible at the top of the rootball. Trees where the trunk flare is not visible shall be rejected. Do not cover the top of the rootball with soil. Mulch to be held back 4" away from trunk.
 - Remove Guy Wires and Staking when warranty period has expired (after one year).

1 TREE PLANTING AND STAKING DETAIL
SCALE: NTS

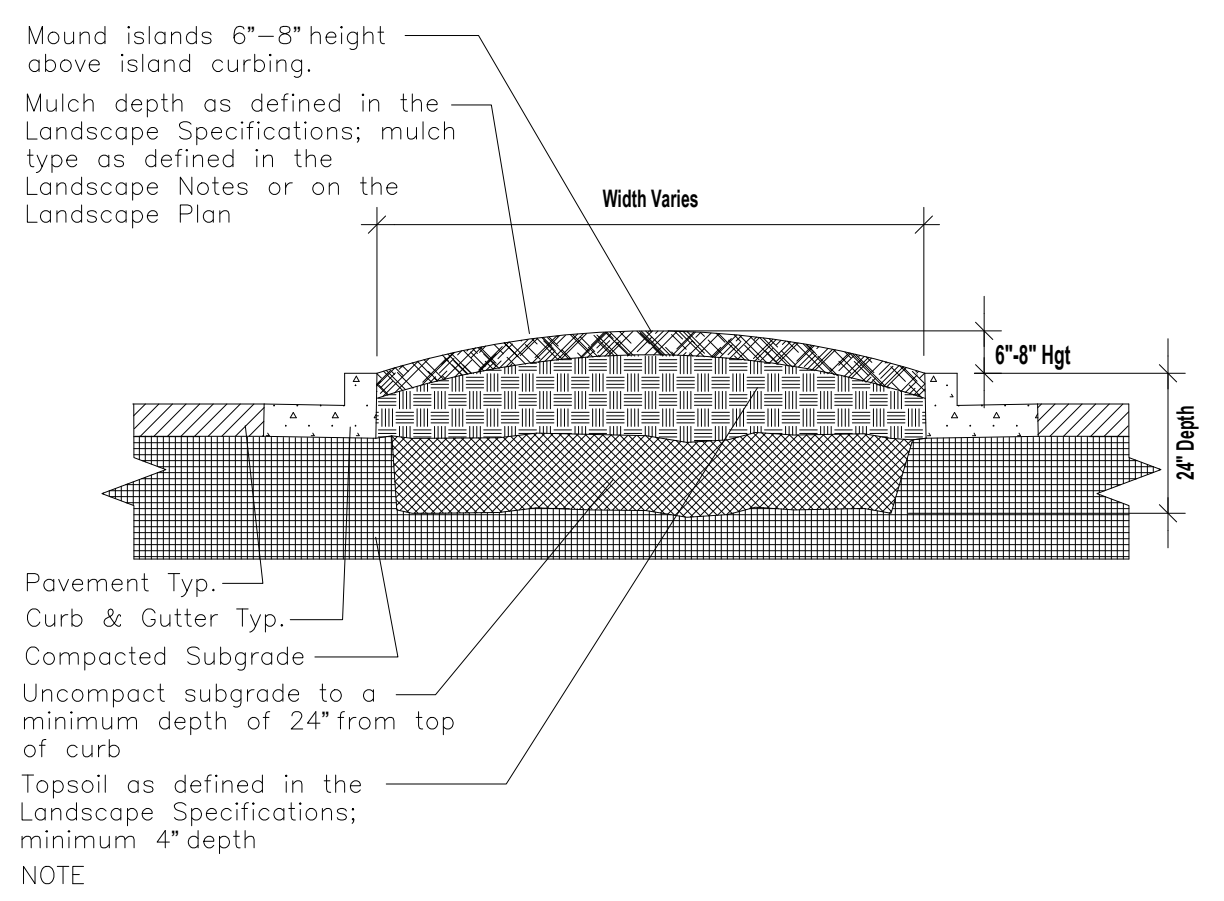


2 SHRUB BED PLANTING DETAIL
SCALE: NTS



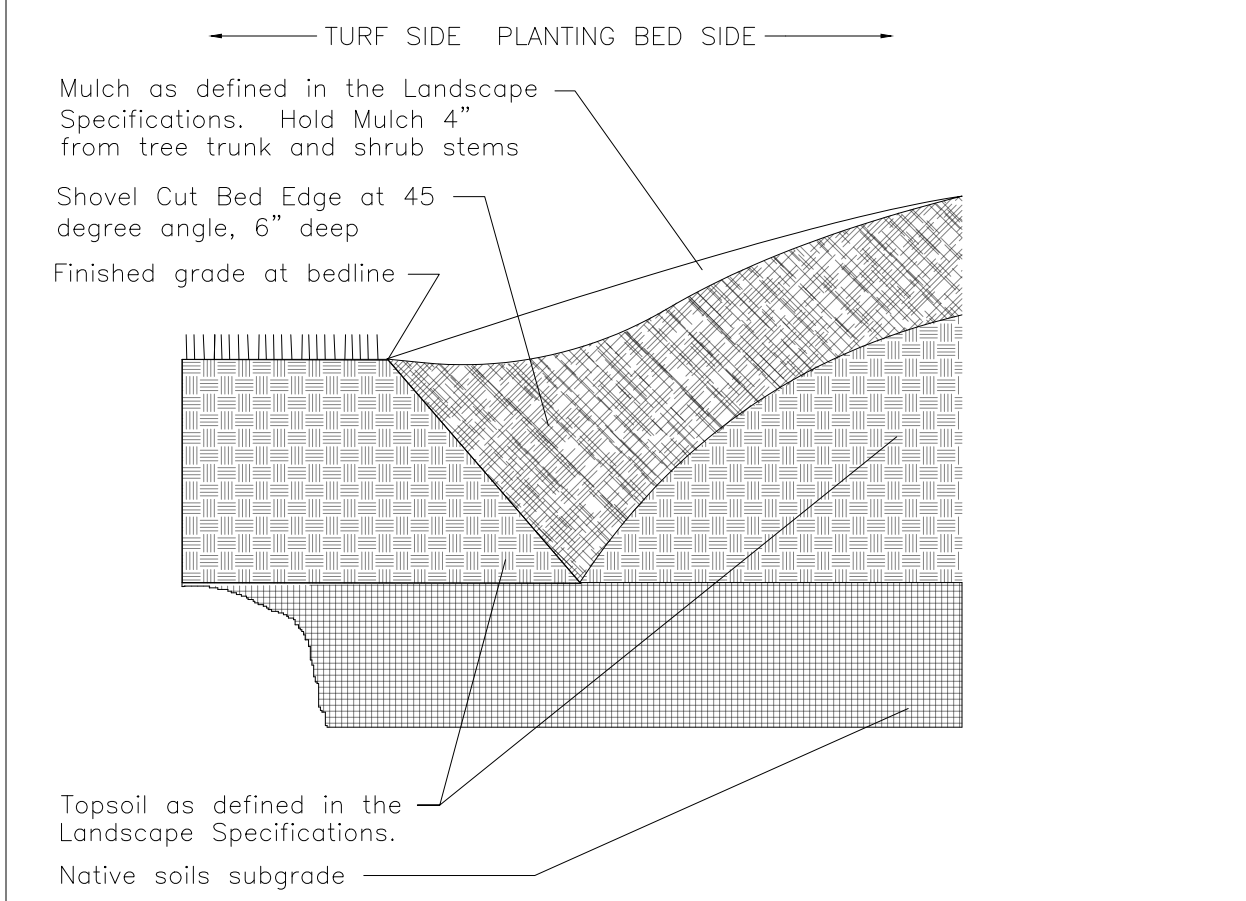
- NOTE
- Space groundcover plants in accordance with indicated spacing listed on the plant list, or as shown on the landscape plan.
 - Adjust spacing as necessary to evenly fill planting bed with indicated quantity of plants.
 - Plant to within 24" of the trunks of trees and shrubs within planting bed and to within 18" of edge of bed.

3 GROUND COVER PLANTING DETAIL
SCALE: NTS



- NOTE
- Clean construction debris from within landscape island areas (ie. concrete, rocks, rubble, building materials, ect), prior to installing topsoil and plant material.
 - Fracture/loosen existing subgrade to a minimum 24" depth. Remove and replace any subgrade unsuitable for planting. Once subgrade is clean of debris and loosened, add topsoil to a minimum bermed 6"-8" height above island curbing.
 - Island plant material as per the Landscape Plan.
 - Install plant material as per tree, shrub and ground cover planting details, and as defined in the Landscape Specifications.
 - Install mulch or sod as specified on the Landscape Plan, and as defined in the Landscape Specifications.

4 PARKING ISLAND BERMING DETAIL
SCALE: NTS



5 "V" TRENCH BED EDGING
SCALE: NTS

GENERAL NOTES

- BASE MAP INFORMATION IS ACCURATE AS OF THE DATE PRINTED ON THIS PACKAGE.
- THE LANDSCAPE PLANS CONTAINED HEREIN ILLUSTRATE APPROXIMATE LOCATIONS OF ALL SITE CONDITIONS. REFER TO SURVEY, ARCHITECTURAL, CIVIL ENGINEERING, STRUCTURAL, ELECTRICAL, IRRIGATION AND ALL OTHER DRAWINGS, IF AVAILABLE, FOR ADDITIONAL DETAILED INFORMATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING AWARE OF AND FIELD VERIFYING ALL RELATED EXISTING AND PROPOSED CONDITIONS, UTILITIES, PIPES AND STRUCTURES, ETC. PRIOR TO BIDDING AND CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR CONTACTING JULIE, THE COUNTY PUBLIC WORKS DEPARTMENT, THE MUNICIPALITY AND ANY OTHER PUBLIC OR PRIVATE AGENCIES NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF APPARENT CONFLICTS WITH CONSTRUCTION AND UTILITIES SO THAT ADJUSTMENTS CAN BE PLANNED PRIOR TO INSTALLATION. IF FIELD ADJUSTMENTS ARE NECESSARY DUE TO EXISTING UTILITY LOCATIONS THEY MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY AND ALL COSTS OR OTHER LIABILITIES INCURRED DUE TO DAMAGE OF SAID UTILITIES/STRUCTURES/ETC.
- THE CONTRACTOR SHALL COMPLY WITH ALL CODES APPLICABLE TO THIS WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH SUBCONTRACTORS AND OTHER CONTRACTORS OF RELATED TRADES, AS REQUIRED, TO ACCOMPLISH THE PLANTING AND RELATED OPERATIONS.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL PLANT MATERIAL WITH THE INSTALLATION OF OTHER IMPROVEMENTS SUCH AS HARDSCAPE ELEMENTS AND RELATED STRUCTURES. ANY DAMAGE TO EXISTING IMPROVEMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ALL AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED BY OPERATIONS OF OR RELATED TO THE CONTRACTOR'S WORK.
- ALL SURFACE DRAINAGE SHALL BE DIVERTED AWAY FROM STRUCTURES AND NOTED SITE FEATURES IN ALL AREAS AT A MINIMUM OF 2% SLOPE OR AS SHOWN ON THE CIVIL ENGINEERING PLANS. ALL AREAS SHALL POSITIVELY DRAIN AND ALL ISLANDS SHALL BE CROWNED 1" IN HEIGHT PER 1' IN ISLAND WIDTH.
- THE CONTRACTOR SHALL STAKE ALL TREE LOCATIONS AND THE PERIMETER OF SHRUB/PERENNIAL BEDS PRIOR TO INSTALLATION AND CONTACT THE OWNER'S REPRESENTATIVE FOR APPROVAL. FINAL LOCATION AND STAKING OF ALL PLANT MATERIALS SHALL BE ACCEPTED BY THE OWNER'S REPRESENTATIVE IN ADVANCE OF PLANTING.
- IF CONFLICTS ARISE BETWEEN THE SIZE OF AREAS AND PLANS, THE CONTRACTOR IS REQUIRED TO CONTACT THE OWNER'S REPRESENTATIVE FOR RESOLUTION PRIOR TO INSTALLATION.
- WHERE PROVIDED, AREA TAKEOFFS AND PLANT QUANTITY ESTIMATES IN THE PLANT LIST ARE FOR INFORMATION ONLY. THE CONTRACTOR IS RESPONSIBLE TO DO THEIR OWN QUANTITY TAKE-OFFS FOR ALL PLANT MATERIALS AND SIZES SHOWN ON PLANS. IN CASE OF ANY DISCREPANCIES, PLANS TAKE PRECEDENCE OVER CALL-OUTS AND/OR THE PLANT LIST(S).
- PLANTS ARE TO BE TYPICAL IN SHAPE AND SIZE FOR SPECIES. PLANTS PLANTED IN ROWS OR GROUPS SHALL BE MATCHED IN FORM. PLANTS SHALL NOT BE ROOT-BOUND OR LOOSE IN THEIR CONTAINERS. HANDLE ALL PLANTS WITH CARE IN TRANSPORTING, PLANTING AND MAINTENANCE UNTIL INSPECTION AND FINAL ACCEPTANCE. FIELD COLLECTED MATERIAL SHALL NOT BE USED UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE.
- SHREDDED HARDWOOD MULCH, FERTILIZING, AS SPECIFIED, STAKING, WATERING AND ONE (1) YEAR PLANT WARRANTY FOR INSTALLED PLANT MATERIAL, SHALL BE CONSIDERED INCIDENTAL TO THE PLANT ITEMS.
- MUSHROOM COMPOST SHALL BE FINELY SCREENED, HOMOGENOUS, DECOMPOSED ORGANIC MATERIAL SUITABLE FOR HORTICULTURAL USE. MIX THOROUGHLY IN PLANT BED BEFORE INSTALLING PLANTS.

LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR TO READ AND UNDERSTAND THE LANDSCAPE SPECIFICATIONS (SHEET L-103) PRIOR TO FINALIZING BIDS. THE LANDSCAPE SPECIFICATIONS SHALL BE ADHERED TO THROUGHOUT THE CONSTRUCTION PROCESS.
- CONTRACTOR RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- CONTRACTOR RESPONSIBLE FOR PROTECTING EXISTING TREES FROM DAMAGE DURING CONSTRUCTION.
- ALL PLANTING AREAS SHALL BE CLEANED OF CONSTRUCTION DEBRIS (IE. CONCRETE, ROCK, RUBBLE, BUILDING MATERIALS, ETC.) PRIOR TO ADDING AND SPREADING OF THE TOPSOIL.
- ALL SHRUBS BEDS (EXISTING AND NEW) TO BE MULCHED WITH A 3 INCH MINIMUM LAYER OF DOUBLE SHREDDED HARDWOOD MULCH.
- ALL ANNUAL AND PERENNIAL BEDS TO BE TILLED TO A MINIMUM DEPTH OF 12 INCHES AND AMENDED WITH 4 INCHES OF ORGANIC MATERIAL. MULCH PLANTED ANNUAL AND PERENNIAL BEDS WITH 2 INCH DEPTH OF MINI NUGGETS.
- PLANTING HOLES TO BE DUG A MINIMUM OF TWICE THE WIDTH OF THE SIZE OF THE ROOT BALL OF BOTH SHRUB AND TREE. BACK TO BE A MIX OF 4 PARTS TOPSOIL AND 1 PART ORGANIC SOIL CONDITIONER (IE. NATURE'S HELPER OR PRO MIX). BACKFILL AND TAMP BOTTOM OF HOLE PRIOR TO PLANTING SO TOP OF ROOT BALL DOES NOT SETTLE BELOW SURROUNDING GRADE.
- EXISTING GRASS IN PROPOSED PLANTING AREAS TO BE KILLED AND REMOVED AND AREA TO BE HAND RAKED TO REMOVE ALL ROCKS AND DEBRIS LARGER THAN 1 INCH IN DIAMETER PRIOR TO PLANTING SHRUBS.
- ANY EXISTING GRASS DISTURBED DURING CONSTRUCTION TO BE FULLY REMOVED, REGRADED AND REPLACED. ALL TIRE MARKS AND INDENTIONS TO BE REPAIRED.
- SOIL TO BE TESTED TO DETERMINE FERTILIZER AND LIME REQUIREMENTS AND DISTRIBUTED PRIOR TO LAYING SOD.
- SOD TO BE DELIVERED FRESH (CUT LESS THAN 24 HOURS PRIOR TO ARRIVING ON SITE), LAID IMMEDIATELY, ROLLED, AND WATERED THOROUGHLY IMMEDIATELY AFTER PLANTING. EDGE OF SOD IS TO BE "V" TRENCHED.
- ALL CHANGES TO DESIGN OR PLANT SUBSTITUTIONS ARE TO BE AUTHORIZED BY THE LANDSCAPE ARCHITECT.
- ALL LANDSCAPING SHALL BE INSTALLED IN CONFORMANCE WITH ANSI Z60.1 THE "AMERICAN STANDARD FOR NURSERY STOCK" AND THE ACCEPTED STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF THE GUARANTEE PERIOD. THE LANDSCAPE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ACTS OF GOD OR VANDALISM.
- ANY PLANT THAT IS DETERMINED DEAD, IN AN UNHEALTHY OR UNSIGHTLY CONDITION, LOST ITS SHAPE DUE TO DEAD BRANCHES OR OTHER SYMPTOMS OF POOR, NON-VIGOROUS GROWTH SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ADDING A MIN OF 4" OF CLEAN FRIABLE TOPSOIL IN ALL PLANTING BEDS AND ALL GRASSED AREAS. GRADED AREAS TO BE HELD DOWN THE APPROPRIATE ELEVATION TO ACCOUNT FOR TOPSOIL. SEE SPECIFICATIONS FOR REQUIRED TOPSOIL CHARACTERISTICS.
- IN ALL PARKING LOT ISLANDS, THE GENERAL CONTRACTOR IS RESPONSIBLE TO REMOVE ALL DEBRIS, FRACTURE/LOOSEN SUBGRADE TO A MIN. 24" DEPTH. ADD TOPSOIL TO A 6"-8" BERM HEIGHT ABOVE ISLAND CURBING; REFER TO LANDSCAPE SPECIFICATIONS AND LANDSCAPE ISLAND DETAIL.
- PRIOR TO BEGINNING WORK, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUBGRADE, GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, UTILITY LOCATIONS, IRRIGATION, APPROVE TOPSOIL PROVIDED BY GENERAL CONTRACTOR AND OBSERVE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. NOTIFY GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS, AND WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR.
- STAKE ALL EVERGREEN AND DECIDUOUS TREES AS SHOWN IN THE DETAILS THIS SHEET.
- REMOVE ALL STAKES AND GUYING FROM ALL TREES AFTER ONE YEAR FROM PLANTING.
- WATER THOROUGHLY TWICE IN FIRST 24 HOURS AND APPLY MULCH IMMEDIATELY.
- SITE TO BE 100% IRRIGATED IN ALL PLANTING BEDS AND GRASS AREA BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. SEE IRRIGATION PLAN FOR DESIGN.
- ALL TREE PROTECTION DEVICES TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE, AND MAINTAINED UNTIL FINAL LANDSCAPING.
- ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.
- ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY, AND REPAIRED OR REPLACED AS NEEDED.
- NO PARKING, STORAGE OR OTHER CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.
- CONTRACTOR SHALL USE CAUTION WHEN DIGGING TREE PITS IN THE VICINITY OF UNDERGROUND UTILITY LINES AND MAY NEED TO HAND DIG THE PITS IN MANY OF THESE INSTANCES.



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27TH & LOOMIS (WI) FSU
2701 W. MORGAN AVENUE
MILWAUKEE, WI 53221

FSU# 05405

REVISION SCHEDULE	NO.	DATE	DESCRIPTION

PRELIMINARY

ENGINEER'S PROJECT #	2202468
PRINTED FOR	PRELIMINARY
DATE	3/24/2023
DRAWN BY: XXX	CHECKED BY: XXX

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LANDSCAPE DETAILS

SHEET NUMBER
L-102

PRELIMINARY
NOT FOR CONSTRUCTION

GLAZING SCHEDULE				
MARK	THICKNESS	TYPE	TINT	REMARKS
G1	1/4"	TEMPERED	CLEAR	
G3	1/8" (2)	LAMINATED	CLEAR	DUAL LAYER
G4	1/8" (2)	LAMINATED	ACID ETCHED	DUAL LAYER
G11	1/2"	TEMPERED	CLEAR	BUTT GLAZE
G21	1"	TEMPERED	CLEAR - LOW-E	PROVIDE THERMALLY BROKEN AT EXTERIOR LOCATIONS
G31	1"	TEMPERED	ACID ETCHED - LOW-E	PROVIDE THERMALLY BROKEN AT EXTERIOR LOCATIONS

NOTES:
 1. PROTOTYPICAL STOREFRONT SYSTEM (MULLIONS & GLAZING COMBINED) U-VALUES: 0.46.
 SHGC: 0.28 (CLEAR GLASS - TINTED GLASS WILL NOT BE ACCEPTED)

EXTERIOR FINISHES	
 BR-A BRICK VENEER COLOR: DARK BROWN SIZE: MODULAR	 EC-1 PREFINISHED METAL COPING COLOR: MIDNIGHT BRONZE
 BR-B BRICK VENEER COLOR: LIGHT BROWN SIZE: MODULAR	 PT-113 EXTERIOR PAINT COLOR: DARK BRONZE FINISH: SEMI-GLOSS
	 ST-1 STOREFRONT COLOR: DARK BRONZE



4 WEST EXTERIOR ELEVATION
1/8" = 1'-0"



3 NORTH EXTERIOR ELEVATION
1/8" = 1'-0"



2 EAST EXTERIOR ELEVATION
1/8" = 1'-0"



1 SOUTH EXTERIOR ELEVATION
1/8" = 1'-0"



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CHIPMAN DESIGN
 ARCHITECTURE INC

1350 E TOUHY AVE
 FIRST FLOOR EAST
 DES PLAINES, IL 60018

TEL : 847.298.6900

I HEREBY CERTIFY THAT THESE PLANS HAVE BEEN PREPARED UNDER MY SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE, THEY COMPLY WITH ALL RULES, REGULATIONS AND ORDINANCES OF MILWAUKEE, WI RELATING TO STRUCTURES AND BUILDINGS.

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 MILWAUKEE, WI 53221

#05405

BUILDING TYPE / SIZE: P14 LSR LRG
 RELEASE: 22.08

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REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # 05405

DATE 01/31/2023

DRAWN BY MR

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COLOR ELEVATIONS

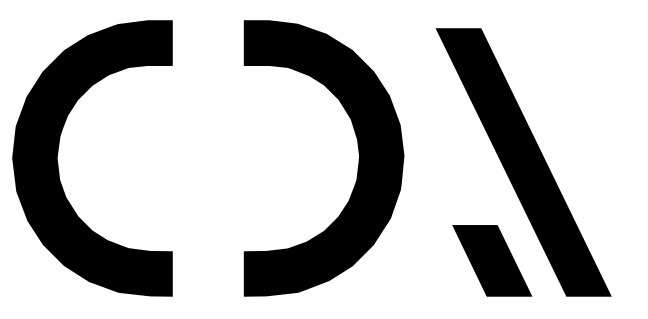
SHEET NUMBER
DIP-001

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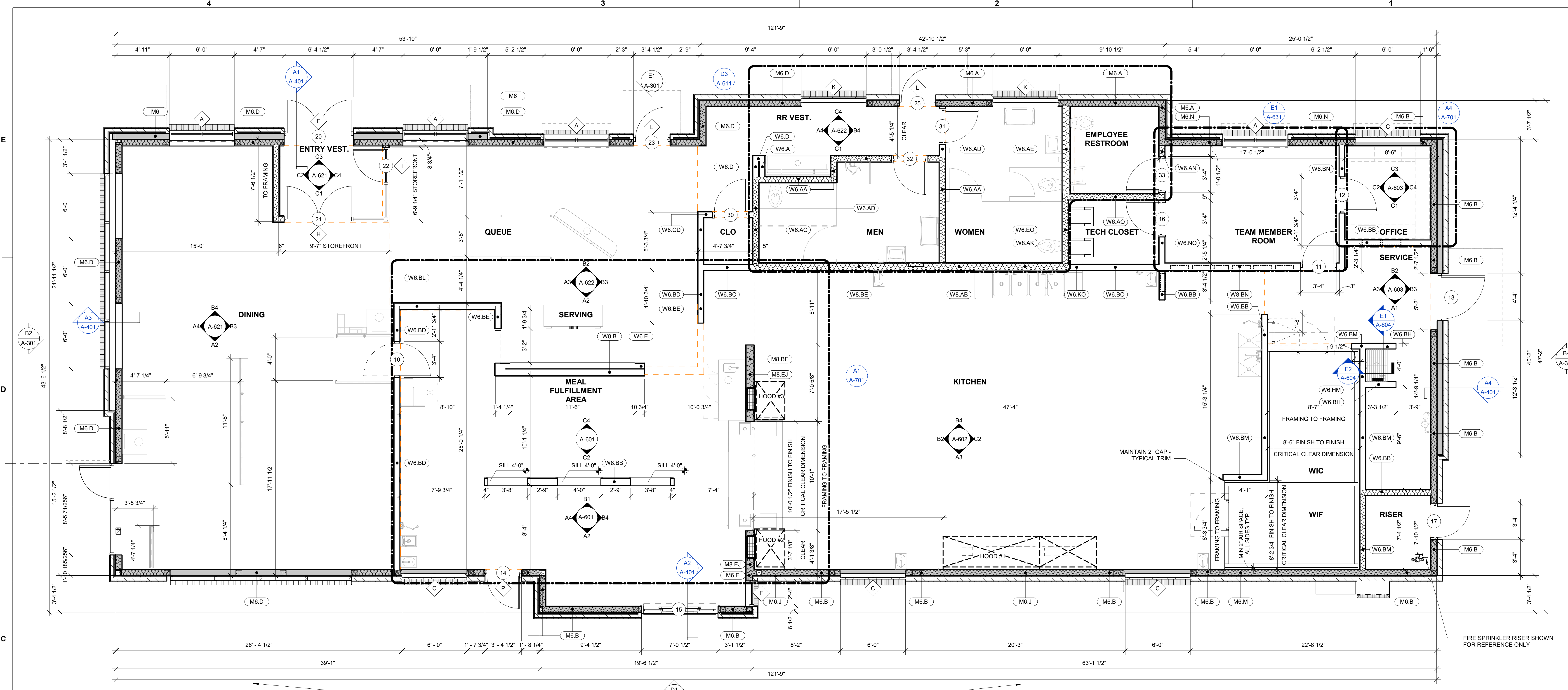
FSR#05405
BUILDING TYPE / SIZE: P14 LSR LRG
RELEASE: 22.08

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

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CONSULTANT PROJECT # 05405
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DATE: 01/31/2023
DRAWN BY: MR
CHECKED BY: CG
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SHEET: FLOOR PLAN
SHEET NUMBER: A-201



C4 FLOOR PLAN
1/4" = 1'-0"

REFER TO LEGEND BELOW FOR WALL CAVITY FRAMING AND INSULATION

REFER TO WALL TYPES ON THE RIGHT FOR SHEATHING AND MATERIALS ON EXPOSED SIDE(S) OF WALL (REFER TO ROOM LABELS FOR ORIENTATION)

PLUS SIGN INDICATES ADDITIONAL LAYER OF SHEATHING

WOOD STUD WALL
W4 2x4 WOOD STUDS
W6 2x6 WOOD STUDS
W8 2x8 WOOD STUDS

METAL STUD WALL
M4 3 5/8" METAL STUDS
M6 6" METAL STUDS
M8 8" METAL STUDS

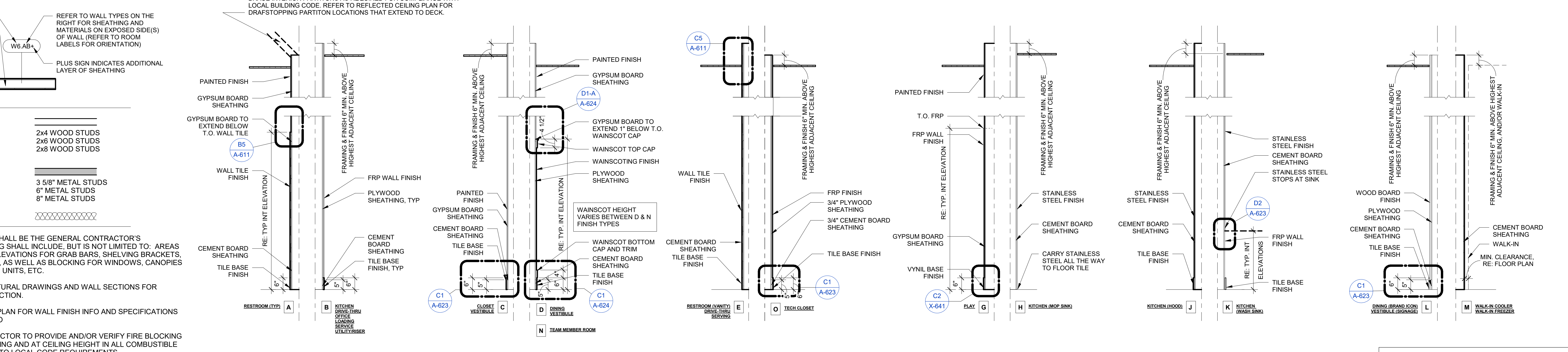
BATT INSULATION

NOTE 1: WALL BLOCKING SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY. BLOCKING SHALL INCLUDE, BUT IS NOT LIMITED TO: AREAS INDICATED ON INTERIOR ELEVATIONS FOR GRAB BARS, SHELVING BRACKETS, MONITORS, FIXTURES, ETC. AS WELL AS BLOCKING FOR WINDOWS, CANOPIES ROOF FRAMING, ROOF TOP UNITS, ETC.

NOTE 2: REFER TO STRUCTURAL DRAWINGS AND WALL SECTIONS FOR EXTERIOR WALL CONSTRUCTION.

NOTE 3: REFER TO FINISH PLAN FOR WALL FINISH INFO AND SPECIFICATIONS FOR WALL SHEATHING INFO

NOTE 4: GENERAL CONTRACTOR TO PROVIDE AND/OR VERIFY FIRE BLOCKING AT 10' MAX VERTICAL SPACING AND AT CEILING HEIGHT IN ALL COMBUSTIBLE STUD WALLS, ACCORDING TO LOCAL CODE REQUIREMENTS.



WALL TYPES LEGEND
N.T.S.

INSULATION SCHEDULE (2015 IECC - ZONE 6A)

LOCATION	R-VALUE	THICKNESS
ROOF	R-30ci	6" RIGID
METAL WALL (CONTINUOUS)	R-7.5 c.i.	1 1/2" RIGID
METAL WALL (CAVITY)	R-13	3 5/8" BATT
WOOD WALL (CONTINUOUS)	R-7.5 c.i.	1 1/2" RIGID
WOOD WALL (CAVITY)	R-13	3 5/8" BATT
SLAB	R-10	24" BELOW

NOTES:
1. REFER TO FLOOR PLAN AND WALL SECTION SHEETS FOR INSULATION EXTENTS AND LOCATIONS.
2. REFER TO SPECIFICATIONS FOR INSULATION PRODUCT INFORMATION.

FLOOR PLAN GENERAL NOTES

A.1 ALL DIMENSIONS SHOWN ARE FRAMING DIMENSIONS (FACE OF STUD/JAMB) UNLESS OTHERWISE NOTED.
A.2 FASTENERS, ANCHORS, CLIPS, STRAPS, ETC WHICH ARE IN CONTACT WITH PRESERVATIVE AND/OR FIRE TREATED WOOD SHALL BE OF G-185 HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, OR AN APPROVED EQUAL.
A.3 REFER TO CIVIL AND LANDSCAPE FOR LOCATIONS OF WALKS, BOLLARDS, LANDSCAPING AREAS, FLAG POLE, AND OTHER SITE ITEMS.
A.4 REFER TO INTERIOR ELEVATIONS FOR LOCATIONS AND TYPES OF CORNER GUARDS.
A.5 CONTRACTOR TO COORDINATE LOCATION OF POLE MOUNTED EXTERIOR CAMERA WITH STRONG SYSTEMS AND INSTALL UNDERGROUND CONDUIT AS REQUIRED. RE: ELECTRICAL.
A.6 REFER TO ACCESSIBILITY PLAN AND FURNITURE DRAWINGS FOR SEATING LAYOUT & SPECIFICATIONS. CONTACT: OWNER.
A.7 REFER TO ACCESSIBILITY PLAN AND OWNER DRAWINGS FOR COMMODITY COUNTERS AND TRASH RECEPTACLES.
A.8 REFER TO IT WALLBOARD USER GUIDE FOR WALLBOARD INSTALLATION, IF APPLICABLE.
A.9 REFER TO MILLWORK PLAN FOR RAISED CONCRETE CURB LOCATIONS.
A.10 FREEZER AND COOLER DOORS AND HARDWARE SUPPLIED BY FREEZER/COOLER MANUFACTURER.

FLOOR PLAN LEGEND:

CT CABINET
RE: ELECTRICAL

MOP RE: ELECTRICAL

STEEL WALL BY OWNER RE: OWNER FOR EXACT LOCATIONS

ITEM BY OWNER

SOFFIT OR BULKHEAD ABOVE RE: REFLECTED CEILING PLAN

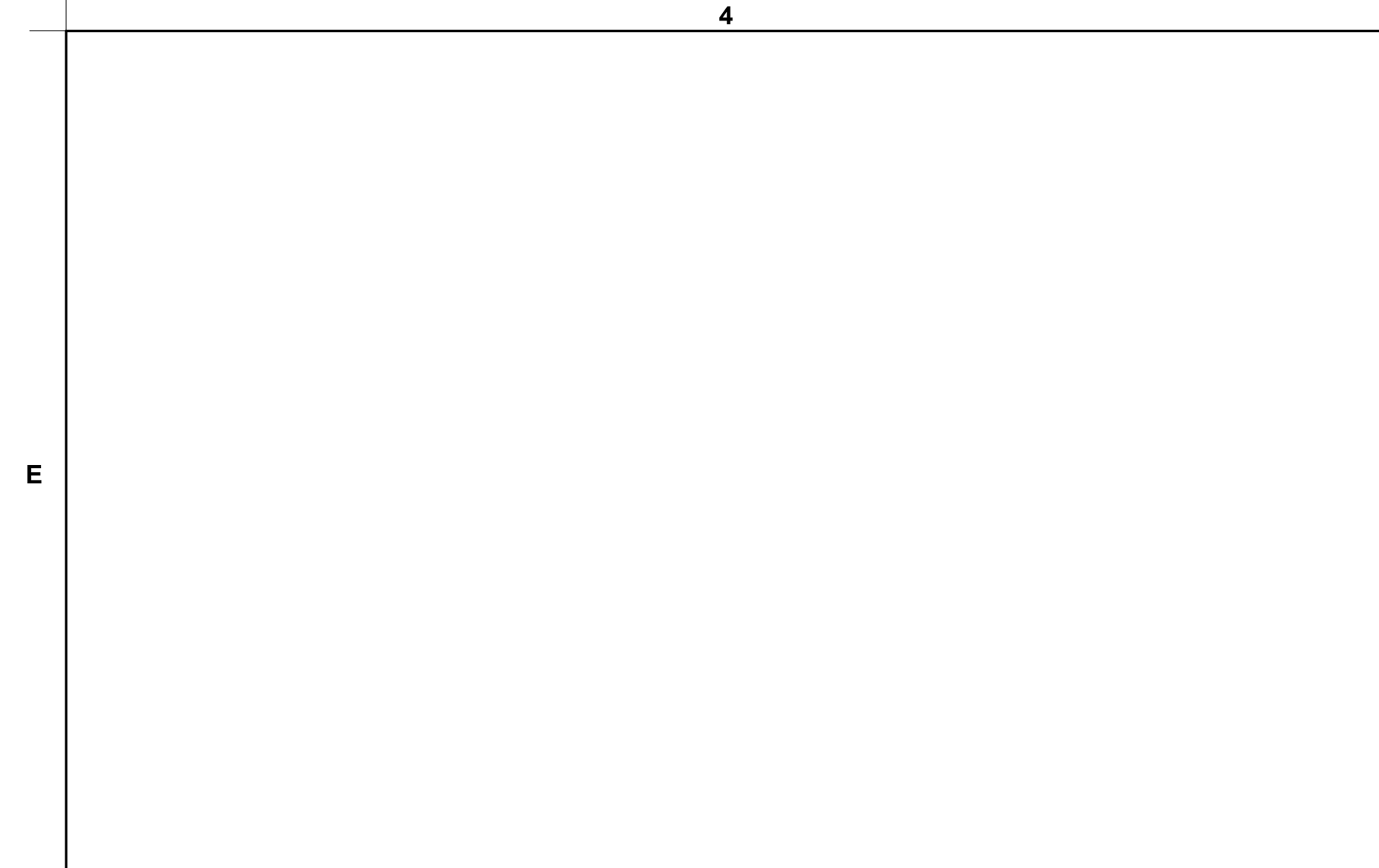
2-SIDED BRAND ICON RE: OWNER DRAWINGS

RECESSED PIN AND SLEEVE BOX RE: A4/A202 & MEP DRAWINGS.

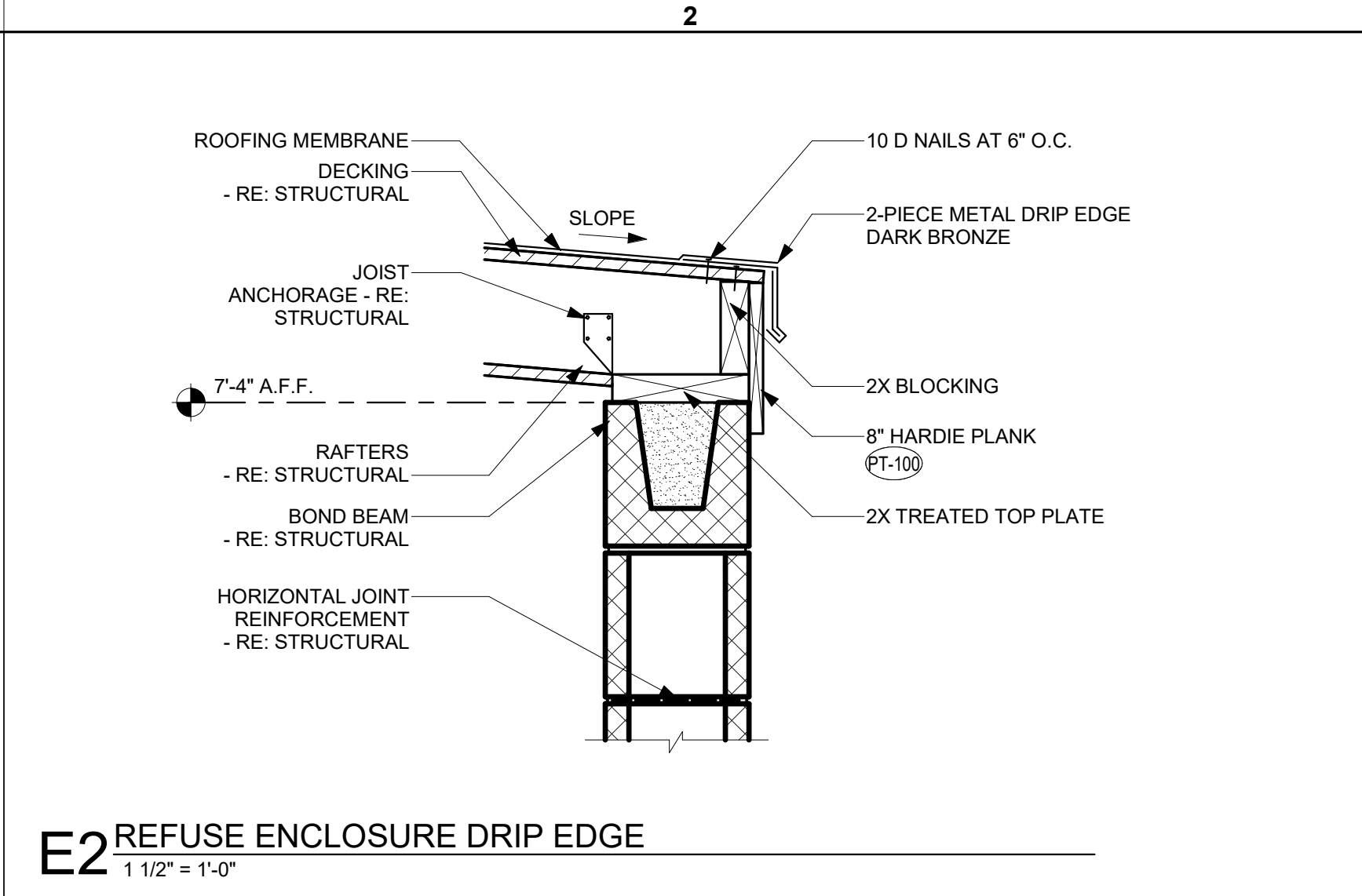
ELECTRICAL PANEL RE: ELECTRICAL

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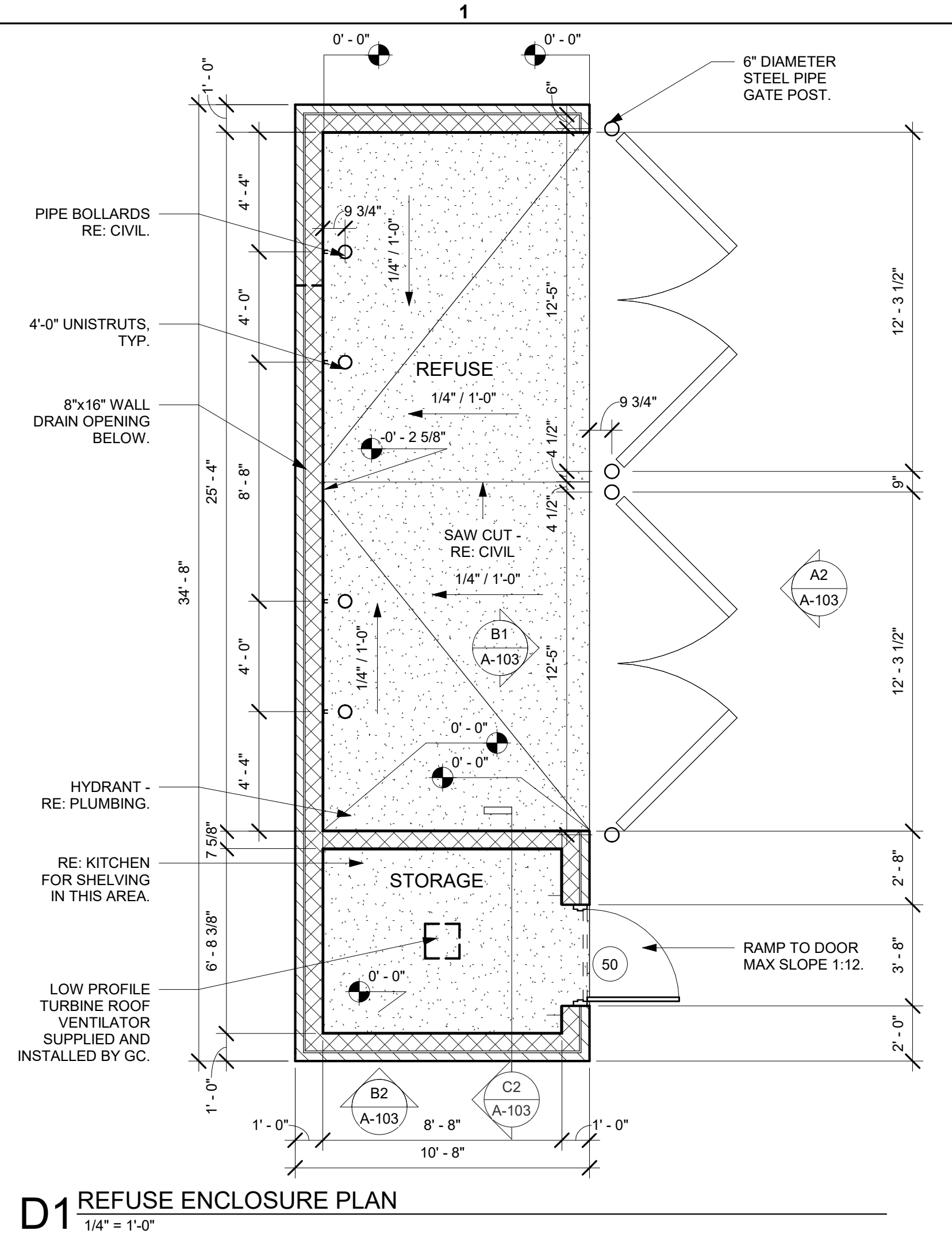
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 10-LSR-05405-A-103-REFUSE ENCLOSURE



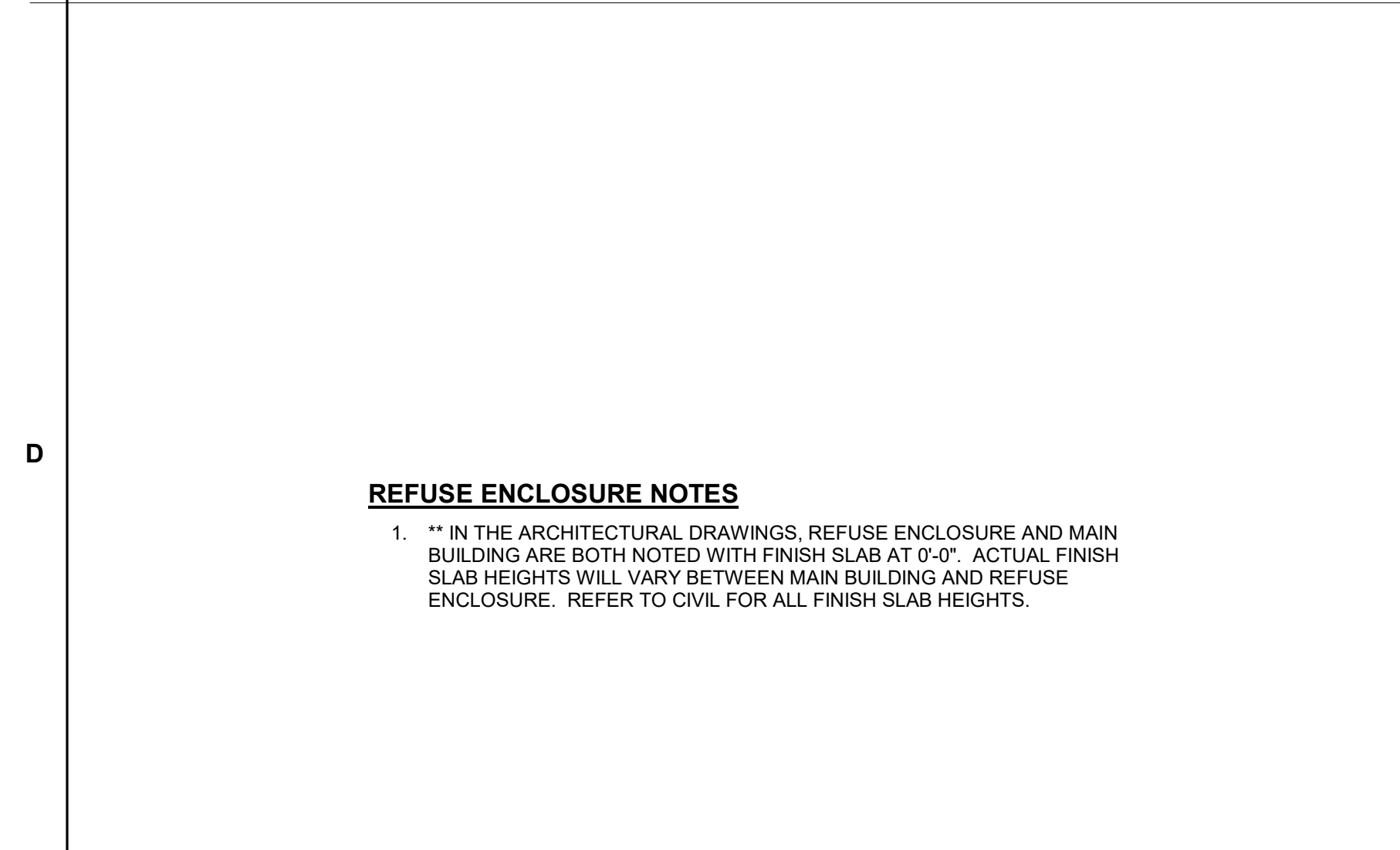
E3 REFUSE ENCLOSURE ROOF EDGE DETAIL
 1 1/2" = 1'-0"



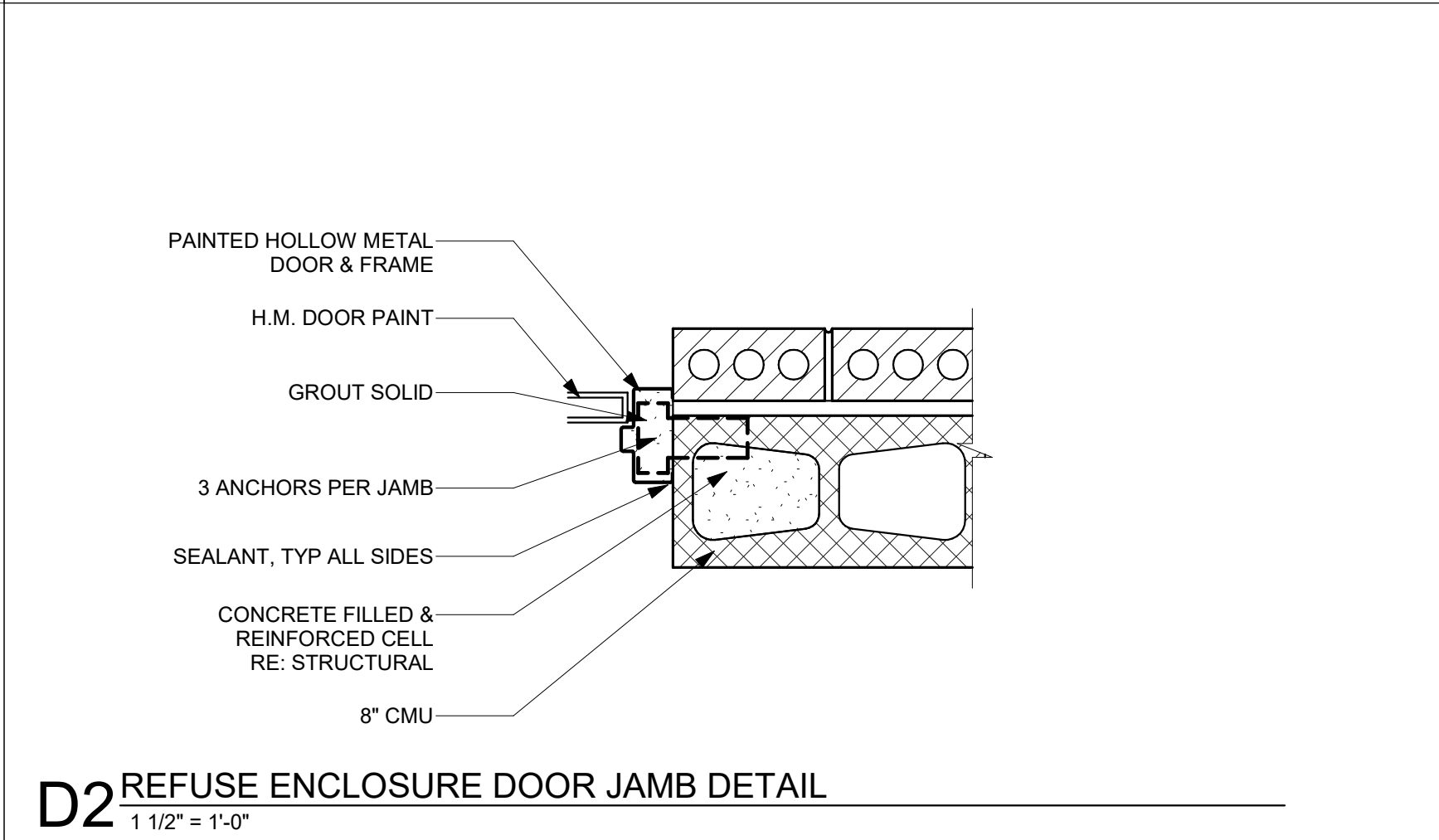
E2 REFUSE ENCLOSURE DRIP EDGE
 1 1/2" = 1'-0"



D1 REFUSE ENCLOSURE PLAN
 1/4" = 1'-0"



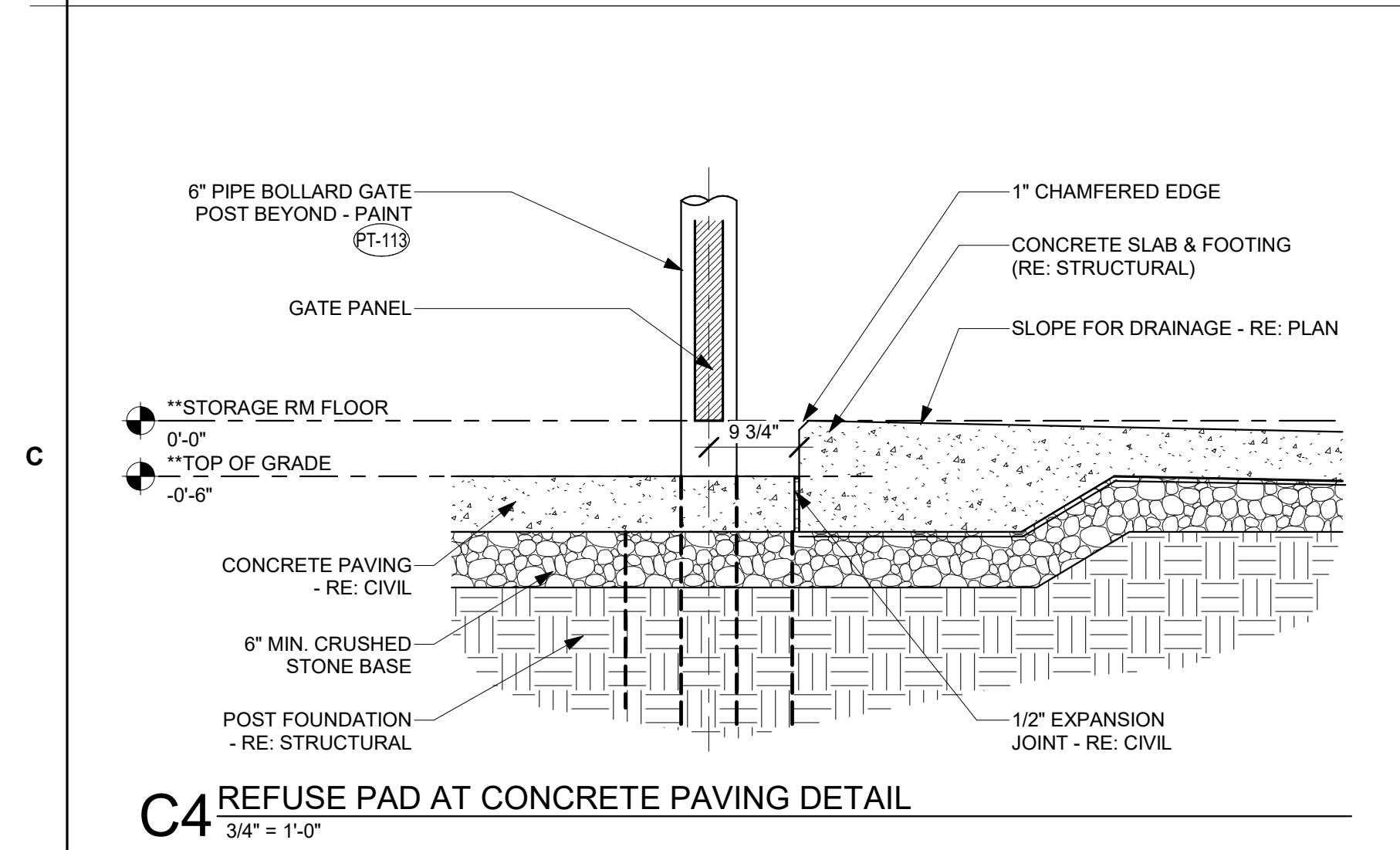
D3 REFUSE ENCLOSURE DOOR HEAD DETAIL
 1 1/2" = 1'-0"



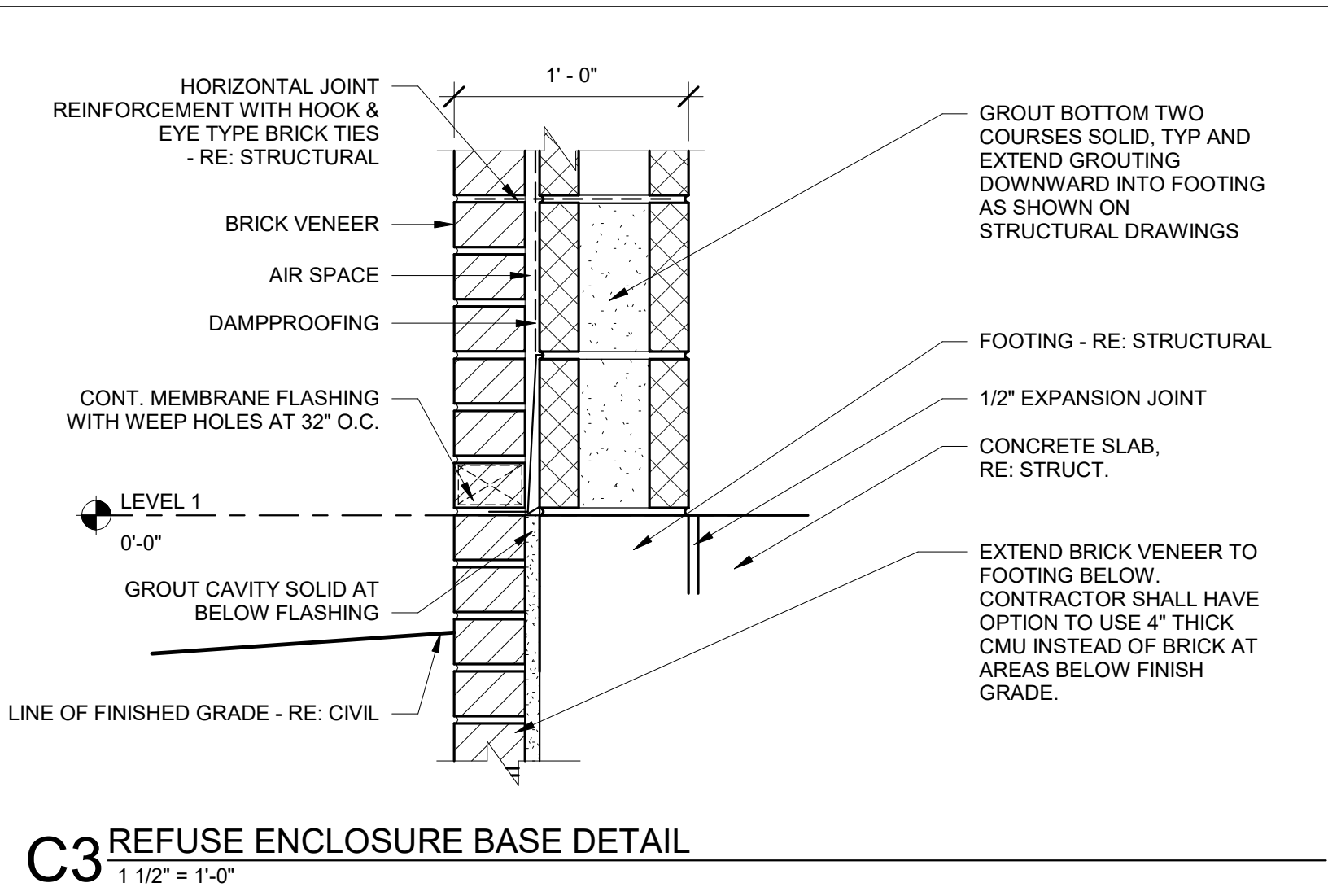
D2 REFUSE ENCLOSURE DOOR JAMB DETAIL
 1 1/2" = 1'-0"

REFUSE ENCLOSURE NOTES

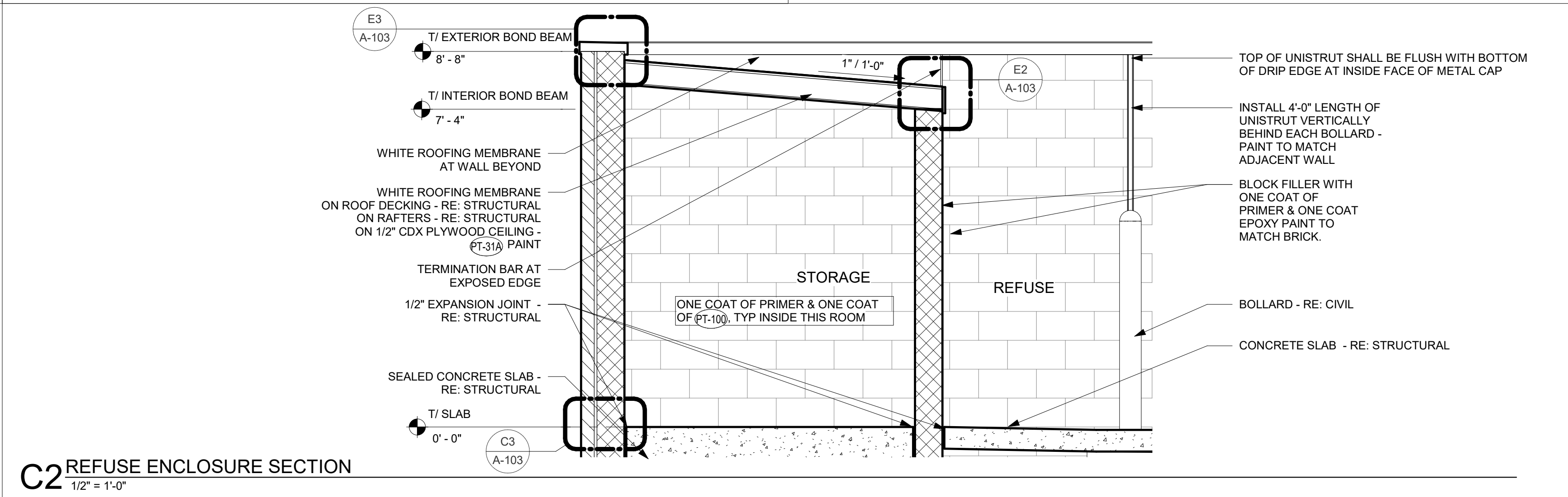
1. ** IN THE ARCHITECTURAL DRAWINGS, REFUSE ENCLOSURE AND MAIN BUILDING ARE BOTH NOTED WITH FINISH SLAB AT 0'-0". ACTUAL FINISH SLAB HEIGHTS WILL VARY BETWEEN MAIN BUILDING AND REFUSE ENCLOSURE. REFER TO CIVIL FOR ALL FINISH SLAB HEIGHTS.



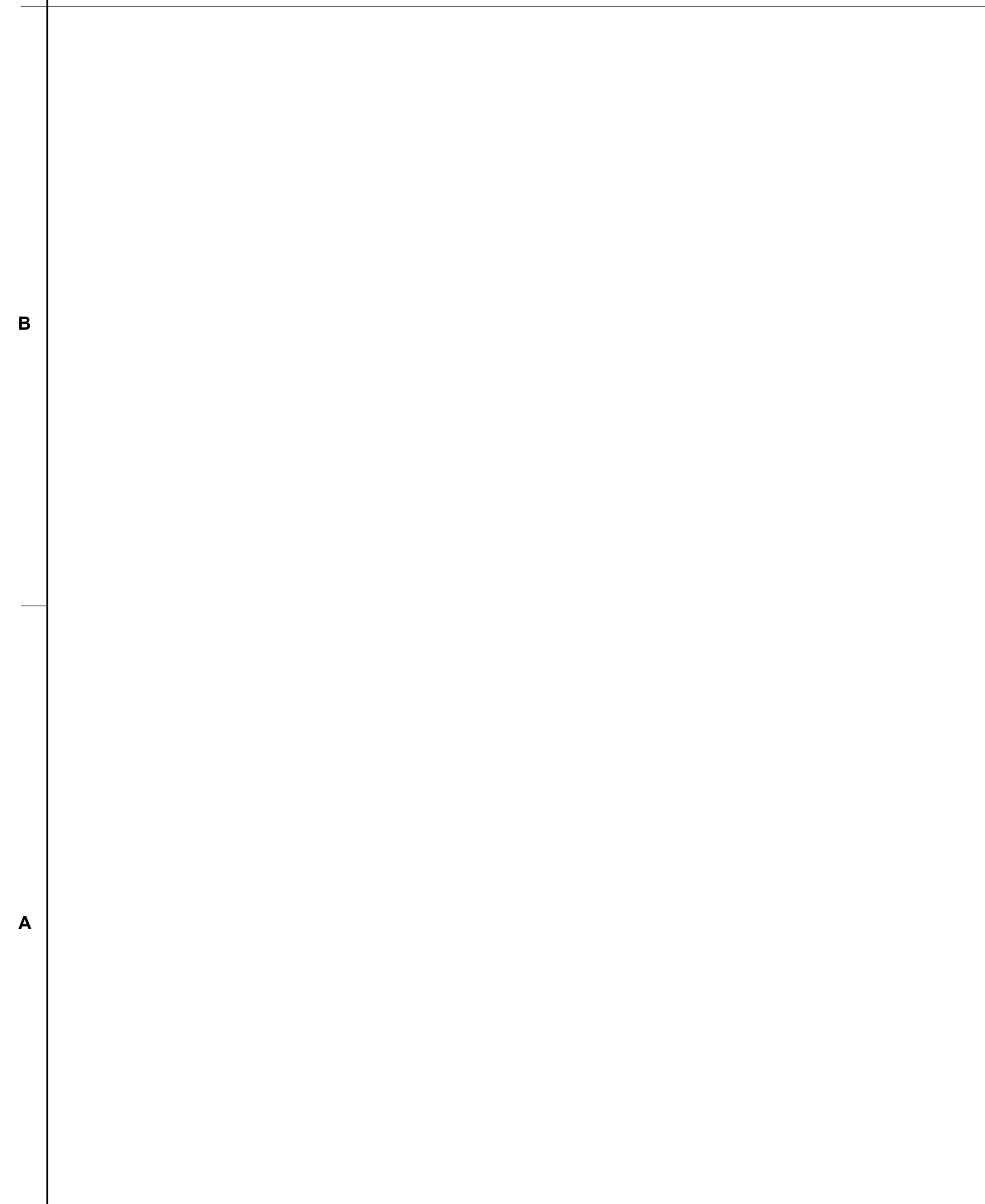
C4 REFUSE PAD AT CONCRETE PAVING DETAIL
 3/4" = 1'-0"



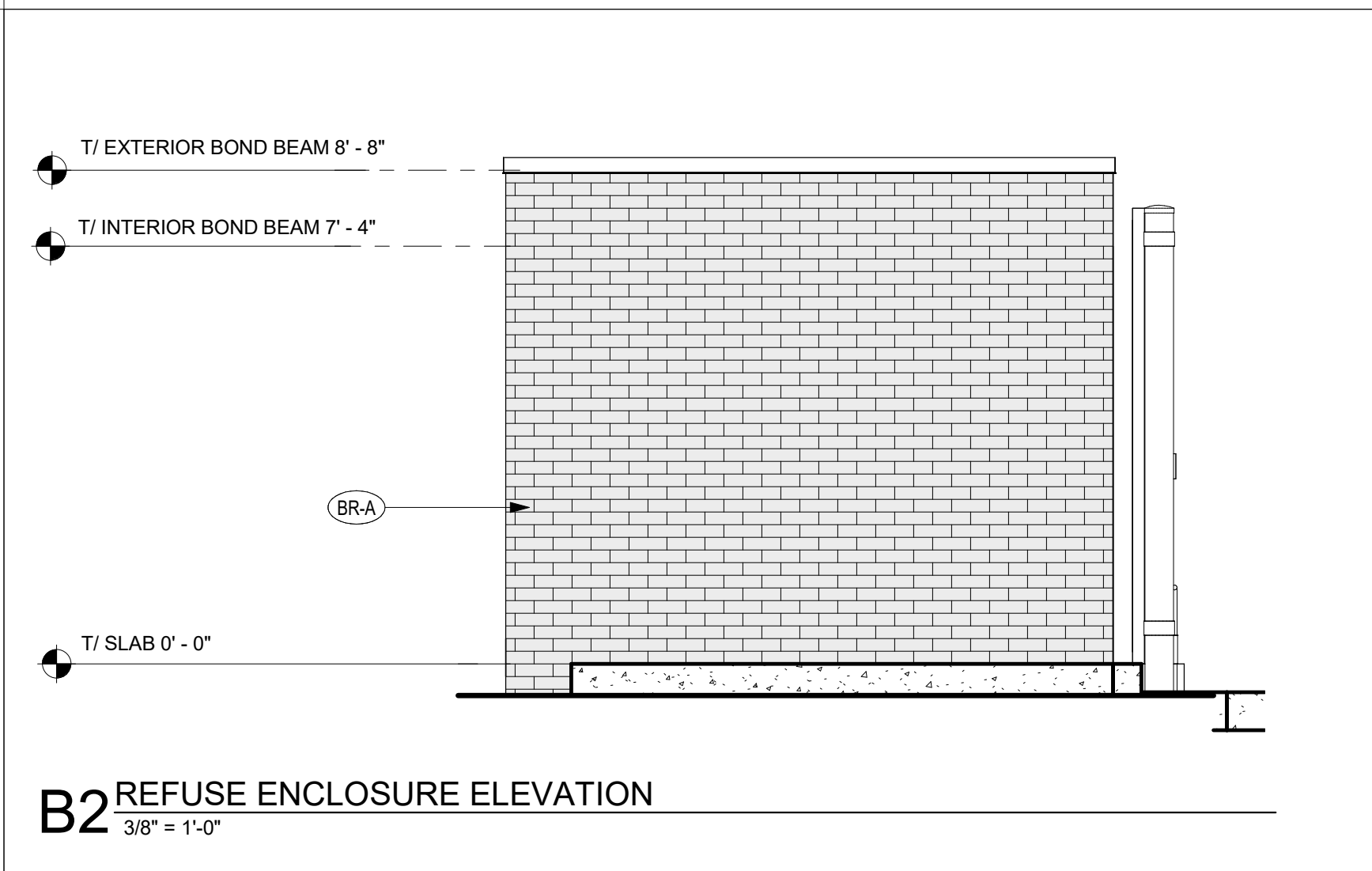
C3 REFUSE ENCLOSURE BASE DETAIL
 1 1/2" = 1'-0"



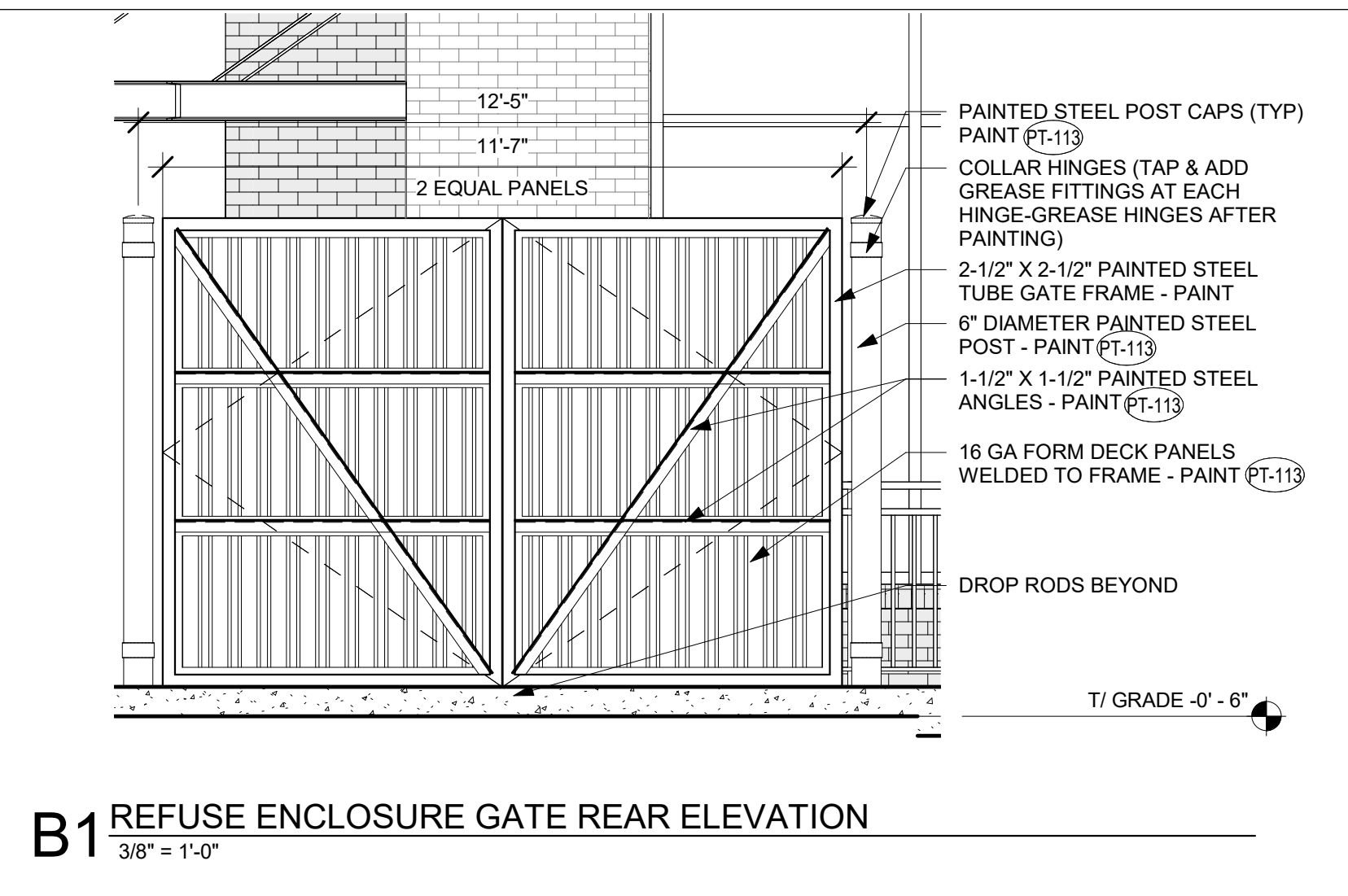
C2 REFUSE ENCLOSURE SECTION
 1/2" = 1'-0"



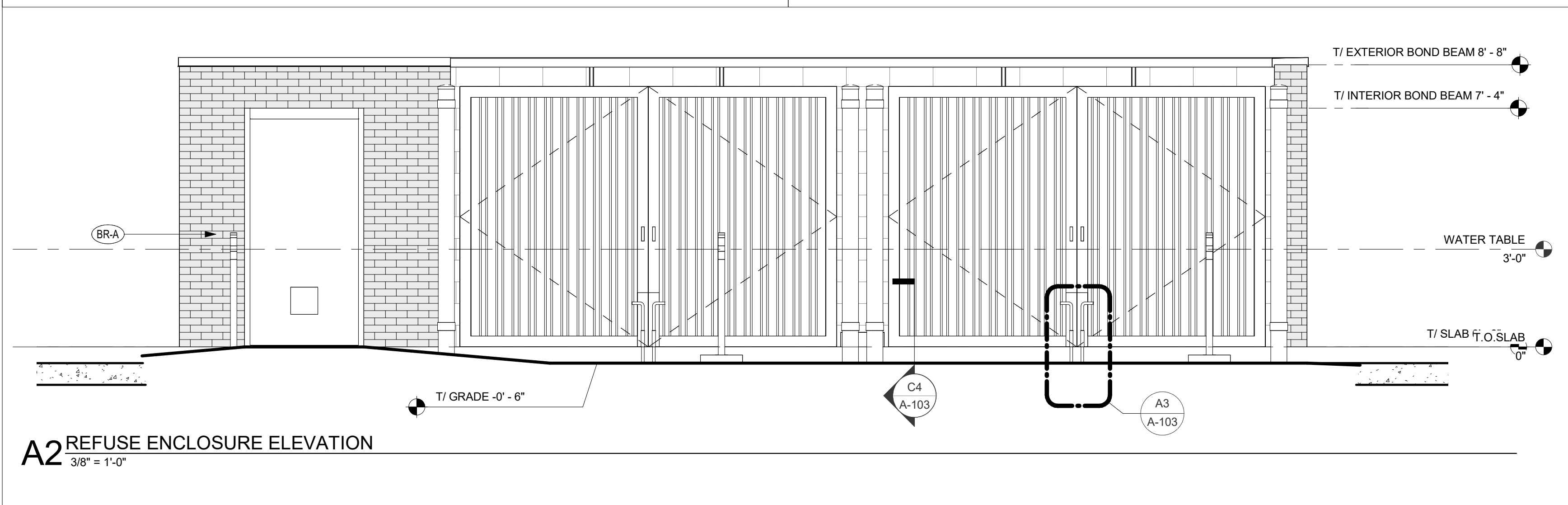
A3 REFUSE ENCLOSURE DROP ROD 3-D DECK PANEL DETAIL
 1/2" = 1'-0"



B2 REFUSE ENCLOSURE ELEVATION
 3/8" = 1'-0"



B1 REFUSE ENCLOSURE GATE REAR ELEVATION
 3/8" = 1'-0"



A2 REFUSE ENCLOSURE ELEVATION
 3/8" = 1'-0"



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FSR#05405
 BUILDING TYPE / SIZE: P14 LSR LRG
 RELEASE: 22.08

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

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CONSULTANT PROJECT #	05405
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DRAWN BY	MR
CHECKED BY	CG

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SHEET REFUSE ENCLOSURE

SHEET NUMBER
A-103