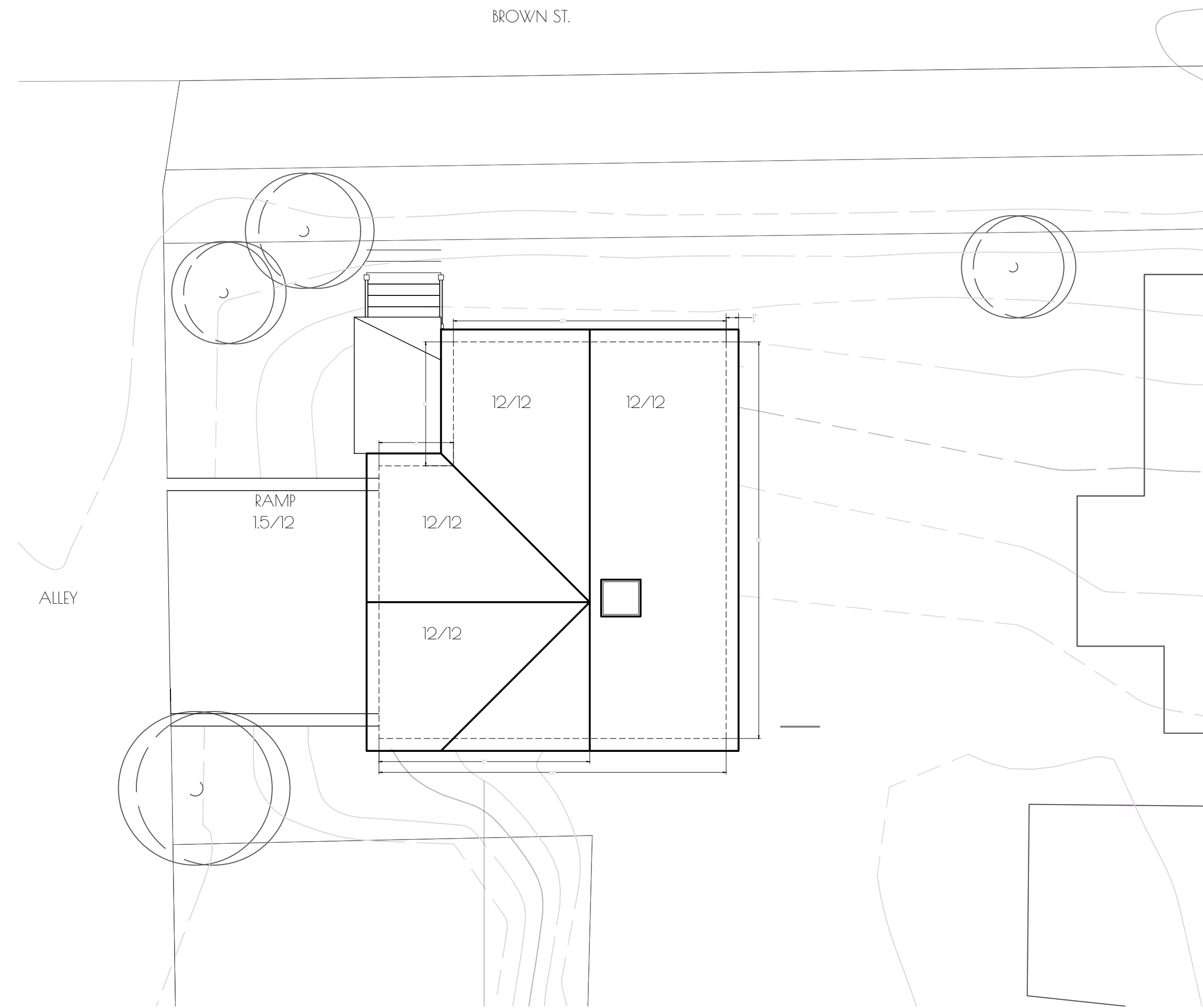


Site Plan
1/16" = 1' - 0"



ROOF PLAN
1/8" = 1' - 0"

SITE INFO	
111-119 W. BROWN ST	
TAX KEY: 3530708100	
MIS # 678004	
ZONING: R1	
0.7 ACRES	
77' WIDE 4.41' DEEP	
85' BLOCK R14 SQFT	
2ND FLOOR R14 SQFT	
BASEMENT R14 SQFT	
PORCH 51 SQFT	

PLAN INDEX	
AO	SITE SCHEDULES
A1	MAIN ELEVATIONS
A2	PLANS & ELEVATIONS

ROOM AREA SCHEDULE (INSIDE OF WALLS)	
LIVING ROOM	380SQFT
KITCHEN	257SQFT
1ST FLOOR BATH	245SQFT
BED A	114SQFT
BED B	114SQFT
MASTER BED	253SQFT
MASTER BATH	92SQFT
2ND FLOOR BATH	43SQFT
BASEMENT	756 SQFT

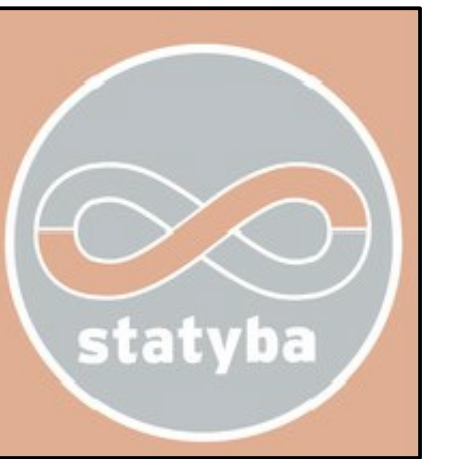
TOTAL HOUSE (INC. WALLS)	1748 SQFT
--------------------------	-----------

WINDOW SCHEDULE	
MARVIN UPRIGHT WOOD DOUBLE HUNG RIBBED EXTERIOR W/ BRACK. ROVE RAW INTERIOR RISE: 2000 HANDBRAVE RIBBED SASH LOCKS 20/20 RISE JAMBES WITH INTERNAL KIB THICK GALVALATED SUBSILL NO EXTERIOR CASING SCREEN SURROUND TO BE VIEWED UPON PAINT SELECTION	
CN3036 COTTAGE	2
CN3036	2
CN3026	4
CN3026-CN3026	1
UW/CS CN1614	3
UW/CSP CN1614	1
CN2424	1
CN2020	1
UW/DHP CUSTOM	2
VELUX MO8	2

EXTERIOR DOORS	
SIMPSON 7044 IN FR WATERBARD EXTERIOR 2 1/2" x 6 1/2" FRAME ROVE STICKING 40/40 RISE JAMBES BARRI DOUBLE RIBBED OIL RUBBED RIBBED HINGES RIBBED ADA SL NO EXTERIOR CASING	
3/0 6/8 IS RH W/ MATCHING 3/0 1/0 SIDELITE	1
3/0 6/8 OS RH	1

FIRE DOORS	
FIBERGLASS STEEL TO MATCH SIMPSON DOOR 20' MIN FIRE RATING 2 1/2" x 6 1/2" JAMBES DOUBLE RIBBED OIL RUBBED RIBBED HINGES RIBBED ADA SL NO EXTERIOR CASING	
3/0 6/8 OS RH	1

INTERIOR DOORS	
EMERALD/AMASCENTE CDF WHITE PINE SQUARE STICKING FLAT FINISH FIELD RP AND RP/RY BEVEL STICKING 40/40 RISE JAMBES DEC SINGLE RIBBED OIL RUBBED RIBBED HINGES	
2/6 RH	2
2/6 LH	2
2/6 POCKET DOOR	1
2/4 RH	1
4/0 SLIDER	2



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NOTE:
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REVISION TABLE	
-Project pushed back 2' to the south due to in field measured setbacks.	
-Fixed Scale on Siteplan	

McBrary Residence
111 West Brown Street
Drawn By: JAB 10/20/22 Design Set
Kellyn Munson & Jason Mcbrady III

A1
GENERAL

PLAT OF SURVEY

KNOWN AS: 111 & 117 W. Brown street

DRAFT - ARCHITECT DESIGN PENDING

LEGAL DESCRIPTION(S):
(PER TAX RECORDS)

The West 43.77 feet and the West 34 feet of the East 107 feet of the north 44 feet of Lot 1 in Block 29 of Sherman's Add'n. Being a part of the Northeast 1/4 of Section 20, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin;

TAX KEY PIN: 3530708100
EXISTING ZONING: RT4, TWO FAMILY RESIDENTIAL

PROPERTY IS SUBJECT TO ALL EASEMENTS, RECORDED OR UNRECORDED. NO EASEMENTS ARE SHOWN NO TITLE REPORT SUPPLIED BY CLIENT

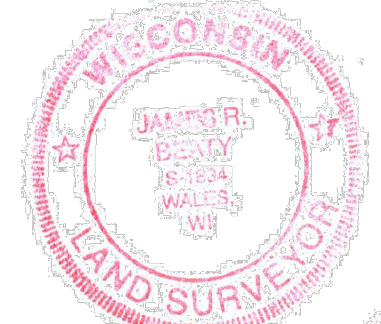
PREPARED FOR (CLIENT / PROP. OWNER):
Michelle Iyahah
2650 N 64th St.
Wauwatosa, WI 53213

SURVEYORS CERTIFICATE

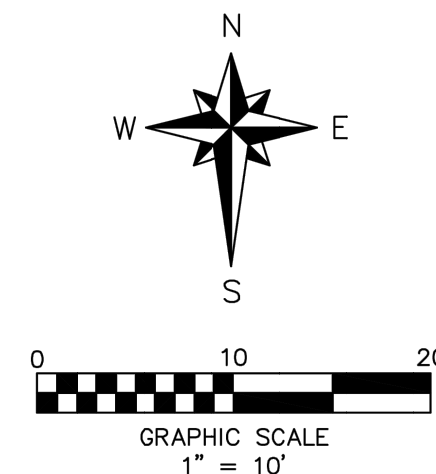
"I HAVE SURVEYED THE ABOVE PROPERTY AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL STRUCTURES THEREON, FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENTS, IF ANY." THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNERS OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO WITHIN ONE (1) YEAR FROM THE DATE HEREOF, AND TO THEM I WARRANT THE ACCURACY OF SAID SURVEY AND MAP."

DATED THIS 19TH DAY OF JUNE 2020 AT WALES, WI.

James R. Beaty
James R. Beaty, RLS 1834

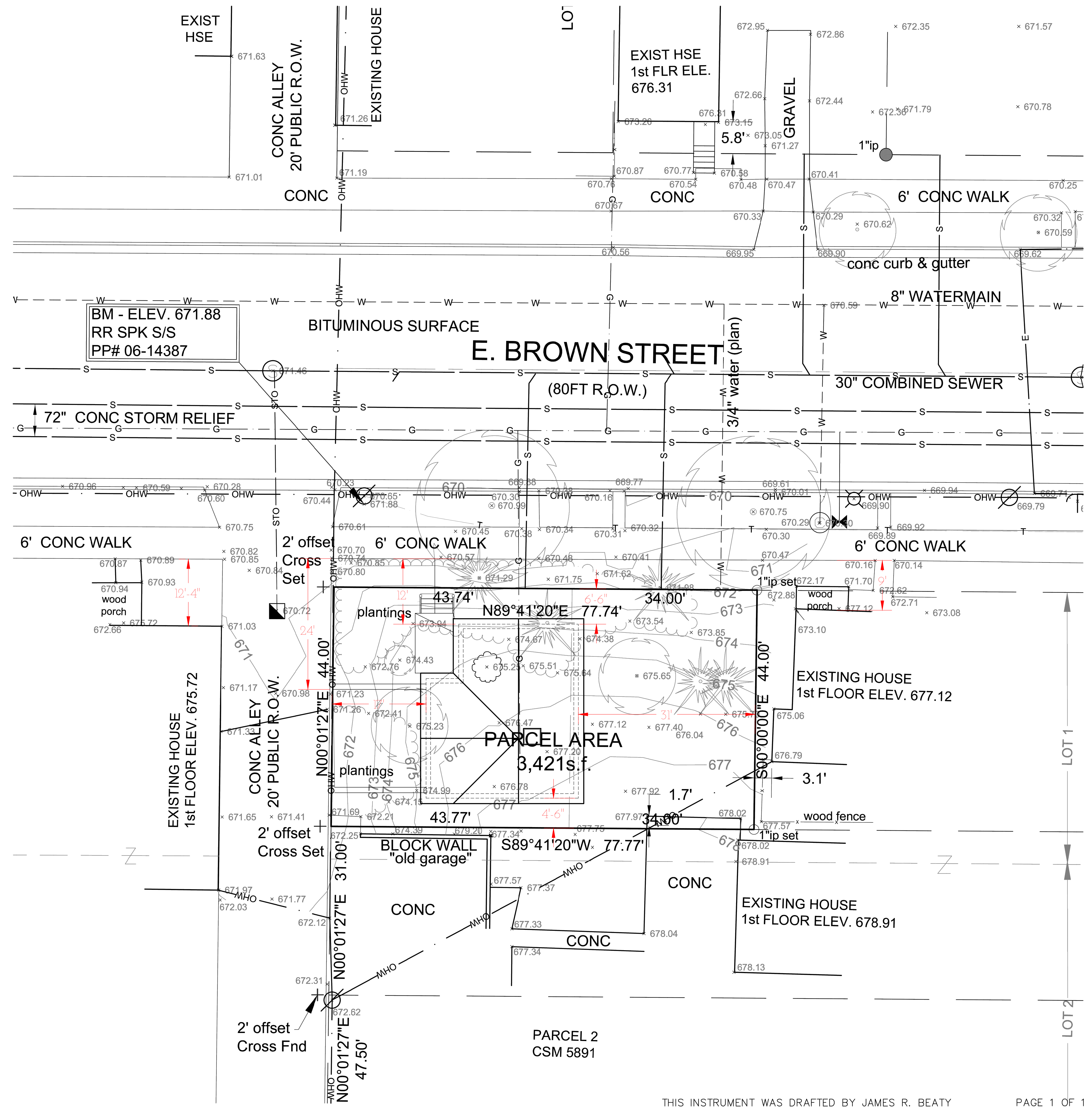


PREPARED BY:
HORIZON LAND DEVELOPMENT SERVICES, LLC
JAMES R. BEATY, RLS PLS
W313 S2562 PENNY LN.
WALES, WI 53183
1-262-349-1575
www.horizonlanddevelopmentservices.com



BEARING REFERENCE
BEARINGS ARE REFERENCED TO FOUND MONUMENTATION FOR CSM 5891 ON WHICH THE NORTH LINE OF THE NE 1/4 OF SECTION 20, IS ASSUMED TO BEAR N89°41'20"E, AND THE EAST LINE OF BLOCK 29 OF SHERMAN'S ADDITION IS ASSUMED TO BEAR DUE SOUTH

DIGGERS HOTLINE TICKET NUMBERS
2020-25-26-830
2020-25-26-852



LEGEND

- | | |
|---|---|
| <ul style="list-style-type: none"> FM MARKED FIBER OPTIC GV GAS VALVE GM GAS METER GW GAS WARNING SIGN SM STORM MANHOLE RI ROUND INLET SI SQUARE INLET SE STORM SEWER END SECTION SMH SANITARY MANHOLE SCV SANITARY CLEANOUT OR SEPTIC VENT SMH SANITARY INTERCEPTOR MANHOLE MM MISCELLANEOUS MANHOLE WV WATER VALVE HYD HYDRANT WSS WATER SERVICE CURB STOP WMH WATER MANHOLE W WELL WS WATER SURFACE WF WETLANDS FLAG M MARSH CT CONIFEROUS TREE DT DECIDUOUS TREE SHR SHRUB ET -EDGE OF TREES SS SANITARY SEWER SS STORM SEWER W WATERMAIN G MARKED GAS MAIN E MARKED ELECTRIC OHW OVERHEAD WIRE T MARKED TELEPHONE TV MARKED CABLE TV LINE FO MARKED FIBER OPTIC | <ul style="list-style-type: none"> () INDICATES RECORDED DIMENSION WHERE DIFFERENT FROM ACTUAL MEASUREMENT OR 1/4 SECTION CORNER AS DESCRIBED 1" I.D. - (1.3150 D.) IRON PIPE FOUND (UNLESS OTHERWISE NOTED) 1" DIA. IRON PIPE, 18" LONG-SET (UNLESS OTHERWISE NOTED) B BOLLARD SBM SOIL BORING/MONITORING WELL F FLAGPOLE M MAILBOX S SIGN B BILLBOARD CB CONTROL BOX TS TRAFFIC SIGNAL RC RAILROAD CROSSING SIGNAL CP CABLE PEDESTAL PP POWER POLE GUY GUY WIRE L LIGHT POLE SPY SPOT/YARD/PEDESTAL LIGHT HP HANDICAPPED PARKING EM ELECTRIC MANHOLE EP ELECTRIC PEDESTAL EM ELECTRIC METER TM TELEPHONE MANHOLE TP TELEPHONE PEDESTAL |
|---|---|



CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WIS STATUTE 182.0175(1974)
REQUIRES MIN. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE
MILW. AREA 259-1181

"THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE."



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+1 630.696.2672

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REVISION TABLE
-FIXED LINEWEIGHT ISSUES
-FIXED MISSING LINES
-MISSING BRICK HATCH
-ADDED GARAGE DOORS
-ADDED SCHEDULES
-SKYLIGHT SIZED
-DOOR SIZES IN PLAN
-FIRE DOOR ADDED
-SOUTH ELEVATION
-WINDOW REVISIONS
-MATERIALS CALLED OUT IN ELEVATIONS



NORTH [STREET] ELEVATION
1/4" = 1'-0"

WINDOW SCHEDULE			
MARVIN ULTIMATE WOOD DOUBLE HUNG			
MINI DOUBLE W/ BACK RIVE			
RAW INTERIOR			
ROSE JAMB HARDWARE			
BRONZE SASH LOCKS			
4"X6" SILLING WITH DRYWALL KIT			
BLACK SMILARD SILLING			
NO INTERIOR CASING			
SCREEN SURROUND TO BE VERBED UPON PAINT SELECTION			

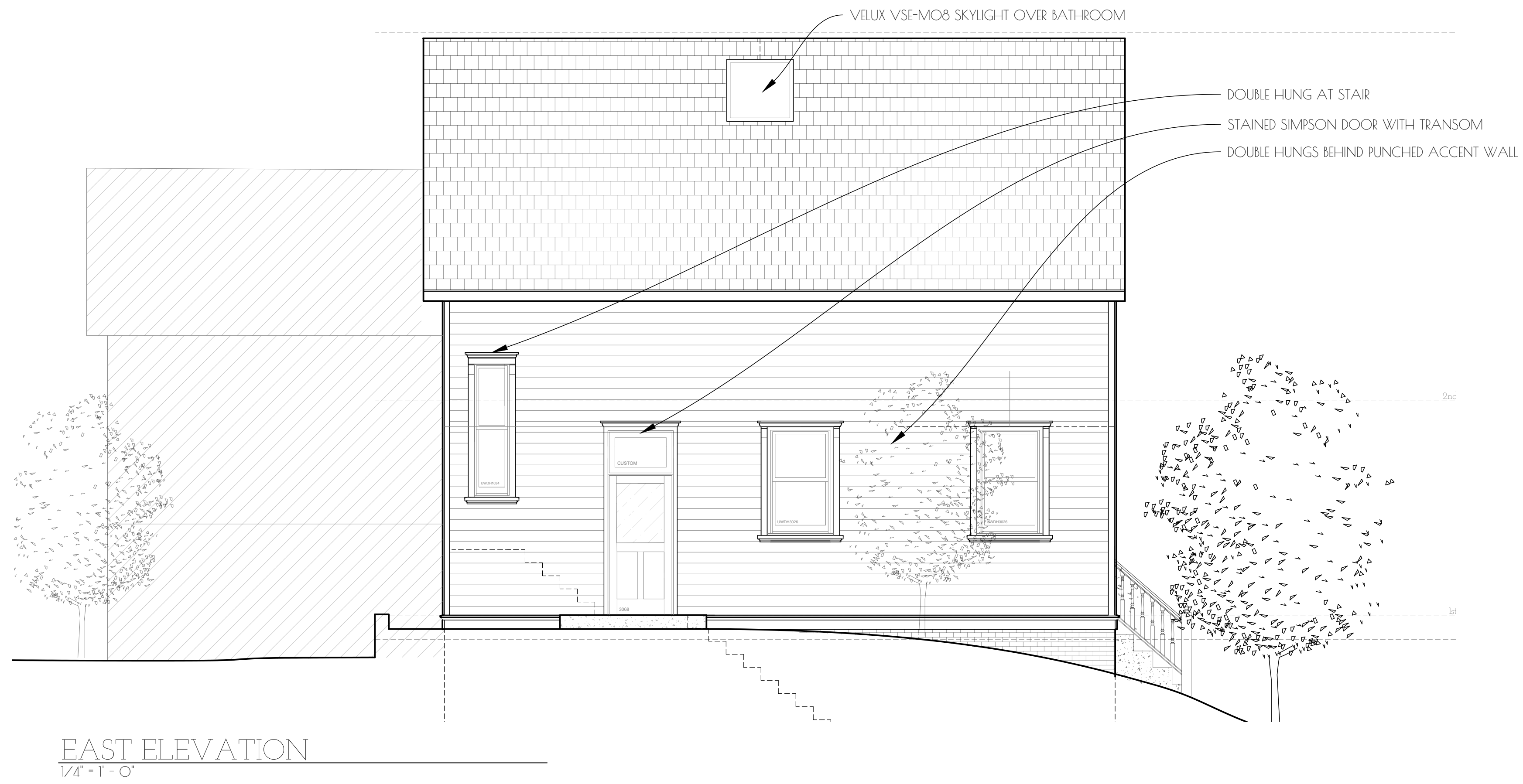
Call Size	Qty	Location	Rough Opening
First Floor			
UWDH CN3036 COTTAGE	2	S Facade 1st Flr	3'-0 3/8" x 6'-9 1/2"
UWDH CN3036	2	E Wall 1st Flr	3'-0 3/8" x 6'-9 1/2"
UWDH CN3632	1	N Wall 1st Flr	3'-6 3/8" x 6'-1 1/2"
UWDH CN3026	2	W Wall 1st	3'-0 3/8" x 5'-1 1/2"
UWDH CN1634	1	W Wall Stair Landing	1'-10 3/8" x 6'-5 1/2"
Second Floor			
UWDH CN3626	1	N Wall 2nd Flr	3'-6 3/8" x 5'-1 1/2"
UWDH CN3026	4	S & E Wall 2nd Flr	3'-0 3/8" x 5'-1 1/2"
UWDHP CUSTOM	1	N Stair Landing	N Stair Landing
Roof			
UWDHP CN2020	1	S Facade Gable	2'-9 1/2" x 2'-9 1/2"
VELUX MO8	1	Roof over bathtub/Shower	2'-6 1/16" x 4'-6 7/16"



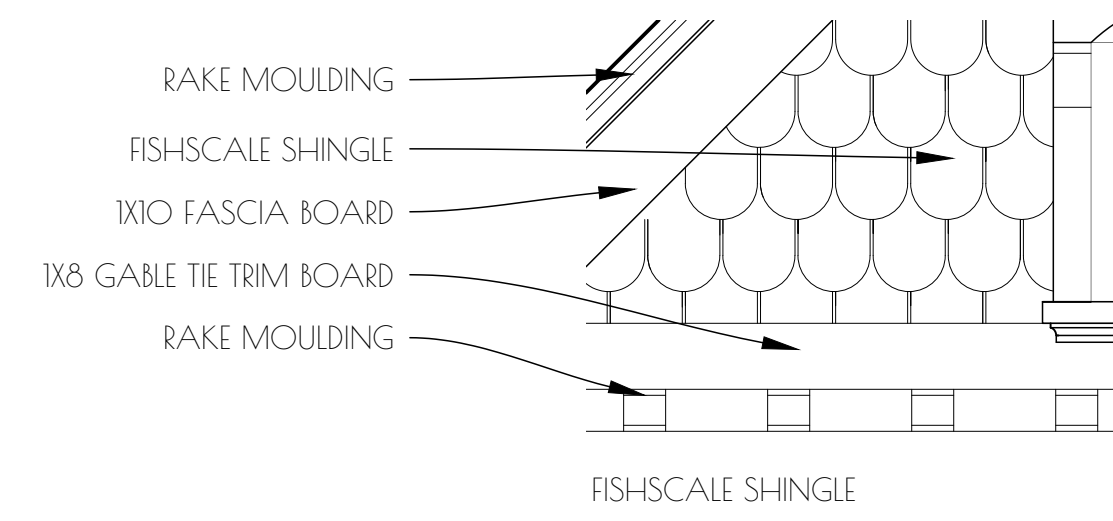
WEST [ALLEY] ELEVATION
1/4" = 1'-0"

McBrady Residence 111 West Brown Street	Drawn By: JAB	3/4/22	Design Set
	Kellyn Munson & Jason Mcbrady III		

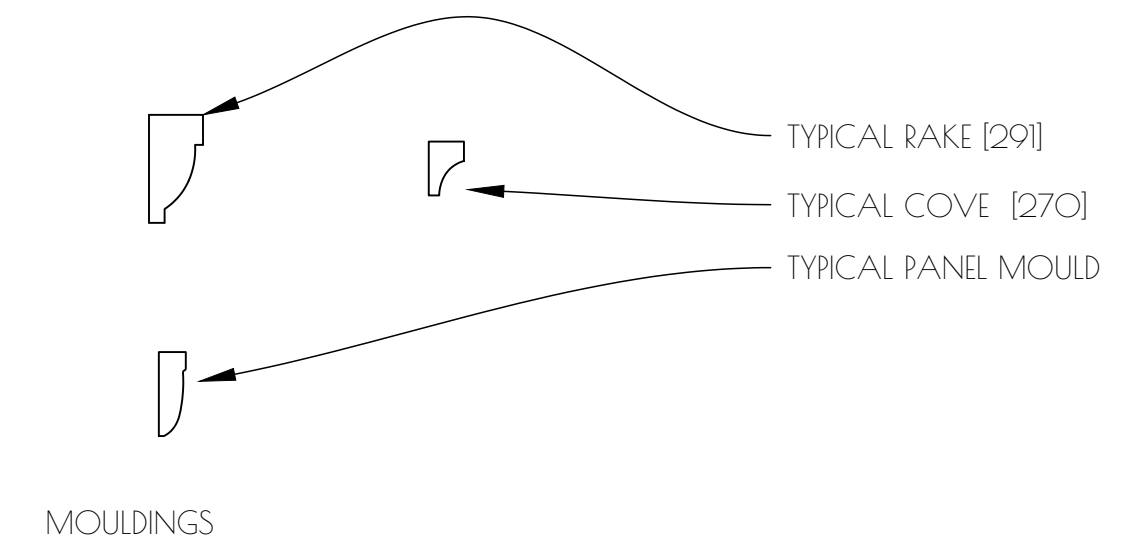
A2
ELEVATIONS



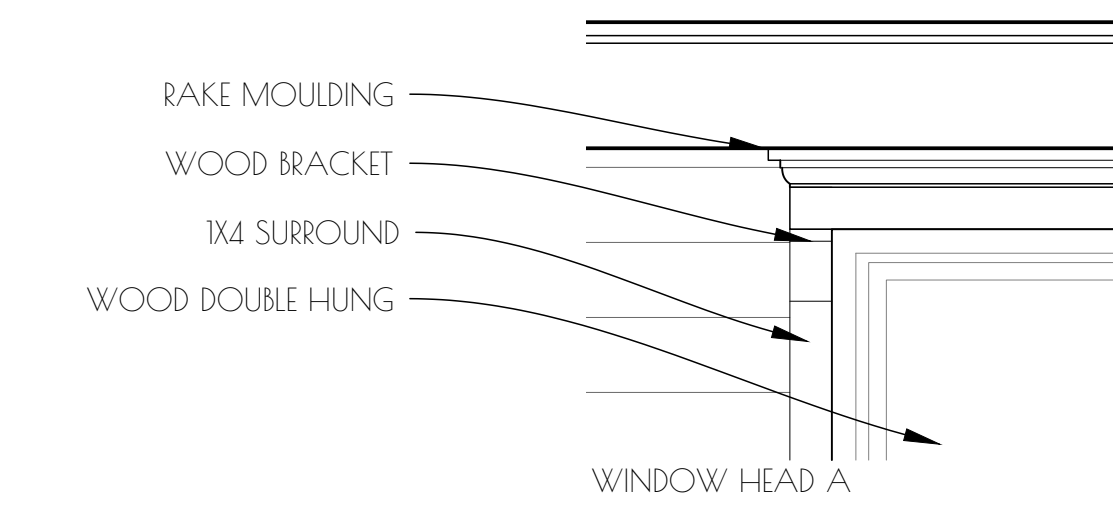
EAST ELEVATION
1/4" = 1'-0"



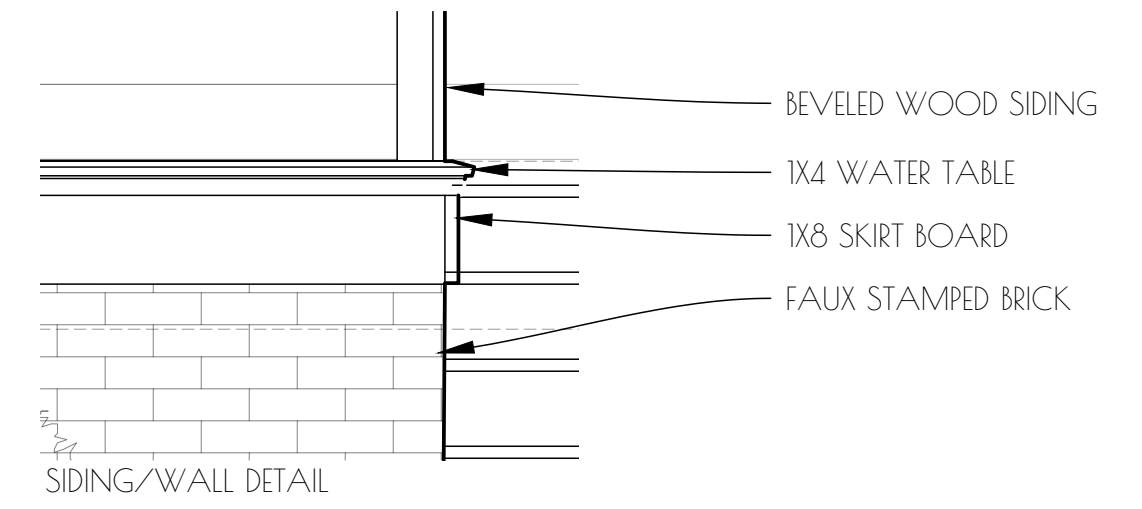
FISHSCALE SHINGLE



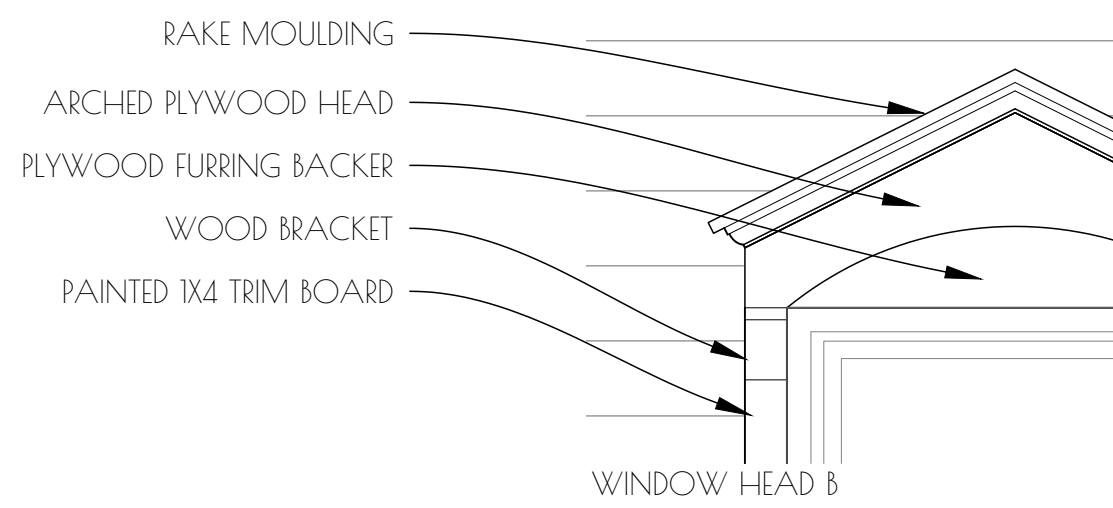
MOULDINGS



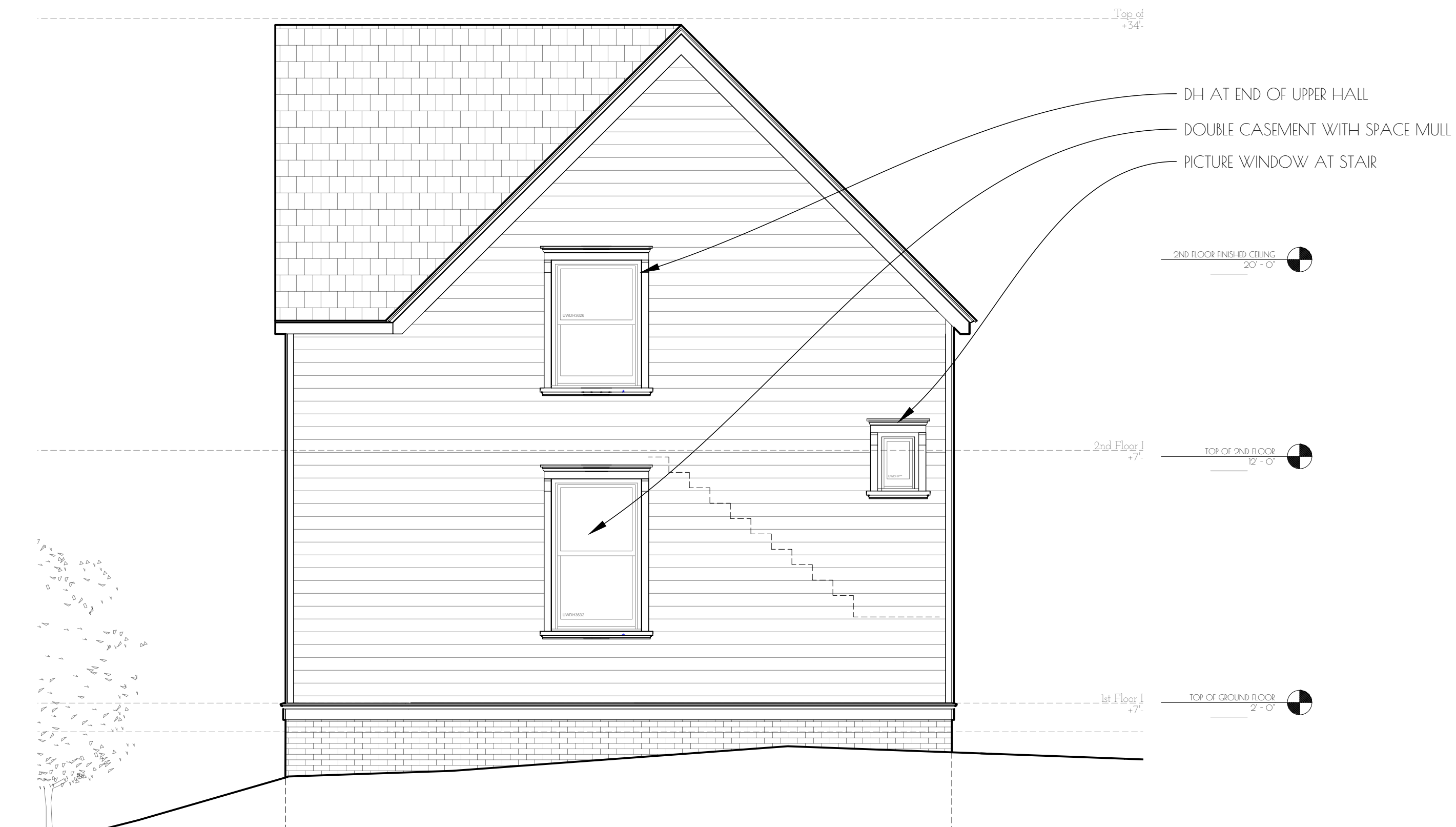
WINDOW HEAD A



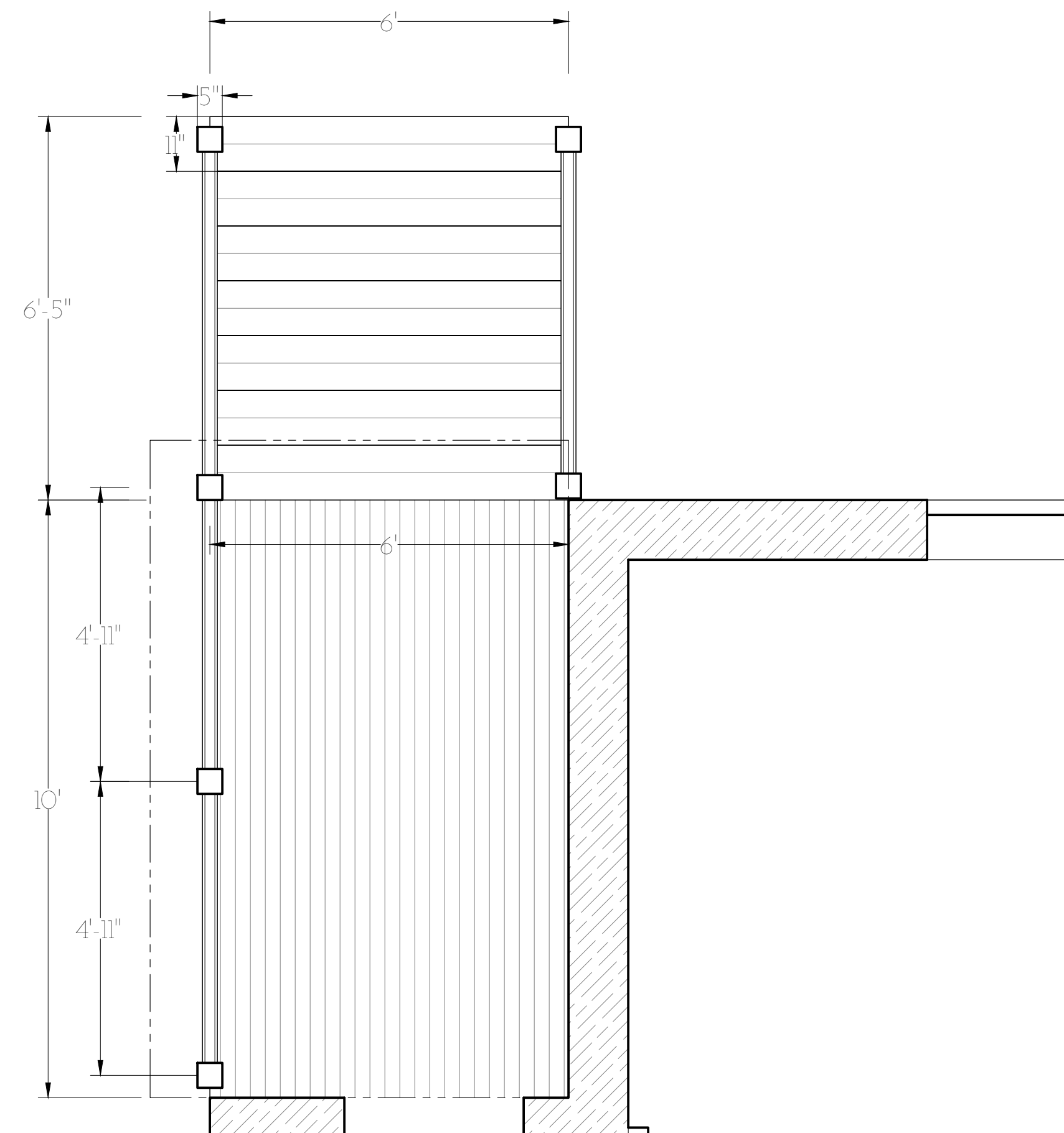
SIDING/WALL DETAIL



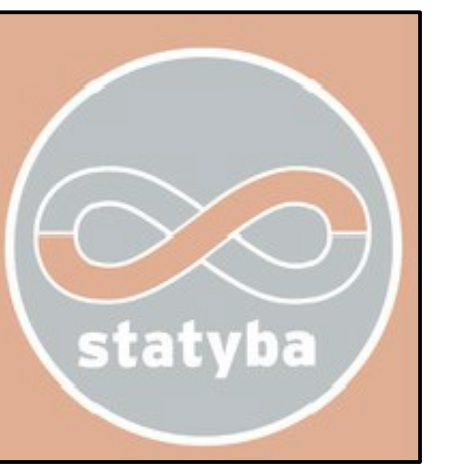
WINDOW HEAD B



SOUTH ELEVATION
1/4" = 1'-0"



PORCH PLAN
1/2" = 1'-0"



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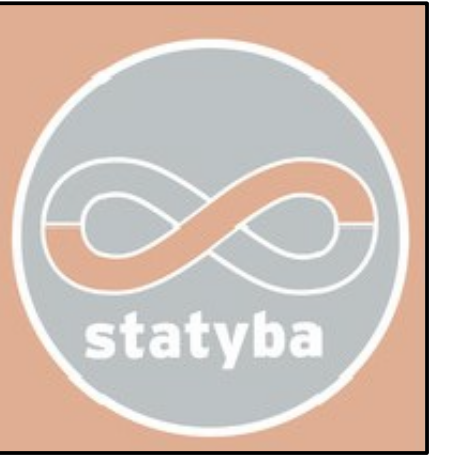
REVISION TABLE

- FIXED LINEWEIGHT ISSUES
- FIXED MISSING LINES
- MISSING BRICK HATCH
- ADDED GARAGE DOORS
- ADDED SCHEDULES
- SKYLIGHT SIZED
- DOOR SIZES IN PLAN
- FIRE DOOR ADDED
- SOUTH ELEVATION
- WINDOW REVISIONS
- MATERIALS CALLED OUT IN ELEVATIONS

McBrady Residence		Design Set
111 West Brown Street		
Drawn By: JAB	12/11/21	
Kellyn Munson & Jason Mcbrady III		

A3
PLAN/ELEV.

EAST BROWN STREET



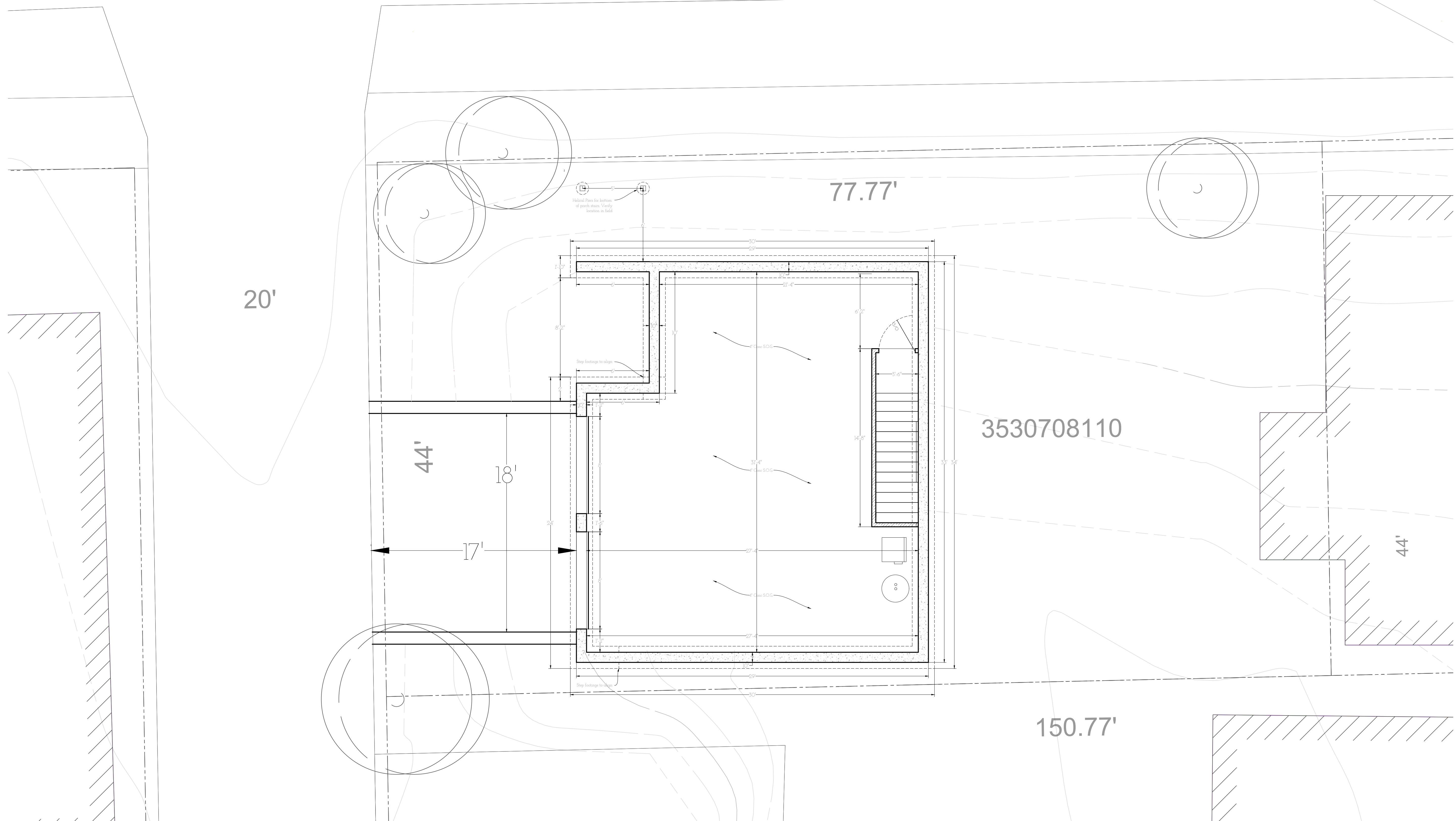
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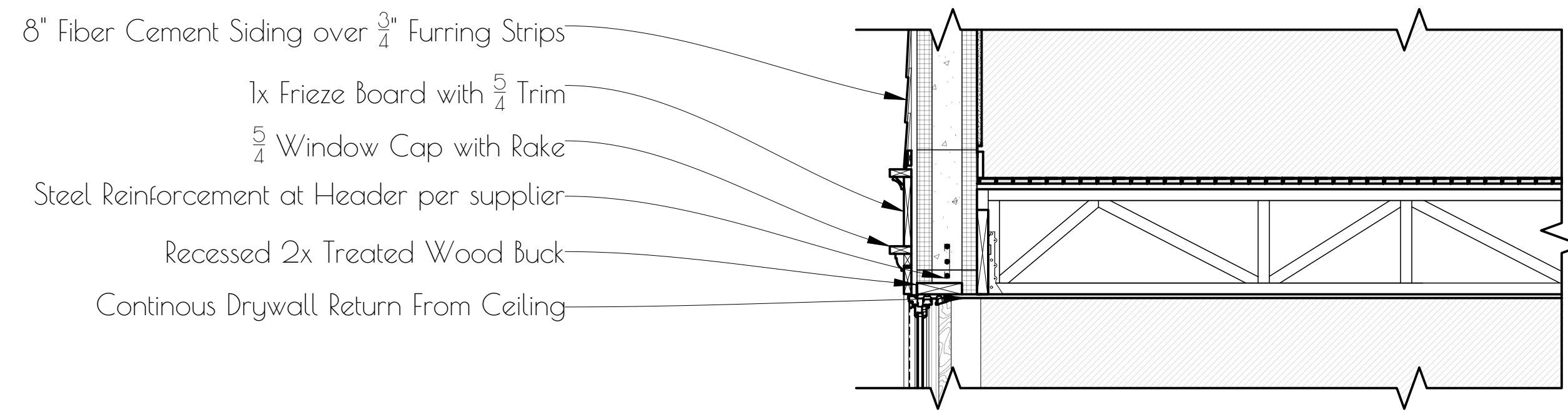
REVISION TABLE

-Project pushed back 2' to the south due to in field measured setbacks.
-Fixed Scale on Siteplan

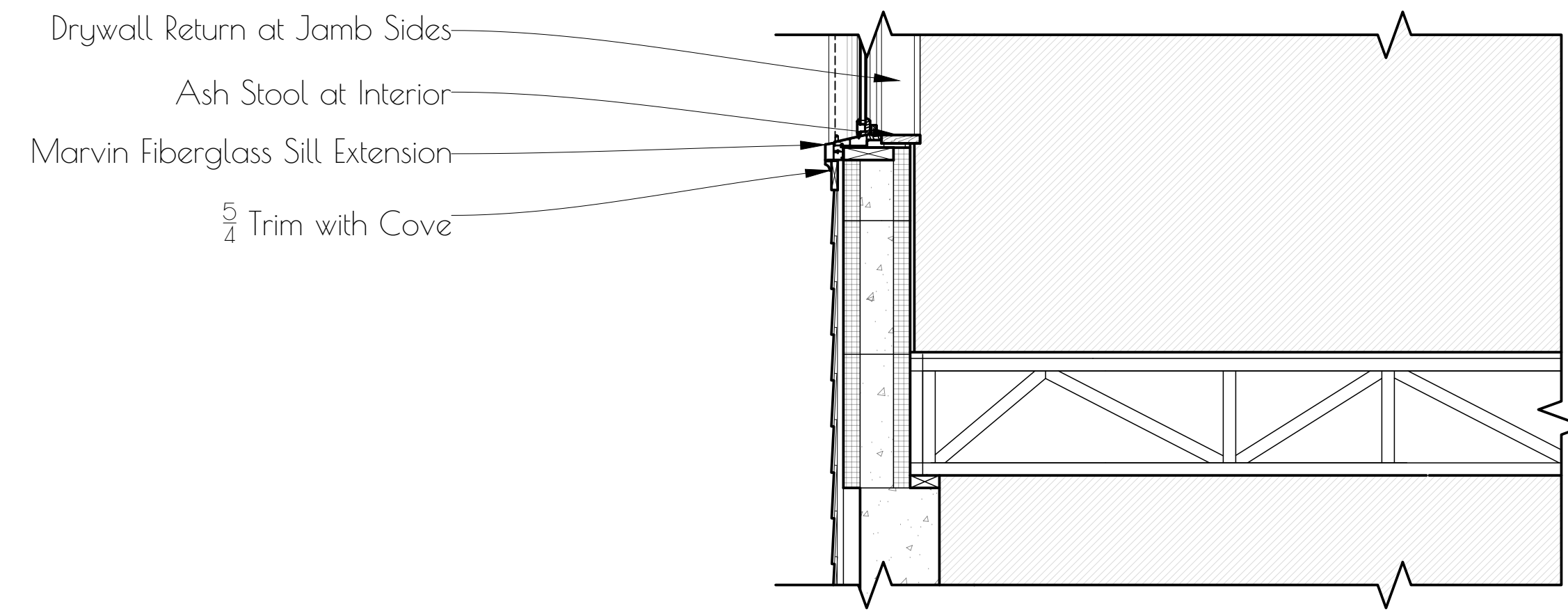


McBrady Residence		Excavation Set	
111 West Brown Street		11/3/22	
Drawn By: JAB	Kellyn Munson & Jason Mcbrady III		

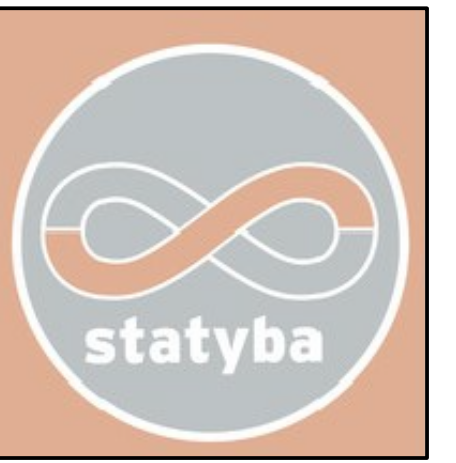
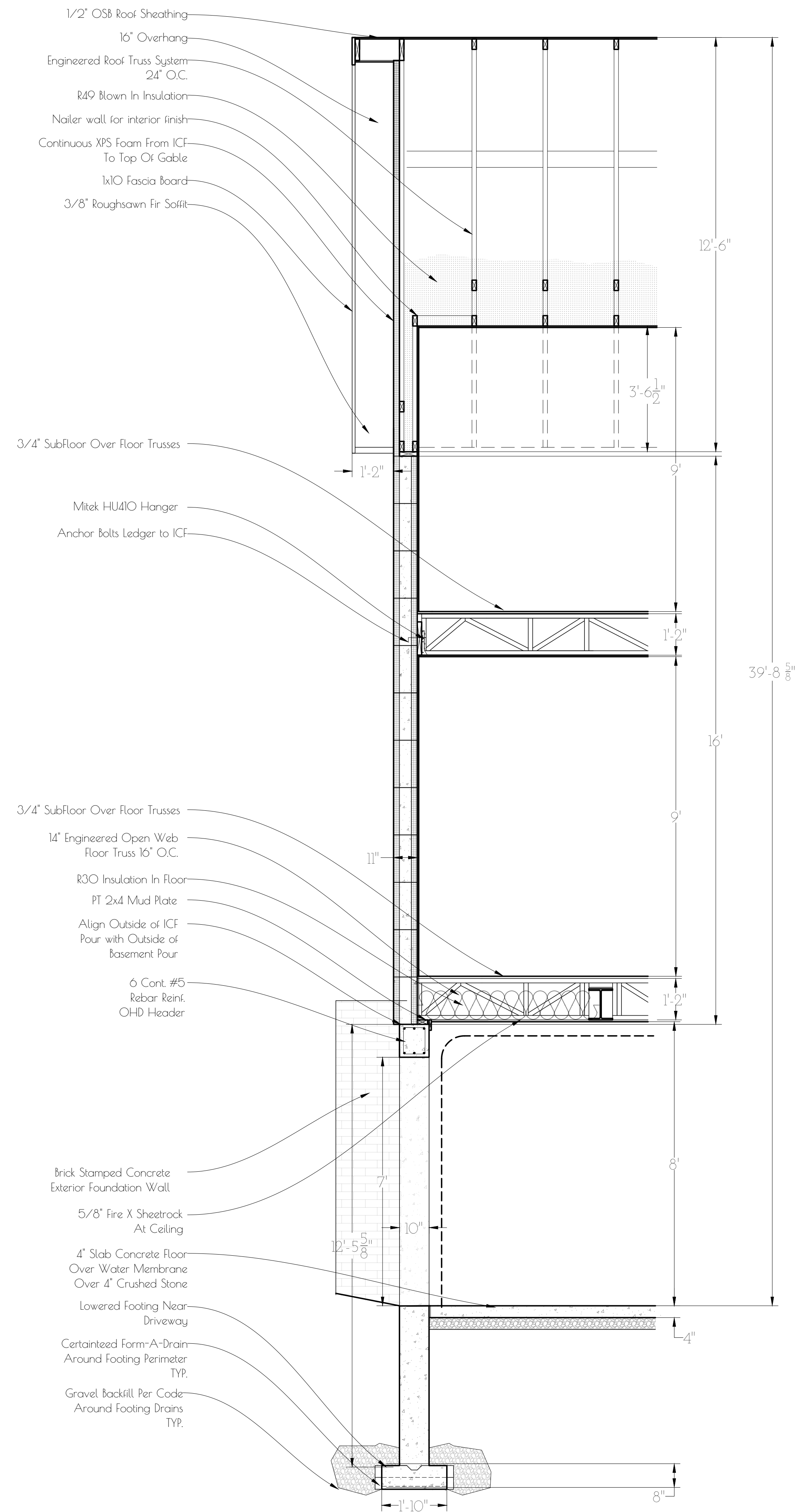
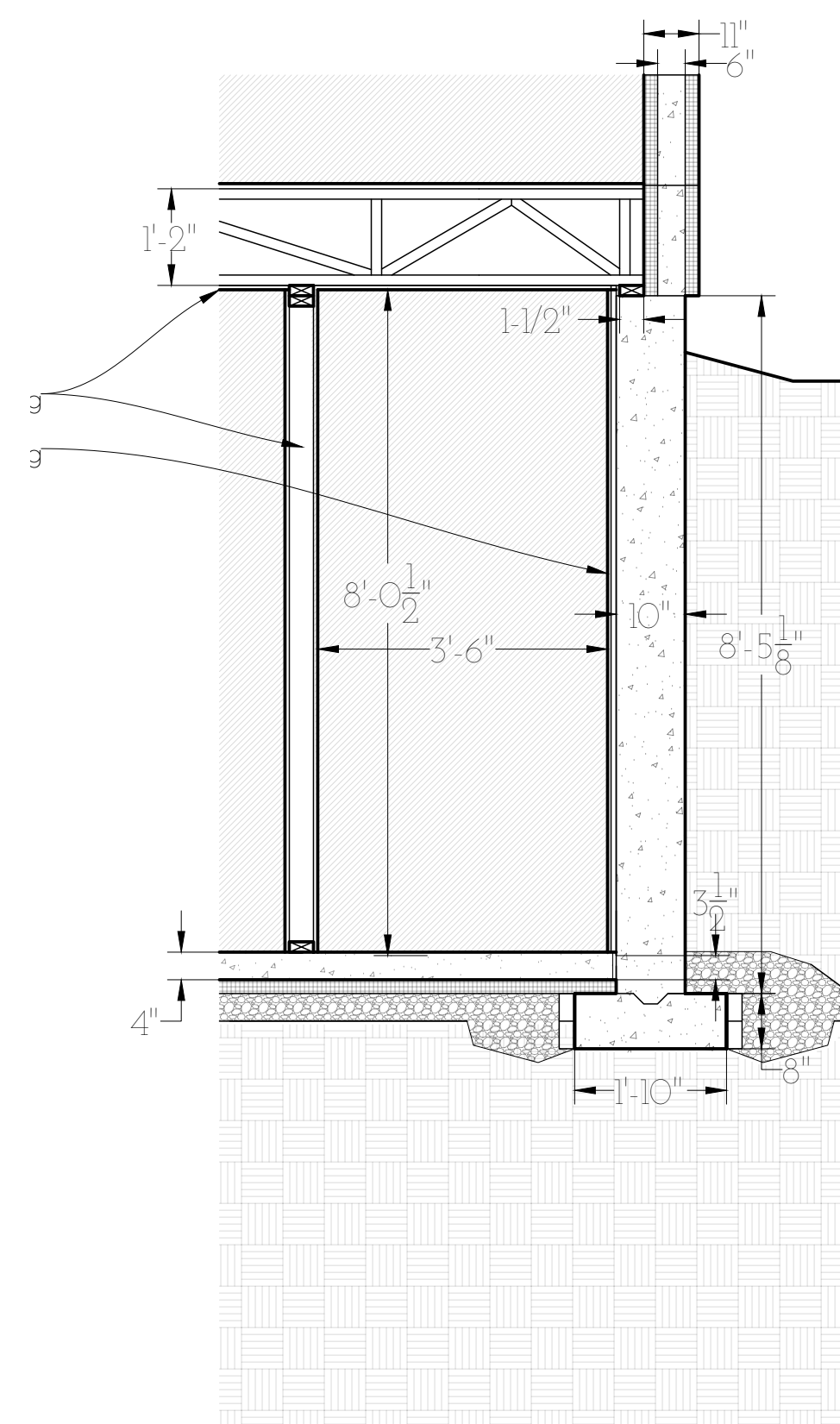
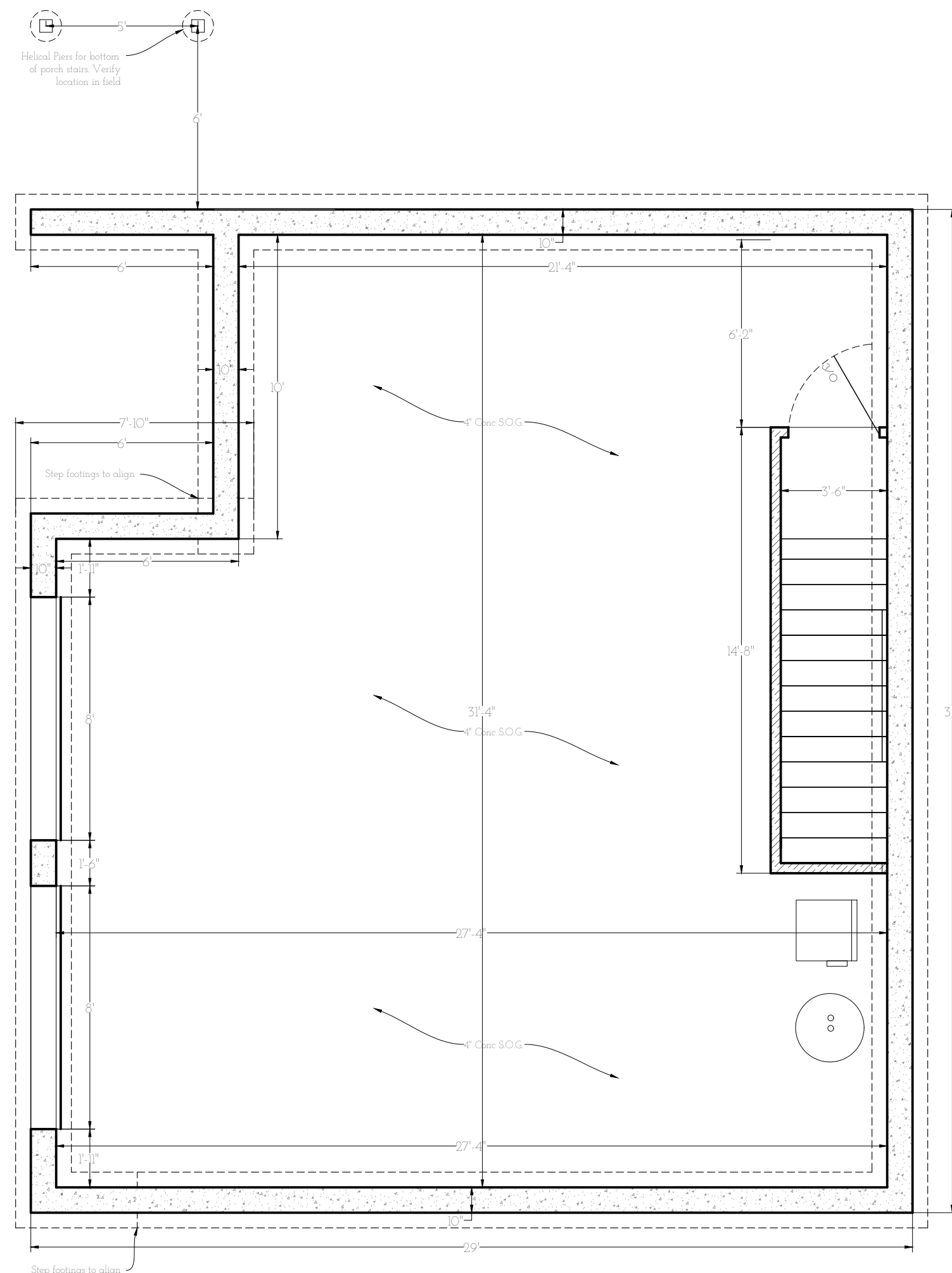
A4
EX & BASEMENT



WINDOW HEAD DETAIL
 3/4" = 1'-0"



WINDOW SILL DETAIL
 3/4" = 1'-0"



Mae's Bluebird
 437 E Stewart St. Suite #2
 Bay View/MKE 53207

KJ Boyd Enterprise
 Riverwest/MKE 53212

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McBrady Residence
 111 West Brown Street

Drawn By: JAB 6/23/22 Design Set
 Kellyn Munson & Jason Mcbrady III

A5
 MASONRY

Job Notes: 2ND FLOOR TRUSSES:
 FLOOR TRUSSES: 14" DEEP AND SPACED 16" oc WITH AN L/480 LIVE LOAD DEFLECTION AND L/240 TOTAL LOAD DEFLECTION
 TRUSS LOADING: 40-25-5= 70 PSF

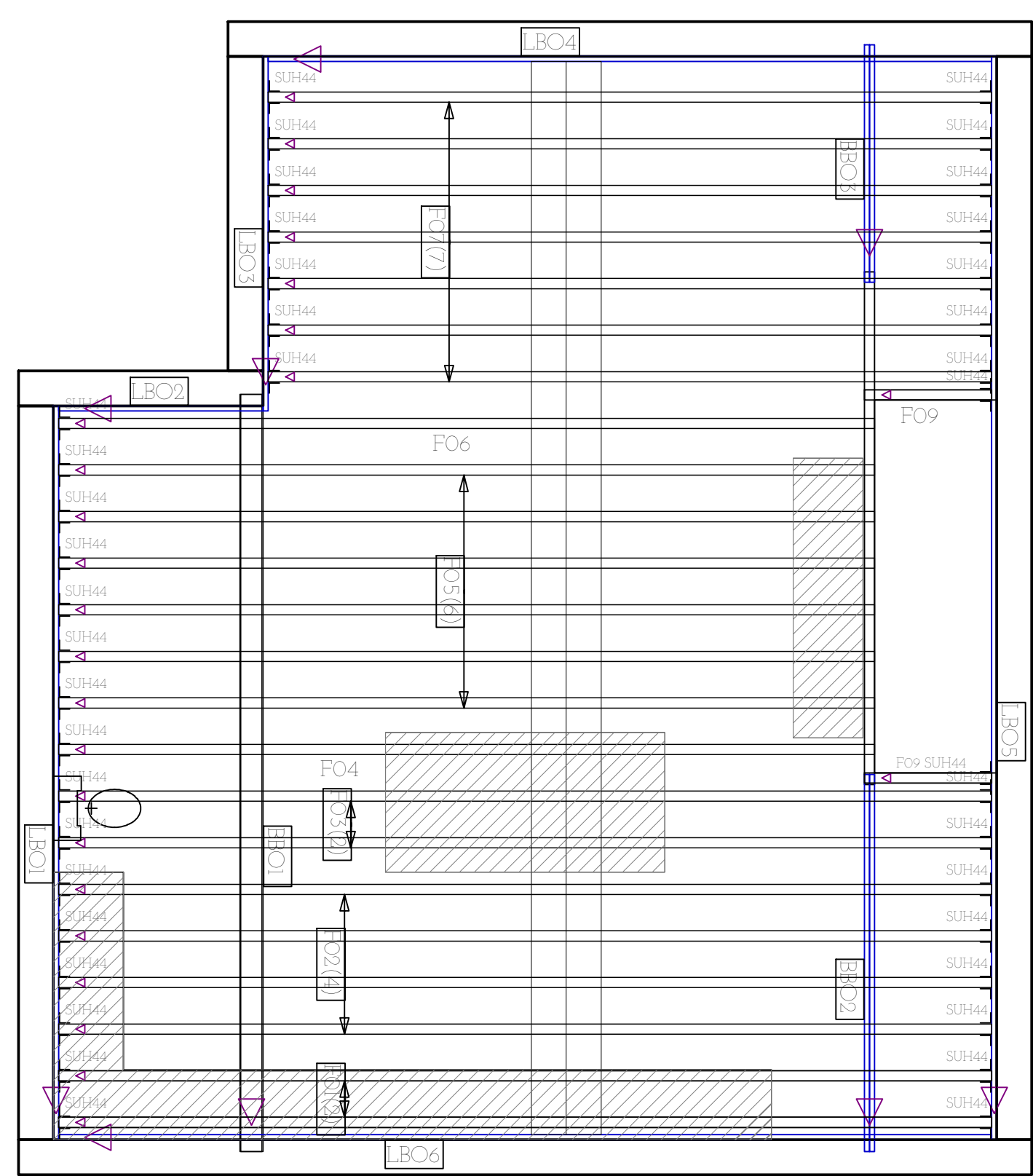
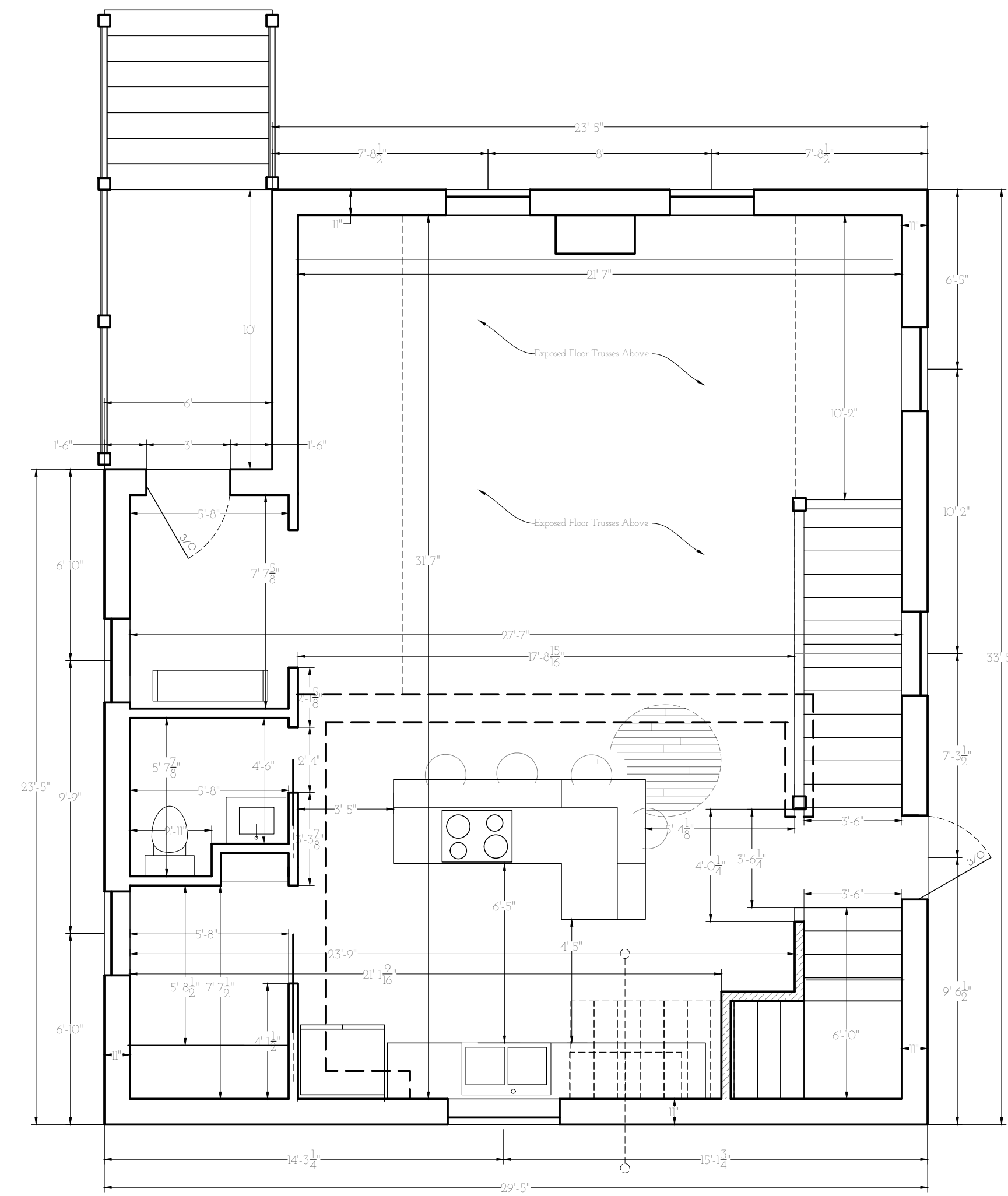
Floor Trusses								Loading: 40 - 25 - 0 - 5		Spacing: 16 IN. O.C		Trusses: 28		Depth: 14'	
Label	Profile	Qty	Span	TC	L-Cant	L-Stub	Wt.	Label	Profile	Qty	Span	TC	L-Cant	L-Stub	Wt.
		Ply	Depth	BC	R-Cant	R-Stub	Tot. Wt.			Ply	Depth	BC	R-Cant	R-Stub	Tot. Wt.
F01		3	15-00-04 2 x 4 1-02-00 2 x 4	-	-	-	61 183	F06		3	26-08-08 2 x 4 1-02-00 2 x 4	-	-	-	103 309
F02		1	17-07-13 2 x 4 1-02-00 2 x 4	-	-	-	73 73	F07		1	26-08-08 2 x 4 1-02-00 2 x 4	-	-	-	102 102
F03		2	23-04-05 2 x 4 1-02-00 2 x 4	-	-	-	96 193	F09		4	26-08-08 2 x 4 1-02-00 2 x 4	-	-	-	103 412
F04		3	23-02-09 2 x 4 1-02-00 2 x 4	-	-	-	88 264	F10		7	20-08-08 2 x 4 1-02-00 2 x 4	-	-	-	76 530
F05		3	3-05-15 2 x 4 1-02-00 2 x 4	-	-	-	15 44	F11		1	5-08-08 2 x 4 1-02-00 2 x 4	-	-	-	22 22

Richco Structures - W989 County Road FF, Haven WI 53083 Phone: (920) 565-3986
 Quote - Date: 5/11/2022 Page: 1 of 2

Jordan LaPean
 5/11/2022

TRUSS SCHEDULE

TRUSS LAYOUT SHOWN FOR DESIGN INTENT ONLY. FINAL LAYOUT AND TRUSS DESIGN TO BE ENGINEERED AND PROVIDED BY TRUSS SUPPLIER.



Mae's Bluebird
 437 E Stewart St. Suite #2
 Bay View/MKE 53207
 KIJ Boyd Enterprise
 Riverwest/MKE 53212
 JacobBielanski@gmail.com
 +1.630.696.2672

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McBrady Residence
 111 West Brown Street
 Drawn By: JAB 12/11/21 Design Set
 Kellyn Munson & Jason Mcbrady III

A6
 Second Floor

Job Notes: 1ST FLOOR TRUSSES:
 FLOOR TRUSSES: 14" DEEP AND SPACED 16" oc WITH AN L/480 LIVE LOAD DEFLECTION AND L/240 TOTAL LOAD DEFLECTION
 TRUSS LOADING: 40-25-5= 70 PSF

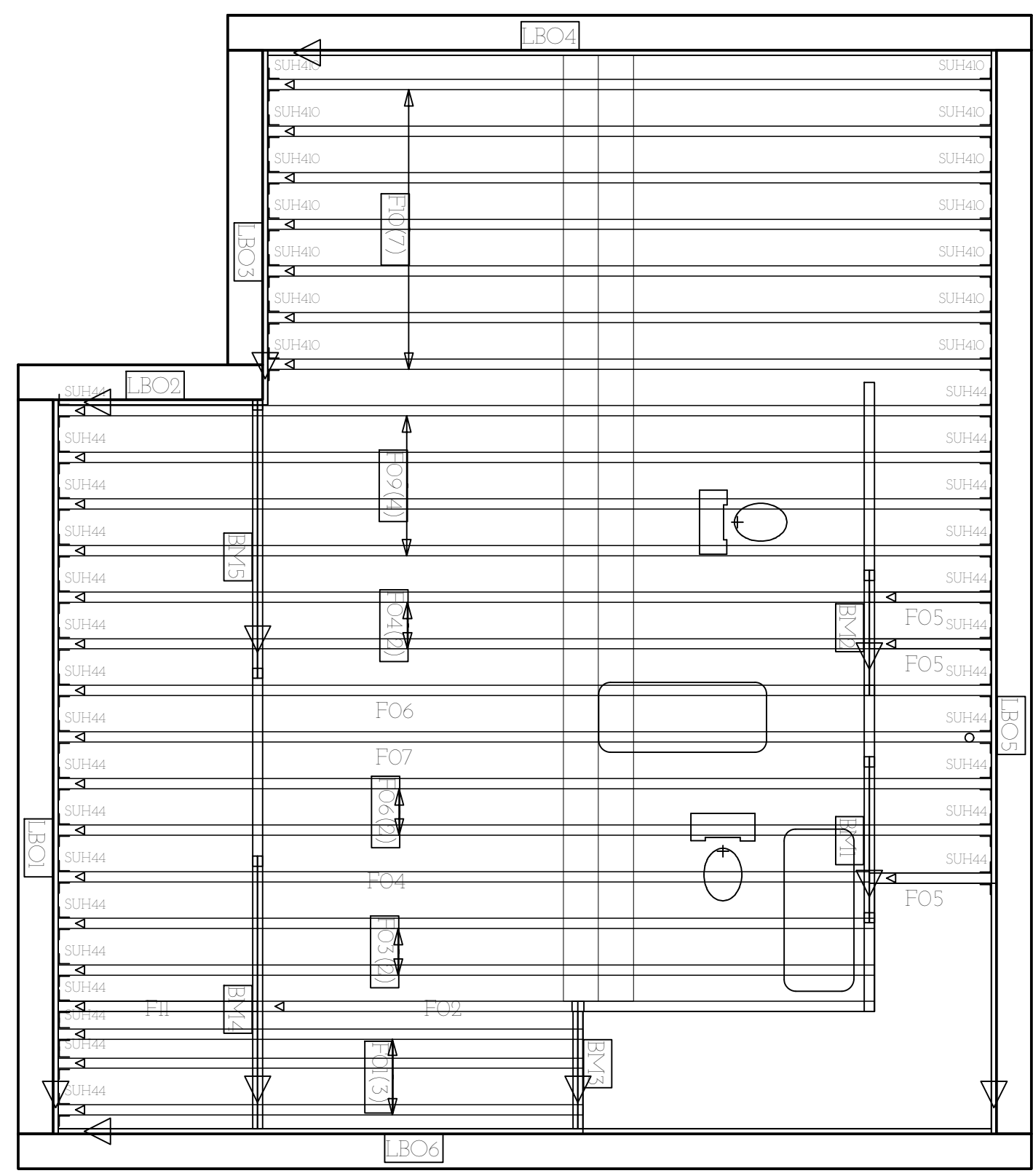
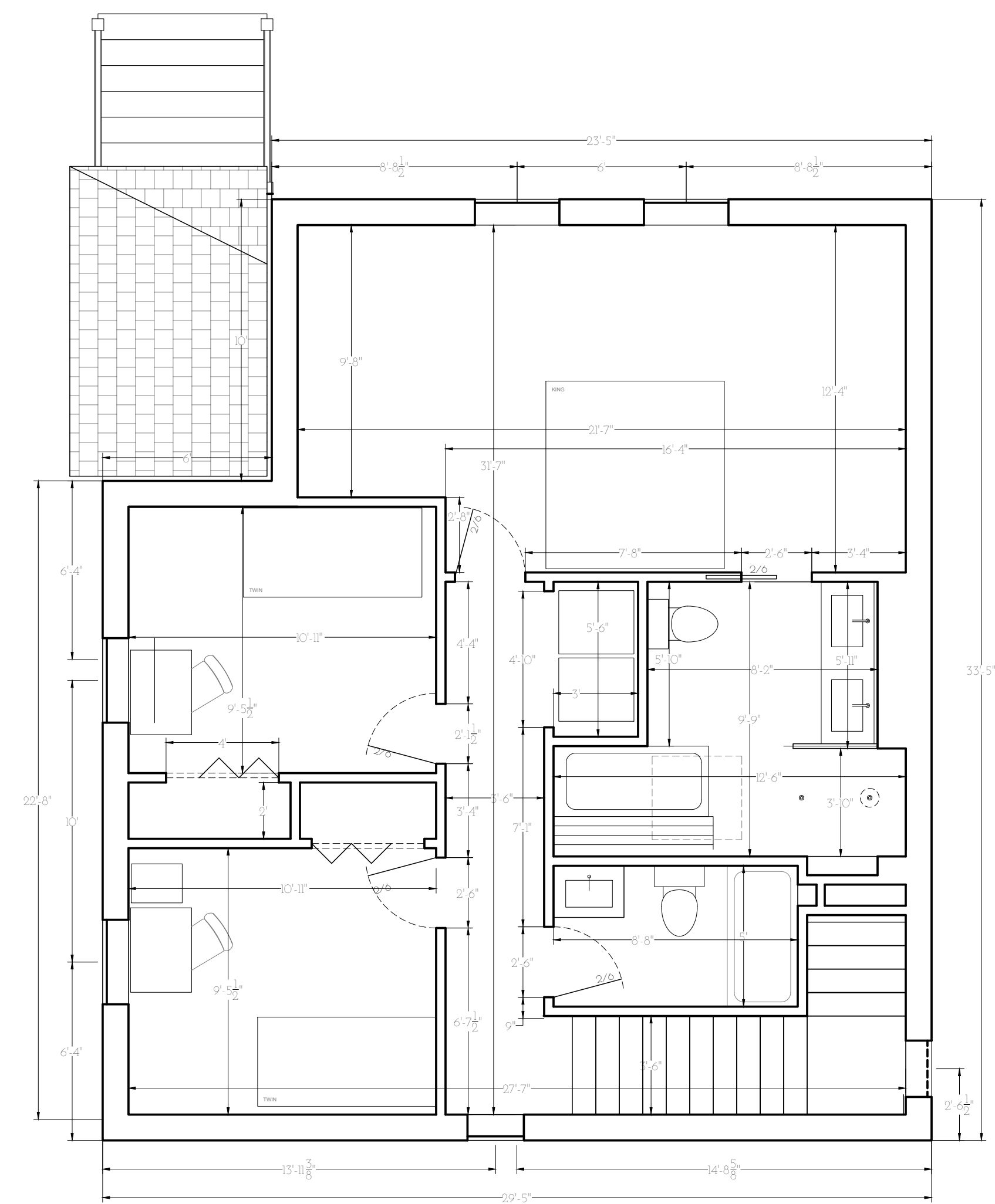
Floor Trusses								Loading: #0 - 25 - 0 - 5	Spacing: 16 IN. O.C.	Trusses: 25	Depth: 14"				
Label	Profile	Qty Ply	Span Depth	TC BC	L-Cant R-Cant	L-Stub R-Stub	Wt Tot. Wt	Label	Profile	Qty Ply	Span Depth	TC BC	L-Cant R-Cant	L-Stub R-Stub	Wt Tot. Wt
F01		2	26-08-08 2 x 4 1-02-00 2 x 4	- -	- -	- -	102 204	F05		6	23-04-05 2 x 4 1-02-00 2 x 4	- -	- -	- -	89 535
F02		4	26-08-08 2 x 4 1-02-00 2 x 4	- -	- -	- -	102 408	F06		1	23-04-05 2 x 4 1-02-00 2 x 4	- -	- -	- -	89 89
F03		2	26-08-08 2 x 4 1-02-00 2 x 4	- -	- -	- -	102 204	F07		7	20-08-08 2 x 4 1-02-00 2 x 4	- -	- -	- -	78 543
F04		1	23-04-05 2 x 4 1-02-00 2 x 4	- -	- -	- -	89 89	F09		2	3-07-11 2 x 4 1-02-00 2 x 4	- -	- -	- -	15 30

Richco Structures - W989 County Road FF, Haven WI 53083 Phone: (920) 565-3986
 Quote - Date: 5/11/2022 Page: 1 of 2

Jordan LaPean
 5/11/2022

TRUSS SCHEDULE

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McBrady Residence
 111 West Brown Street
 Drawn By: JAB 12/11/21 Design Set
 Kellyn Munson & Jason Mcbrady III

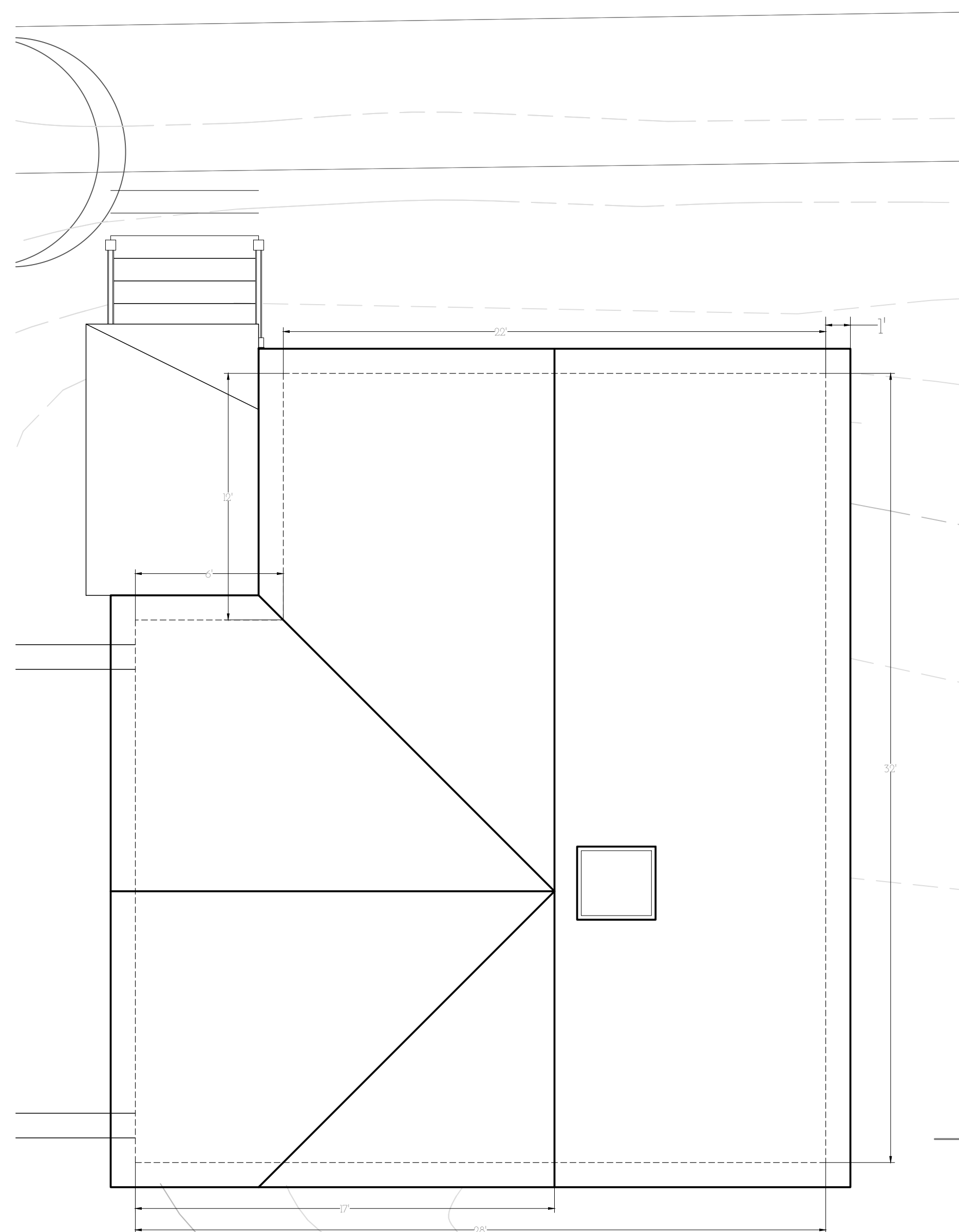
A7
 Ground Floor

Roof Trusses												Roof Trusses																																
Loading: 30' - 10' - 0' - 10'			Spacing: 24 IN. O.C.			Trusses: 29			Max Height: 13-11-14			Label			Profile			Qty			TC Pitch			Span			TC			L-OH			L-Cant			L-Stub			L-Heel			Wt.		
Label	Profile	Qty	TC Pitch	Span	TC	L-OH	L-Cant	L-Stub	L-Heel	Wt.	Label	Profile	Qty	TC Pitch	Span	TC	L-OH	L-Cant	L-Stub	L-Heel	Wt.	Label	Profile	Qty	TC Pitch	Span	TC	L-OH	L-Cant	L-Stub	L-Heel	Wt.												
		Ply	BC Pitch	Height	BC	R-OH	R-Cant	R-Stub	R-Heel	Tot. Wt.				BC Pitch	Height	BC	R-OH	R-Cant	R-Stub	R-Heel	Tot. Wt.				BC Pitch	Height	BC	R-OH	R-Cant	R-Stub	R-Heel	Tot. Wt.												
B-01	Roof Special	7	12 /12	23-00-00	2 x 4	1-00-00	-	-	7-00	148	B-03S	Roof Special Structural Gable	1	12 /12	23-00-00	2 x 4	1-00-00	-	-	7-00	148																							
			12 /12	12-10-15	2 x 4	1-00-00	-	-	7-00	1039				12 /12	12-10-15	2 x 4	1-00-00	-	-	7-00	148																							
B-01G	Roof Special Girder	1	12 /12	23-00-00	2 x 4	-	-	-	7-00	767	B-04	Roof Special	1	12 /12	23-00-00	2 x 4	-	-	-	2-04-14	143																							
		4 Ply	12 /12	12-01-00	2 x 6	-	-	-	7-00	767				-12 /12	12-10-15	2 x 4	1-00-00	-	-	-	7-00	143																						
B-01S	Roof Special Structural Gable	1	12 /12	23-00-00	2 x 4	1-00-00	-	-	7-00	162	B-05	Roof Special	1	12 /12	23-00-00	2 x 4	-	-	-	4-04-14	141																							
			12 /12	12-10-15	2 x 4	1-00-00	-	-	7-00	162				-12 /12	12-10-15	2 x 4	1-00-00	-	-	-	7-00	141																						
B-02	Roof Special	1	12 /12	23-00-00	2 x 4	-	-	-	1-03-07	126	B-06	Roof Special	1	12 /12	23-00-00	2 x 4	-	-	-	6-04-14	159																							
			12 /12	12-10-15	2 x 4	1-00-00	-	-	7-00	126				-12 /12	12-10-15	2 x 4	1-00-00	-	-	-	7-00	159																						
B-02S	Roof Special Structural Gable	1	12 /12	23-00-00	2 x 4	-	-	-	7-00	160	B-07	Roof Special	1	-12 /12	23-00-00	2 x 4	-	-	-	8-07-00	133																							
			12 /12	12-10-15	2 x 4	1-00-00	-	-	7-00	160				-12 /12	12-10-15	2 x 4	1-00-00	-	-	-	7-00	133																						
B-03	Roof Special	1	12 /12	23-00-00	2 x 4	-	-	-	1-02-06	297	B-08	Roof Special	1	12 /12	23-00-00	2 x 4	-	-	-	6-06-06	130																							
		2 Ply	12 /12	12-10-15	2 x 4	1-00-00	-	-	7-00	297				-12 /12	12-10-15	2 x 4	1-00-00	-	-	-	7-00	130																						

Richco Structures - W989 County Road FF, Haven WI 53083 Phone: (920) 565-3986
 Quote - Date: 5/19/2022, Page: 1 of 2

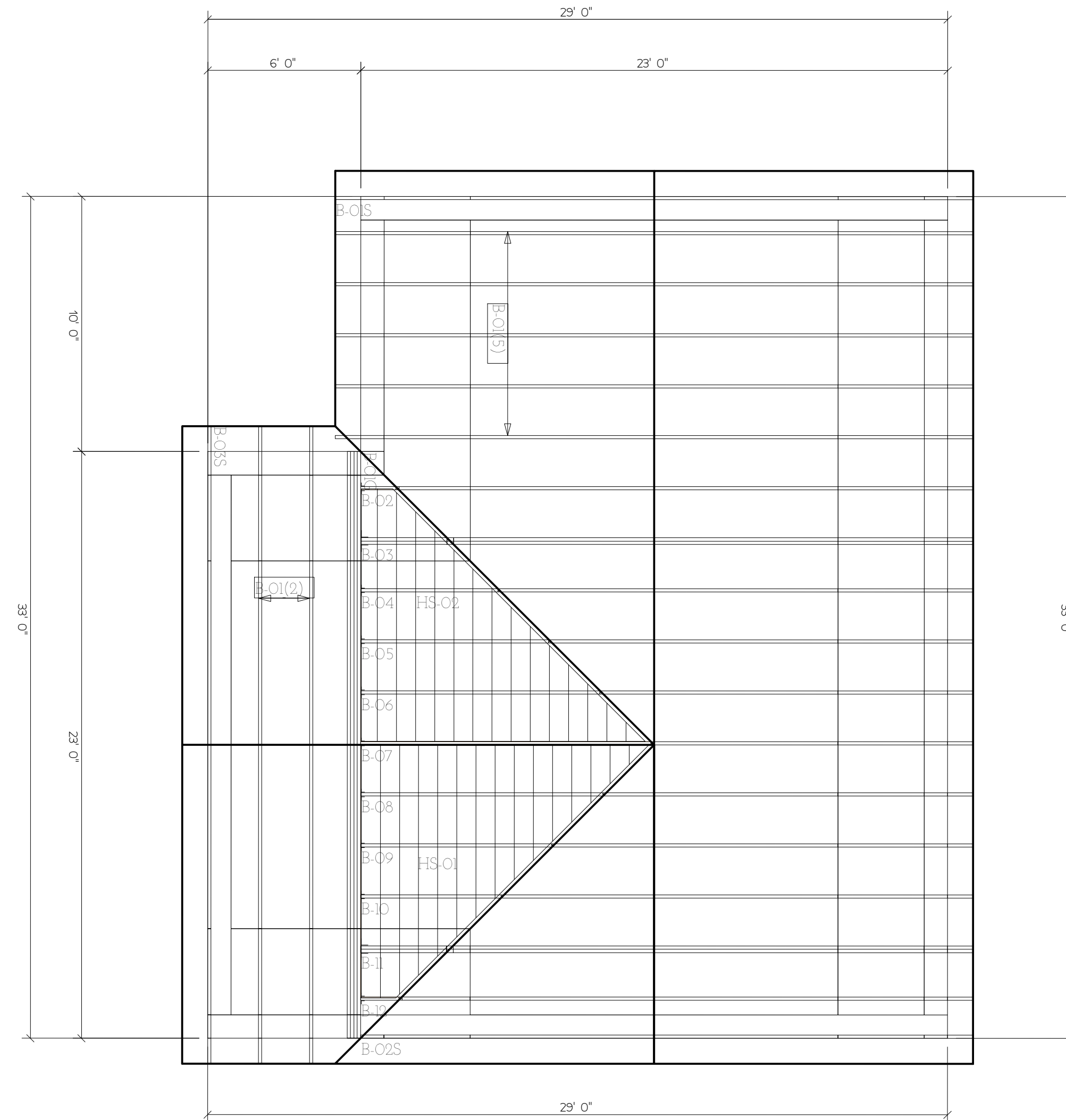
Martin Benilla
 5/19/2022

TRUSS SCHEDULE



ROOF PLAN
 1/4" = 1'-0"

TRUSS LAYOUT SHOWN FOR DESIGN INTENT ONLY. FINAL LAYOUT AND TRUSS DESIGN TO BE ENGINEERED AND PROVIDED BY TRUSS SUPPLIER.



TRUSS LAYOUT
 1/4" = 1'-0"



Mae's Bluebird
 437 E Stewart St. Suite #2
 Bay View/MKE 53207

KJ Boyd Enterprise
 Riverwest/MKE 53212

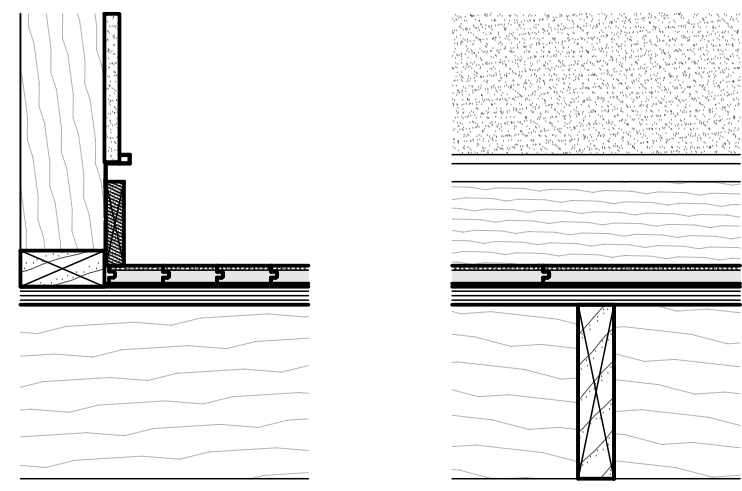
JacobBielanski@gmail.com
 +1.630.696.2672

NOTE:

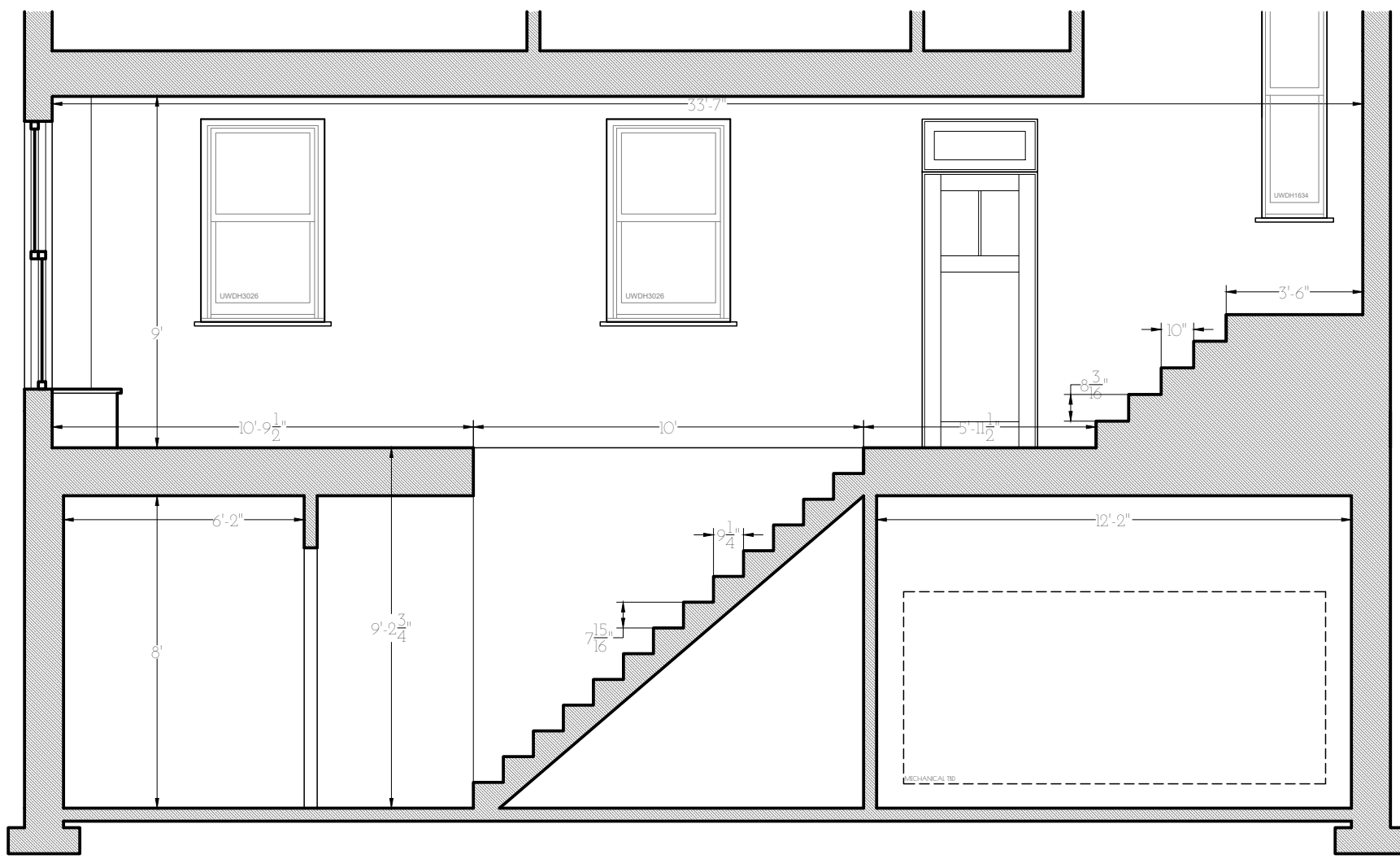
Drawings are scope in nature and do not show all details affecting the installation. The General Contractor shall interpret design intent and use best construction practices for assemblies. The General Contractor and their subcontractors are responsible for coordinating all dimensions and heights to meet design intent.

McBrady Residence		Design Set	
111 West Brown Street			
Drawn By: JAB	12/11/21		
Kellyn Munson & Jason Mcbrady III			

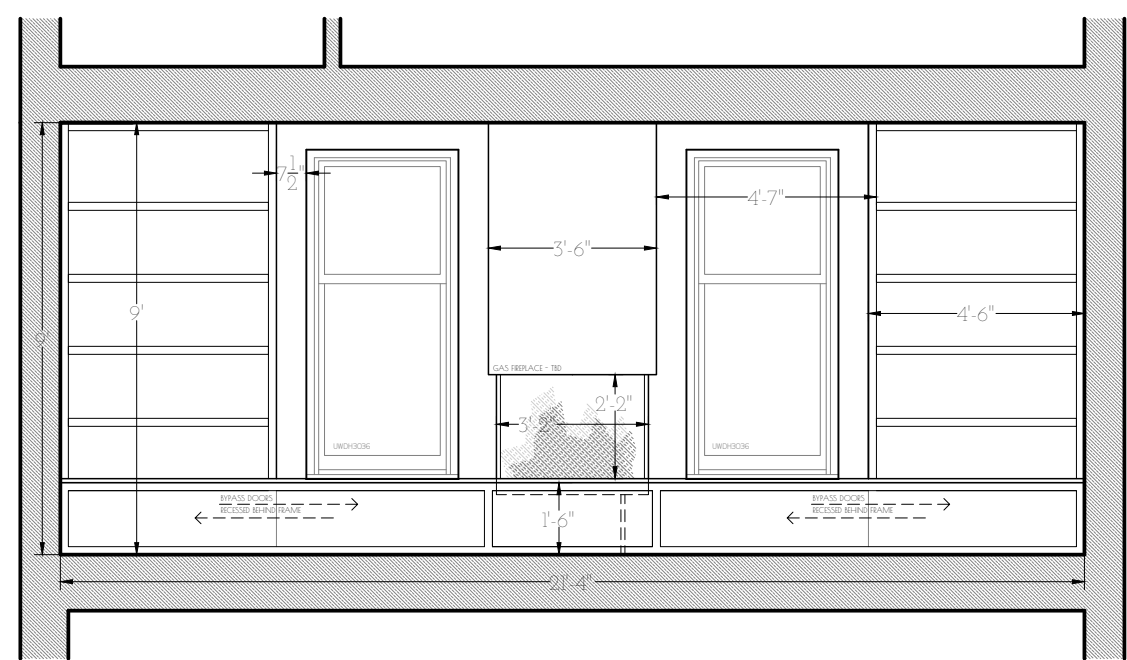
A8
Ground Floor



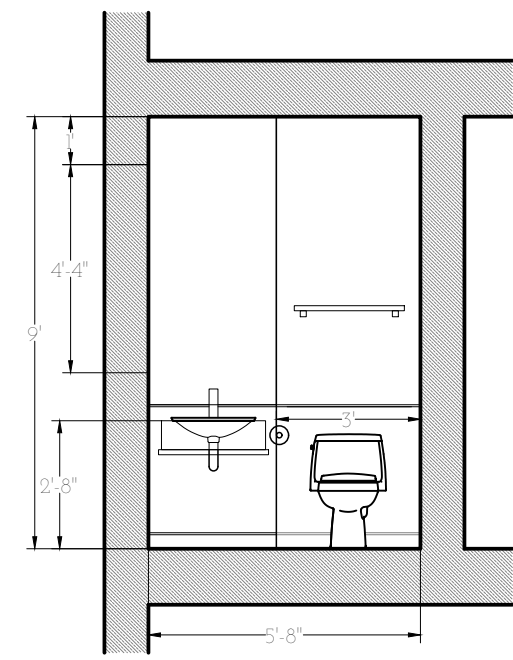
TYP BASEBOARD
1/2" = 1'-0"



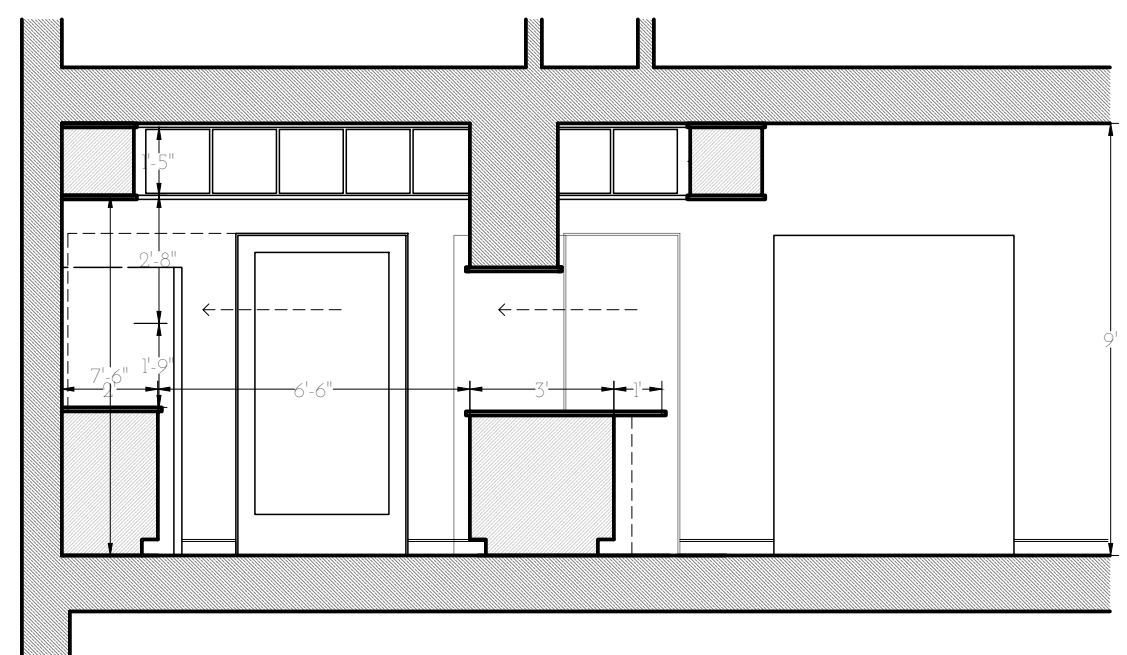
STAIR DIMENSIONS
3/8" = 1'-0"



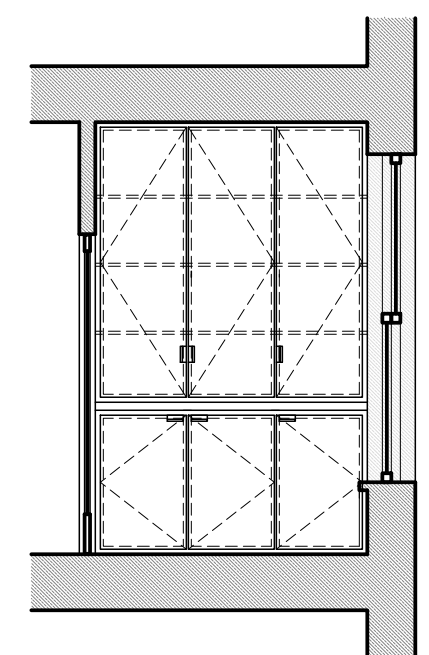
LIVING ROOM
3/8" = 1'-0"



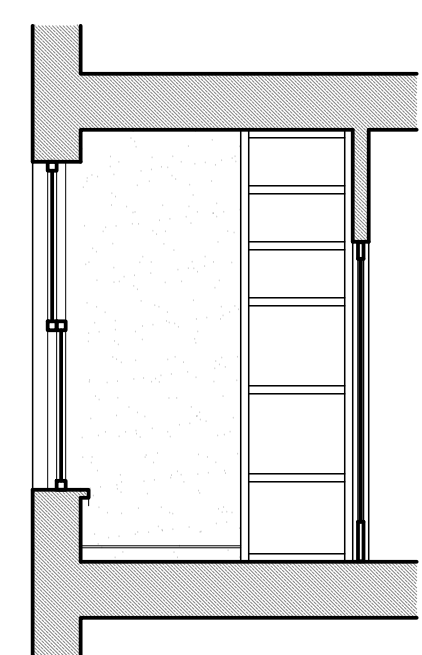
BATHROOM
3/8" = 1'-0"



KITCHEN WEST
3/8" = 1'-0"



PANTRY SOUTH
3/8" = 1'-0"



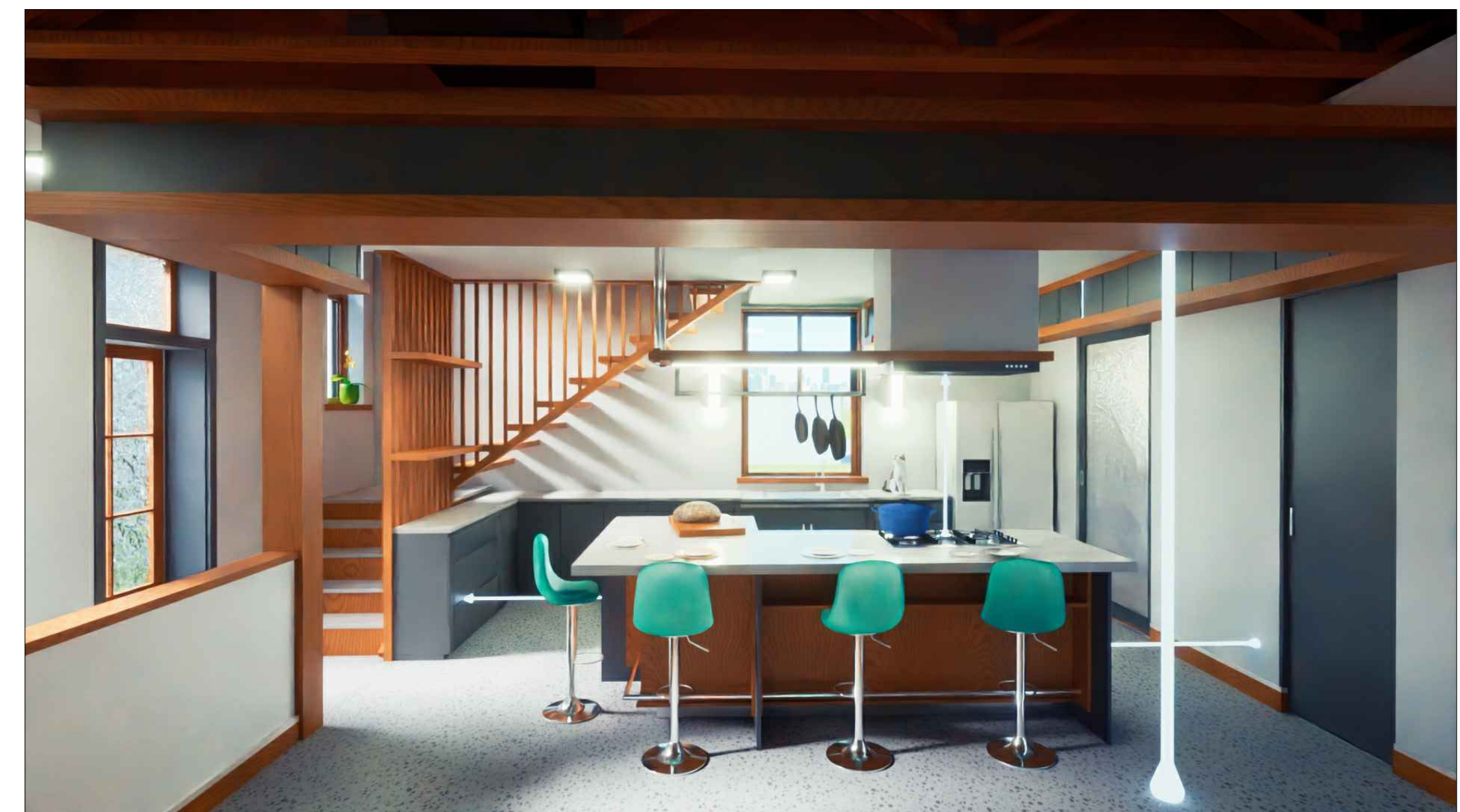
PANTRY NORTH
3/8" = 1'-0"



PANTRY NORTH
3/8" = 1'-0"



PANTRY NORTH
3/8" = 1'-0"



PANTRY NORTH
3/8" = 1'-0"



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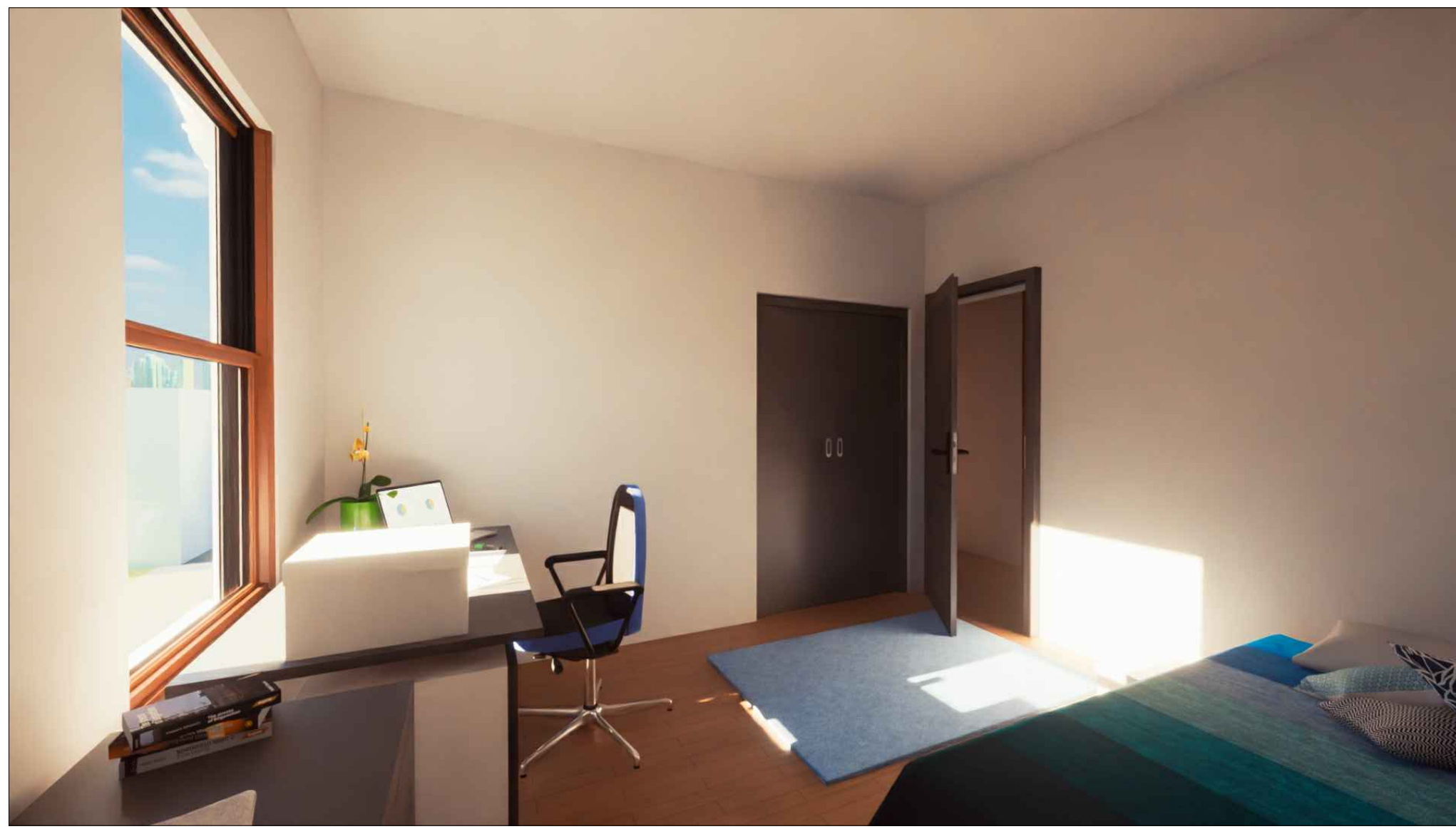
KIJ Boyd Enterprise
Riverwest/MKE 53212

JacobBielanski@gmail.com
+1.630.696.2672

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McBrady Residence 111 West Brown Street	6/23/22	Design Set
Drawn By: JAB	Kellyn Munson & Jason Mcbrady III	

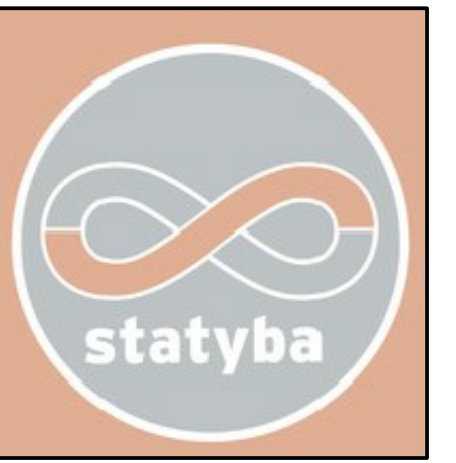
A9
Interior Details



SECONDARY BED
3/8' x 11'-0"



MASTER BATHROOM
3/8' x 11'-0"



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McBrady Residence		
111 West Brown Street		
Drawn By: JAB	6/23/22	Design Set
Kellyn Munson & Jason Mcbrady III		



SINGLE POLE SWITCH	Ⓐ
3 WAY SWITCH	Ⓐ ³
FAN CONTROL SWITCH	Ⓐ ^f
DUPLEX OUTLET	Ⓜ
GROUND FAULT OUTLET	Ⓜ ^{GF}
CEILING OUTLET	Ⓜ ^{OC}
NETWORK OUTLET	▼
THERMOSTAT	Ⓜ
SMOKE DETECTOR	Ⓜ

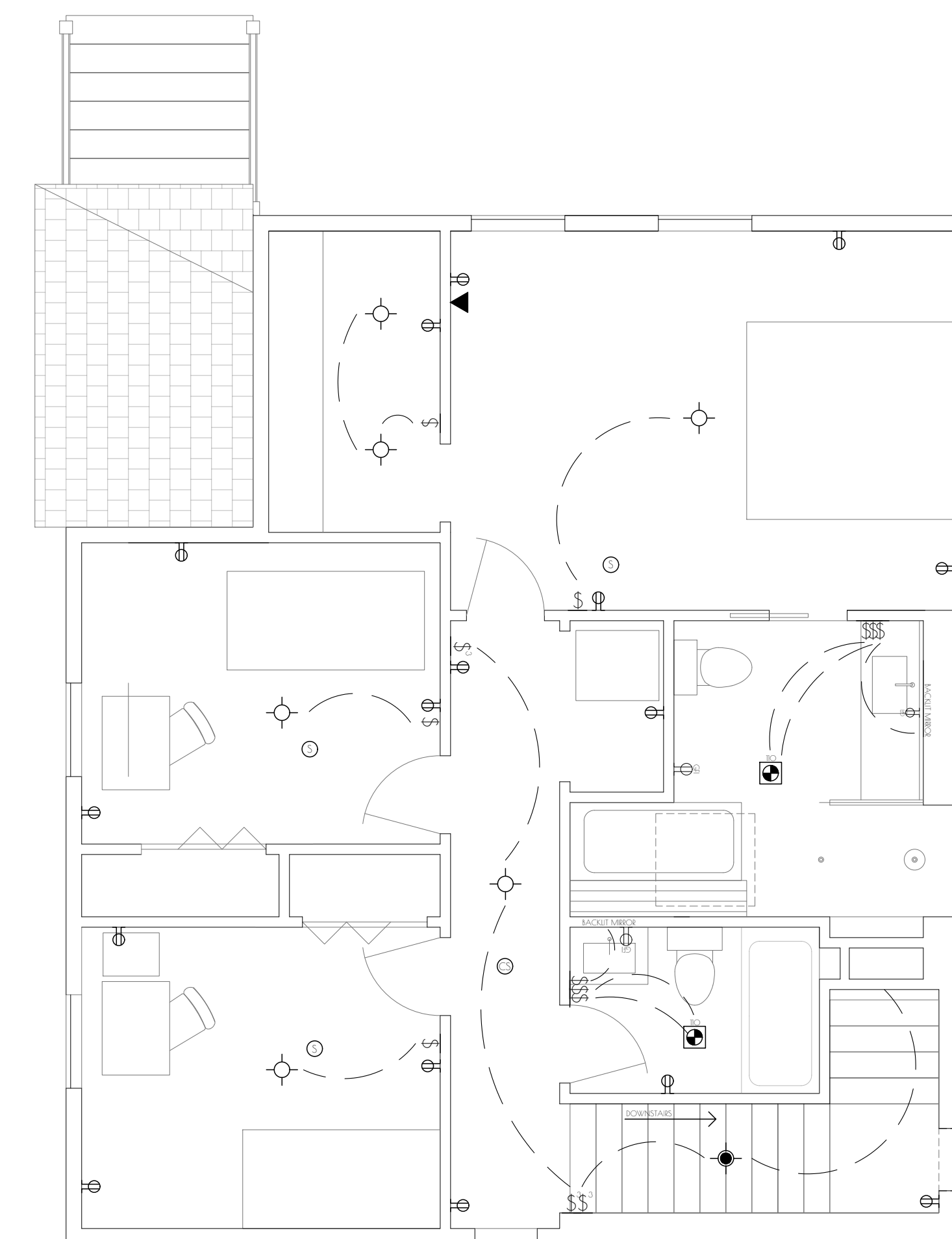
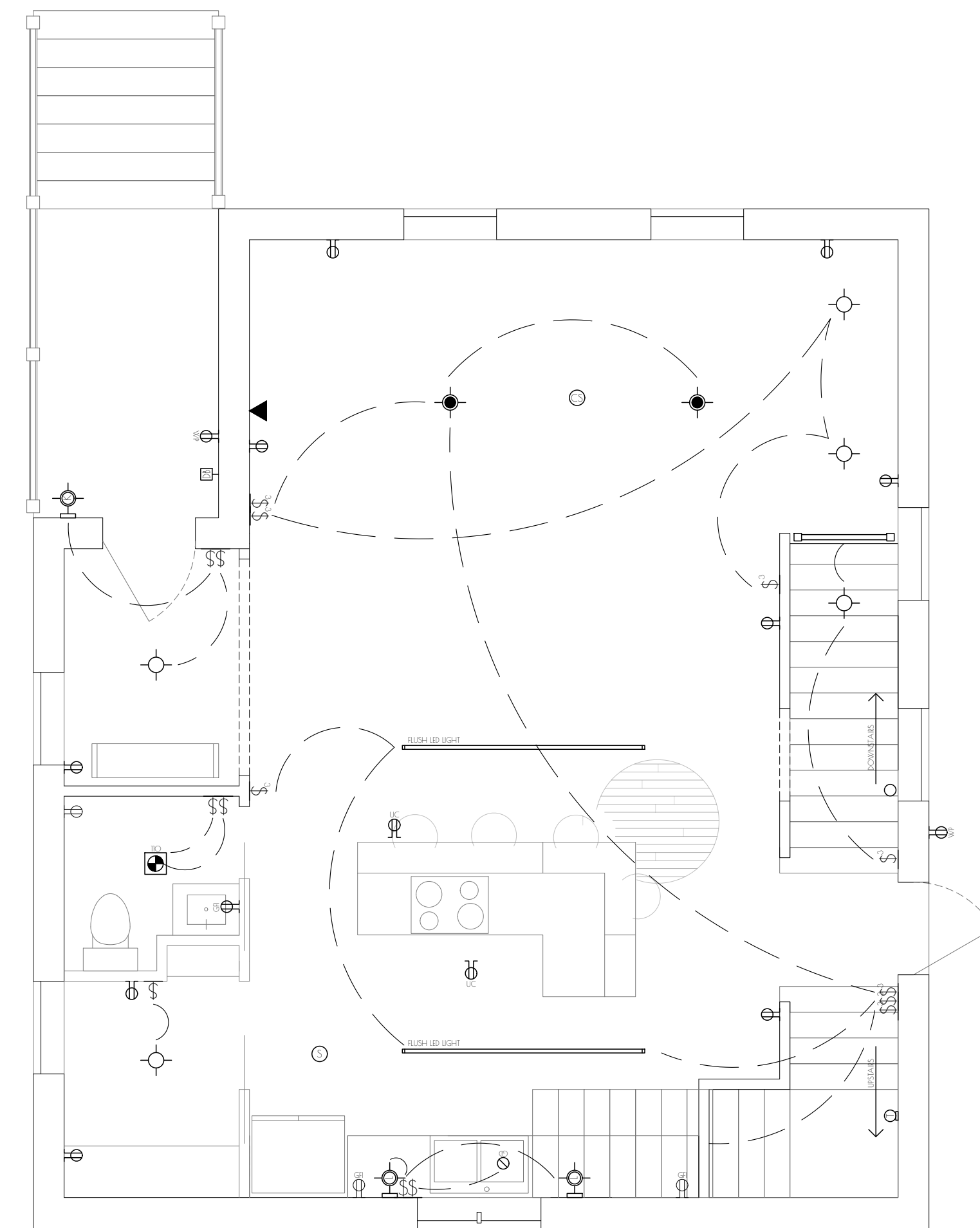
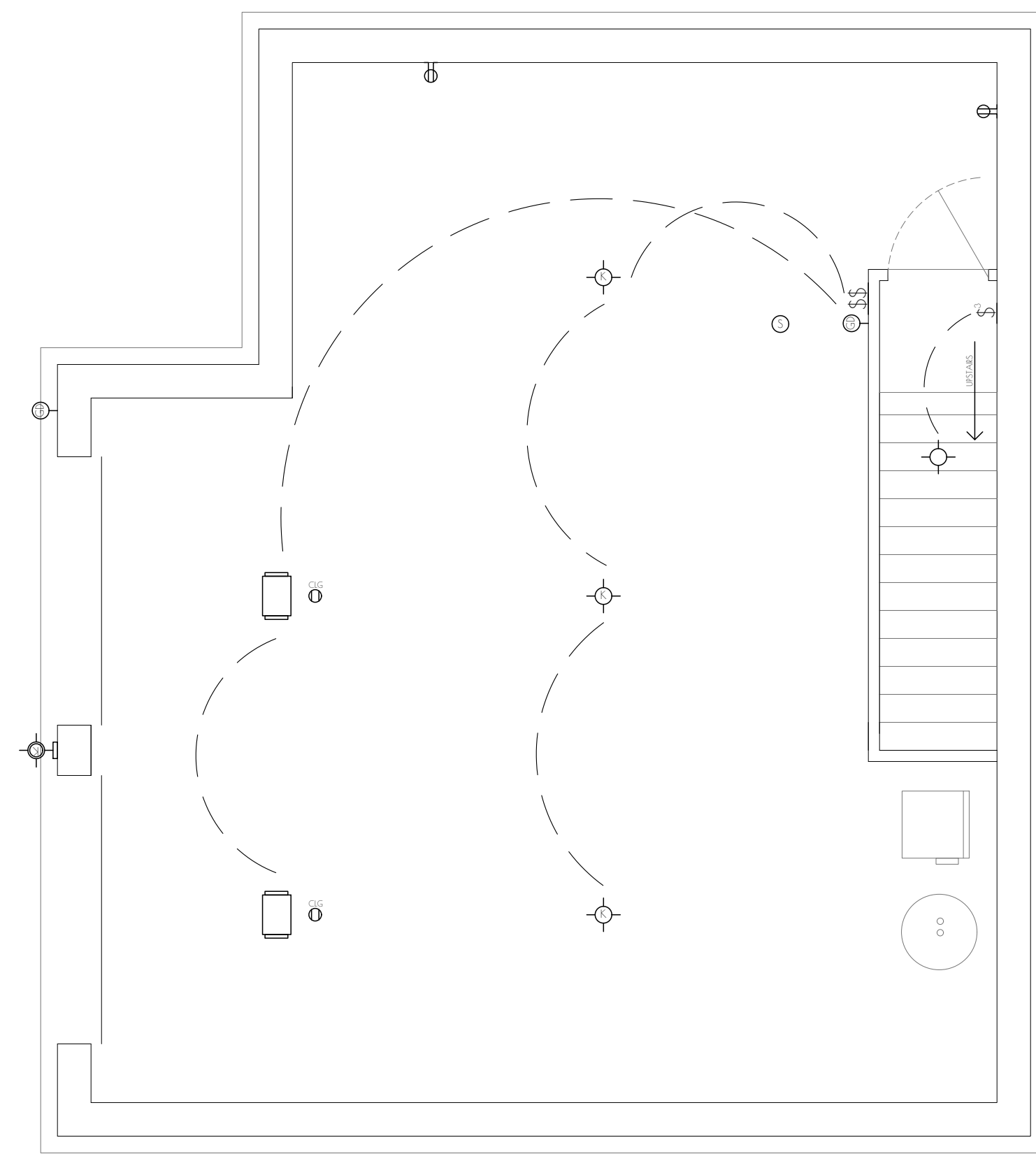
CARB. MON. DETECTOR	Ⓜ
DOOR BELL BUTTON	DB
GARAGE DOOR BUTTON	GD
GARAGE DOOR OPENER	Ⓜ
BATH FAN & LIGHT	Ⓜ
HANGING LIGHT	Ⓜ
FLUSH MOUNT LIGHT	Ⓜ
WALL MOUNT LIGHT	Ⓜ
KEYLESS LIGHT	Ⓜ

THE LOCATION OF THE
OUTLETS SHOWN ARE TO BE
VERIFIED IN THE FIELD AND TO
COMPLY WITH THE
ELECTRICAL CODE



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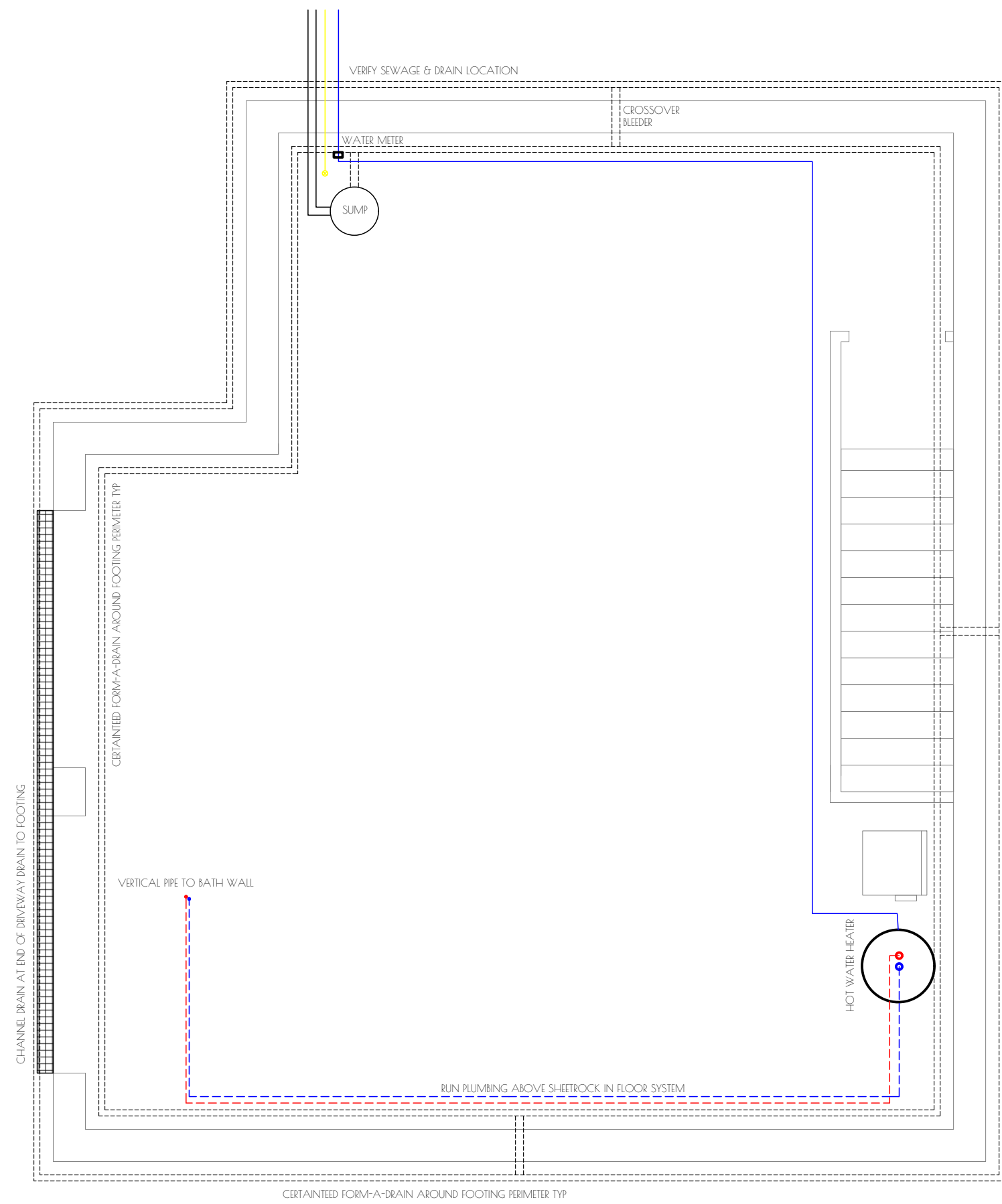
BASEMENT ELECTRICAL
1/4" = 1'-0"

MAIN ELECTRICAL
1/4" = 1'-0"

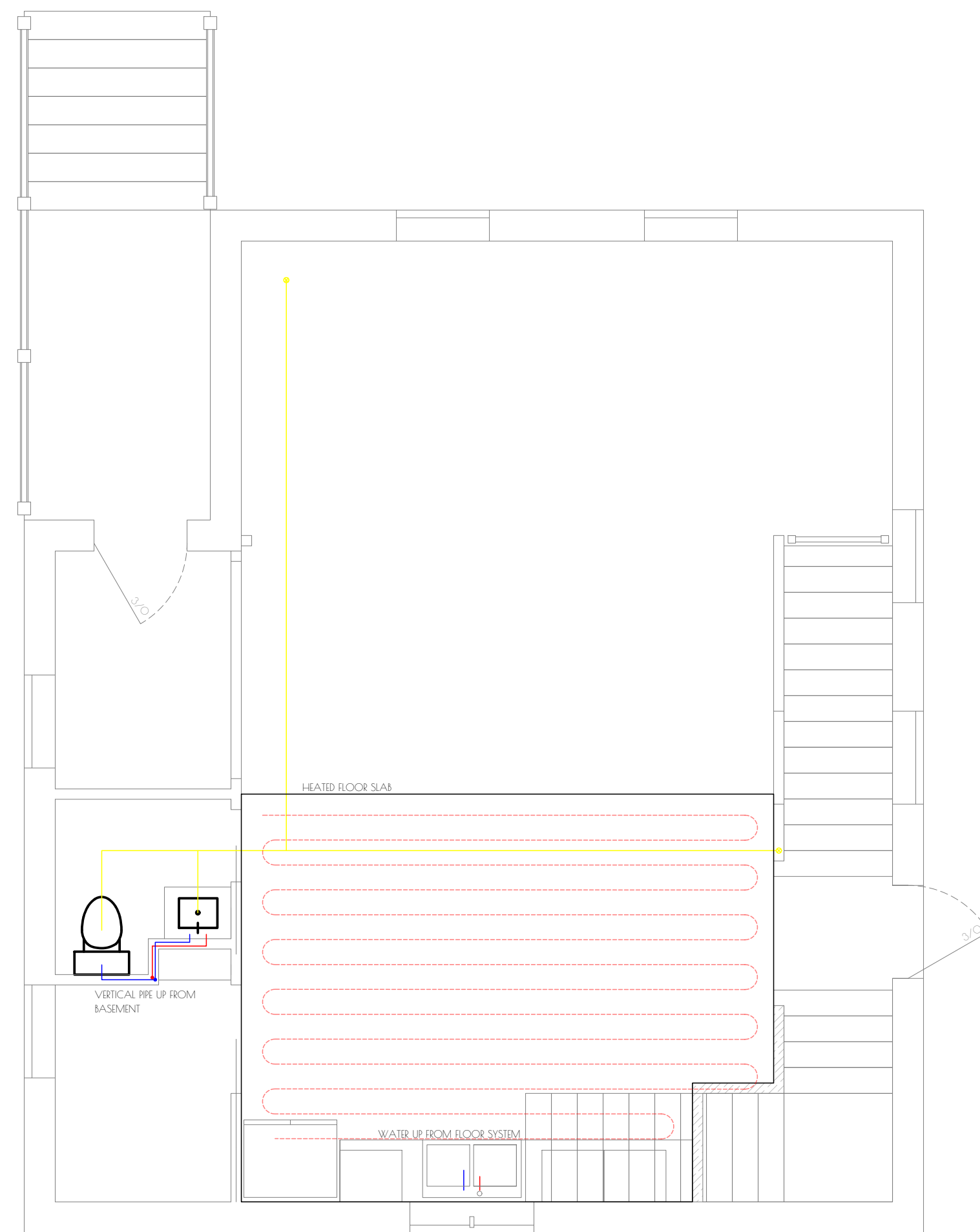
UPPER ELECTRICAL
1/4" = 1'-0"

McBrady Residence
111 West Brown Street
Drawn By: JAB 6/23/2022 Design Set
Kellyn Munson & Jason Mcbrady III

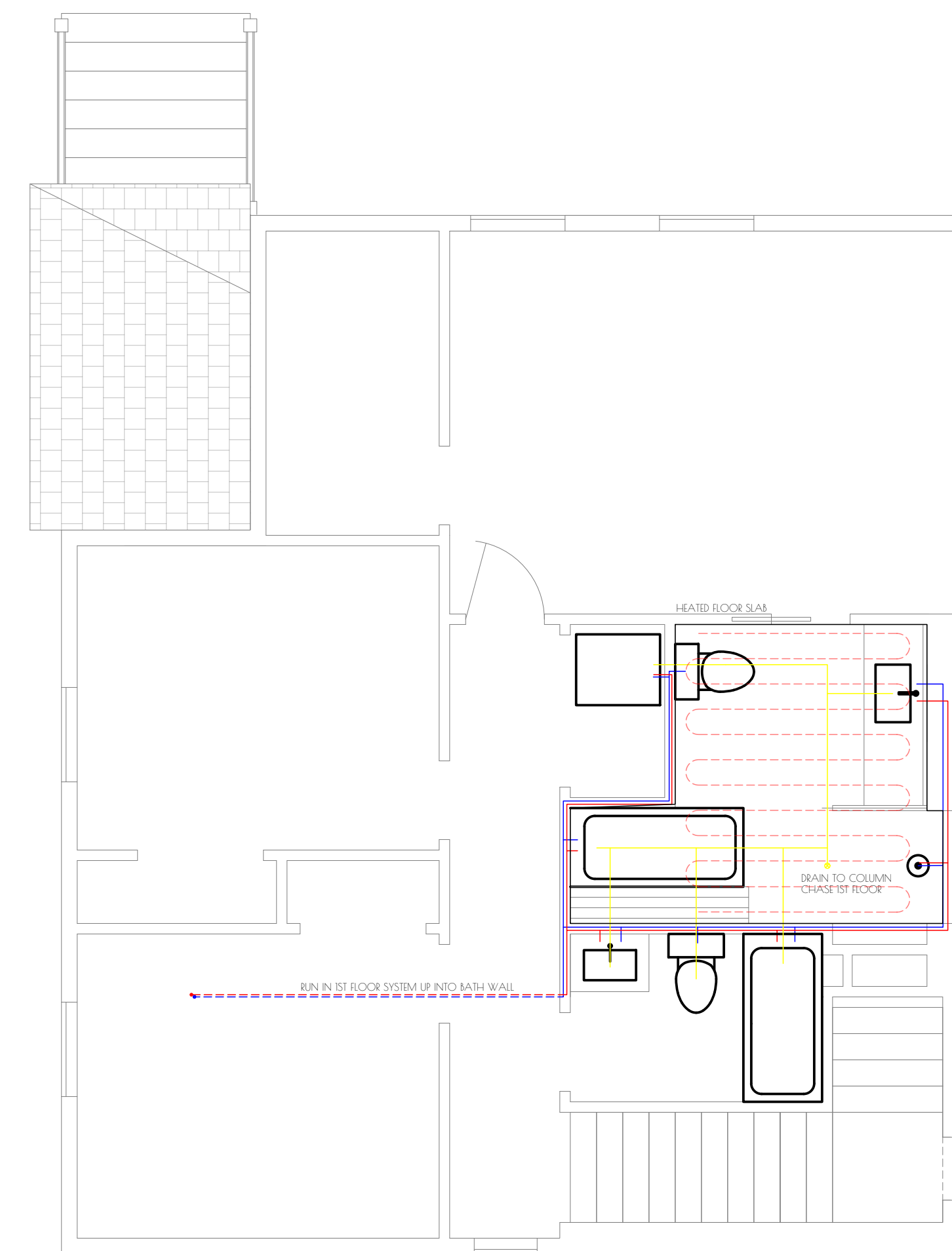
E1
ELECTRICAL



BASEMENT PLUMBING
1/4" = 1' - 0"



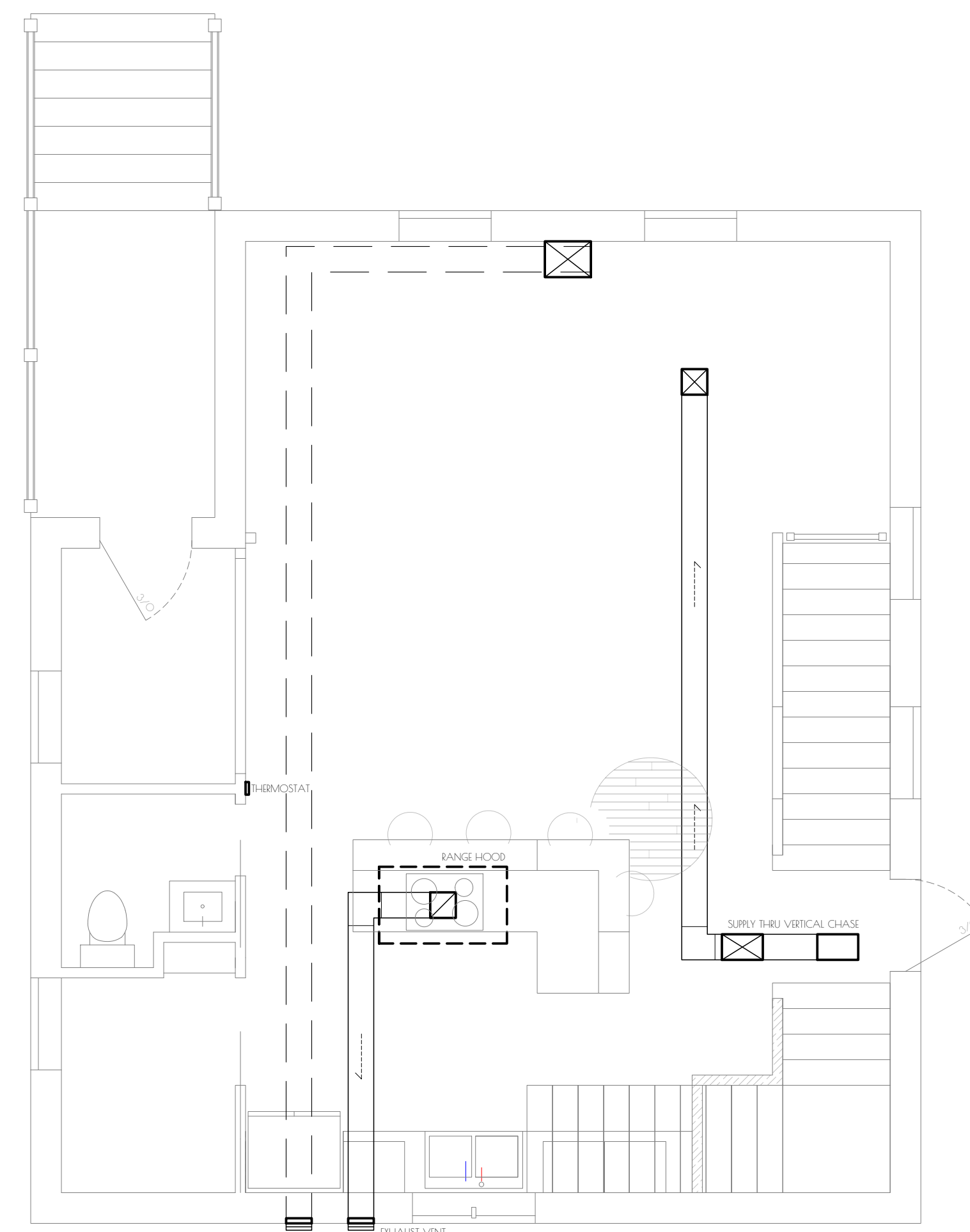
MAIN PLUMBING
1/4" = 1' - 0"



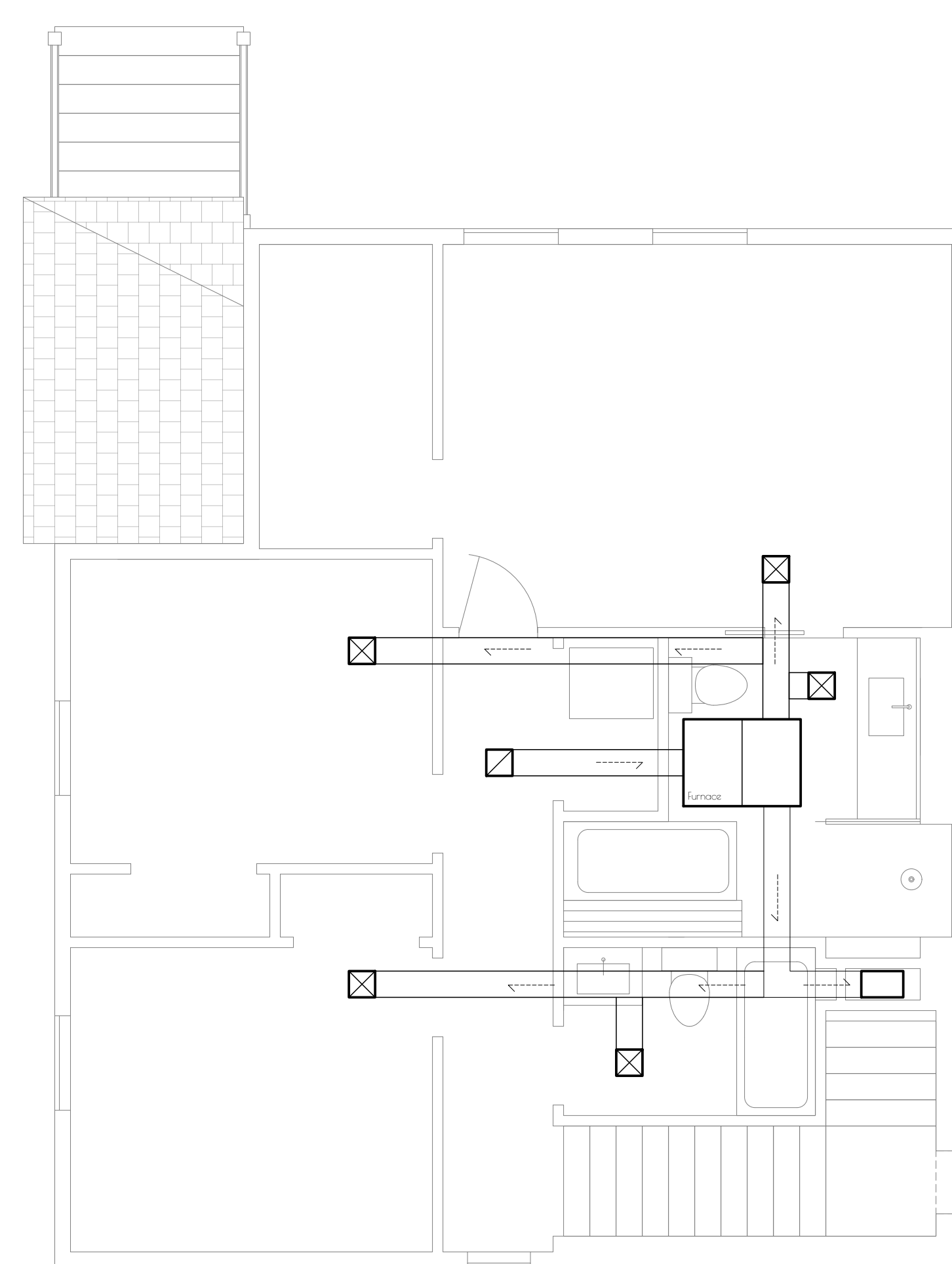
UPPER PLUMBING
1/4" = 1' - 0"

LOCATION OF WATER MAIN AND SEWAGE TO BE VERIFIED BY GENERAL CONTRACTOR

AIR INLET	↗
AIR EXHAUST	✕
DIRECTION OF FLOW	→
COLD LINE	↙
HOT LINE	↘
WASTE LINE	↗
VERTICAL PIPE	⊗



MAIN HVAC
1/4" = 1' - 0"



UPPER HVAC
1/4" = 1' - 0"



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