

EXISTING SITE PLAN
SCALE: 1/16" = 1'-0"
NORTH

LOT COVERAGE

PRIMARY RESIDENCE	5,646 S.F.
CARETAKERS COTTAGE	873 S.F.
STABLE	822 S.F.
TOTAL	7,341 S.F.
LOT SIZE: 65,158 S.F.	
7,341 / 65,158 = 11.26% LOT COVERAGE RATIO.	

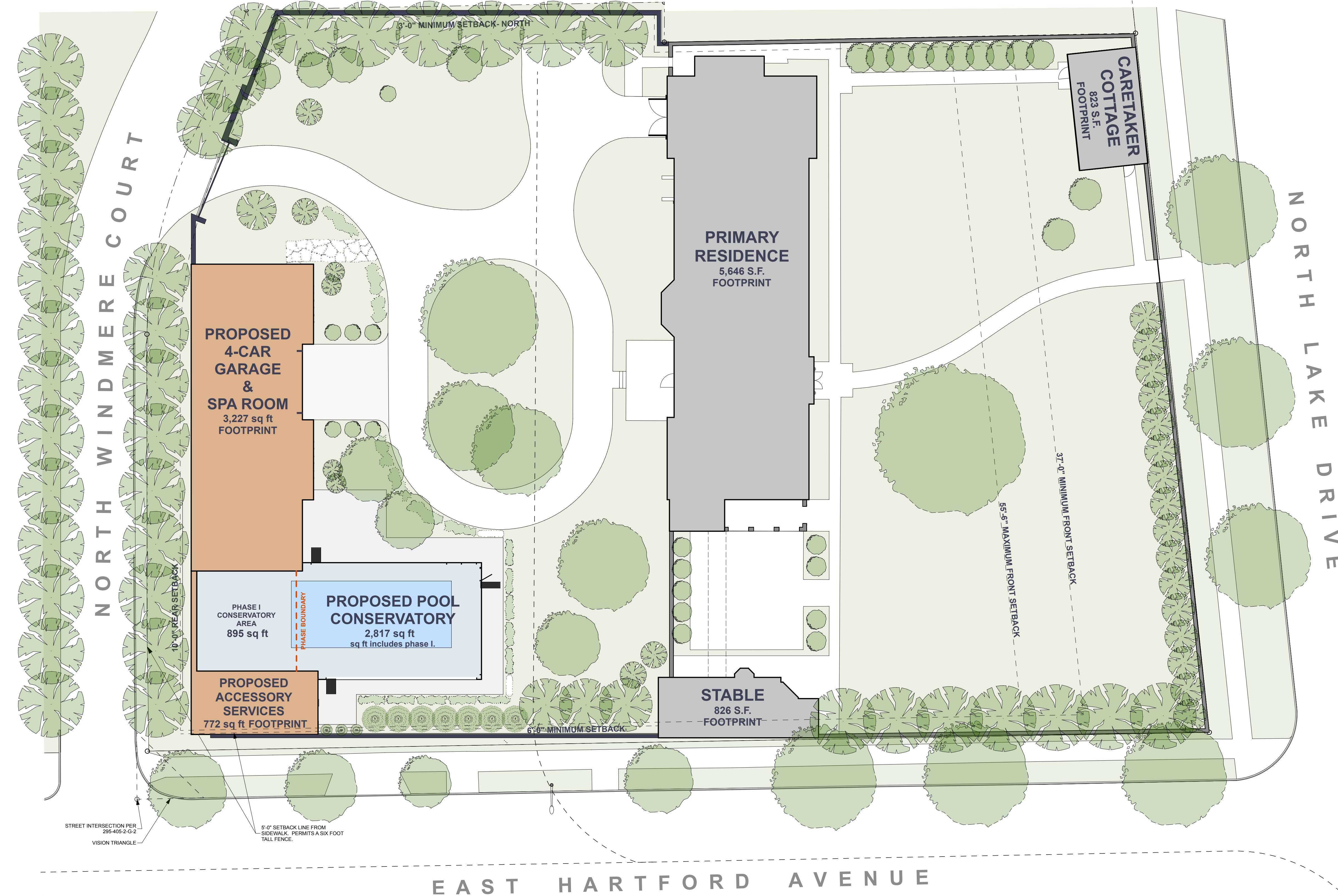
BUILDING SQUARE FOOTAGE

PRIMARY RESIDENCE	4,733
LOWER LEVEL	5,646
FIRST FLOOR	5,314
SECOND FLOOR	5,314
THIRD FLOOR	5,314
TOTAL	21,007 S.F.
CARETAKERS COTTAGE	725
FIRST FLOOR	831
SECOND FLOOR	1,396 S.F.
TOTAL	
STABLE	826
LOWER LEVEL	826
FIRST FLOOR	826
SECOND FLOOR	2,478 S.F.
TOTAL	
HISTORIC TOTAL	24,841
SQUARE FOOTAGE:	4,968
20% ADDITION LIMITATION:	
JULY 1984 TOTAL	26,974
SQUARE FOOTAGE:	
50% TOTAL	13,487 S.F.
NEW CONSTRUCTION LIMIT:	

SITE PLAN - GENERAL NOTES

1. THE DETAILS OF CONSTRUCTION IN THIS PROJECT ARE OF CRITICAL IMPORTANCE TO BOTH THE CLIENT AND ARCHITECT. IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS IS UNCLEAR, INCOMPLETE IN ITS DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK, PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK.
2. NOTIFY ARCHITECT PROMPTLY IF THE INFORMATION SHOWN IN ONE PORTION OF THE CONSTRUCTION DOCUMENTS CONFLICTS WITH THAT SHOWN IN ANOTHER.
3. NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS.
4. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK.
5. ALL PAVING, SCORE LINES, WALLS, AND OTHER MISC. SITE IMPROVEMENTS ARE LAID OUT PERPENDICULAR OR PARALLEL TO THE BUILDING UNLESS NOTED OTHERWISE.
6. VERIFY LOCATION OF ALL OVERHEAD AND UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF WORK.
7. CONTRACTOR SHALL PROVIDE EROSION CONTROL FACILITIES IN ACCORDANCE WITH APPLICABLE STATE AND LOCAL ORDINANCES.
8. SEE LANDSCAPE DRAWINGS FOR FULL SCOPE. ARCHITECTURAL SITE PLAN FOR REFERENCE ONLY.

NOT FOR CONSTRUCTION



SITE PLAN
SCALE: 1/16" = 1'-0"
NORTH

KEY PLAN



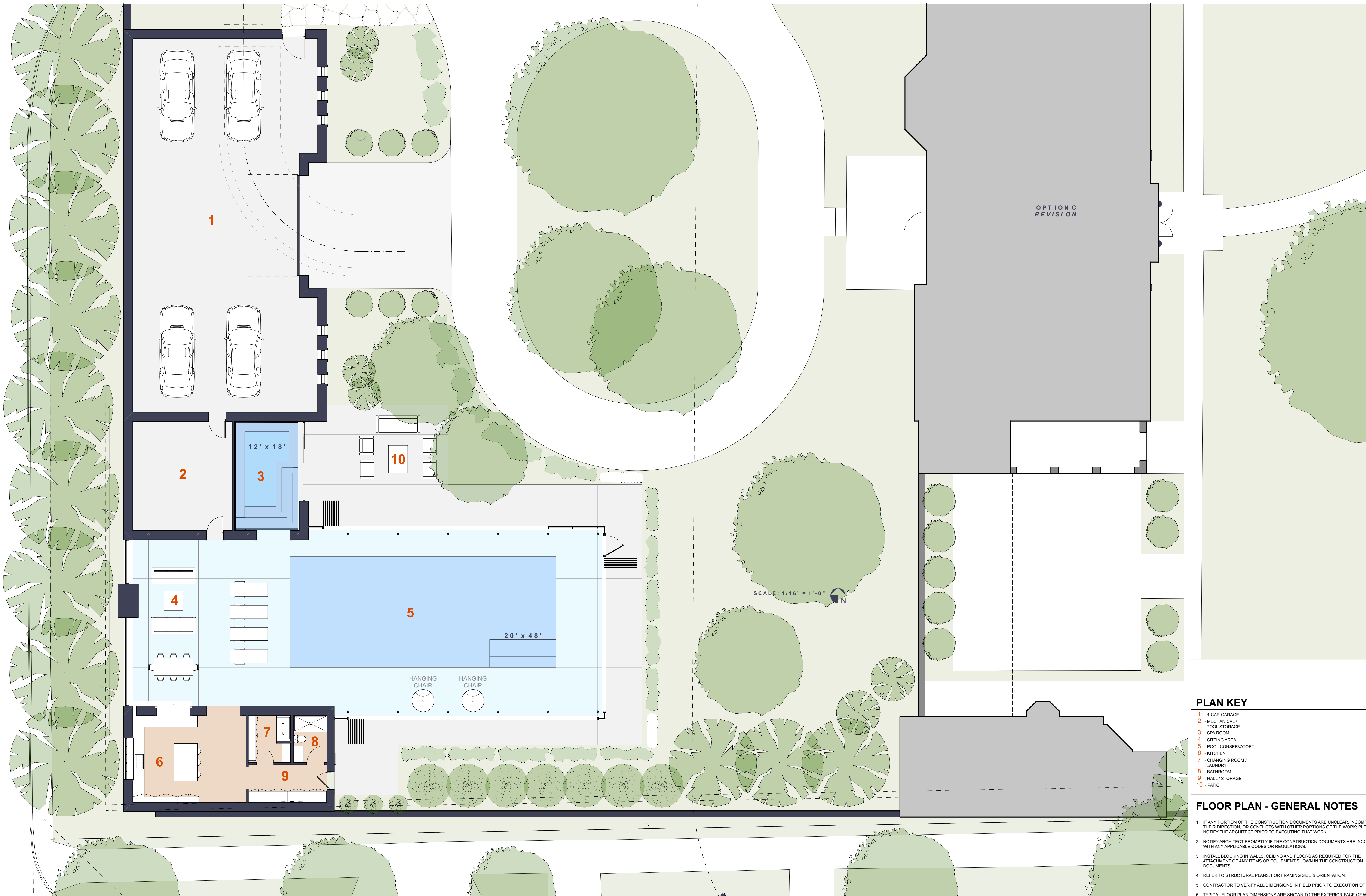
SQUARE FOOTAGE TOTALS

CONSERVATORY	2,817
ACCESSORY BLDG	772
GARAGE & SPA	3,227
TOTAL:	6,816 S.F.
PHASE 1 TOTAL:	4,894 S.F.
<small>4,988 MAX S.F. ALLOWED FOR PHASE 1</small>	

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OPTION C
-REVISION

SCALE: 1/16" = 1'-0" N

PLAN KEY

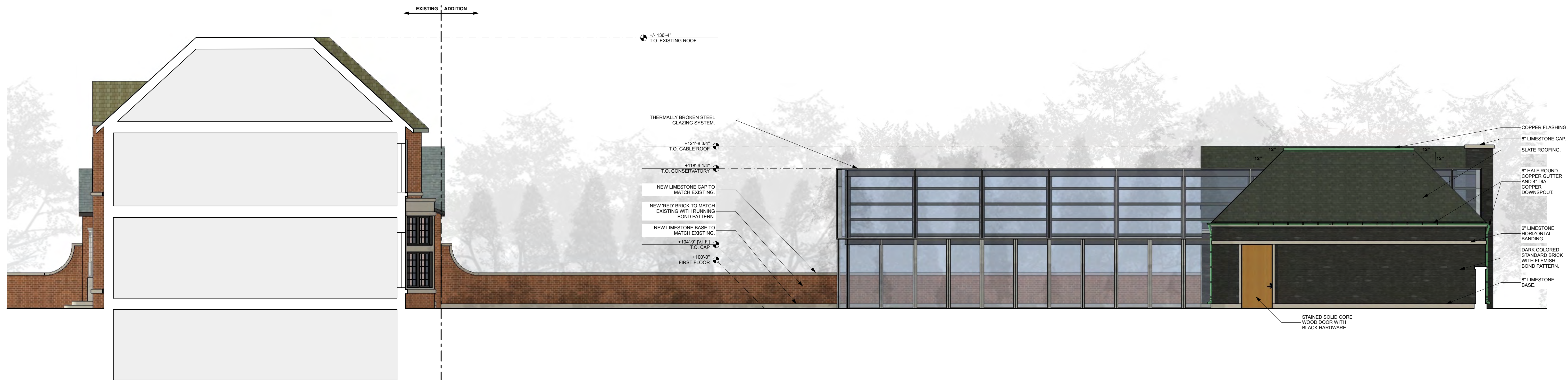
- 1 - 4-CAR GARAGE
- 2 - MECHANICAL / POOL STORAGE
- 3 - SPA ROOM
- 4 - SITTING AREA
- 5 - POOL CONSERVATORY
- 6 - KITCHEN
- 7 - CHANGING ROOM / LAUNDRY
- 8 - BATHROOM
- 9 - HALL / STORAGE
- 10 - PATIO

FLOOR PLAN - GENERAL NOTES

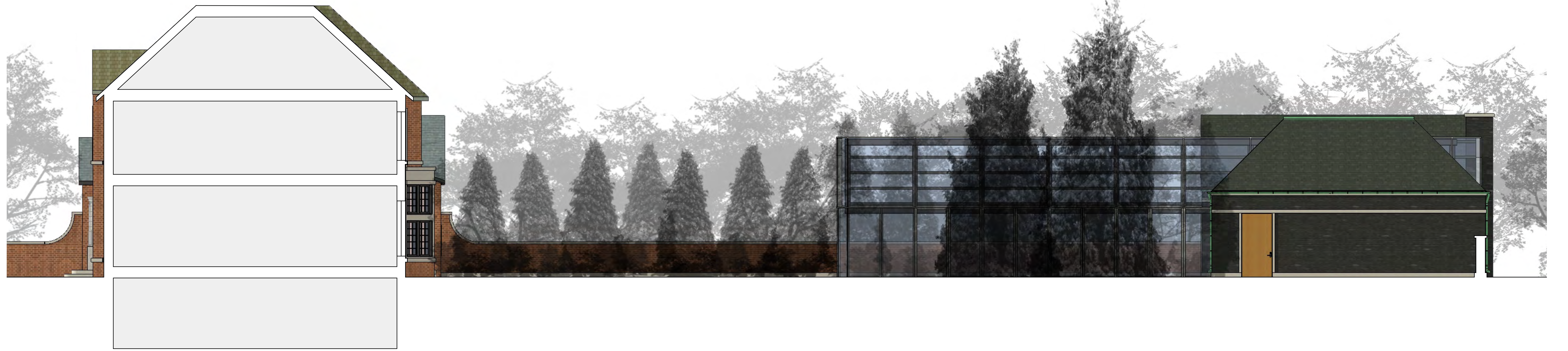
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2. NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS.
3. INSTALL BLOCKING IN WALLS, CEILING AND FLOORS AS REQUIRED FOR THE ATTACHMENT OF ANY ITEMS OR EQUIPMENT SHOWN IN THE CONSTRUCTION DOCUMENTS.
4. REFER TO STRUCTURAL PLANS, FOR FRAMING SIZE & ORIENTATION.
5. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK.
6. TYPICAL FLOOR PLAN DIMENSIONS ARE SHOWN TO THE EXTERIOR FACE OF WALLS, UNLESS NOTED OTHERWISE.
7. COORDINATE EXACT LOCATION OF LIGHT FIXTURES, ACCESS PANELS, SPEAKERS, HVAC DUCTS, GRILLS, DIFFUSERS AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL, AND OTHER PERTINENT TRADES. NOTIFY ARCHITECT IF ANY LOCATIONS OR CONDITIONS CONFLICT WITH THE DESIGN INTENT SHOWN IN THESE CONSTRUCTION DOCUMENTS.
8. SEE SHEET A500 FOR WALL, FLOOR, AND ROOF ASSEMBLY TYPES.
9. SEE SHEET A600 AND A601 FOR DOOR AND WINDOW TYPES.

FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"
PLAN NORTH

NOT FOR CONSTRUCTION



1
A200
NORTH ELEVATION
GRAPHIC SCALE
0 5' 10' 20'



2
A200
NORTH ELEVATION_TREES
GRAPHIC SCALE
0 5' 10' 20'

OUTBUILDING
 3319 NORTH LAKE DRIVE, MILWAUKEE WI 53211

DRAWING ISSUE DATE
HISTORIC PRESERVATION COMMISSION 04.08.2022

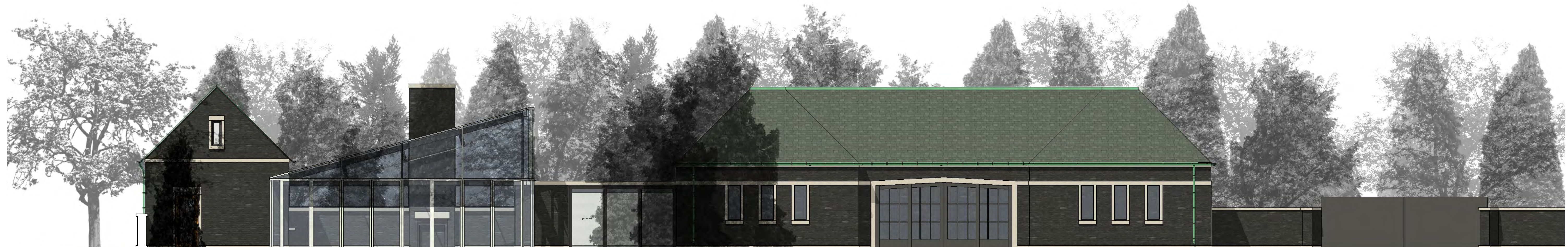
PROJECT # 21.30

ELEVATIONS

A200

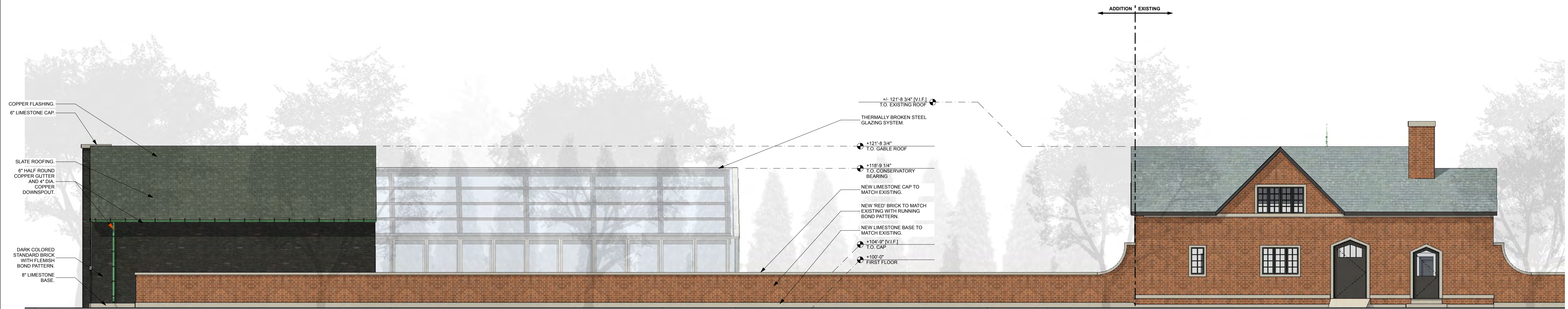


1 EAST ELEVATION
GRAPHIC SCALE
0 5' 10' 20'



2 EAST ELEVATION
GRAPHIC SCALE
0 5' 10' 20'

NOT FOR CONSTRUCTION



COPPER FLASHING
6" LIMESTONE CAP
SLATE ROOFING
6" HALF ROUND COPPER GUTTER AND 4" DIA COPPER DOWNSPOUT
DARK COLORED STANDARD BRICK WITH FLEMISH BOND PATTERN
8" LIMESTONE BASE

+121'-8 3/4" (V.I.F.) TO EXISTING ROOF
THERMALLY BROKEN STEEL GLAZING SYSTEM
+121'-8 3/4" TO GABLE ROOF
+118'-9 1/4" TO CONSERVATORY BEARING
NEW LIMESTONE CAP TO MATCH EXISTING
NEW RED BRICK TO MATCH EXISTING WITH RUNNING BOND PATTERN
NEW LIMESTONE BASE TO MATCH EXISTING
+104'-9" (V.I.F.) TO GAR
+100'-0" FIRST FLOOR

ADDITION | EXISTING

1 SOUTH ELEVATION
GRAPHIC SCALE
0 5' 10' 20'



2 SOUTH ELEVATION
GRAPHIC SCALE
0 5' 10' 20'

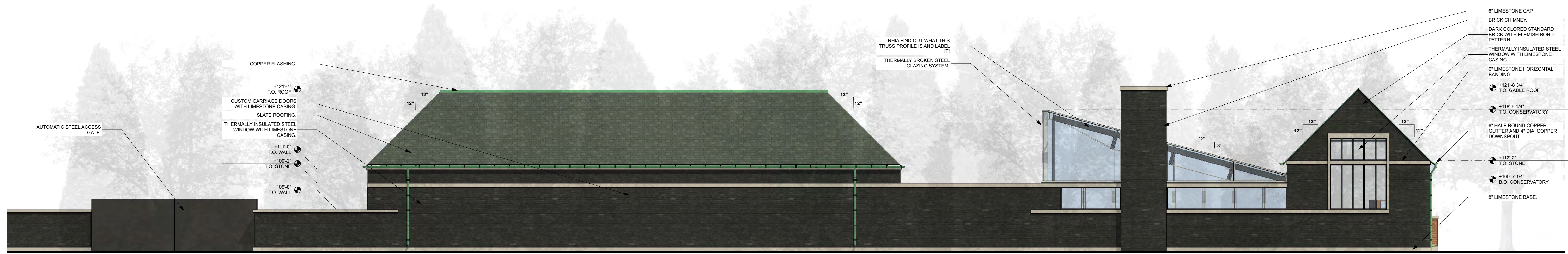
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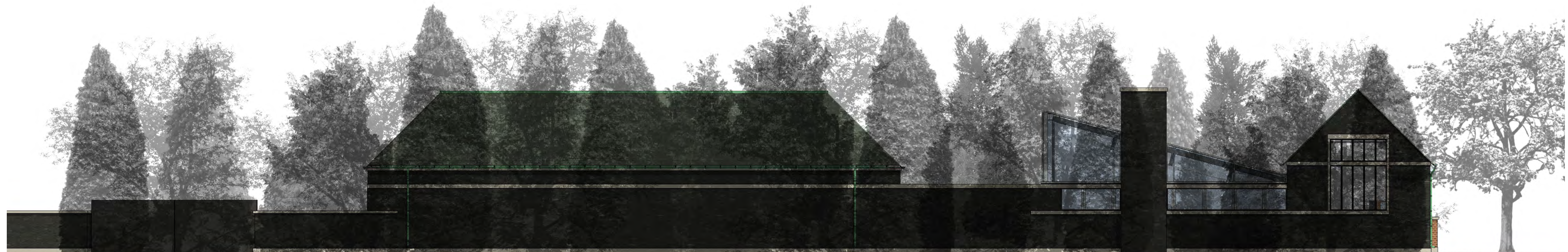
PROJECT # 21.30

ELEVATIONS

A202



1 WEST ELEVATION
GRAPHIC SCALE
0 5' 10' 20'



2 WEST ELEVATION
GRAPHIC SCALE
0 5' 10' 20'

OUTBUILDING
 3319 NORTH LAKE DRIVE, MILWAUKEE WI 53211

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COMMISSION

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ELEVATIONS

A203

NOT FOR CONSTRUCTION



1 NORTH/SOUTH SECTION
GRAPHIC SCALE
0 5' 10' 20'



2 NORTH/SOUTH SECTION
GRAPHIC SCALE
0 5' 10' 20'

OUTBUILDING
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COMMISSION

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SECTIONS

A300