



PETITION FOR A SPECIAL PRIVILEGE

ccl-246 (7/15)

SP 2754
CCF 160863

- New application \$250.00 Fee**
- Amendment to add items to Special Privilege # _____ (\$125.00 Fee)**
- Amendment to remove items from Special Privilege # _____ (No fee)**
- Amendment for change of ownership for Special Privilege # _____ (No fee)**

- File petition with the Department of Public Works, Attention: Special Privileges, 841 North Broadway, Room 919, Milwaukee, WI 53202.
- Fee must be submitted with petition. Checks should be made payable to the City of Milwaukee.
- Questions? Call 414-286-2454

To the Honorable, The Common Council of the City of Milwaukee:

The Licensee Greenwich Park Apartments LLC
(Name of Individual, Partners, Corporation or LLC)

being the owners of the following property known by street address as 2353 N. Farwell Ave 53211
(Street Address and Zip Code)

in the 3 Aldermanic District respectfully petition the Common Council of the City of Milwaukee according to the provisions of Section 66.0425 of the Wisconsin Statutes, that the following privilege be granted:

Description of Special Privilege: (4) landscape planters with curbs are to be built along the North side (E. Thomas Ave.) of the building. Due to the North side of the building being directly on the property boundary, the planters are projecting into the Public Right-of-Way.

Of which a plan or sketch is herewith submitted. Petitioner agrees to comply with all laws and all ordinances of the City of Milwaukee, to abide by any order or resolution of the Common Council affecting this privilege, to be primarily liable for damages to person or property by reason of the granting of such privilege, pay annual compensation as provided by law in the sum to be fixed by the proper city officers, and to file and keep current throughout the existence of the privilege, a certificate of insurance indicating applicant holds a public liability policy in at least the sums of \$25,000.00/\$50,000.00 bodily injury, and \$10,000.00 property damage, insuring the city against any liability that might arise by reason of the privilege.

Petitioner further agrees to remove said privilege whenever public necessity so requires when so ordered upon resolution adopted by the Common Council or other legislative body.

Should this special privilege be discontinued for any reason whatsoever, petitioner agrees to remove all construction work executed pursuant to this special privilege, to restore to its former condition and to the approval of the Commissioner of Public Works, any curb, pavement, or other public improvement which was removed, changed or disturbed by reason of the granting of this special privilege. Petitioner further agrees not to contest the validity of Section 66.0425 of the Wisconsin Statutes, or the legality of this special privilege in any way.

Name (Please Print): David Lyon, VP, Mercy Housing Lakefront
(Individual, Partner, or Agent if corporation or LLC as shown above)

Signature: [Handwritten Signature] Date: 9/21/16
(Individual, Partner, or Agent if corporation or LLC)

Corporation or LLC Name: Greenwich Park Apartments MM LLC, a Wisconsin limited liability company, by Mercy Housing Lakefront, its sole member (If applicable, as shown above)

Mailing Address (If different than property address above): 120 S. LaSalle, Suite 1850
(OVER)

City: Chicago State: IL Zip: 60603

Telephone: 312-447-4560 E-Mail: dlyon@mercyhousing.org

Architect/Engineer/Contractor (If Applicable)

Name: Jason Korb

Address: 648 N. Plankinton Ave. Suite 240

City: Milwaukee State: WI Zip: 53203

Telephone: 414-273-8230 E-Mail: jkorb@kaa-arch.com

IMPORTANT NOTICE FOR CUSTOMERS PAYING BY CHECK

When you provide a check as payment, you authorize us either to use information from your check to make a one-time electronic fund transfer from your account or to process the payment as a check transaction.

PAID

\$ 250.00 DMS

SEP 22 2016

Special Privilege Application
City of Milwaukee
Department of Public Works



C O N S T R U C T I O N B U L L E T I N 3

FARWELL APARTMENTS

November 17, 2015

Project Number: 14026

Contract Documents Dated: July 17, 2015

This construction bulletin is issued to explain, modify or correct original specifications and drawings and is hereby made part of the contract documents. This construction bulletin must be attached to the documents/specifications in your possession.

PURPOSE

CIVIL

Revise grade elevations at ramps near the intersections of Thomas & Murray and Thomas & Farwell.

DRAWINGS

CIVIL

SHEET C104 – SITE GRADING PLAN

-North Ramp at intersection of Thomas & Murray

The eastern top of ramp grade is 61.36 and the western grade is 61.41.

The eastern bottom of ramp grade is 60.97 and western grade is 61.02.

The depressed curb at the base of the ramp has a back of curb grade 1"(0.08') above the gutter grade.

-Curb Planter at Northwest corner of building near the intersection of Thomas & Murray

Adjusted grade to 61.95, which puts the sidewalk grade at 61.45. The grade north is 61.40.

-Ramp at intersection Thomas & Farwell

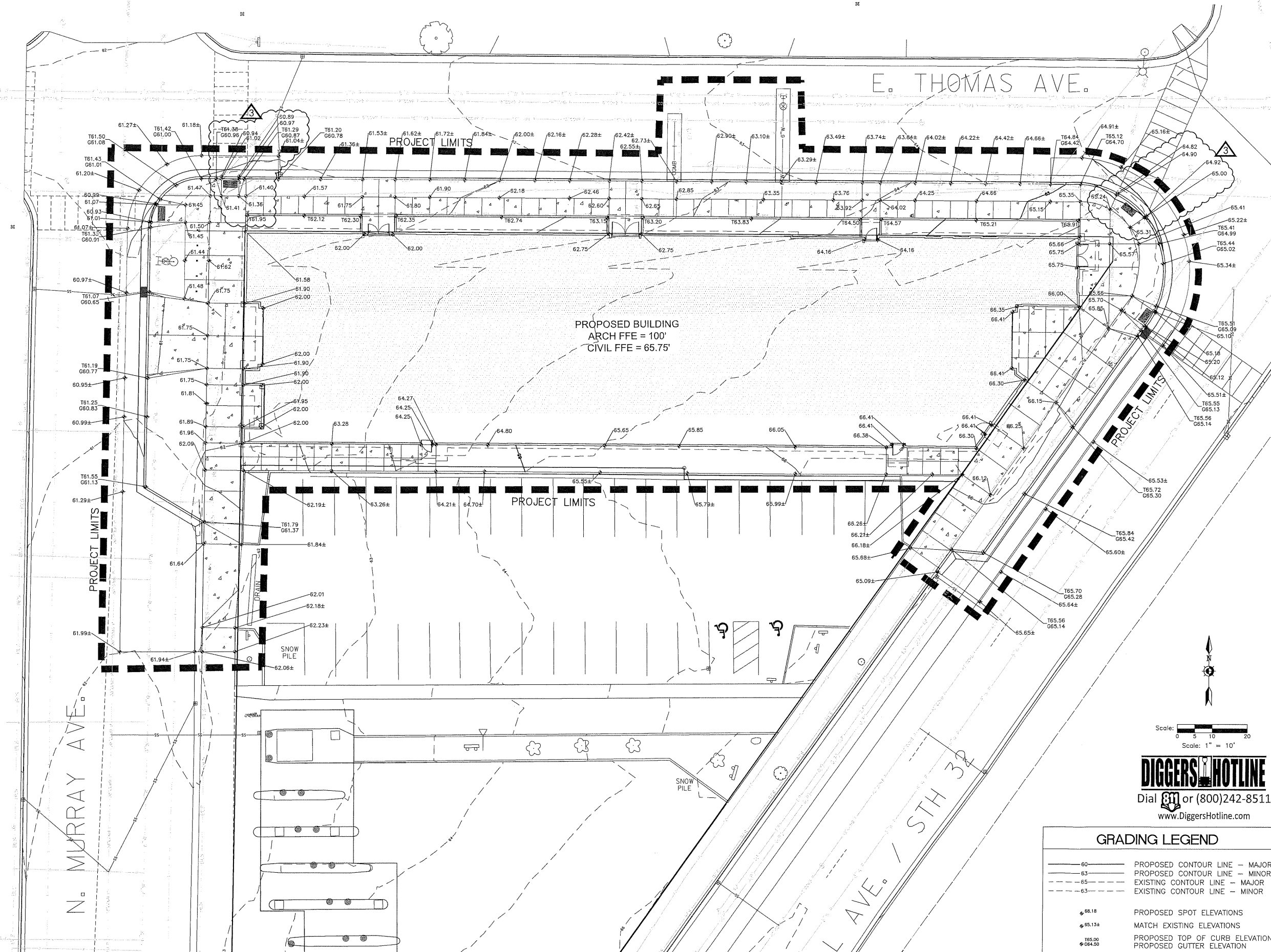
Adjusted the grades for the curb and gutter so everything north of the proposed catch basin will drain around the corner and west along Thomas into the existing catch basin.

ATTACHMENTS

Full size sheet:

SHEET C104 – SITE GRADING PLAN

End of Construction Bulletin 3



PROJECT NAME:
GREENWICH PARK
APARTMENTS
2353 N FARWELL AVE.
MILWAUKEE, WI 53211

ARCHITECT:
KORB + ASSOCIATES
ARCHITECTS
750 N MILWAUKEE ST.
MILWAUKEE, WI 53202
P 414.273.8230

CONSTRUCTION MANAGER:

Scale: 1" = 10'

DIGGERS HOTLINE
Dial 811 or (800)242-8511
www.DiggersHotline.com

GRADING LEGEND	
— 60 —	PROPOSED CONTOUR LINE — MAJOR
— 63 —	PROPOSED CONTOUR LINE — MINOR
- - - 65 - - -	EXISTING CONTOUR LINE — MAJOR
- - - 63 - - -	EXISTING CONTOUR LINE — MINOR
◆ 66.18	PROPOSED SPOT ELEVATIONS
◆ 65.134	MATCH EXISTING ELEVATIONS
◆ 65.00	PROPOSED TOP OF CURB ELEVATION
◆ 664.50	PROPOSED GUTTER ELEVATION

#	DATE	DESCRIPTION
1	11/2/15	CB 1
2	11/17/15	CB 3

PROJ. NO:	14028
SCALE:	AS NOTED
PHASE:	ISSUED FOR CONSTRUCTION
DATE:	JULY 17, 2015

SITE GRADING PLAN
C104
Copyright 2015 - Korb and Associates Architects Inc.