

## FOUNDATION INSPECTION REPORT

Vincent Matarrese, PE (# E-45530)  
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DATE: 5/20/2021

FEE: PAID ON SITE CK# 700

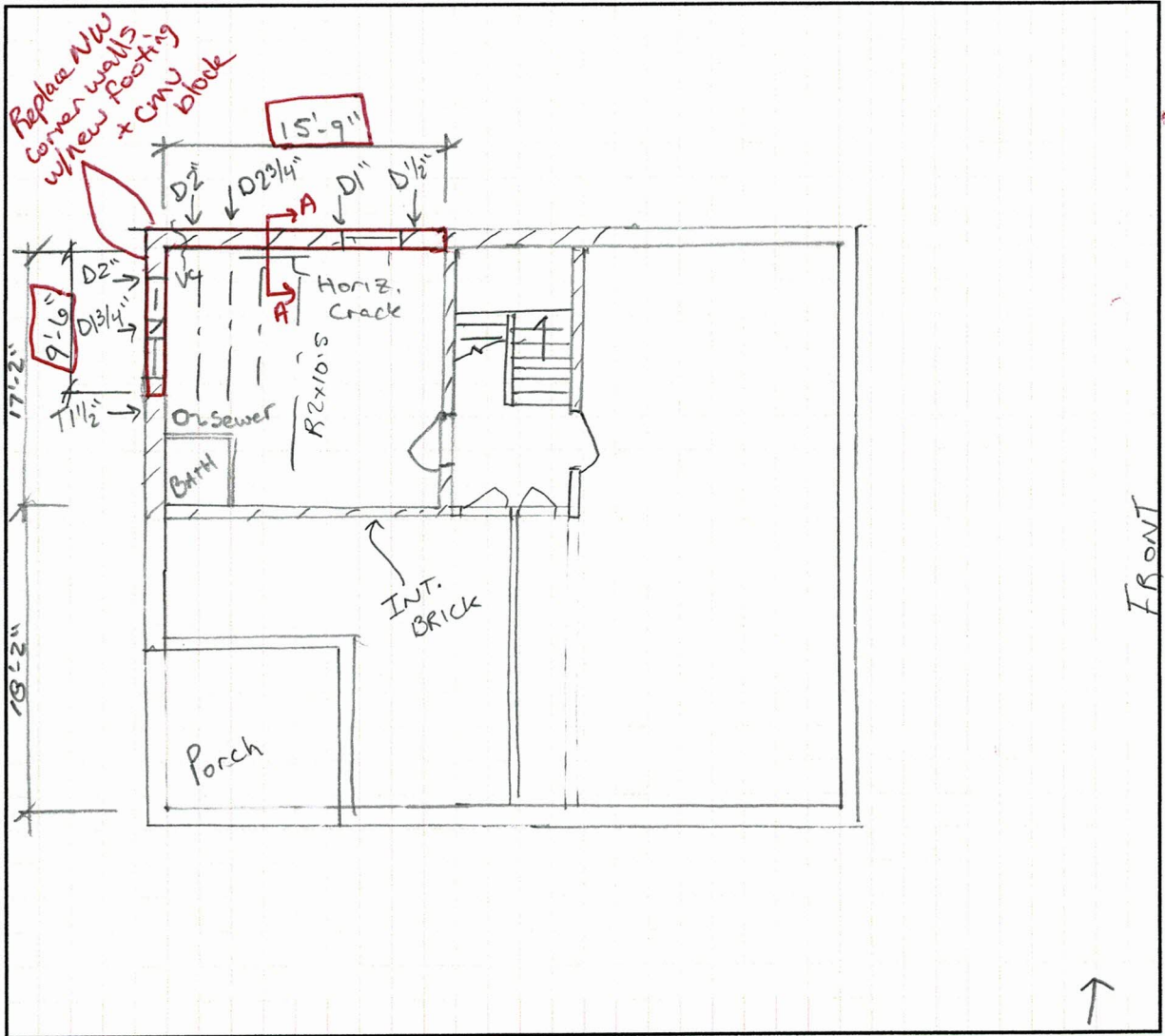
CLIENT ACCEPTANCE: \_\_\_\_\_



Client: <u>Mr. Jim Sterns</u>	Present: <u>Yes</u>
Inspection Address: <u>2605 N. Summit Ave. Milwaukee WI</u>	
Billing Address: <u>-</u>	
Telephone: <u>414-745-1201</u>	Email: <u>Aggies.stuff@gmail.com</u> <u>JCMeridan@gmail.com</u>

The following report is the professional opinion of Vincent Matarrese, which is not a warranty. The report is limited to the components of the foundation that were visible on the date of the inspection and the engineer's opinion of their condition at the time of the inspection. This report does not address dormant or concealed defects that may occur in the future that are not evident at the time of this inspection.

REPORT SUMMARY AND RECOMMENDATIONS
<b>All repairs to be completed per the State of Wisconsin Uniform Building Code (WIUBC)</b>
The Northwest corner foundation walls were found to be excessively displaced. The west ±15'-9" of North wall and North ±9'-6" of the west wall are bowed >2" with damage to brick. It is recommended to shore the structure (two-story brick ext), excavate the NW corner, demo walls and rebuild with new footings and cmu block. See attached wall section detail. The brick exterior must be maintained for historical preservation.
During wall replacement new interior and exterior drain tile is needed with a new sump crack + pump. Follow WIUBC standards.
The exterior sidewalk will require replacement during excavation and should be pitched to the driveway.



**KEY:**

D - Measurement of wall displacement  
 T - Measurement of wall tipping  
 H x - Horizontal crack at course x from top of wall  
 SC - Step Cracks  
 EFF- Efflorescence

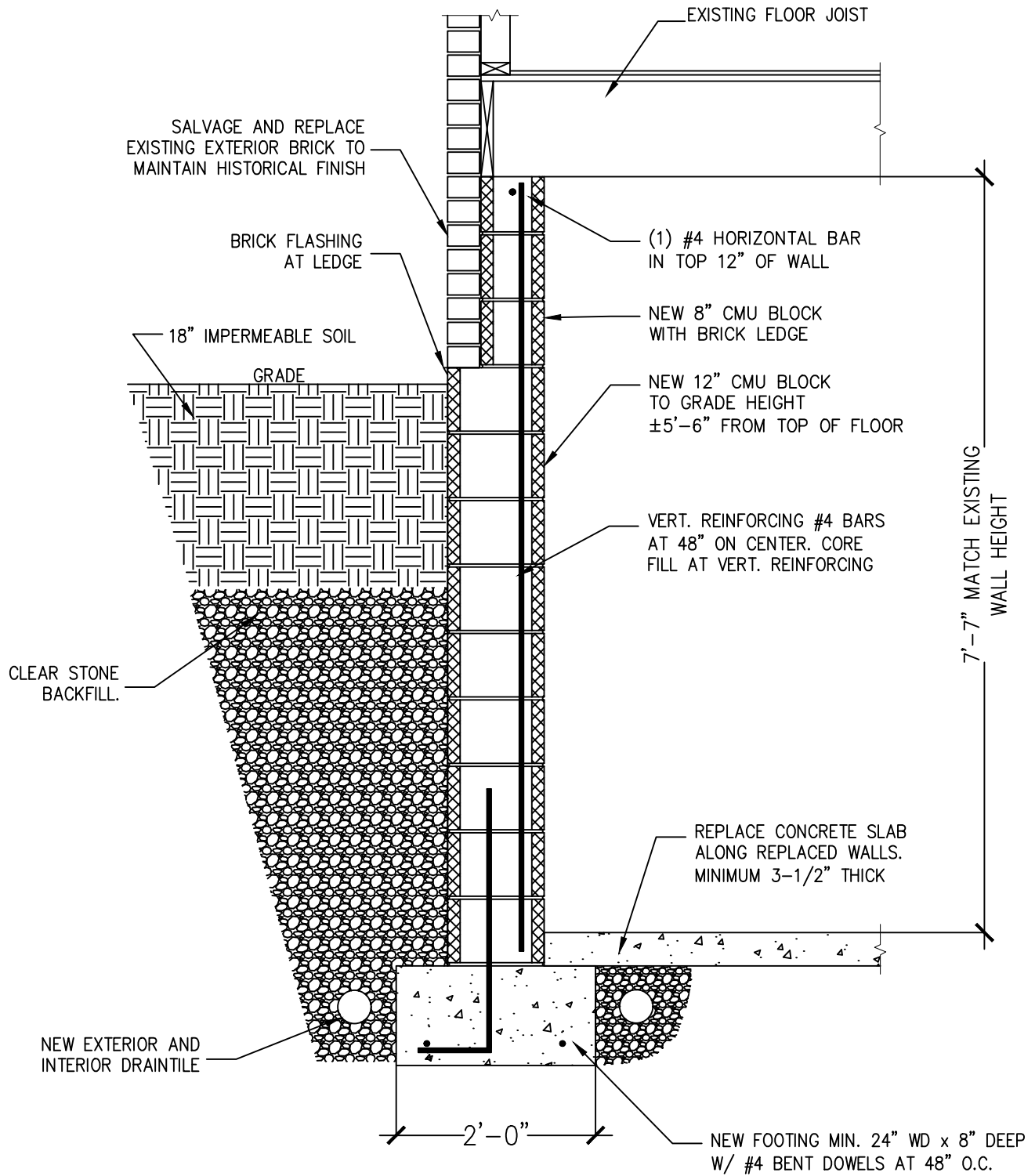
VC - Vertical Cracks  
 BS - Measurement of base shear  
 SP - Sump pump  
 WS - Water stains  
 (X") - Differential elevation measurement

**HISTORY:** AGE 1900 AGE OF PROBLEM - YEARS OWNED -

**CONSTRUCTION:** WALLS Brick HT 9'11" BLOCK - FLOOR thin slab

**WATER/MOISTURE:** MOISTURE PRESENT GR-66" Yes WS WALLS Yes

**EFFLORESCENCE** Yes WS FLOOR Covered w/ file



**SECTION A-A**

	SHEET TITLE <b>CMU WALL W/ LEDGE</b>		PROJECT NO. -	
	PROJECT <b>RESIDENTIAL FOUNDATION</b>	PROPERTY ADDRESS 2605 N. SUMMIT AVE. MILWAUKEE, WI	SCALE N.T.S.	DATE 5/21/2021
VM Engineering LTD Vince Matarrese, PE License #E-45530 PHONE: (262) 364-8744 EMAIL: VINCE@VMPROENG.COM	OWNER <b>MR. JIM STERNS</b> 2605 N. SUMMIT AVE. MILWAUKEE, WI	CHECKED BY <b>VMM</b>	DRAWN BY <b>VMM</b>	SHEET <b>S1.0</b>



## ENGINEERING REPORT

The purpose of this inspection is to evaluate the exposed foundation and framing members for structural stability and dampness/moisture. A visual inspection was completed and measurements were recorded with a self-leveling laser.

Property type: Single Family historical home

Original construction date: 1900

Site notes: Brick veneer must be maintained as historical bldg

### Lateral Wall Movement

North Wall – As built = – Max = D 2 3/4" Differential = –

Signs of active wall movement: Yes at west end. Buckling + Cracks

South Wall – As built = – Max = – Differential = –

Signs of active wall movement: Visually NO bow but no access to measure

East Wall – As built = – Max = – Differential = –

Signs of active wall movement: Not accessed

West Wall – As built = – Max = D 2" Differential = –

Signs of active wall movement: Yes at North end. Cracks + bow

- The Focus of the inspection was NW walls

### Moisture and Dampness

Existing drainage system floor drain sump crock + pump

Evidence of past drain tile repair or test? No

Wall corner condition: Moisture present

Water stains, efflorescence, scaled paint or seepage:

North Wall = Moisture in NW corner, Efflorescence + Scaled paint +

South Wall = Efflorescence and scaled paint

West Wall = Moisture in NW corner,

East Wall = Efflorescence and scaled paint

Slab/floor = Covered with tile

### Exterior Conditions

Roof gutter downspouts above grade discharge (Both) below grade discharge

Are downspouts properly extended and discharging away from the foundation? Yes along West, East and South. North DS to be discharged to rear garage

Are there correlating signs of moisture or dampness in basement?

Yes in NW corner

Landscaping and grading pitched away from the foundation?

Yes



*View of NW foundation corner. Both walls are bowed over 2" from excessive lateral pressures.*



*View of wall cracks and deterioration along west foundation wall.*



*Exterior NW corner brick damage and movement along displaced foundation walls.*





## Terms and Conditions

This agreement is between VM Engineering Ltd. (VM Eng.) and the undersigned Client ("Client").

For the Fee stated herein, the following is provided to the Client:

- Single site visit
- Limited visual inspection of the foundation of the home or building identified above
- Report with measurements, observations and recommendations
- Limited visual inspection of exposed framing or relevant structural members

Additional inspection scope and additional charges require written agreement between VM Engineering Ltd. and Client.

Extends of visual inspection:

- This inspection is limited to a basic visual inspection of those portions of the foundation system that are visible and open to plain view on the day of inspection.
- This inspection is limited to portions of the foundation system that are visible without moving or removing any obstructions.
- During inspection no excavation of soils, removal of finishes or removal of obstructions will occur.
- VM Eng. cannot and does not render any opinion regarding the condition of such portions of the foundation system that are not reasonably open to visual inspection.

Client understands and agrees that VM Eng. cannot comment on the presence of problems or defects that are not reasonably exposed to visual inspection at time of site visit. Client agrees that VM Eng. is not responsible for any foundation defects or problems that cannot be detected through a reasonable visual inspection of the type performed under this agreement.

Client understands and agrees that VM Eng. shall not be responsible for any defects, problems or structural conditions that are not visible at time of inspection.

The following are not included in this inspection and report:

- Determination and compliance of original construction with regards to the Plans and Specifications or relevant building code.
- Material testing and determination of material properties.
- Soil borings, soil testing, or any other geotechnical analysis. VM Eng. cannot render an opinion in regards to soil properties or soil conditions. Determination of soil stability must be made by geotechnical engineer. Client understands and agrees that VM Eng. will not render opinions as a geotechnical engineer.
- Contamination of hazardous materials, asbestos, radon gas, mold, insects or pests.
- Warranties or guarantees of foundation performance
- Advice regarding the purchase or sale of the property or the value of the property.

Client understands any estimated budget costs are based on industry standards and are not to be taken as official quotes.

Client understands that over time foundation problems can develop or worsen which cannot be predicted. VM Eng. does not guarantee that the conditions found at time of this report will not worsen or become more serious over time. Client agrees that VM Eng. is not guaranteeing the condition of the foundation nor is liable for future changes to the foundation.

Repair recommendations are the professional opinion of VM Eng. based upon the limited visual inspection. Client understands and agrees that Vm Eng. does not guarantee that the repair recommendations will render the foundation free of all defects or issues after repairs are completed.

Client understands that the foundation inspection agreement and report is in no way or form a warranty or guarantee.

**Client acknowledges that they have read, understand and agree to all of the terms and conditions stated in this agreement.**

Client Acceptance: \_\_\_\_\_ Date: \_\_\_\_\_