

EXHIBIT A

FN 040843

OWNERS STATEMENT OF INTENT

1202 West Highland Avenue

Continental A-1 Corporation (controlled by Attorney Jay Walia) is proposing a 3 story steel structure with upscale glass curtain wall and brick veneer façade. The proposed building is an architecturally well-detailed building. The proposed project is called 'W Centre'. It will enhance the value and appearance of the neighborhood, and encourage other upscale developments in the area.

Currently, the property is a vacant lot about .25 acre. It used to be a gas station. My family has been in gasoline business over 25 years and I recently graduated from Marquette Law School. I would like to clean up the existing environmental contamination up to standard required by the governing agencies and redevelop the property into a 24hr convenience store on 1st floor, and 2nd and 3rd floor for my offices including my law offices.

For more details please see the attached documents.

The overarching goal of the Comprehensive Plan is for downtown to add value to Milwaukee. I believe our proposed project called 'W Centre' at 1202 West Highland Avenue will add value to Milwaukee.

BERYL HSIANG ARCHITECTS, INC

10014 N. Sheridan Drive
Mequon, WI 53092
Phone 262-241-8408
Fax 262-240-0154
Email b.hsiang@att.net

Project:
W CENTRE
1202 W Highland Ave.
Milwaukee, WI 53233

Owner:
JAY WALIA
Continental A-1 Corp.
4725 N. 159th St.
Brookfield, WI 53005

Drawing:
INDEX OF SHEETS AND SITE DATA

Scale:
As Noted
Date:
11.19.04 - PUD Approval Submittal

Revision:
02.25.05
03.02.05 - PUD Approval Submittal

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Sheet:
TITLE SHEET

BUILDING SIGN

**BUILDING WALL SIGNS: REFER ELEVATIONS FOR LOCATIONS.
FINAL DETAILS TO BE APPROVED BY CITY ADMINISTRATIVELY
PER CITY ZONING CODE & SIGN REQUIREMENT**

- WALL SIGN -1:** " W Centre" 5'H.x 7'L. Area (2) @ tower - south & east elevations
- WALL SIGN - 2:** " Walia Law Office" 16"H.x10'L. (1) @ office entry - south elevation.
- WALL SIGN - 3:** *gas statt. & store sign 6'-8"H.x7'L. (2) @ tower - south & east elevations
- WALL SIGN - 4:** *store sign max. 2'-6"H.x 20'L. (1) @ north elevation

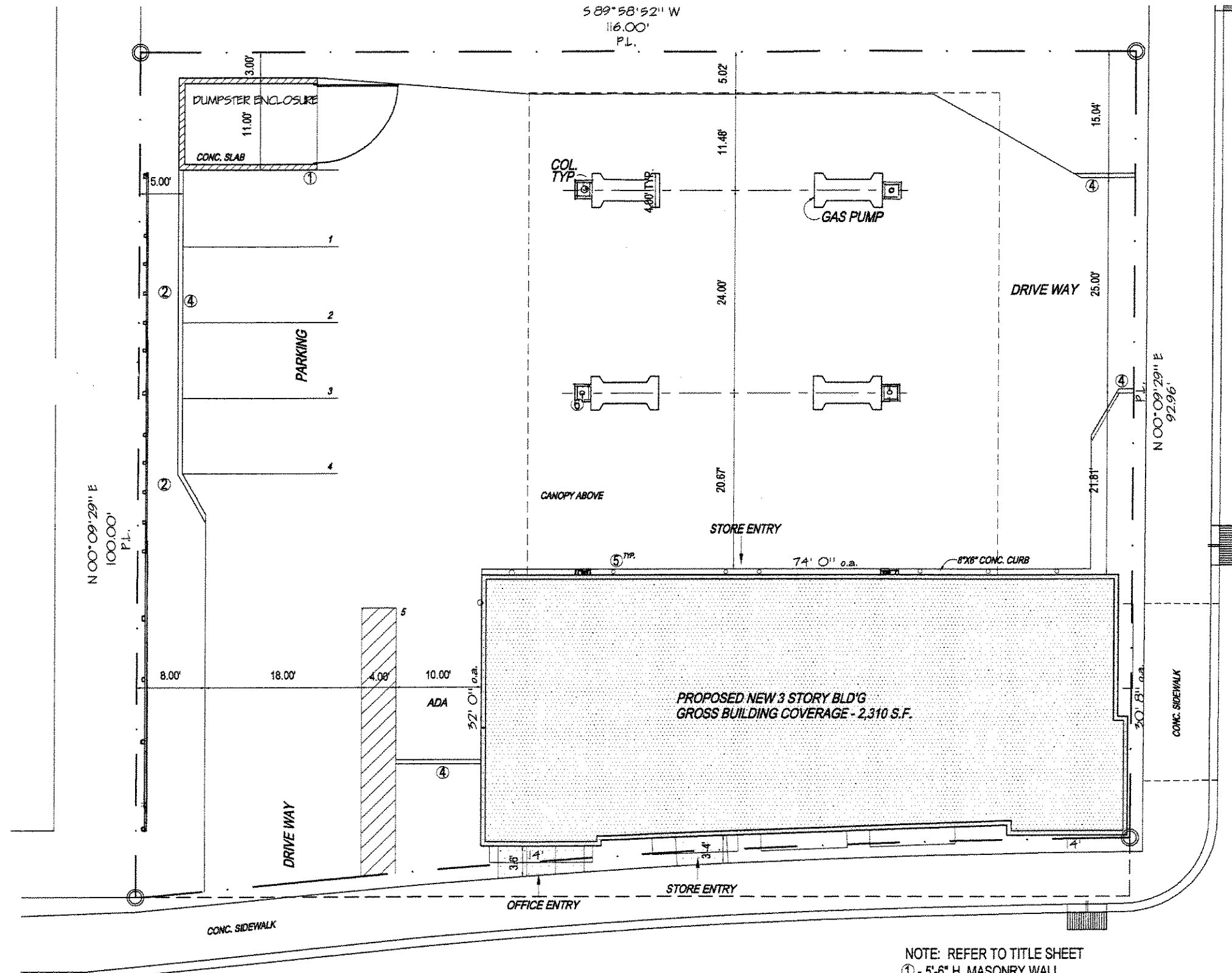
*name of gas station is to be determined.

INDEX OF SHEETS:

- PHOTOS OF THE SITE
TITLE SHEET INDEX OF SHEETS, SITE DATA, SIGN DETAIL
SURVEY
- A-1 SITE PLAN
 - A-2 SOUTH ELEVATION, EAST ELEVATION
 - A-3 NORTH ELEVATION, WEST ELEVATION
 - L-1 LANDSCAPE PLAN
 - L-2 PLANT LIST, LANDSCAPE DETAIL
 - SG-1 SITE GRADING & UTILITY PLAN

SITE DATA

1. ZONING DESTINATION: PLAN UNIT DEVELOPMENT
2. STREET EXPOSURE: 2 STREETS
3. LOT SIZE: 11,082 SQ.FT.
4. LOT COVERAGE
 - BUILDING AREA: 2,264.70 SQ.FT.
 - PARKING / PAVING AREA: 7,263.45 SQ.FT.
 - LANDSCAPING AREA: 1,553.84 SQ.FT.
5. -BUILDING: 3 STORIES TOTAL HEIGHT 35' TO 39' HIGH
BUILDING USE: 1ST FLOOR- CONVENIENT STORE,
2ND & 3RD FLOORS- OFFICE USE
-GAS PUMPS, 5. 'x5. 'x18' HIGH CANOPY
-DUMPSER ENCLOSURE: 11'x16' O.A. x 5'-6" HIGH
6. PARKING: 5 STALLS (INCL. 1 ADA PARKING)



SITE PLAN

SCALE: 1"=10'-0"



W. HIGHLAND AVE

NOTE: REFER TO TITLE SHEET

- ① - 5'-6" H. MASONRY WALL
- ② - 6" H. X 7' L BOARD ON BOARD FENCE
- ③ - MASONRY WALL PLANTER 2' H.
- ④ - 6" H. CONC. CURB
- ⑤ - BOLLARD - 8" DIAM. X 3' H. FILLED W/ CONC.
- ⑥ - COLUMN W/ MASONRY ENCLOSURE

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SITE PLAN

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Sheet:
A-1

N. 12th Street

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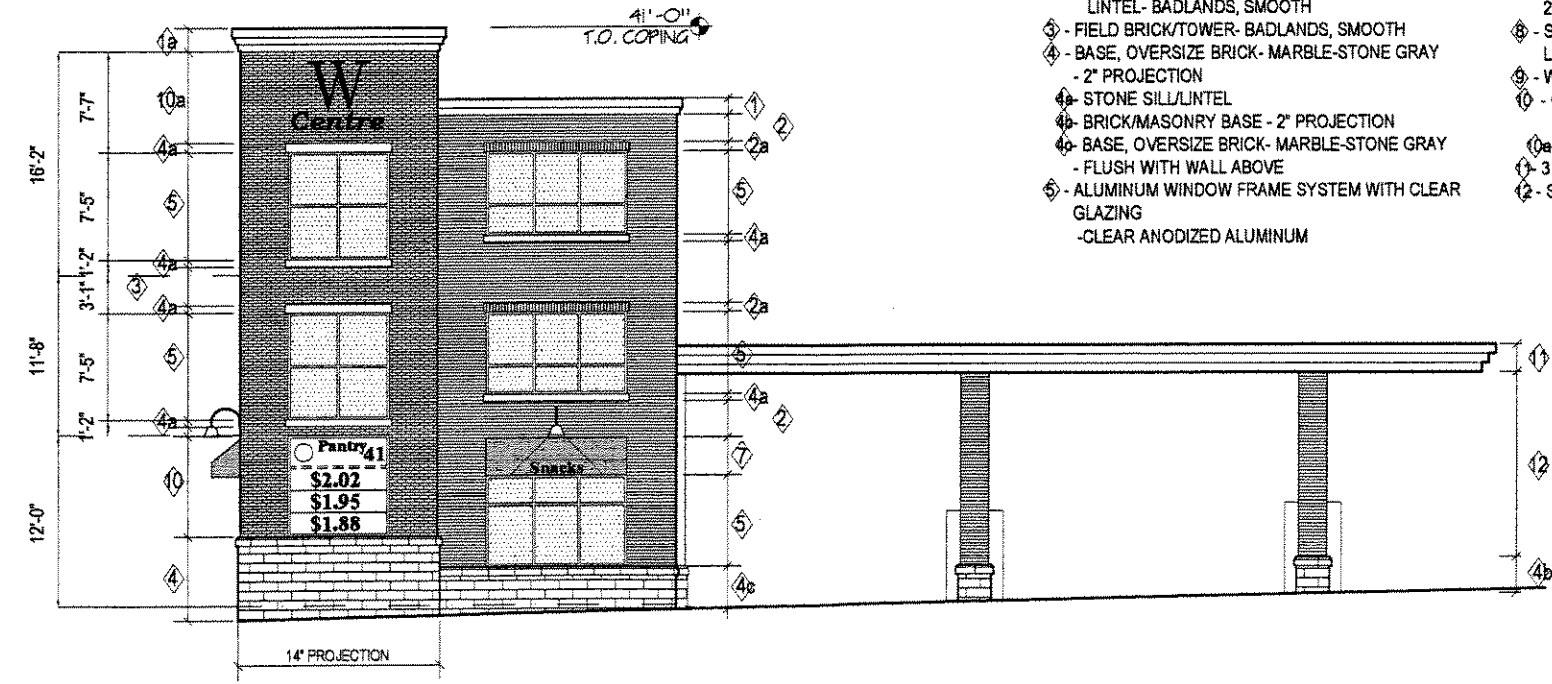
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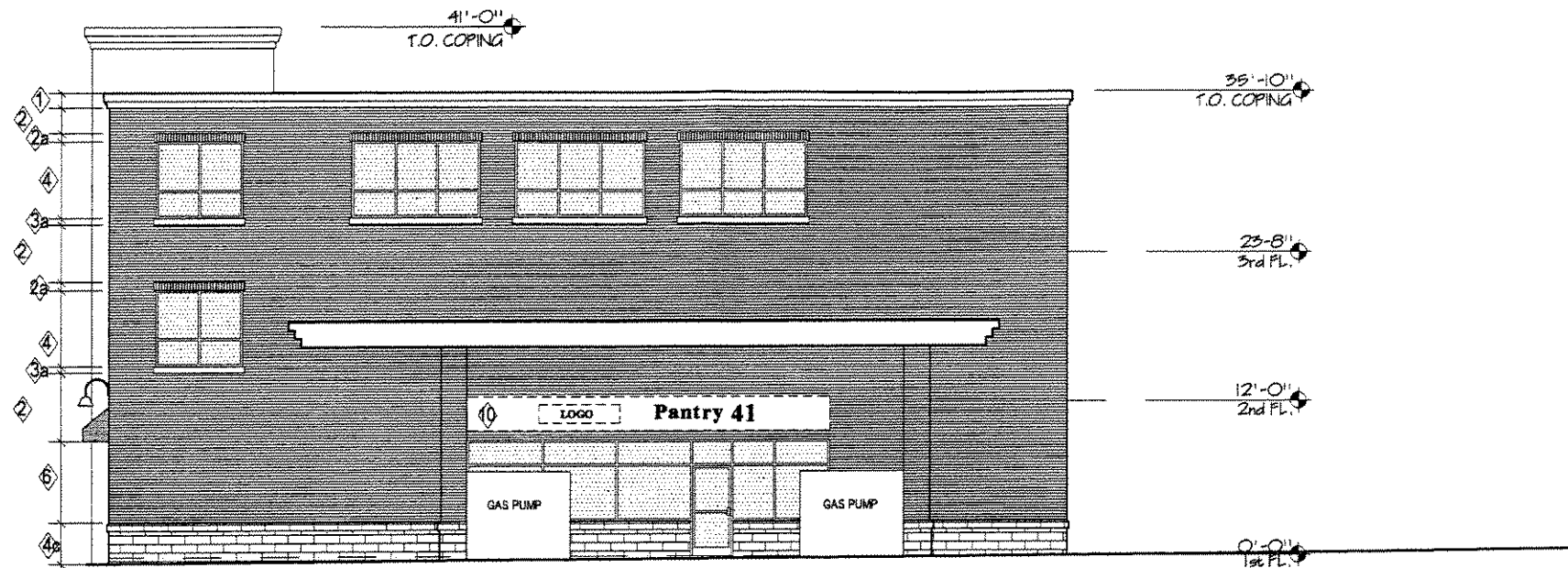


**PROPOSED
SOUTH ELEVATION - OPTION 2B**
SCALE: 1"=10'-0" 1' 0" 5' 10'

- NOTE: BRICK COLORS BASED ON SIOUX CITY BRICK
- ① - 2 STEP COPING
 - ② - 3 STEP COPING
 - ③ - FIELD BRICK/MAIN AREA- GRAND CANYON, SMOOTH
 - ④ - ACCENT COLOR BRICK, SOLDIER COURSING AT LINTEL- BADLANDS, SMOOTH
 - ⑤ - FIELD BRICK/TOWER- BADLANDS, SMOOTH
 - ⑥ - BASE, OVERSIZE BRICK- MARBLE-STONE GRAY - 2' PROJECTION
 - ⑦ - STONE SILL/LINTEL
 - ⑧ - BRICK/MASONRY BASE - 2' PROJECTION
 - ⑨ - BASE, OVERSIZE BRICK- MARBLE-STONE GRAY - FLUSH WITH WALL ABOVE
 - ⑩ - ALUMINIUM WINDOW FRAME SYSTEM WITH CLEAR GLAZING - CLEAR ANODIZED ALUMINUM
 - ⑪ - ALUMINIUM DOOR & WINDOW FRAME SYSTEM WITH CLEAR GLAZING - CLEAR ANODIZED ALUMINUM
 - ⑫ - SIGN TO BE INDIVIDUAL LETTERED SIGN
 - ⑬ - METAL AWNING WITH METAL FRAME- 2'-6" HIGH AND 2'-0" PROJECTION
 - ⑭ - SUSPENDED METAL CANOPY WITH INDIVIDUAL LETTERED SIGN
 - ⑮ - WALL MOUNTED LIGHTS
 - ⑯ - GAS STATION/STORE WALL SIGN AREA, DESIGN BY MANUFACTURER TO BE SUBMITTED FOR DCD APPROVAL
 - ⑰ - INDIVIDUAL LETTERED WALL SIGN
 - ⑱ - 3 STEP METAL GAS CANOPY
 - ⑲ - STRUCTURAL COLUMN

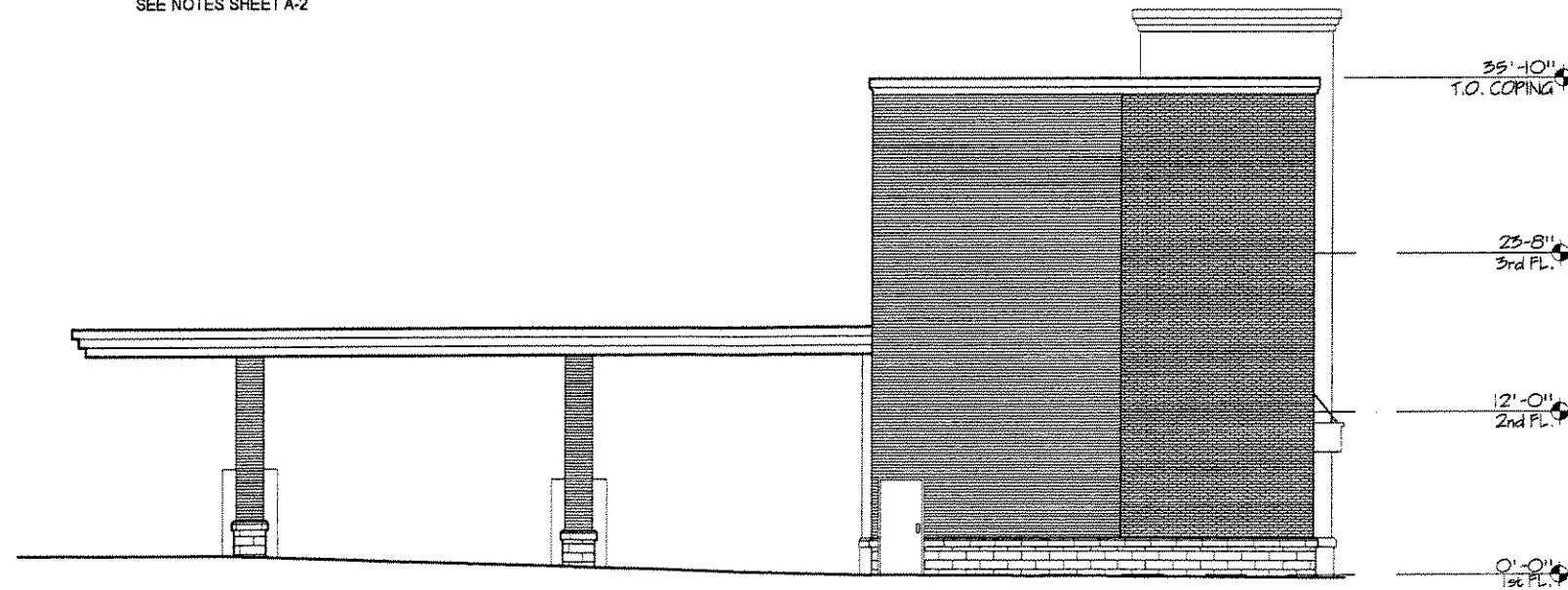


**PROPOSED
EAST ELEVATION - OPTION 2B**
SCALE: 1"=10'-0" 1' 0" 5' 10'



PROPOSED
NORTH ELEVATION-OPTION 2B
SCALE: 1"=10'-0" 1' 0" 5' 10'

SEE NOTES SHEET A-2



PROPOSED
WEST ELEVATION- OPTION 2B
SCALE: 1"=10'-0" 1' 0" 5' 10'

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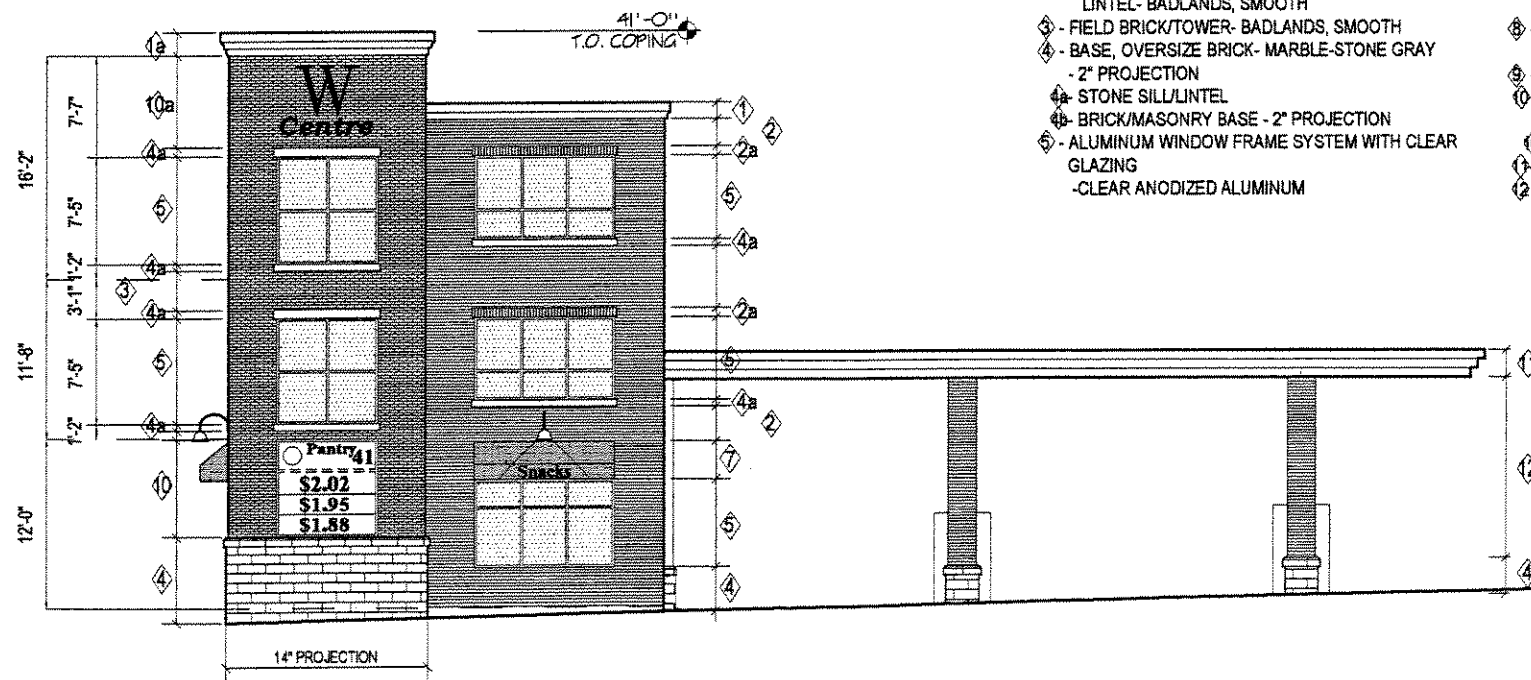
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SOUTH ELEVATION - OPTION 2C**

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NOTE: BRICK COLORS BASED ON SIOUX CITY BRICK

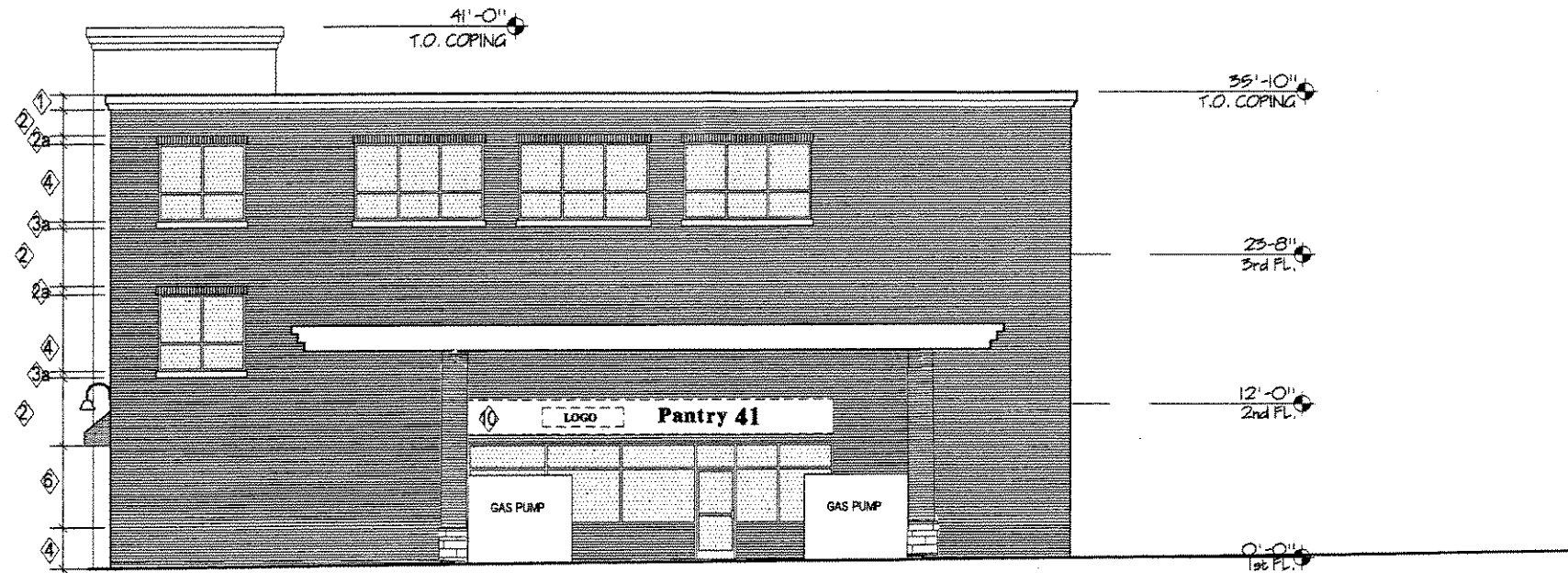
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**PROPOSED
EAST ELEVATION - OPTION 2C**

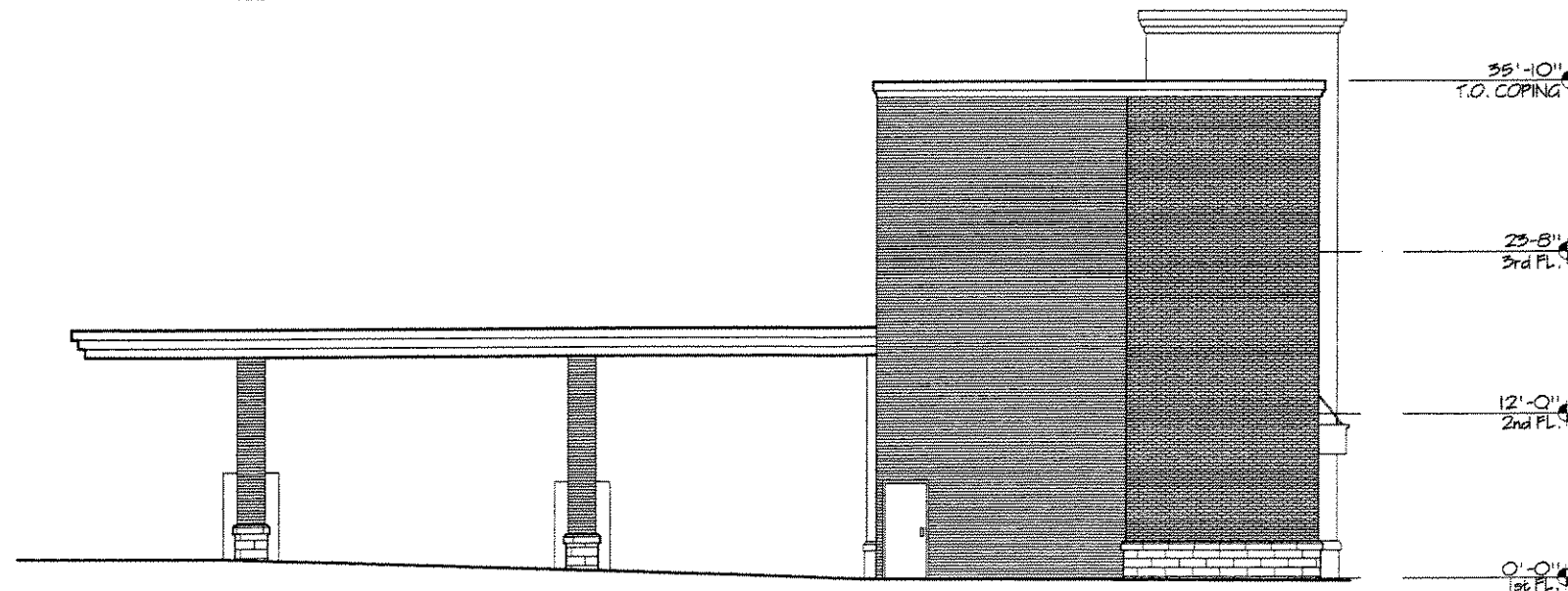
SCALE: 1"=10'-0" 1' 0" 5' 10'



**PROPOSED
NORTH ELEVATION- OPTION 2C**

SCALE: 1"=10'-0" 1' 0" 5' 10'

SEE NOTES SHEET A-2



**PROPOSED
WEST ELEVATION - OPTION 2C**

SCALE: 1"=10'-0" 1' 0" 5' 10'

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Drawing:
**PLANT LIST AND
LANDSCAPE NOTES**

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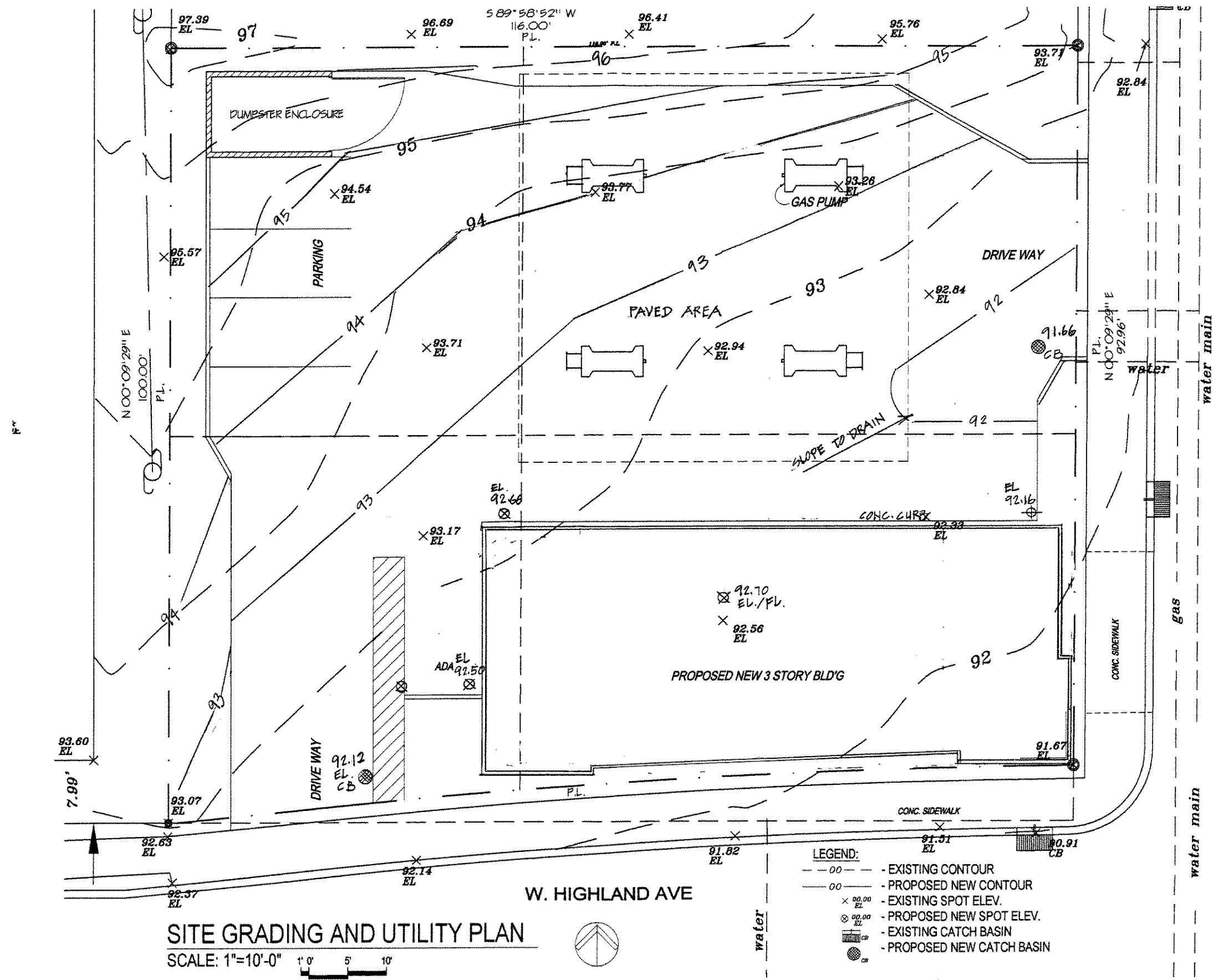
PLANT LIST REFER DRAWING L-1 FOR LOCATION

KEY	QTY	COMMON NAME	SIZE
A.	4	MARSHALL'S SEEDLESS ASH	2" CAL
B.	1	ADAMS PINK FLOWERING CRABAPPLE	1 1/2" CAL
C.	4	ANTONY WATERER SPIREA	24"
D.	16	VIBURNUM COMPACT CRANBERRY BUSH	36"
E.	5	ARCADIA JUNIPER	12"-18" H
F.	3	COMPACT PFITZER JUNIPER	24" H
G.	5	NEARLY WILD ROSE	18" H
H.	30	ABORVITAE TECHNY HEDGE	36" H
I.		GROUND COVER OR GRASS	
J.	NA	FLOWERING SHRUB	12"-16" H
K.	6	ANNUAL FLOWERING BED	

PLANT MATERIAL SHALL BE IN CONSISTEND WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN (ANSI 260.1)

ALL PLANTING BEDS TO BE MULSHED OVER WEED BARRIER

REFER DRAWING L-1 FOR PLANTS LOCATION



SITE GRADING AND UTILITY PLAN
 SCALE: 1"=10'-0"

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Sheet:
SG-1

CONTINENTAL A-1 CORP.

PLAT OF SURVEY

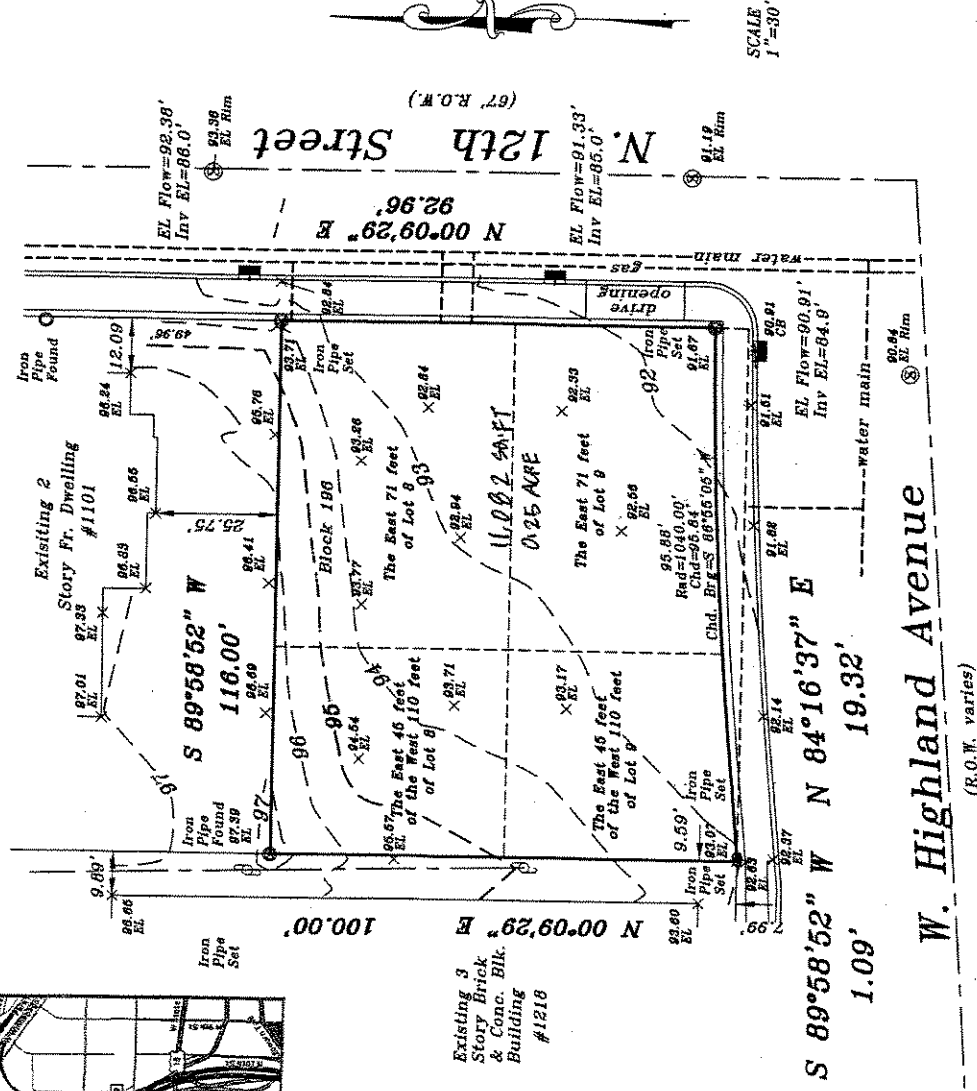
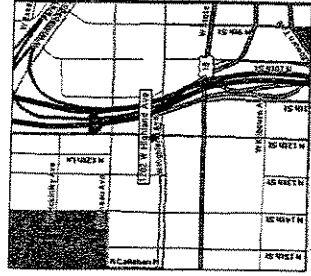
LOCATION: 1202 West Highland Avenue, Milwaukee, Wisconsin

LEGAL DESCRIPTION: The East 71 feet of Lots 8 and 9 and the East 45 feet of the West 110 feet of Lots 8 and 9, in Block 196, in SUBDIVISION INTO CITY LOTS OF THE NORTH 30 ACRES, of the West 1/2 of the Northwest 1/4 and the North 14 acres of the West 24 acres of the South 50 acres of the West 1/2 of the Northwest 1/4 of Section 29, in Township 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin, EXCEPT that part lying South of the following described line; Commencing at a point in the South line of Lot 9 in said Block 196 which is 114.91 feet S 89°58'52" W of the Southeast corner of said Lot 9; running thence N 84°16'37" E, 19.32 feet to a point of curve; thence Northeasterly along said curve; the radius of which lying to the South East is 1040.00 feet and whose chord is 95.84 feet and bears N 86°55'05" E, a distance of 95.88 feet to a point in the East line of said Lot 9 which is 7.04 feet N 0°09'29" E of the Southeast corner of said Lot 9.

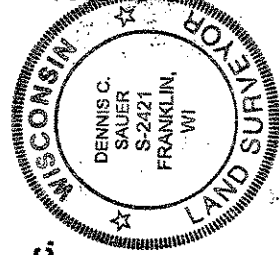
November 8, 2004

Survey No. 97940

Vicinity Map (not to scale)



METROPOLITAN SURVEY SERVICE, INC. REGISTERED LAND SURVEYORS AND CIVIL ENGINEERS 5200 W. LOOMIS ROAD GREENDALE, WI 53129 Ph. (414) 529-5380 FAX (414) 528-9787 email address survey@bizwvtr.com



I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE ABOVE MAP IS A TRUE REPRESENTATION OF THE SAME SHOWING THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION OF ALL BUILDING STRUCTURES AND DIMENSIONS OF ALL PRINCIPAL BUILDINGS THEREON, BOUNDARY FENCES, APPARENT ENCROACHMENTS AND ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY.

THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNER OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERE TO WITHIN ONE (1) YEAR FROM THE DATE HEREOF.

SIGNED: [Signature] Dennis C. Sauer Registered Land Surveyor S-2421