

File No. 031237
Exhibit A

DETAILED PLAN PROJECT DESCRIPTION
AND
OWNER'S STATEMENT OF INTENT

Granville Heights Senior Housing

Horizon Development Group, LLC is requesting an amendment of the existing Detailed Plan Development for Parcel 4 of Certified Survey Map 9921 containing 6.1526 acres and currently known as Crystal Hill.

The number of units remains unchanged at 135. The site plan has been modified to take advantage of the site topography and to provide better sunlight to the senior residents. The project will be restricted to seniors over the age of fifty-five. As proposed, Granville Heights will include the following:

- One 63-unit independent senior apartment building
- One 36-unit independent senior apartment building
- One 36-unit independent senior apartment building OR a residential care apartment complex (RCAC) depending upon market demand

The units will range in sizes from 640 square feet to 1,250 square feet. Many units will include a patio or balcony. There will be an elevator in each building that serves every floor.

Each of the independent apartment buildings will incorporate some or all of the following amenities: exercise room, hair care room, club room with kitchen, laundry room, chapel, patio, and transportation services.

If one of the 36-unit buildings is developed as an RCAC, it will still have 36 private apartments and will also incorporate a dining room and kitchen, a bathing room, and several offices for staff.

The property will have a single access from North 68th Street. The property will be attractively landscaped and will include a detention basin.

This plan shall be permitted minor variations in execution, provided that such minor variations will NOT cause any of the following:

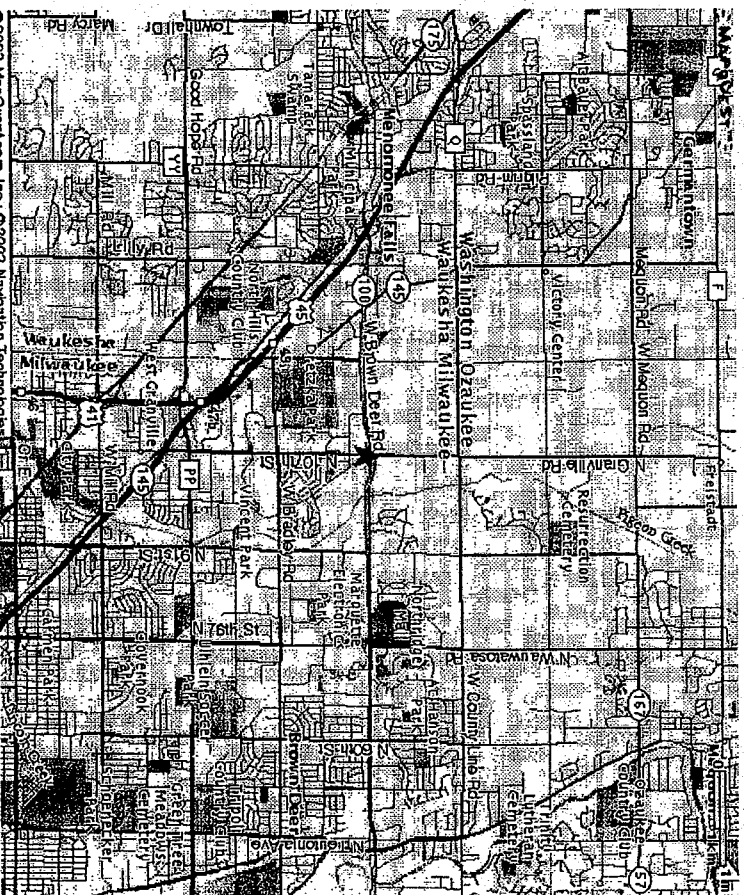
1. A change in the general character of the planned development
2. Substantial relocation of the buildings
3. Substantial relocation of parking or recreation areas
4. Substantial relocation of traffic facilities
5. An increase in land coverage by the buildings and parking areas
6. An increase in the gross floor area of the buildings
7. A reduction in the amount of approved open spaces landscaping or screening

8. A reduction of parking spaces
9. The addition of maintenance facilities

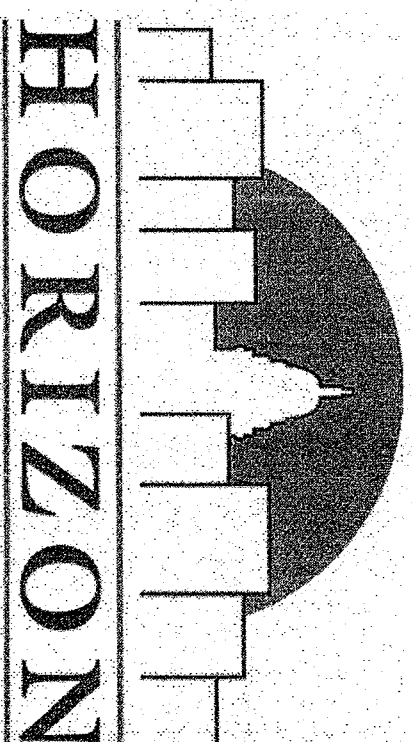
Please see the attached Exhibit I for a comparison between the existing Detailed Plan Development known as Crystal Heights and our proposed plan for Granville Heights.

Exhibit I – Comparison of Proposed Granville Heights Project to Existing Detailed Plan
Development known as Crystal Heights

Project	Granville Heights (Requested Amendment)	Crystal Heights (Currently Approved Project)
Gross Land Area	6.1526 acres	6.1526 acres
Building Footprints	50,120 square feet 18.7% of site	56,155 square feet 21.0% of site
Pavement Surfaces	44,600 square feet 16.6% of site	48,143 square feet 18.0% of site
Landscape and Open Space	173,287 square feet 64.7% of site	163,712 square feet 61.1% of site
Total Dwelling Units	135	135
Density	21.94 units per acre	21.94 units per acre
Number of Buildings	3	1
Dwelling Units per Building	Building A: 63 units Building B: 36 units Building C: 36 units	135 units
Bedrooms per Units	81 two bedroom units: 60% 54 one bedroom units: 40%	103 two bedroom units: 76% 10 one bedroom plus den units: 7% 22 one bedroom units: 16%
Parking Spaces	102 Underground 34 Surface Spaces 20 Future Surface Spaces 156 Total	76 Underground 44 Surface 120 Total
Parking Ratio	.933 spaces per unit	.889 spaces per unit



VICINITY MAP



**GRANVILLE HEIGHTS
SENIOR HOUSING**

EXHIBIT A
File No.

030237



EPSTEIN UHEN
ARCHITECTS

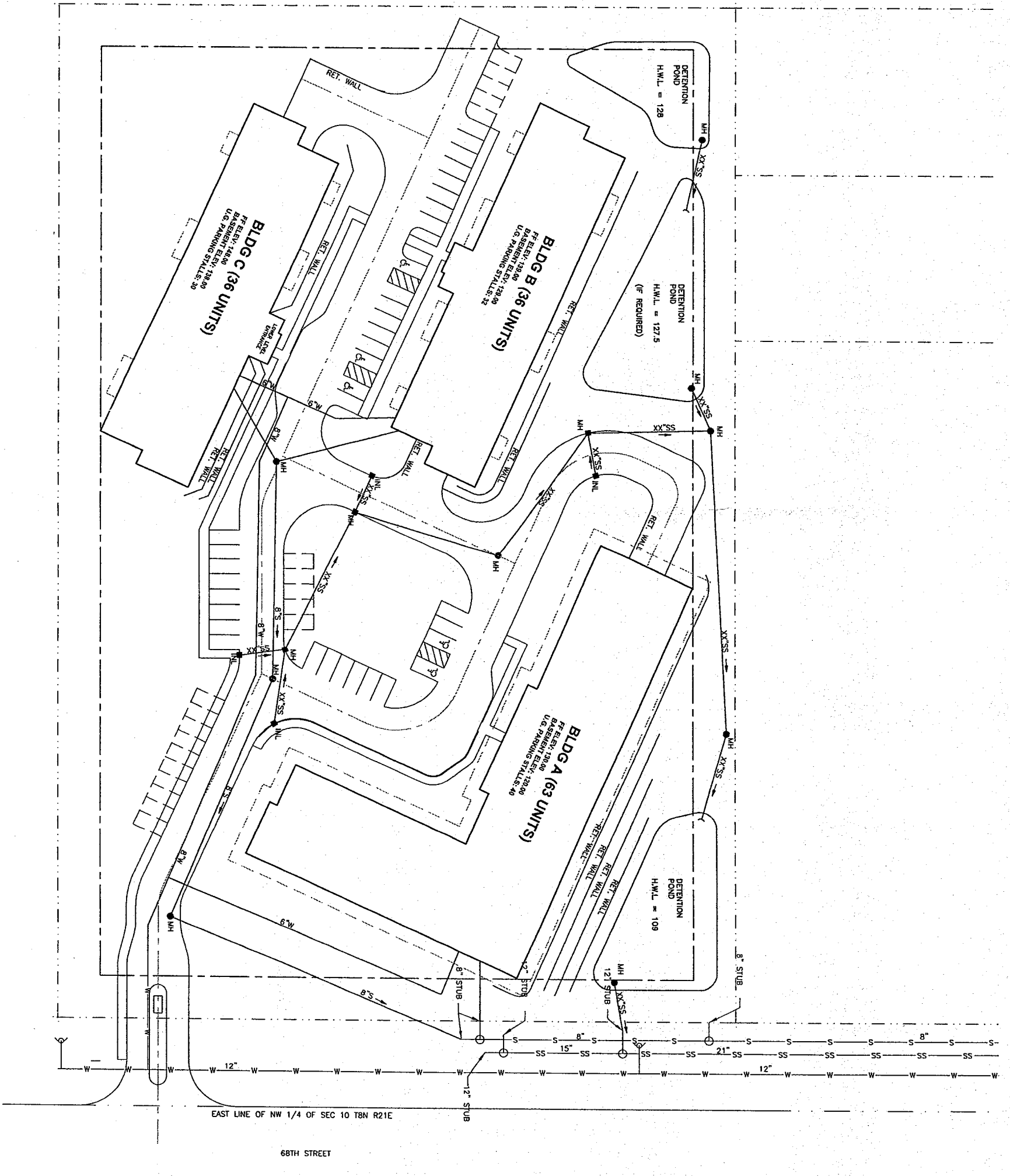
DETAILED PLAN DEVELOPMENT

DECEMBER 10, 2003

EUA PROJECT NUMBER: 1-03372-01

UTILITY SPECIFICATIONS

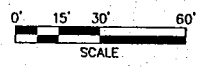
1. WATER SERVICE CONSTRUCTION SHALL CONFORM TO THE 1982 MILWAUKEE WATER SERVICE SPECIFICATIONS DATED 1982 AND THE 1982 MILWAUKEE WATER AND SEWER SERVICE CONSTRUCTION SHALL CONFORM TO THE MILWAUKEE METROPOLITAN SEWERAGE DISTRICT SPECIFICATIONS.
2. SANITARY SEWER LATERAL MATERIALS: PVC PIPE CONFORMING TO ASTM D3034, SDR-35.
3. STORM SEWER LATERAL MATERIALS: CONFORM TO SANITARY SEWER LATERAL MATERIALS.
4. WATER SERVICE PIPE MATERIALS: DUCTILE IRON PIPE, CLASS 52, CONFORMING TO THE REQUIREMENTS OF AWWA C151.
5. GATE VALVES: MECHANICAL JOINT CAST IRON BODY, BRONZE MOUNTED VALVES WITH BRONZE NON-RISING O-RING SEALS CONFORMING TO THE REQUIREMENTS OF AWWA C-500. THE VALVES SHALL BE THE DOUBLE DISC TYPE WITH PARALLEL SEATS AND INSIDE SCREW, CLOW NO. F-5065 OR EQUAL, AND SHALL OPEN COUNTER-CLOCKWISE.
6. VALVE BOXES: TOLER 6860 LENGTH AS REQUIRED FOR THE DEPTH OF COVER SHOWN ON THE DRAWINGS.
7. BACKFILL ALL TRENCHES IN EXISTING AND PROPOSED ROADWAYS WITH APPROVED GRANULAR MATERIAL, CONSOLIDATE BACKFILL BY MECHANICAL COMPACTION.
8. CLEANOUTS LOCATED OUTSIDE OF BUILDING SHALL BE PROVIDED WITH A FROST SLEEVE.
9. STORMWATER INLET SHALL BE CONSTRUCTED IN A WATER-TIGHT AND SUBSTANTIAL MANNER OF PRECAST REINFORCED CONCRETE. STEPS ARE REQUIRED.



PRELIMINARY

HORIZON DEVELOPMENT GROUP
MILWAUKEE, WISCONSIN
GRANVILLE HEIGHTS

UTILITY PLAN



SHEBOYGAN, WISCONSIN	
DRN JER	DEC. 2003
DES SJK	DEC. 2003
CHK	DEC. 2003
APP TRJ	DEC. 2003

NO	REVISIONS	DRN	CHK	DATE

DATE: DECEMBER 2003
PROJECT NO: 73074
FILE NO: 02C02.DWG
SHEET NO: C2
DRAWING NO: C2

IMPLEMENTATION OF EROSION CONTROL METHODS

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
2. TRACKING PADS SHALL BE INSTALLED AT ALL CONSTRUCTION SITE EXITS TO PREVENT TRACKING OF SOIL.
3. FILTER FABRIC SILTATION FENCE WILL BE INSTALLED PARALLEL TO THE CONTOURS LOCATED DOWNHILL FROM THE CONSTRUCTION AREA.
4. HAY BALES SHALL BE INSTALLED AROUND ALL STORMWATER INLETS AND DRAINAGE SWALES. A HAY BALE FENCE SHALL BE INSTALLED AT THE BASE OF THE WEST SLOPE.
5. AREAS WITH 3:1 V OR GREATER SLOPES SHALL BE STABILIZED WITH CURLEX EXCLOSOR BLANKET BY AMERICAN EXCLOSOR CO. OR EQUAL IN COMBINATION WITH SEEDING.
6. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSPECTED AT LEAST ONCE EVERY WEEK AND WITHIN 24 HOURS OF A RAINFALL EVENT OF 0.25 INCHES OR GREATER. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN THE PRACTICES AS DESIGNED.
7. ALL TRACKED SOIL SHALL BE COLLECTED FROM PAVED ROADS AT THE END OF EACH DAY.
8. ALL TEMPORARY SOIL EROSION PROTECTION SHALL REMAIN IN PLACE UNTIL REMOVAL IS REQUIRED FOR FINAL CLEAN UP AND APPROVAL.

GENERAL NOTES

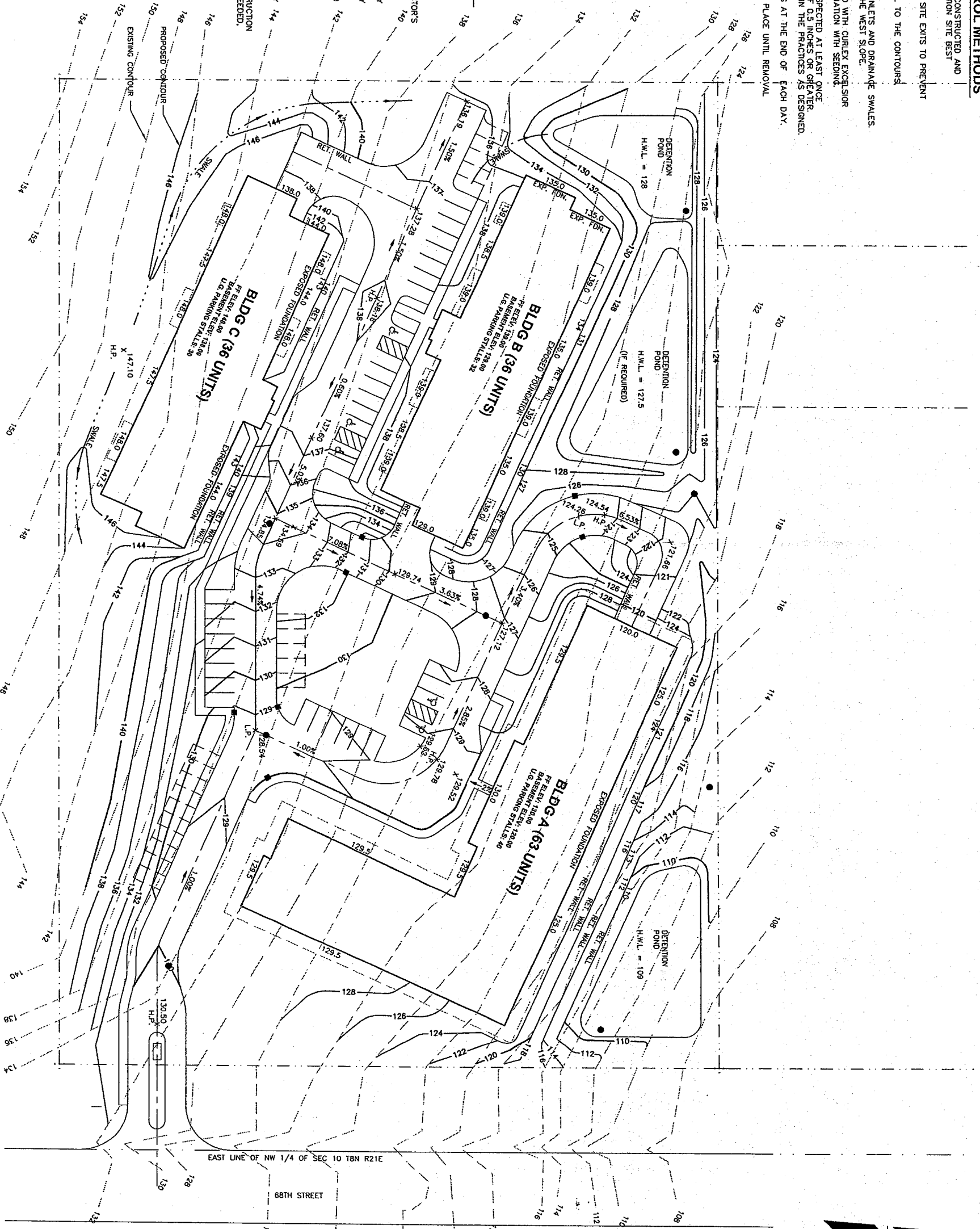
1. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING CONSTRUCTION OF IMPROVEMENTS.
2. PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS, THE CONTRACTOR SHALL CONTACT DIGERS HOTLINE SERVICE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES AT 1-800-242-8311.
3. CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS LEFT OPEN OVER NIGHT AS REQUIRED.
4. RESTORATION OF EXISTING IMPROVEMENTS, INCLUDING CURB & GUTTER, PAVING, SIDEWALK, TOPSOIL, FERTILIZER, SEEDING AND MULCHING, IS CONSIDERED INCIDENTAL AND PART OF THE COST OF THE UNDERGROUND CONSTRUCTION.

GRADING

1. SITE CONTRACTOR SHALL REMOVE ALL TOPSOIL AND ORGANIC SOILS FROM AREAS OF BUILDINGS, PAVEMENTS AND STRUCTURES. THESE SOILS SHALL BE STOCKPILED ON SITE AND USED IN THE REGRADING OF THE AREAS TO BE SEED ONLY. THIS MATERIAL IS NOT TO BE USED AS FILL. REMOVAL OF ANY EXCESS SOILS OFF THE SITE SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
2. SUITABLE FILL MATERIAL SHALL BE COMPACTED IN 8" LIFTS TO AT LEAST 95% STANDARD PROCTOR MAXIMUM DRY DENSITY BELOW BUILDING, DRIVES, RAMPS, CURBS, AND WALKS, AND TO AT LEAST 90% STANDARD PROCTOR MAXIMUM DRY DENSITY ELSEWHERE.
3. IN PAVEMENT AREAS, REMOVE AND REPLACE WITH COMPACTED CONTROLLED FILL ANY AREAS THAT HAVE BEEN SOFTENED BY RAINS, FREEZING, CONSTRUCTION EQUIPMENT, ETC.
4. BEFORE THE BASE COURSE MATERIALS ARE INSTALLED, THE SUBGRADE SHALL BE INSPECTED BY THE OWNER'S ENGINEER. COMPACTION TESTS SHALL BE TAKEN WHERE FILL IS PLACED AT THE OWNER'S OPTION AND IF TAKEN, OWNER SHALL CARRY COSTS OF THESE TESTS.
5. EXISTING ROADWAY RIGHT-OF-WAYS DAMAGED DURING CONSTRUCTION ARE TO BE RESTORED TO ORIGINAL GRADE AND FERTILIZED, SEEDED, AND MULCHED.
6. NEW TREES AND PLANT MATERIAL TO BE DETERMINED BY LANDSCAPE DESIGNER AND OWNER.

NOTES

EXISTING CONTOURS & BENCHMARK FROM KENNETH L. BERKE SURVEY DATED OCTOBER 2, 1984
 BENCHMARK: HYDRANT LOCATED ON BROWN DEER ROAD APPROXIMATELY 300 FT. NORTH OF NW CORNER OF THIS PROPERTY



PRELIMINARY

HORIZON DEVELOPMENT GROUP
 MILWAUKEE, WISCONSIN
 GRANVILLE HEIGHTS

GRADING PLAN

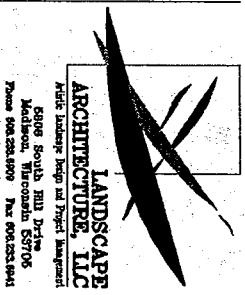


SHEBOYGAN, WISCONSIN

DRN	JER	DEC, 2003
DES	SJK	DEC, 2003
CHK		DEC, 2003
APP	TRJ	DEC, 2003

NO	REVISIONS	DRN	CHK	DATE

DATE	DECEMBER 2003
PROJECT NO	73074
FILE NO	02C03.DWG
SHEET NO	C3
DRAWING NO	C3

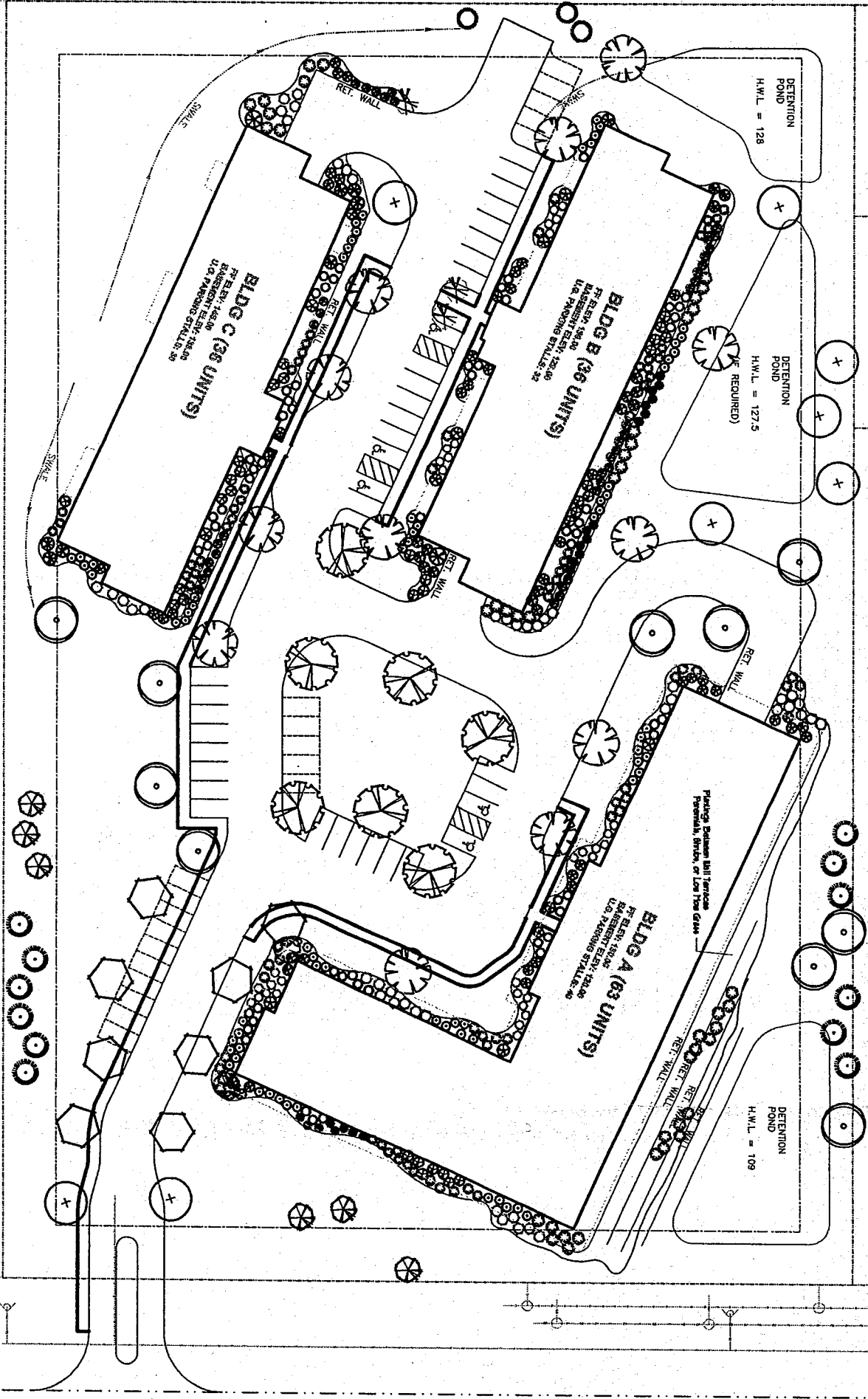


LANDSCAPE ARCHITECTURE, LLC
 4506 South 38th Dr-1st
 Madison, Wisconsin 53706
 Phone 608.263.5900 Fax 608.263.5841

GDP LEVEL LANDSCAPE PLAN
GRANVILLE HEIGHTS
 68th & BERGAIN DEER ROAD
 MILWAUKEE, WISCONSIN

PLANT LIST

Symbol	Quantity	Planting Size	Scientific Name	Common Name
1	1	6" DB	Azalea x grandiflora 'Mulan Brilliance'	Asian Brilliance Azalea
2	1	24"	Burford Weibull 'Vision Folly'	Crema Folly Shrub
3	14	6"	Burford Weibull 'Boysen'	Boysen Shrub
4	1	6"	Burford Weibull 'Boysen'	Boysen Shrub
5	1	6"	Burford Weibull 'Boysen'	Boysen Shrub
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NORTH

SCALE: NONE

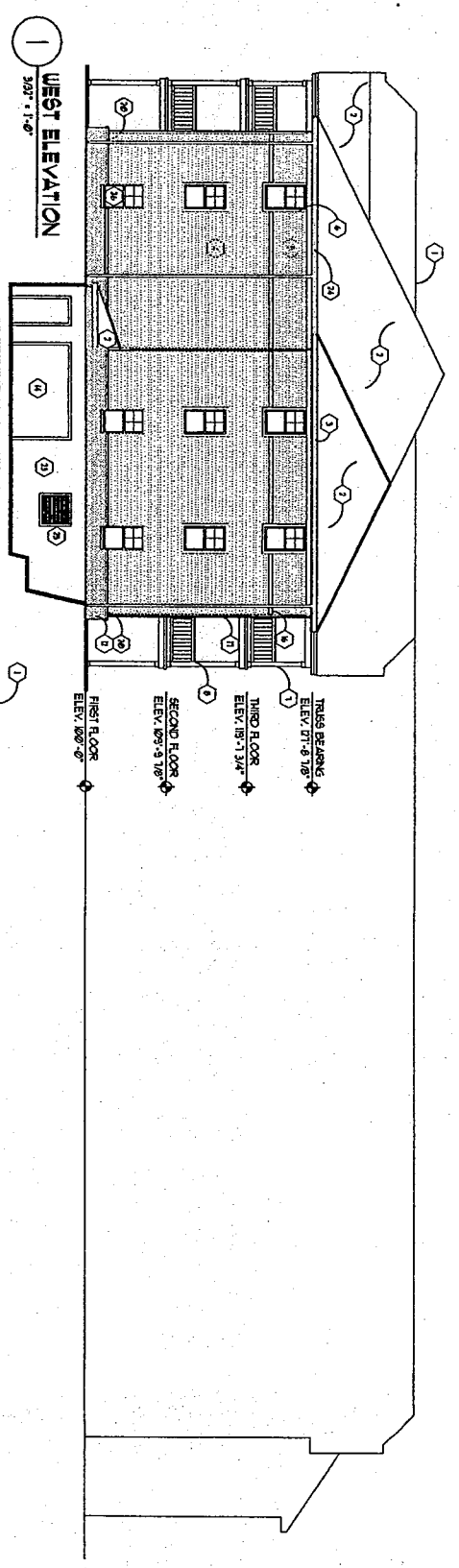
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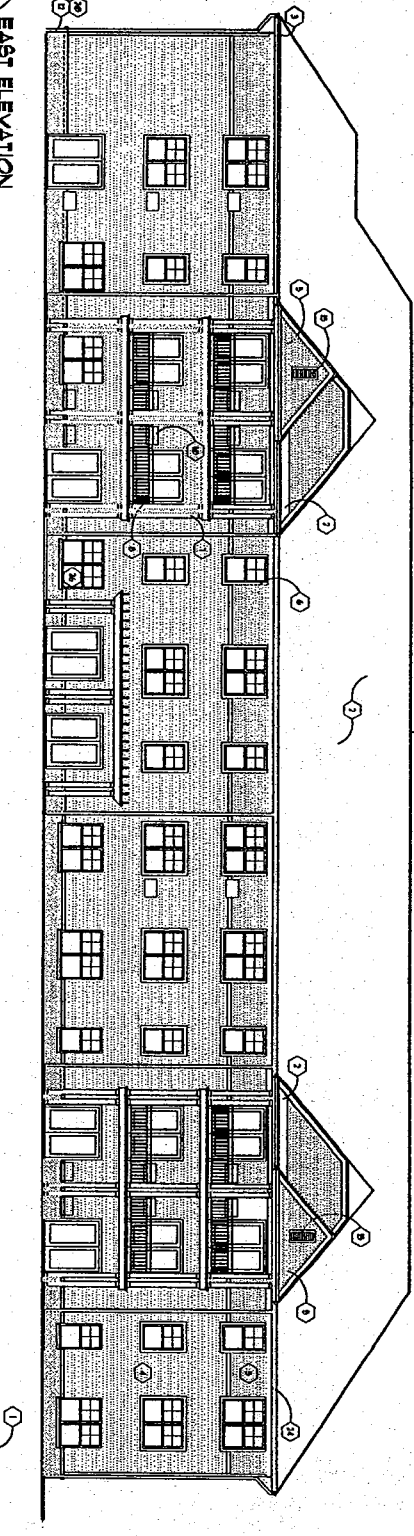
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PLAN # 23-111

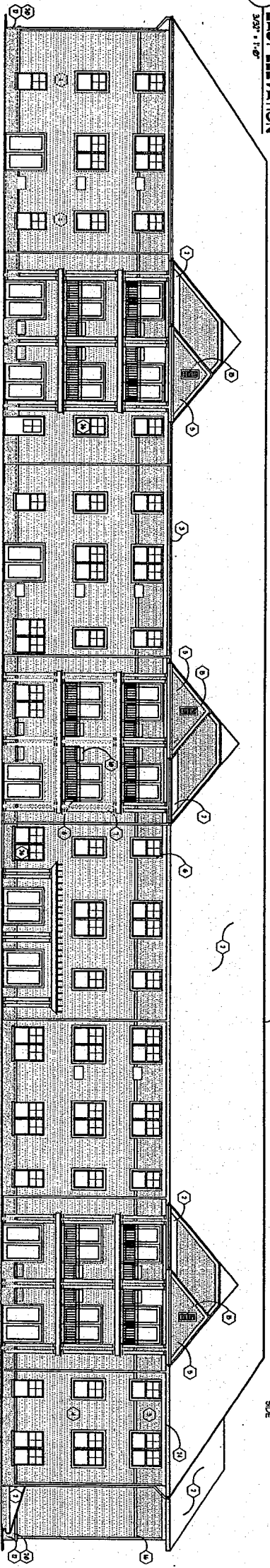
FOR: GRIFFIE



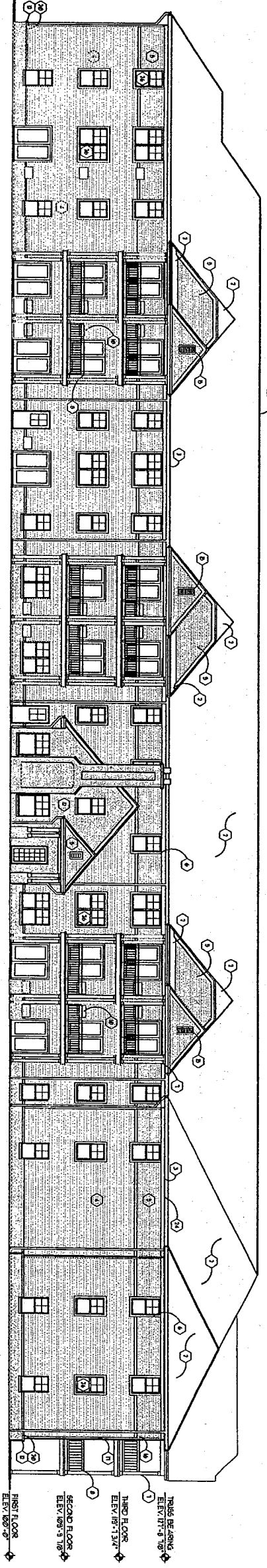
1 WEST ELEVATION
3/8" = 1'-0"



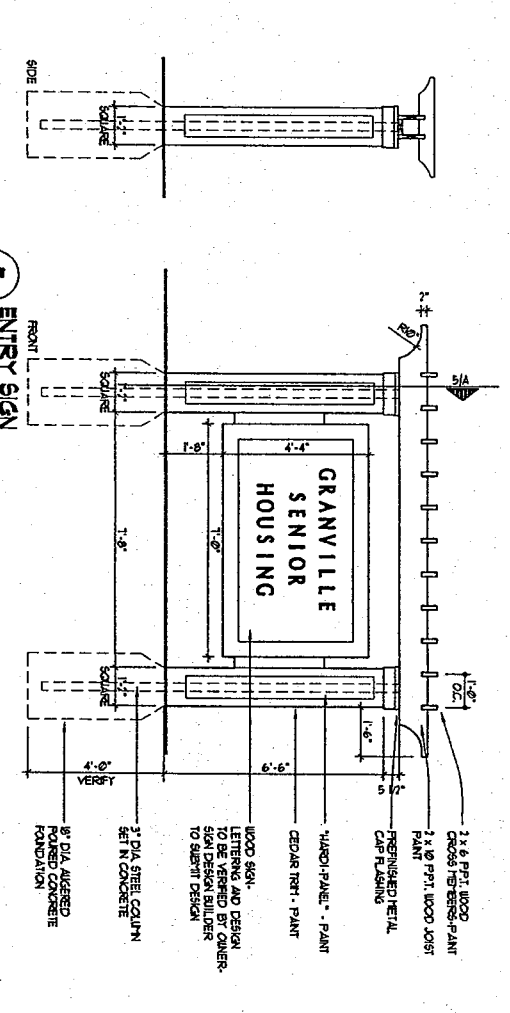
2 EAST ELEVATION
3/8" = 1'-0"



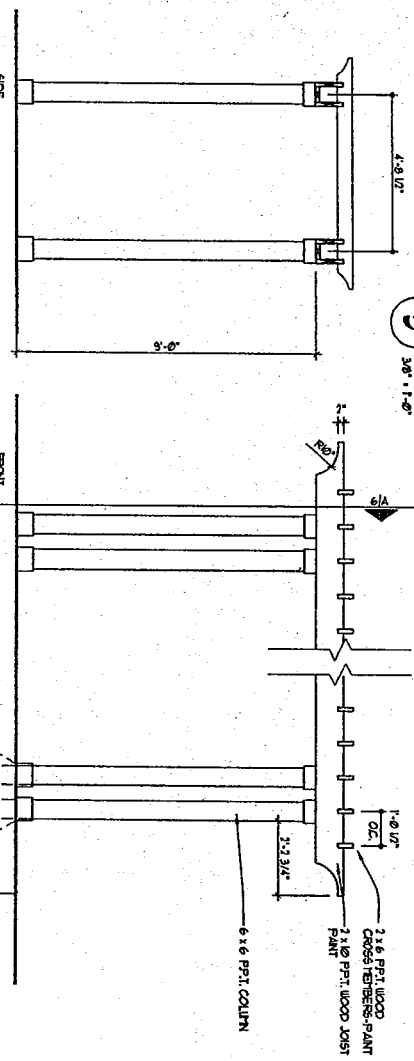
3 NORTH ELEVATION
3/8" = 1'-0"



4 SOUTH ELEVATION
3/8" = 1'-0"



5 ENTRY SIGN
3/8" = 1'-0"



6 BERGOLA
3/8" = 1'-0"

MATERIAL KEY:

1	SHINGLE RIDGE VENT	5	VENT LOWER VENT
2	ASPHALT SHINGLES	6	1/2" X 4" ALUMINUM INSULATED BOARD
3	PRE-FINISHED ALUMINUM GUTTER	7	3" VENT CORNER TRIM
4	45° VENT SIDING	8	VAL-LITE BRICK PANEL
5	3" VENT SIDING	9	PRE-FINISHED ALUM. CAP
6	3 1/2" VENT SIDING TRIM	10	4" CONCRETE SILL W/ DWP
7	6x6 WOOD COLUMN (BORED)	11	PRE-FINISHED METAL FLASHING
8	PVC GUTTER/DRILL	12	CONCRETE FOOTING AND FOUNDATION
9	A/C INT. THROUGH-WALL	13	EXPOSED CONCRETE - PAINT
10	5 1/4" X 8 WOOD TRIM - ALUM. BRACE	14	2X6 FASCIA - ALUM. BRACE
11	BRICK VENEER	15	REINFORCED LOWER
12	PRECAST CONCRETE CAP	16	VENT WINDOW
13	NEEDLED METAL GARAGE DOOR UP-ARELS		



HORIZON
ARCHITECTS

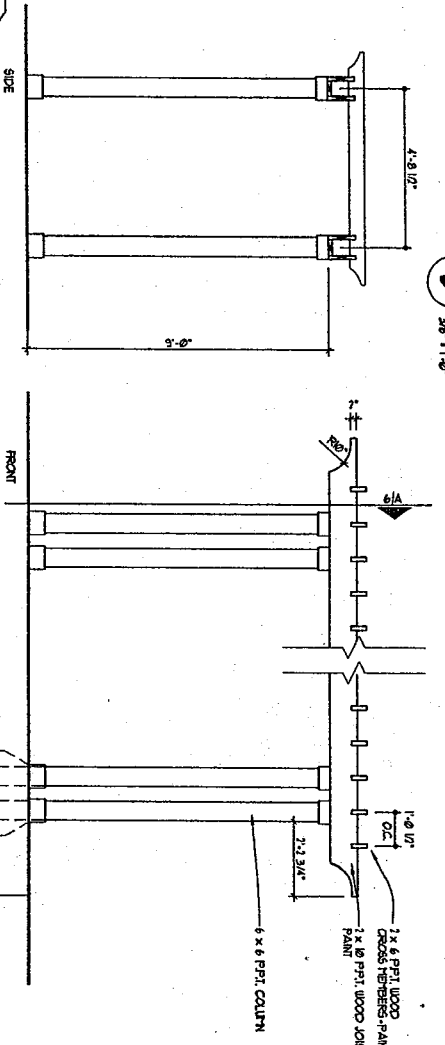
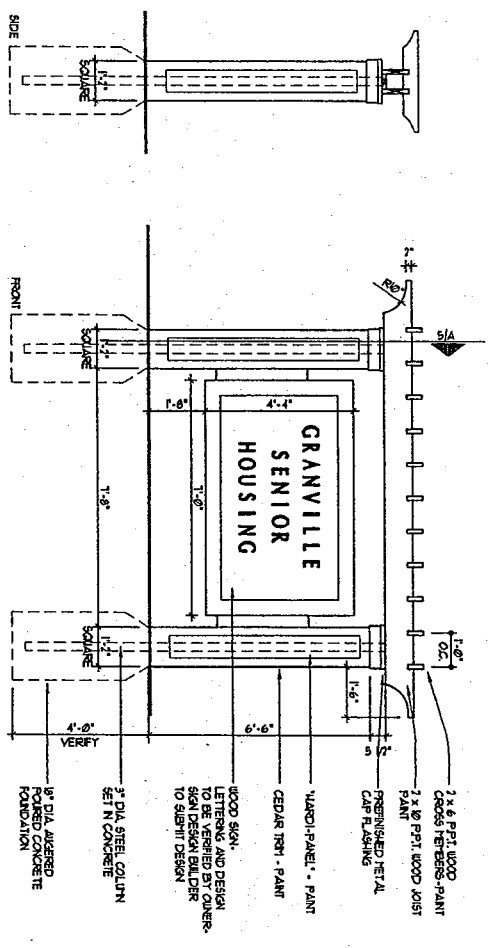
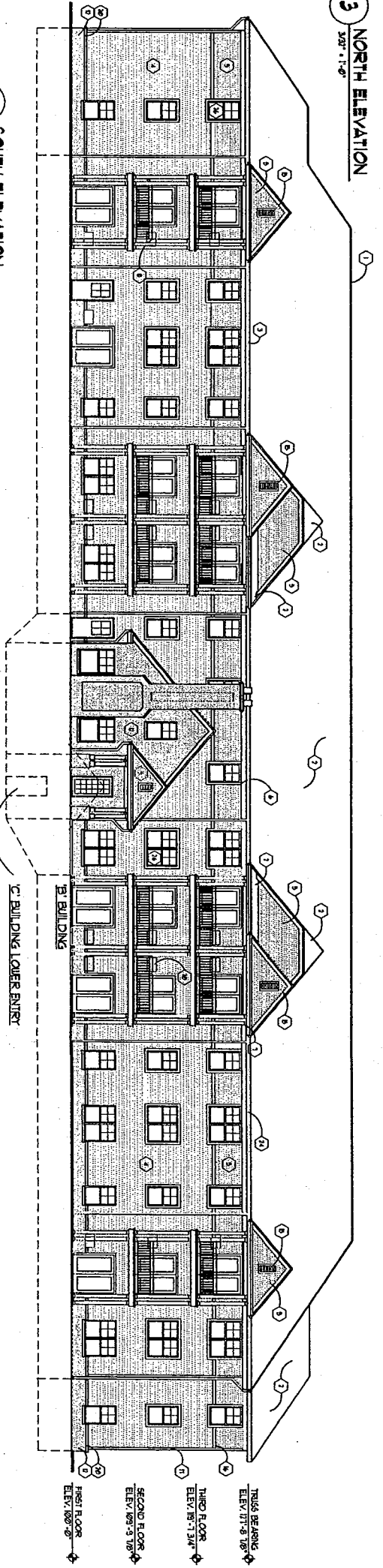
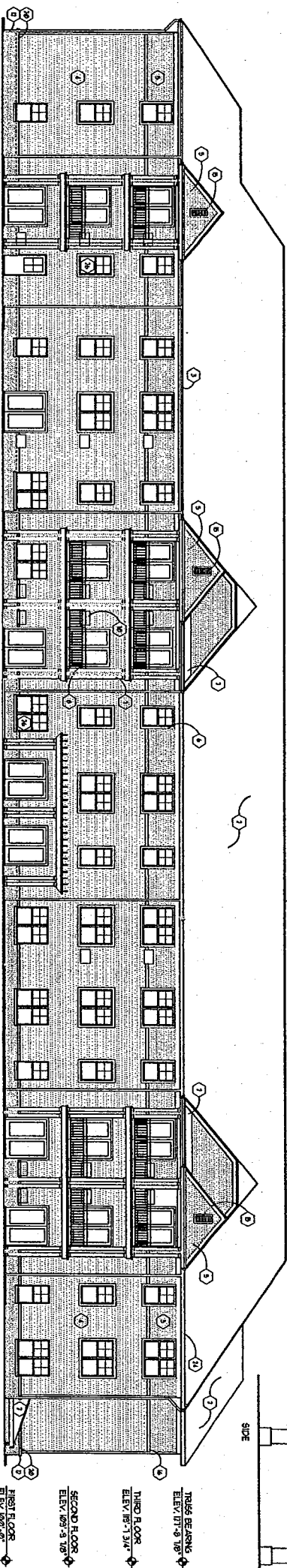
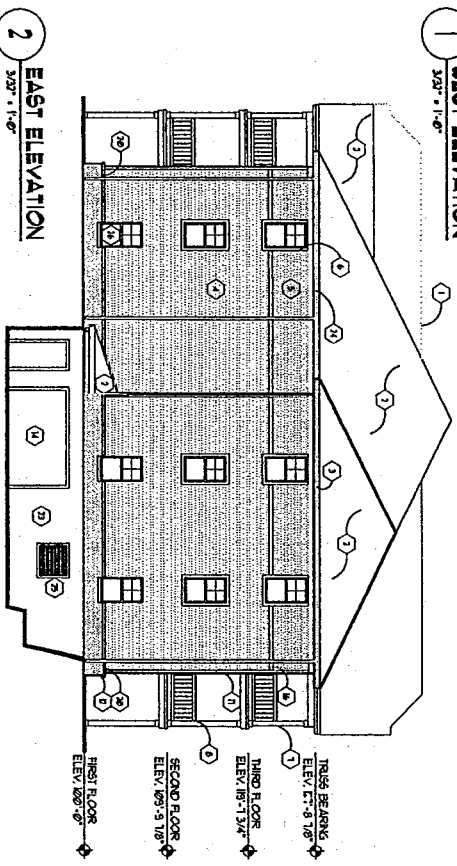
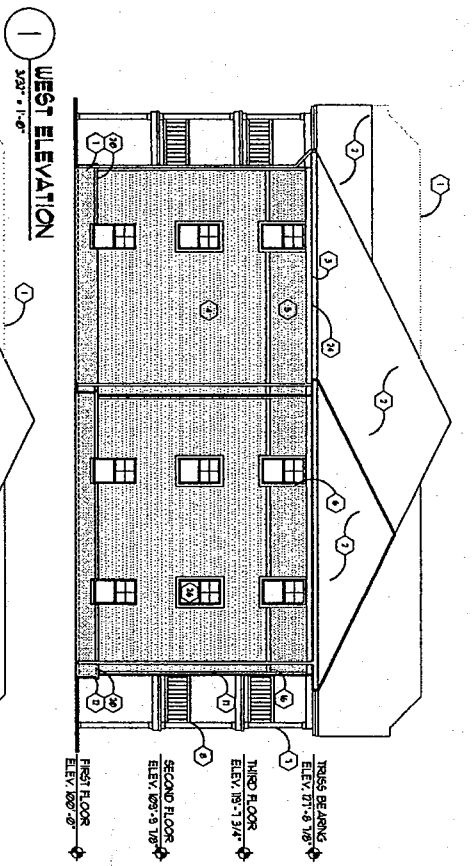
GRANVILLE HEIGHTS SENIOR HOUSING "A" - BUILDING



EPSTEIN UHEN
ARCHITECTS

DATE: 10/20/03
SHEET: 10/20/03

GRANVILLE HEIGHTS SENIOR HOUSING "B" - BUILDING ("C" BUILDING SIMILAR)



MATERIAL KEY:

1	SINGLE RIDGE VENT	5	VENT LOWER VENT
2	ASPHALT SHINGLES	6	5/8" X 6" ALUMINUM BRACKETED BOARD
3	PRE-FINISHED ALUMINUM GUTTER	7	3 1/2" VENT CORNER TRIM
4	45° VENT SONGS	8	NAIL-LITE BRICK PANEL
5	3" VENT SONGS	9	PRE-FINISHED ALUM CAP
6	3 1/2" VENT WINDOW TRIM	10	4" CONCRETE SILL W/ Drip
7	6x6 WOOD COLUMN (ROOFED)	11	PRE-FINISHED METAL FLASHING
8	PVC GUARDRAIL	12	CONCRETE FOOTING AND FOUNDATION
9	AC UNIT THROUGH-WALL	13	EMERGED CONCRETE - PAINT
10	5 1/4" X8 WOOD TRIM - ALUM WRAP	14	2X6 BRICK - ALUM WRAP
11	BRICK VENEER	15	MECHANICAL LAMER
12	PRECAST CONCRETE CAP	16	VENT WINDOW
13	INSULATED METAL GARAGE DOOR UNITS		

