



Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property 3400 N. LAKE DR. North Lake Drive Estates HD
Description of work Addition of an L-shaped wing at the front of the property and a fence at the front of the property. Size is approximately 40'x25' with substantial indents that create the L shape. The wing was part of the original design as a detached garage and the fence was planned in 2007.
Date issued 11/6/2018 PTS ID 114639 COA: addition and fence

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

1. **Reduce fence heights to meet base zoning requirements: 6'0" maximum.**
2. **Any new or replaced pavement shall be concrete rather than asphalt. Flagstone pavers for a path shown in the drawing are excepted from this requirement.**
3. **Windows will be all wood both inside and out. No vinyl, vinyl-clad, aluminum, aluminum-clad or fiberglass windows are permitted.**

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, contact Historic Preservation staff as follows: Phone: (414) 286-5712 E-mail: hpc@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.milwaukee.gov/build, or call (414) 286-8210.

City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Nik Kovac, Architect, Inspector Paul Wolfgramm (286-2590)



LAKE DRIVE ADDITION

PROPOSED STREET VIEW

NOT TO SCALE



WADE WEISSMANN
ARCHITECTURE

NOVEMBER 1, 2018

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PROJECT DATA

OWNER INFORMATION

OWNER:

c/o Wade Weissmann Architecture Inc.
8655 N. Deerwood Drive
Brown Deer, WI 53209

PROJECT CONTACTS

ARCHITECT:

Wade Weissmann Architecture Inc.
8655 N. Deerwood Drive
Brown Deer, WI 53209

Tele: 414.351.1200
Fax: 414.352.8385

Contact: Leif Backus
email: lbackus@wwa-design.com

GENERAL CONTRACTOR:

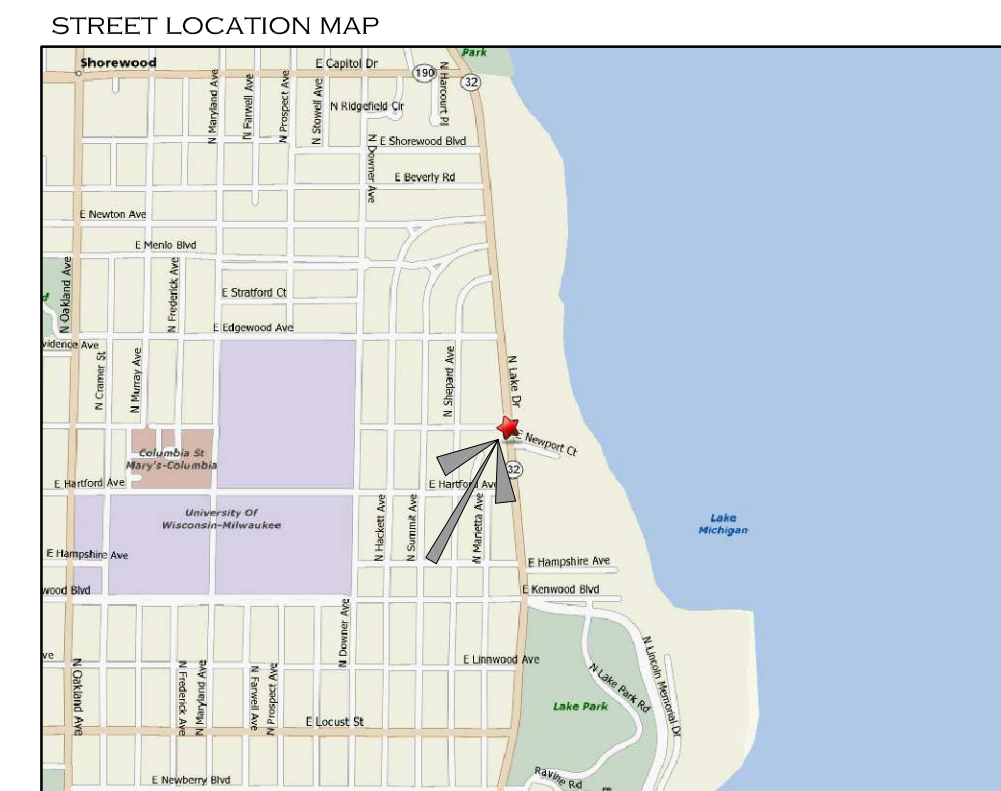
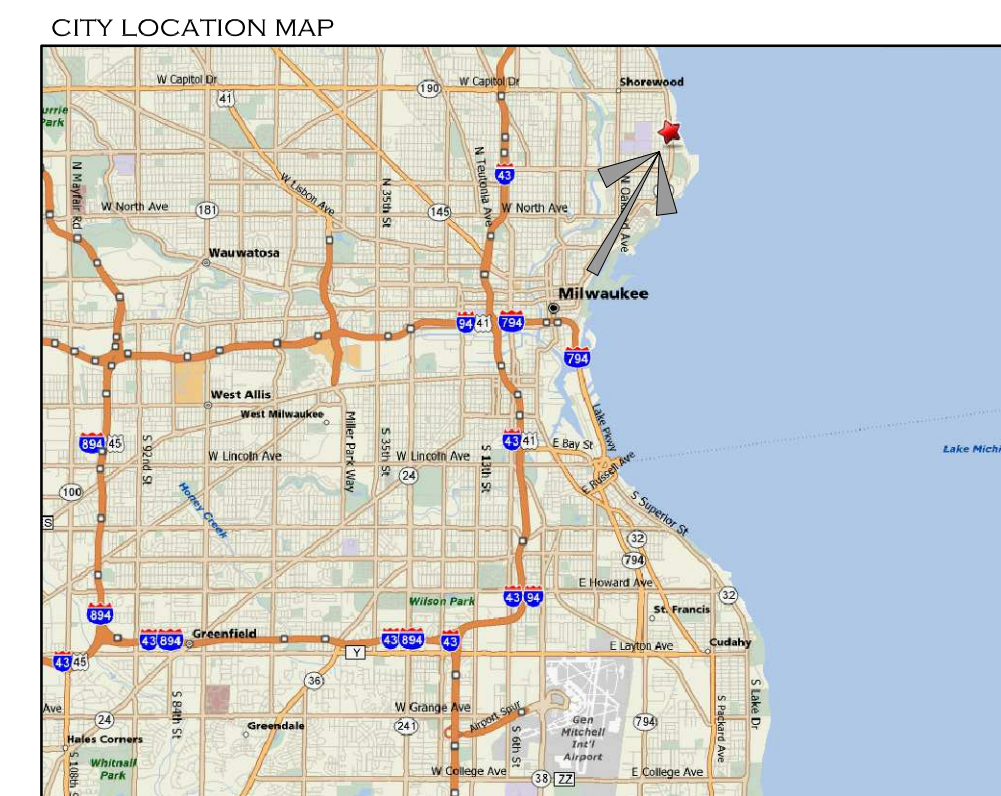
STRUCTURAL ENGINEER:

CIVIL ENGINEER:

ARCHITECTURAL SYMBOLS

	PLAN NOTE		CONSTRUCTION BULLETIN REFERENCE NUMBER & REVISION CLOUD
	ROOF PITCH TAG		DETAIL REFERENCE DRAWING NUMBER
	DOOR NUMBER		INTERIOR ELEVATION REFERENCE DRAWING NUMBER
	WINDOW NUMBER		BUILDING & WALL SECTION REFERENCE DRAWING NUMBER
	WALL TYPE		EXTERIOR ELEVATION REFERENCE DRAWING NUMBER
	INDICATES DIMENSIONS THAT ARE TO BE VERIFIED IN FIELD		ELEVATION HEIGHT
	INDICATES DIMENSIONS THAT ARE TO BE EQUAL		ROOM TAG

SITE LOCATION MAPS



AREA CALCULATIONS

GROSS LIVING AREA:	20,845 sq. ft.
EXISTING RESIDENCE:	
LOWER LEVEL LIVABLE:	3,332 sq. ft.
MAIN LEVEL LIVABLE:	4,009 sq. ft.
UPPER LEVEL LIVABLE:	4,801 sq. ft.
Existing Residence Subtotal:	12,142 sq. ft.
PROPOSED ADDITION:	
MAIN LEVEL LIVABLE:	3,332 sq. ft.
Proposed Addition Subtotal:	12,142 sq. ft.

GENERAL NOTES

- 1) CONSTRUCTION IS TO BE IN COMPLIANCE W/ ALL GOVERNING CODES, ORDINANCES, & STANDARDS. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING & SUPERVISING ALL SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION W/ THE PERFORMANCE OF THIS CONTRACT.
- 2) ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY COST, SCHEDULE, OR CONSTRUCTION ISSUES ARISING DUE TO GENERAL CONTRACTORS/ OWNERS FAILURE TO DISTRIBUTE ALL DOCUMENTS TO EACH SUBCONTRACTOR OR MATERIAL SUPPLIER. SUBCONTRACTORS & MATERIAL SUPPLIERS SHOULD ENDEAVOR TO REVIEW A COMPLETE SET OF DOCUMENTS BEFORE BIDDING, FABRICATING, OR INSTALLING WORK.
- 3) GENERAL CONTRACTOR, SUBCONTRACTORS, AND MATERIAL SUPPLIERS MUST NOTIFY ARCHITECT OF ANY ERRORS, OMISSIONS, OR DEFECTS IN THE CONSTRUCTION DOCUMENTS PRIOR TO BIDDING, FABRICATING, OR INSTALLING WORK.
- 4) ALL MEANS & METHODS OF CONSTRUCTION TO BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- 5) MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION ARE TO BE DESIGNED IN COMPLIANCE WITH ALL GOVERNING CODES, ORDINANCES & STANDARDS, WHICH WILL BE THE FULL RESPONSIBILITY OF THE MEP/FP DESIGN BUILD CONTRACTOR, THE ARCHITECT ASSUMES NO LIABILITY.
- 6) ALL MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION SYSTEMS/ EQUIP. SHALL BE MAINTAINED ACCORDING TO MANUFACTURER'S STANDARDS. BUILDING OWNER ASSUMES FULL RESPONSIBILITY FOR MAINTENANCE/ OPERATION UPON OCCUPANCY.
- 7) THE INSTALLATION AND EXECUTION OF ALL MATERIALS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S STANDARDS AND SPECIFICATIONS.
- 8) ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR LIMITING THE ACCUMULATION OF WASTE MATERIALS AND RUBBISH. WASTE MATERIALS SHALL BE REMOVED FROM PREMISES DAILY.
- 9) DIMENSIONS ARE TO BE FIELD VERIFIED & ADJUSTED ACCORDINGLY. THE ARCHITECT SHALL BE NOTIFIED OF ANY VARIANCES BEFORE CONTRACTOR BEGINS OR PROCEEDS WORK.
- 10) REMOVE AND LEGALLY DISPOSE OF ANY HAZARDOUS MATERIALS THAT MAY BE PART OF THE CONSTRUCTION PROJECT AREA.
- 11) SEE SYSTEM & MATERIAL OUTLINE (SMO) AND/OR ARCHITECTURAL SPECIFICATIONS FOR COMPLETE PROJECT REQUIREMENTS.
- 12) ALL ORIGINAL CONTRACT DOCUMENTS AND COPIES THEREOF ARE THE PROPERTY OF THE ARCHITECT. THE ARCHITECT EXPRESSLY RESERVES HIS COMMON-LAW COPYRIGHT AND OTHER PROPERTY RIGHTS WITH REGARD TO THESE CONTRACT DOCUMENTS. THE CONTRACT DOCUMENTS AND THE DESIGNS THEREIN ARE PROVIDED FOR THE CONSTRUCTION OF THIS PROJECT, AND SHALL NOT BE REPRODUCED, MODIFIED, OR RECREATED FOR ANY OTHER PURPOSE OR PROJECT.
- 13) THE LARGEST-SCALED DETAIL SHALL SUPERSEDE SMALLER-SCALED DRAWINGS. DETAILS SHALL NOT BE SURMISED FROM THE ARCHITECTURAL FLOOR PLANS OR ARCHITECTURAL ELEVATIONS. IF A CONDITION IS NOT SPECIFICALLY DETAILED, ASSUME THAT THE LEVEL OF DETAIL AND QUALITY WILL BE CONSISTENT WITH WHAT IS SHOWN FOR SIMILAR CONDITIONS.
- 14) UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR SCALE THE DRAWINGS. THE CONTRACTOR SHALL PERFORM ALL LAYOUTS USING THE SPECIFIED CALCULATED DIMENSIONS. REPORTING ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING. DIMENSIONS ARE TYPICALLY TO FACE OF MASONRY FOUNDATION, FACE OF EXTERIOR SHEATHING, FACE OF INTERIOR STUD, OR CENTERLINE.
- 15) CONTRACTOR TO PROVIDE OWN TEMPORARY SANITARY FACILITIES ON SITE. MAINTAIN IN CLEAN AND SANITARY CONDITION.

APPROVED
By Tim Askin-HPC at 10:37 am, Nov 06, 2018

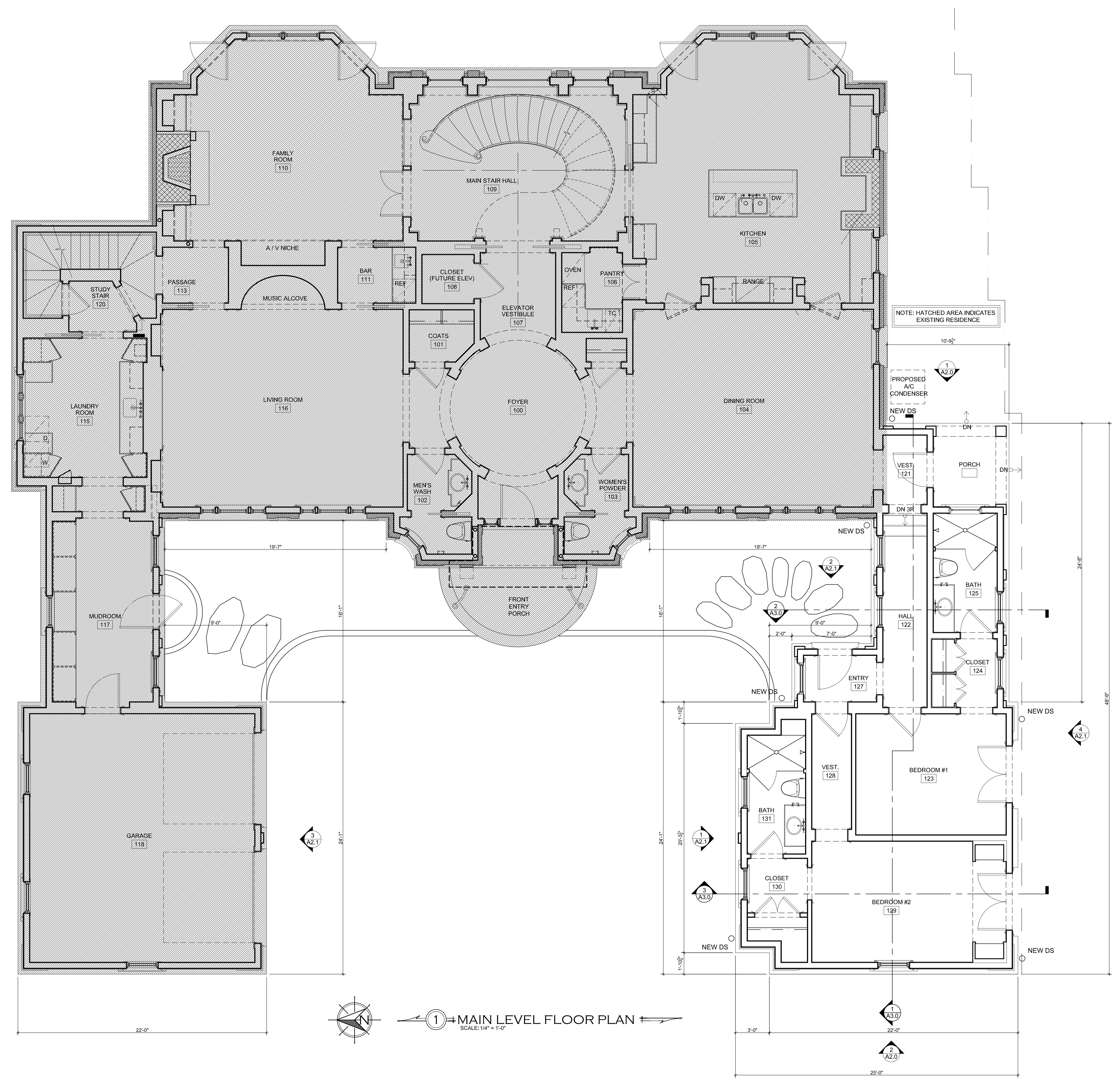
SCOPE OF WORK & SUBMITTALS

Project Description:
Applicable Code: Wisconsin Uniform Building Code
Zoning Department:

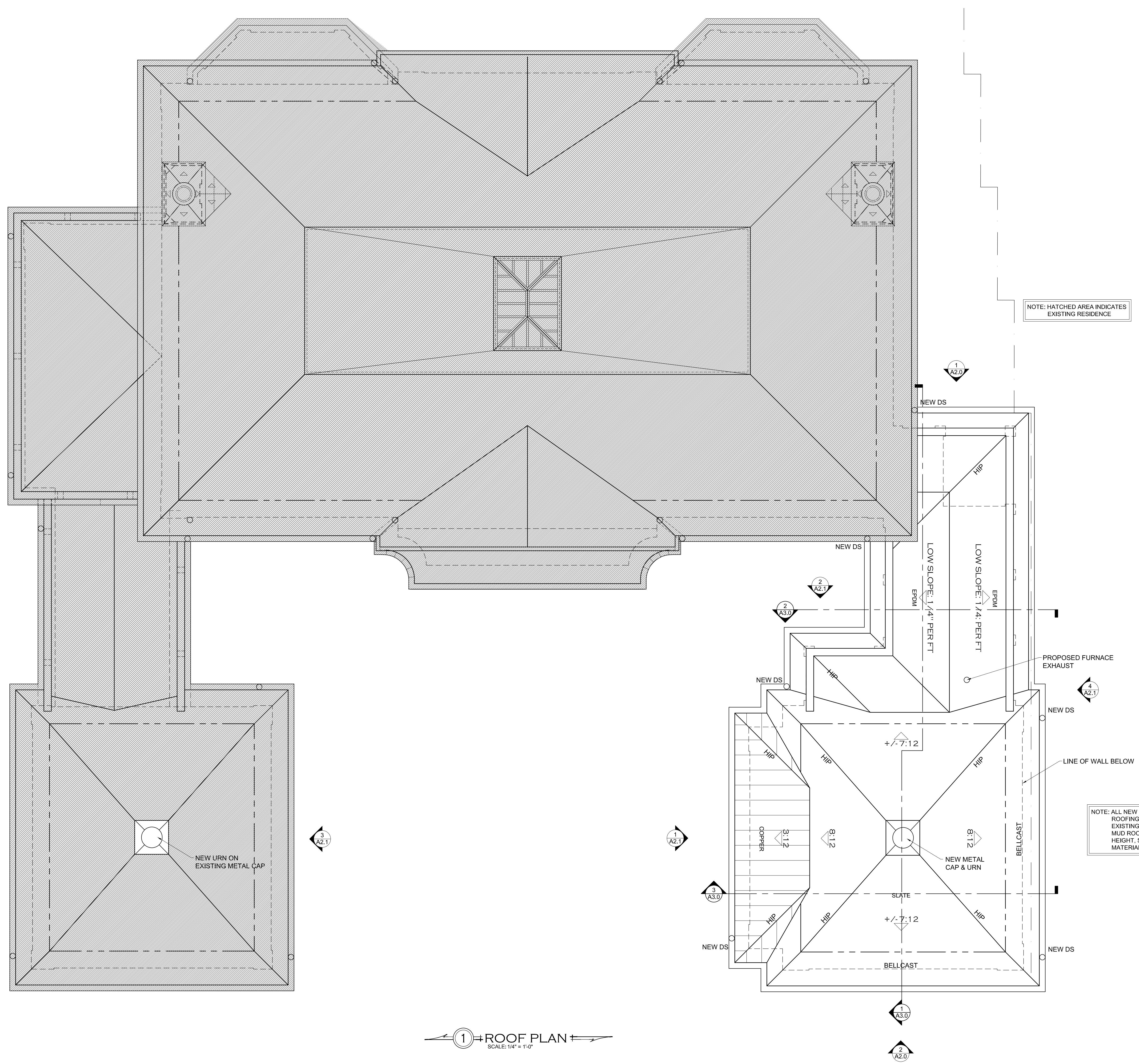
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A1.1	MAIN LEVEL PLAN
A1.3	ROOF PLAN
A2.0	EXTERIOR ELEVATIONS
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A4.0	WALL SECTIONS
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By Tim Askin-HPC at 10:37 am, Nov 06, 2018



1 MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



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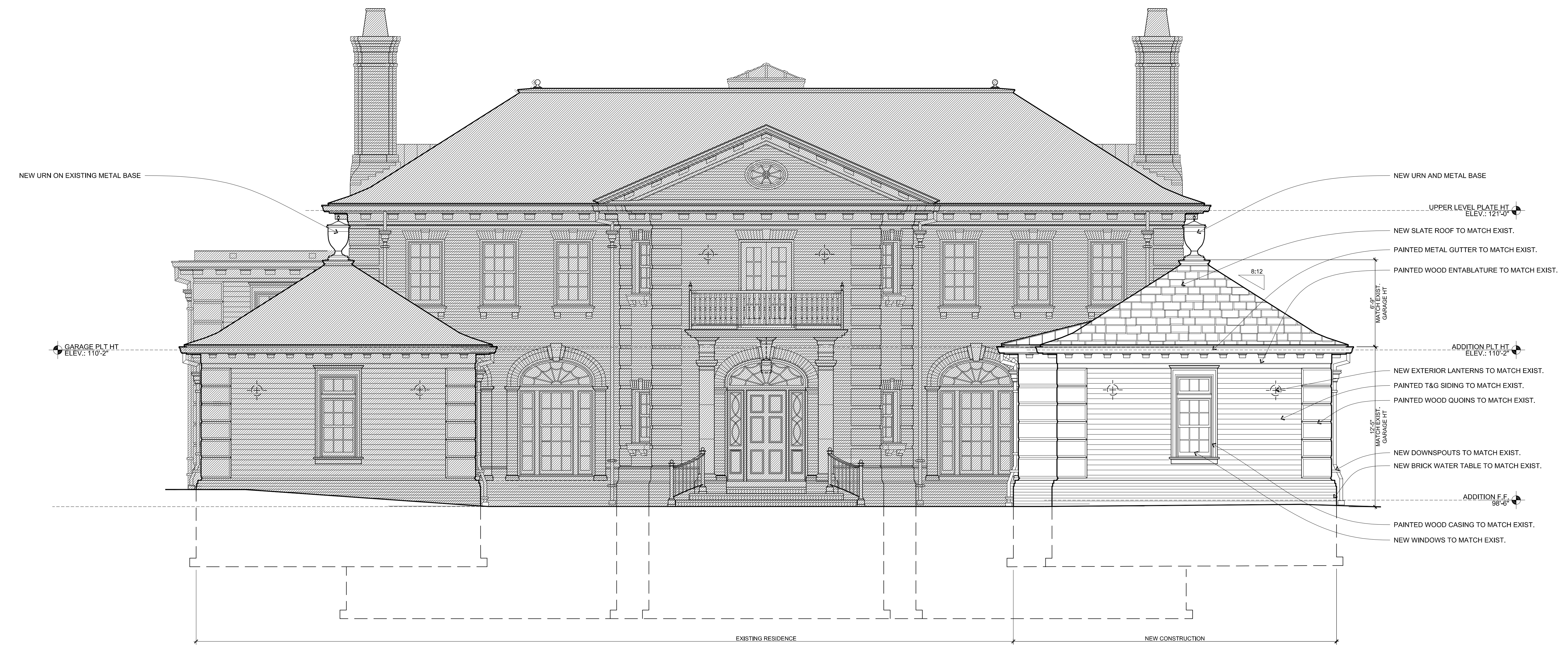
NOTE: HATCHED AREA INDICATES
EXISTING RESIDENCE

PROPOSED FURNACE
EXHAUST

LINE OF WALL BELOW

NOTE: ALL NEW SLATE AND EPDM
ROOFING IS TO MATCH
EXISTING GARAGE AND
MUD ROOM ROOFING IN
HEIGHT, SLOPE, AND
MATERIAL COLORING.

1 ROOF PLAN
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

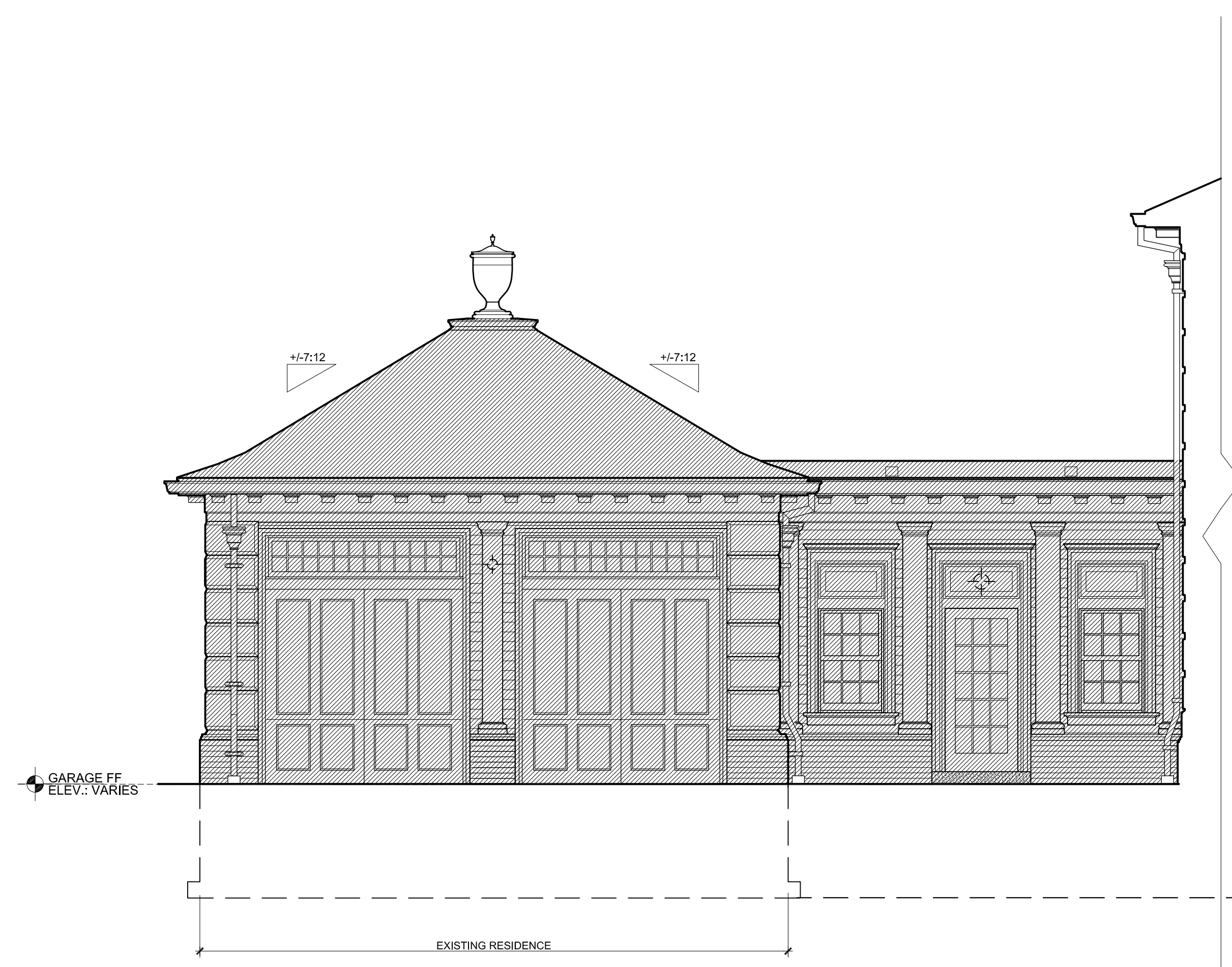
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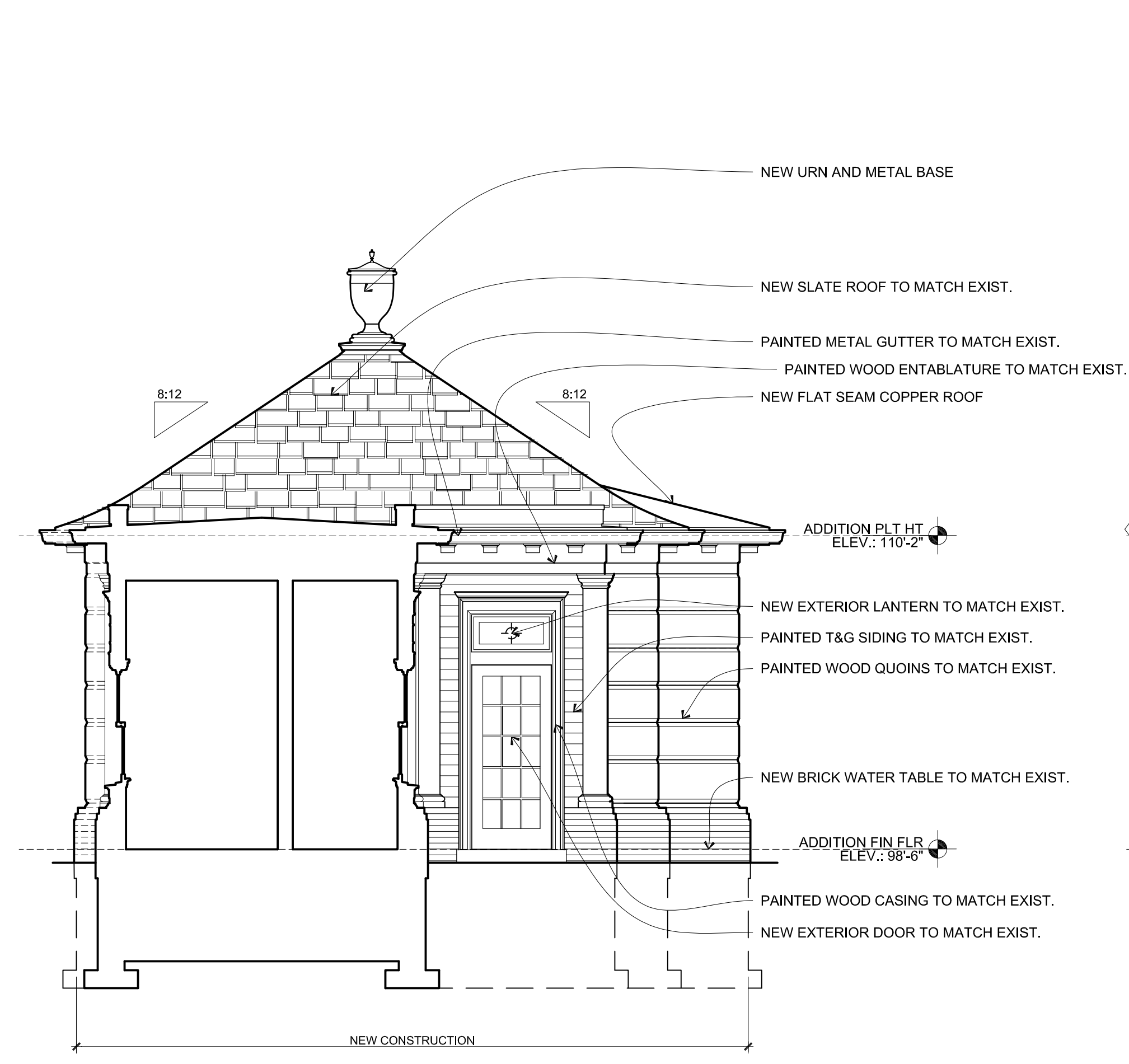
1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



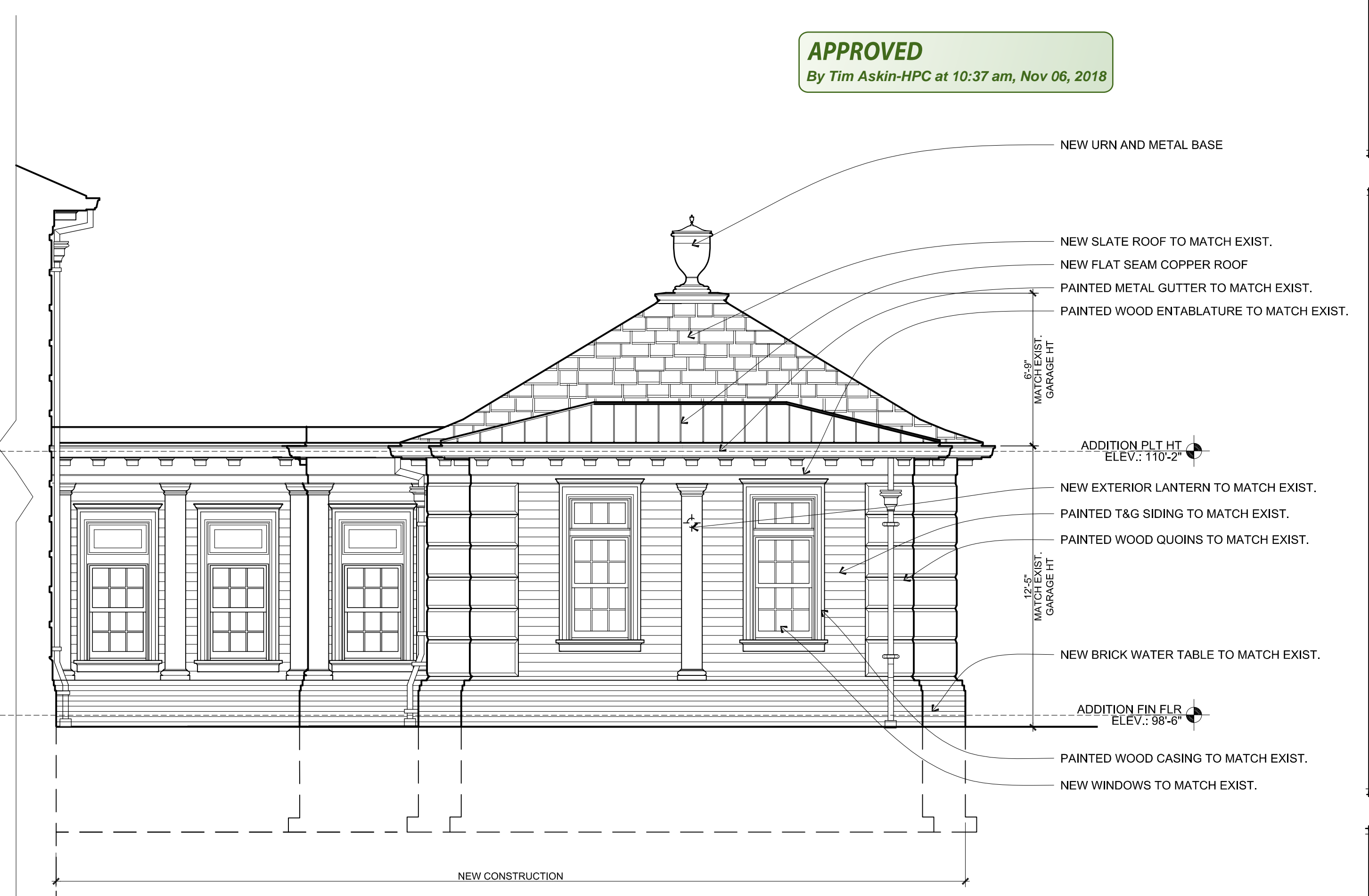
4 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



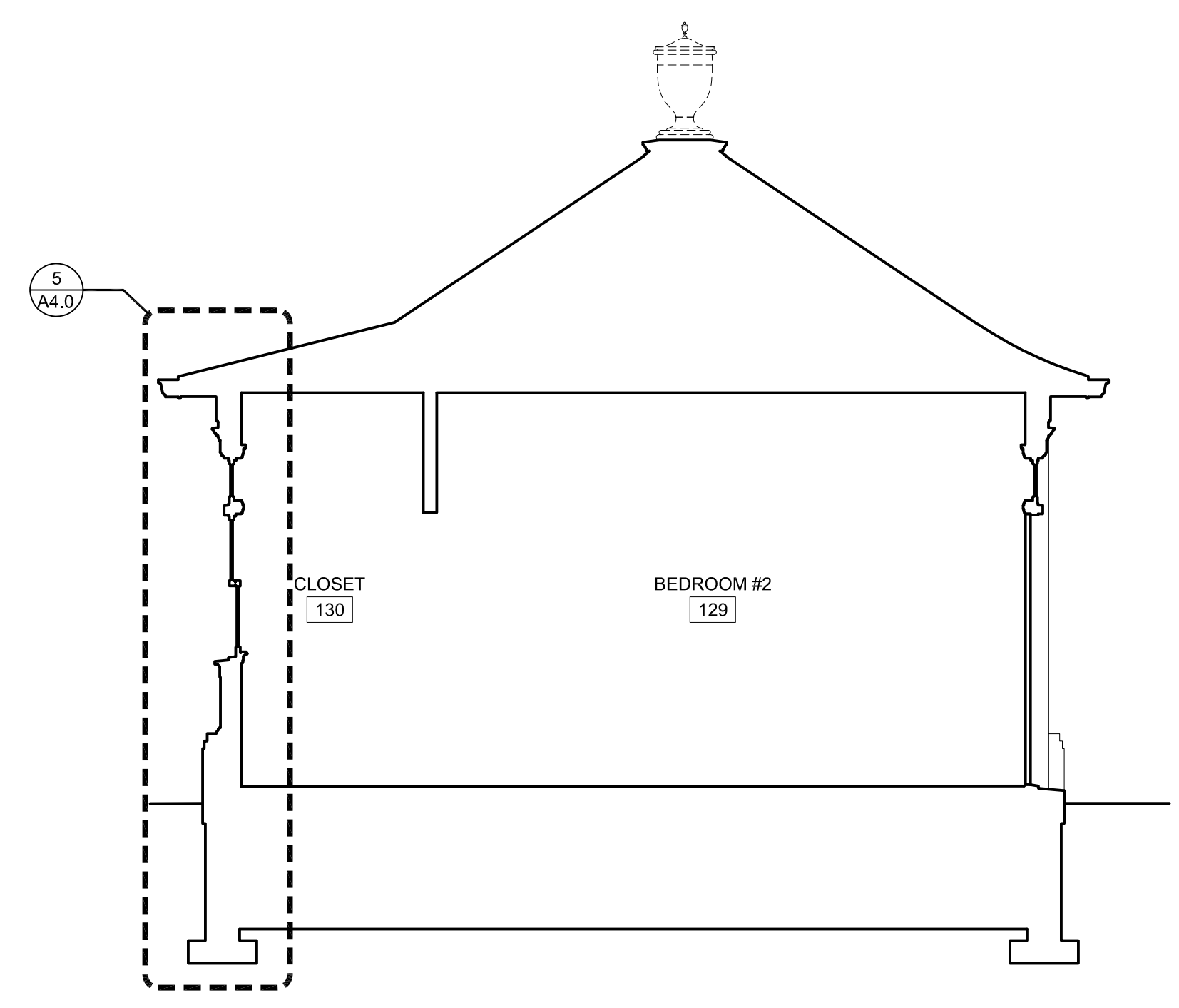
2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



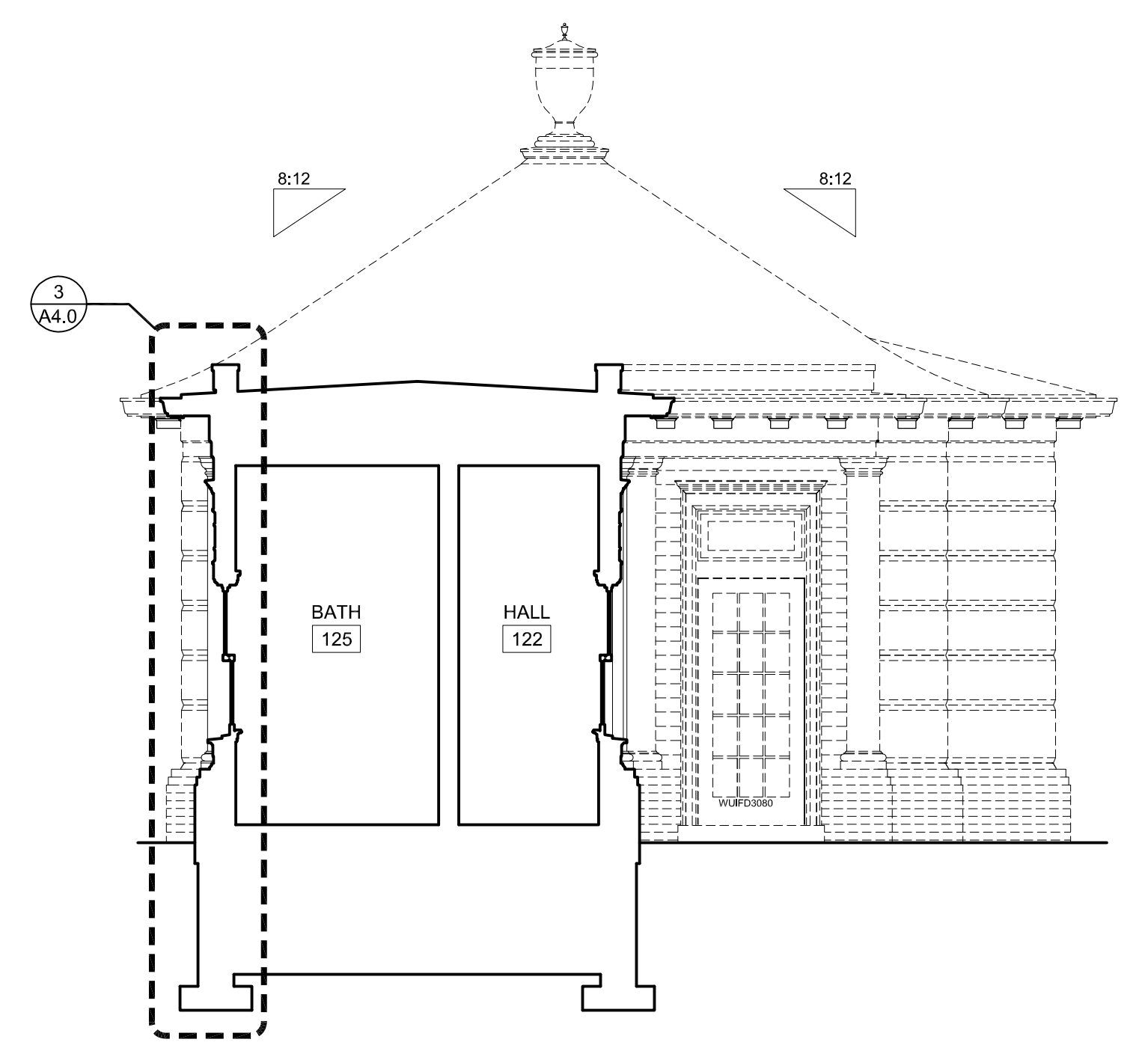
1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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By Tim Askin-HPC at 10:37 am, Nov 06, 2018

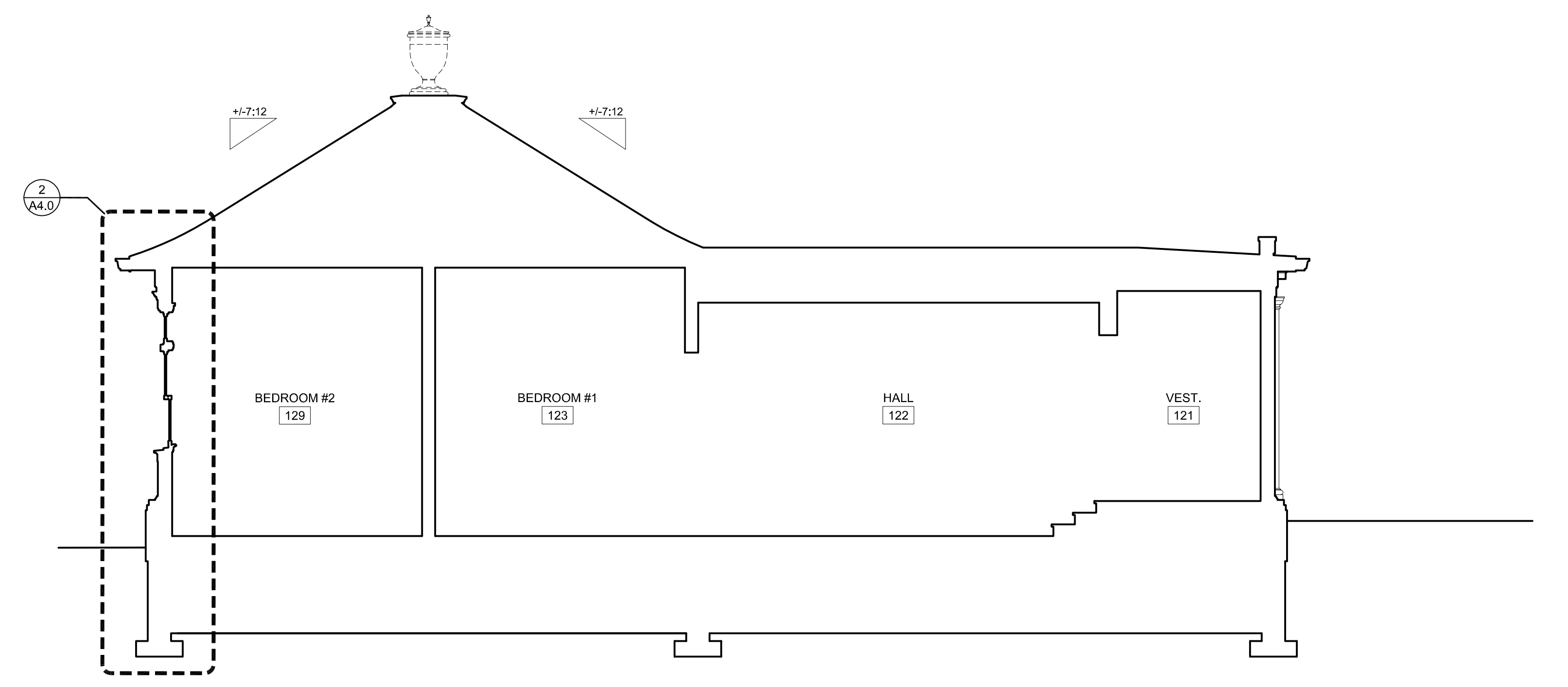
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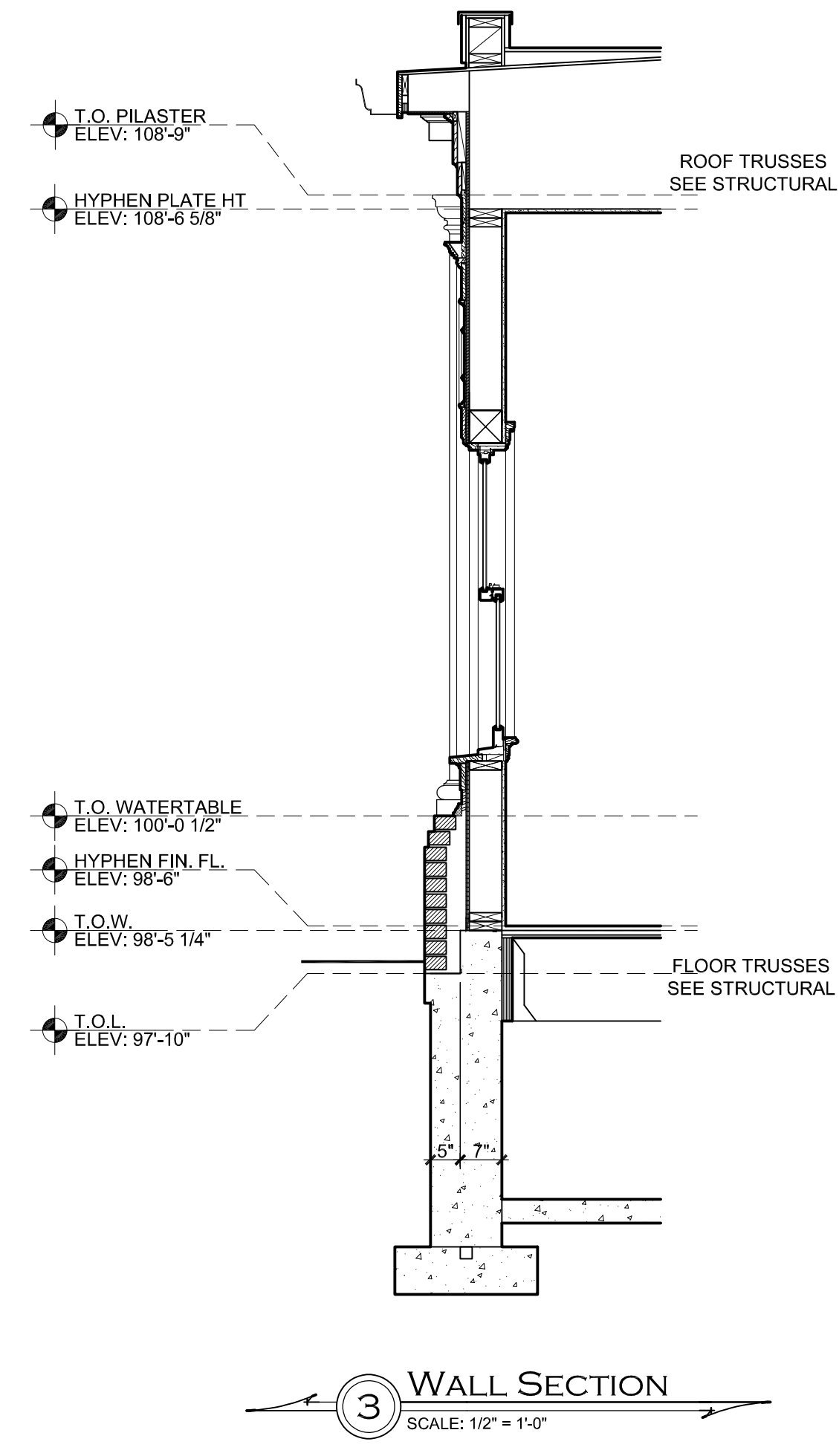
3 BUILDING SECTION
SCALE: 1/4" = 1'-0"



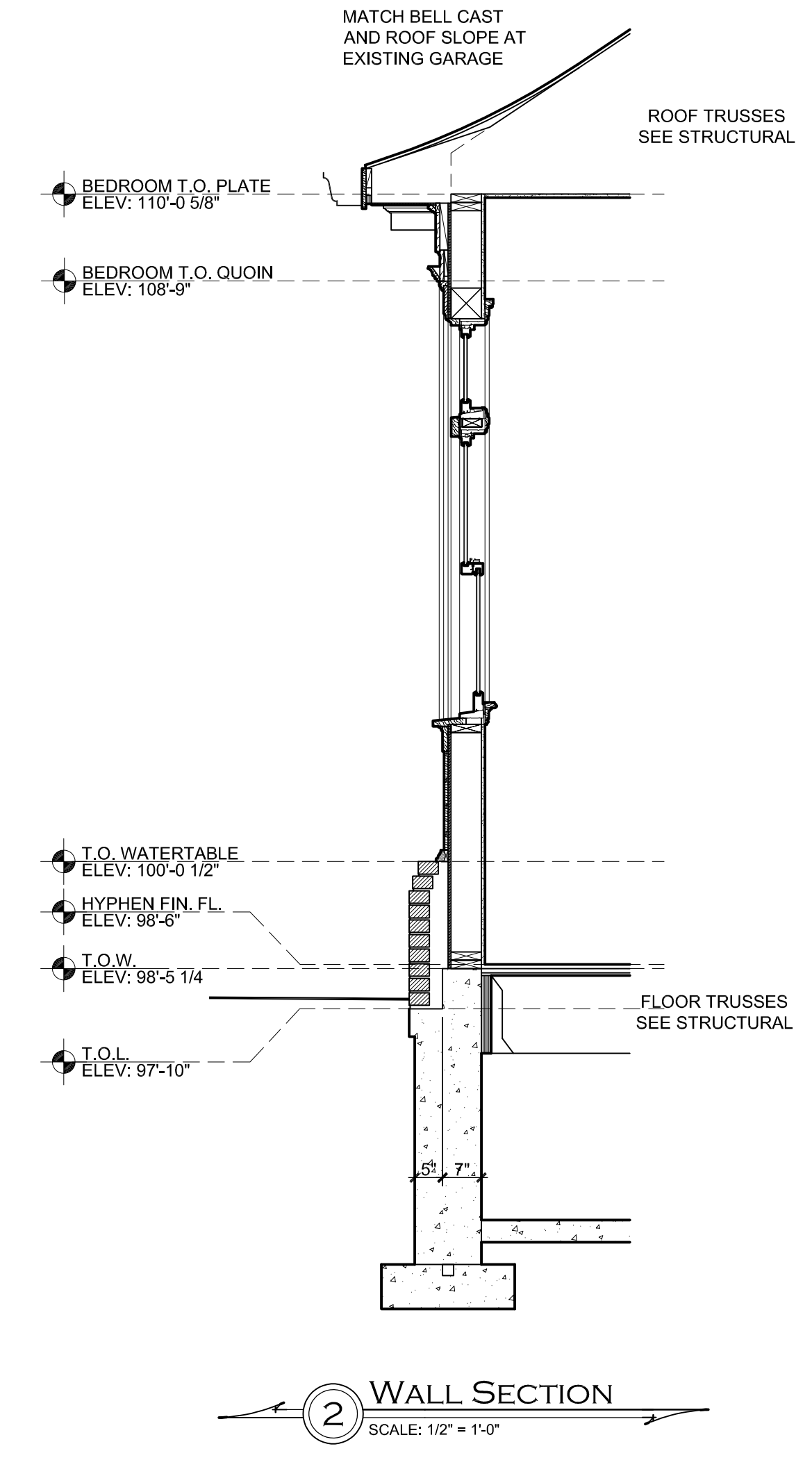
2 BUILDING SECTION
SCALE: 1/4" = 1'-0"



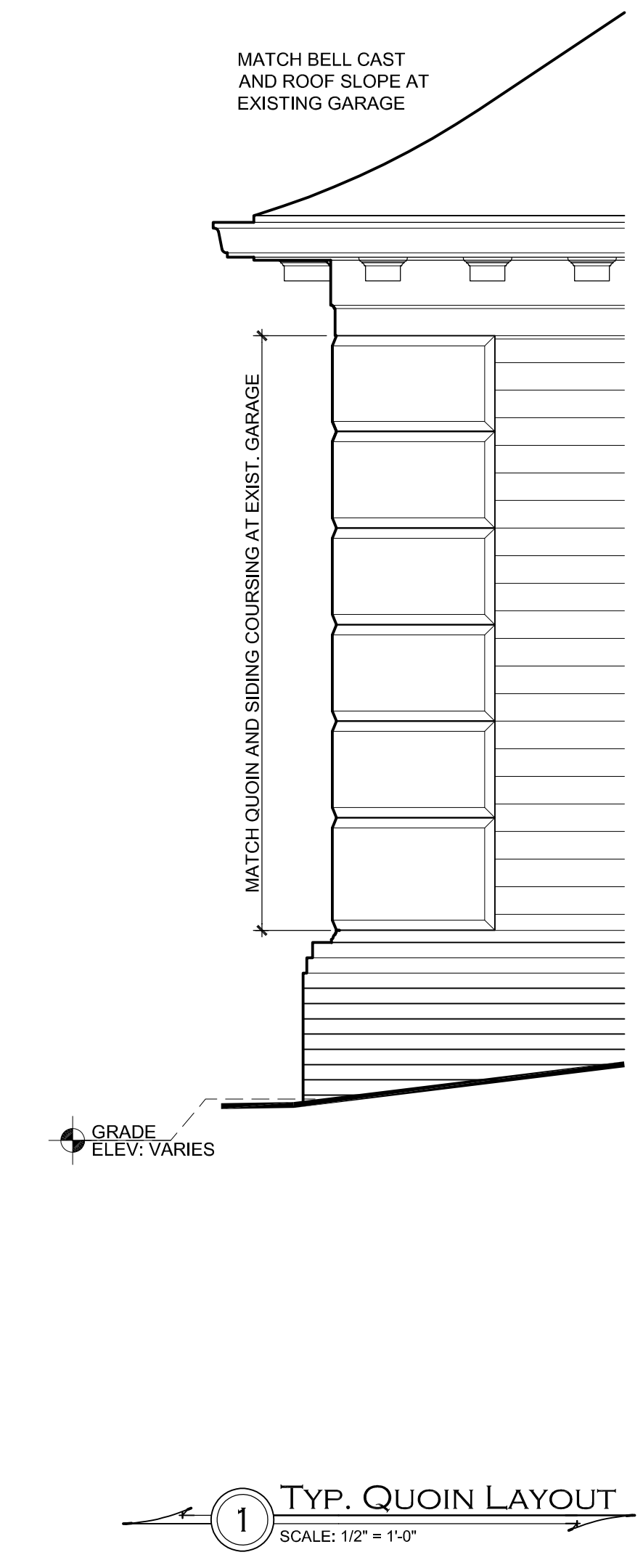
1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



3 WALL SECTION
SCALE: 1/2" = 1'-0"

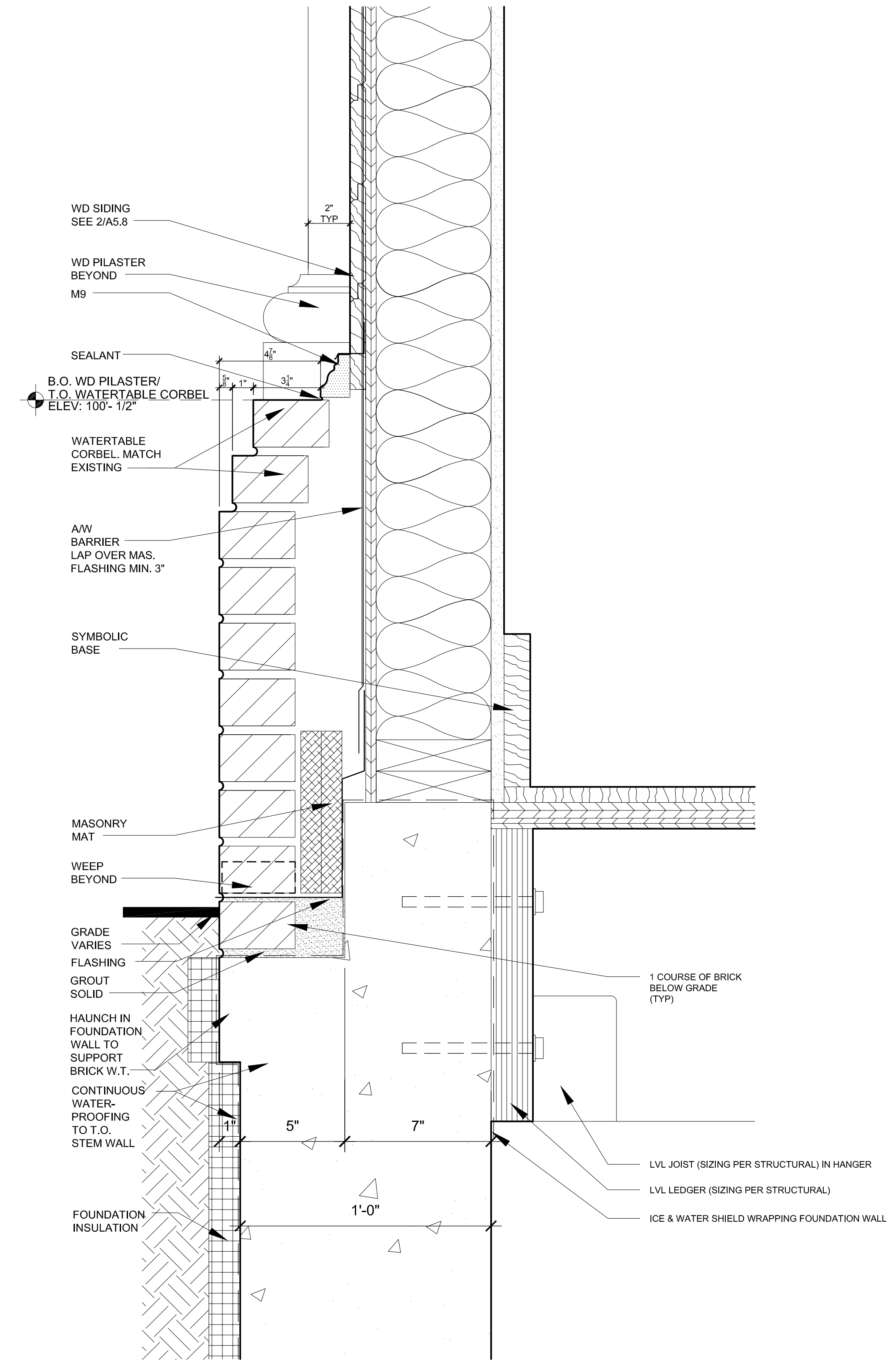


2 WALL SECTION
SCALE: 1/2" = 1'-0"



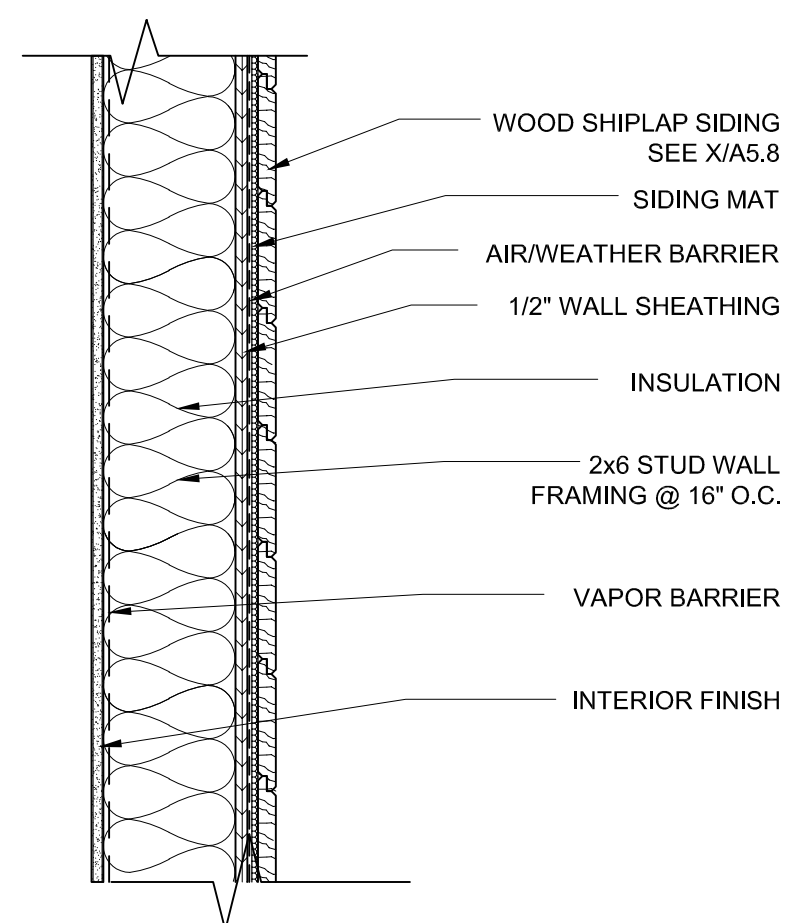
1 TYP. QUOIN LAYOUT
SCALE: 1/2" = 1'-0"

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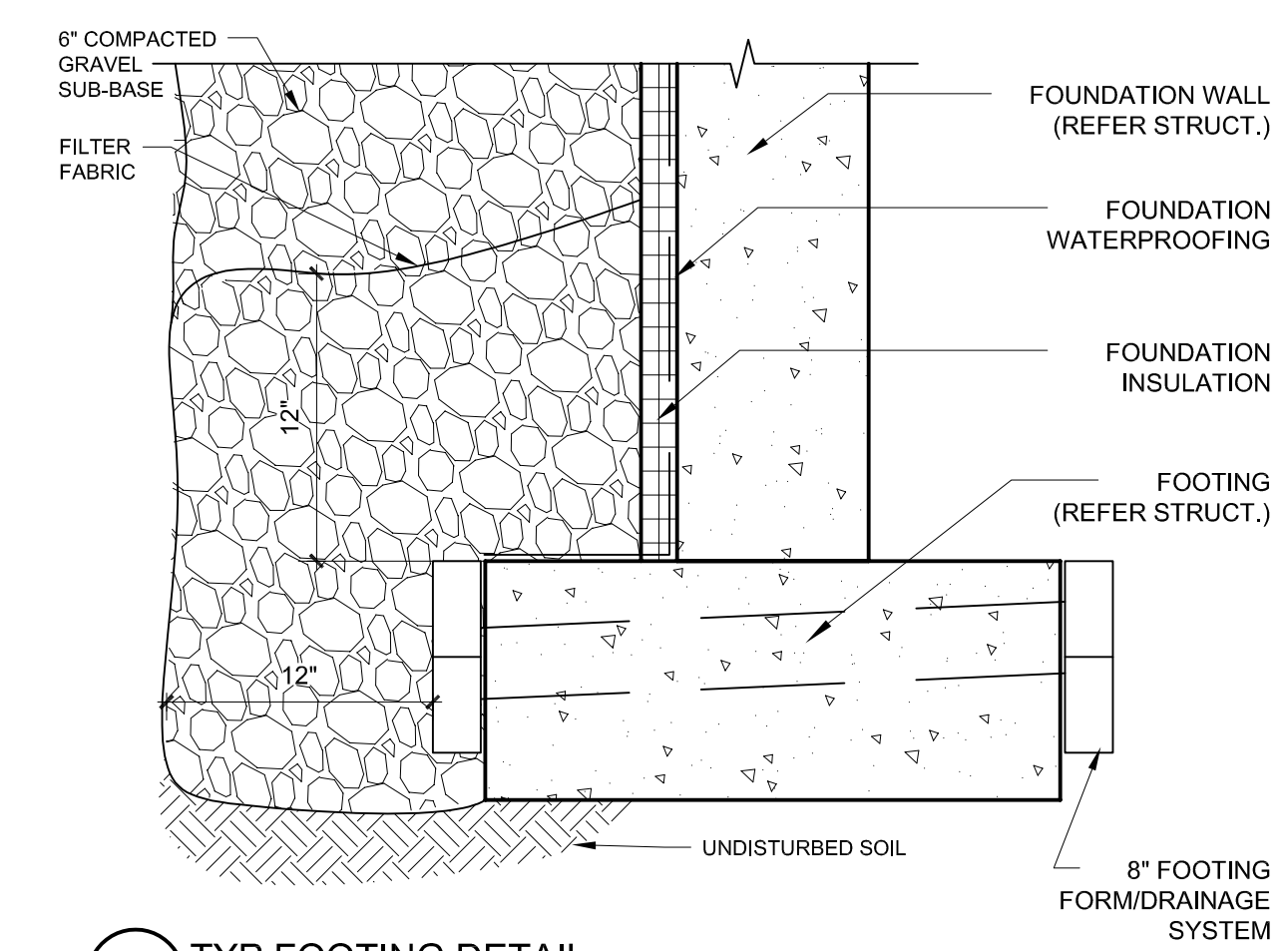


3 WATERTABLE AT ADDITION
3/8" = 1'-0"

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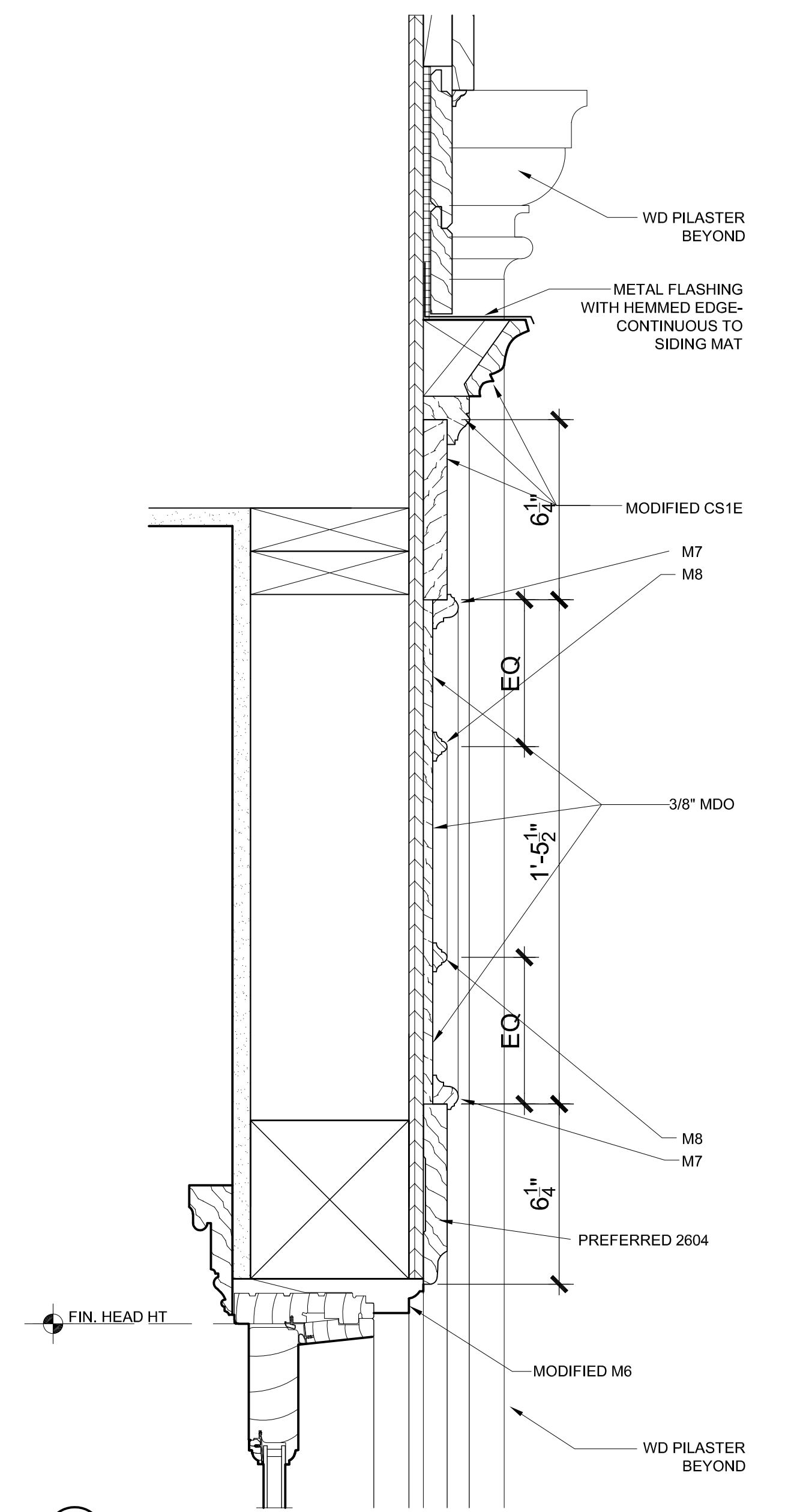


2 TYP. EXTERIOR WALL @ WOOD SIDING
1 1/2" = 1'-0"

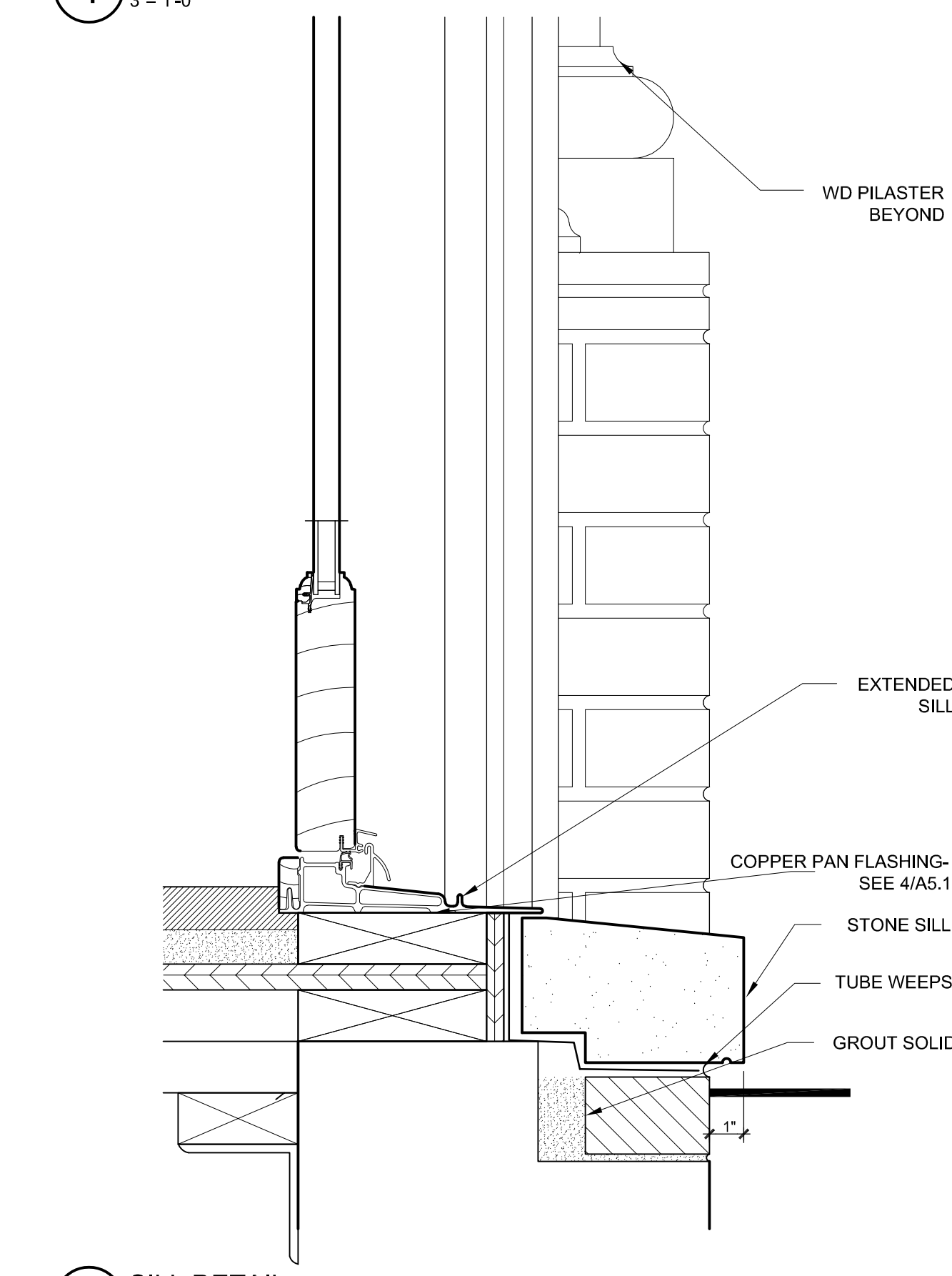


1 TYP FOOTING DETAIL
1 1/2" = 1'-0"

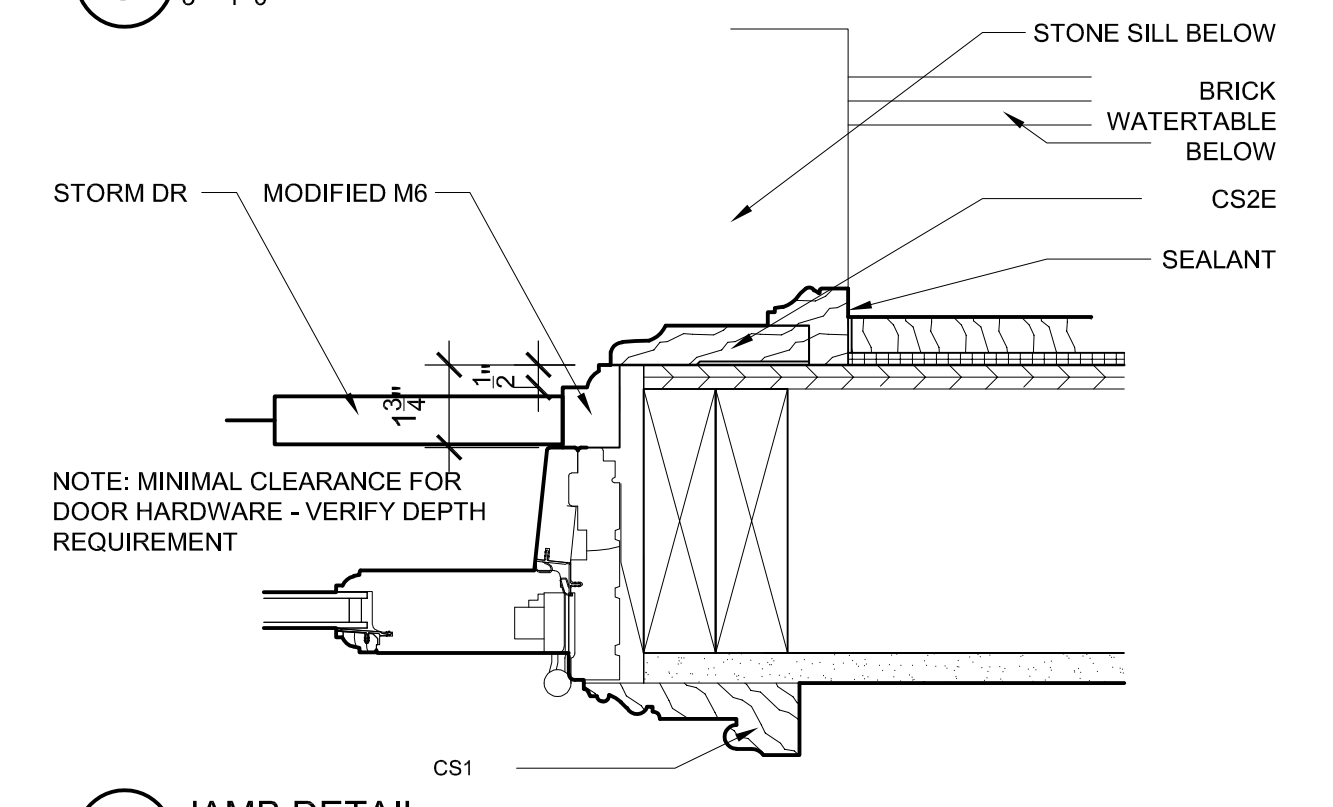
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By Tim Askin-HPC at 10:37 am, Nov 06, 2018



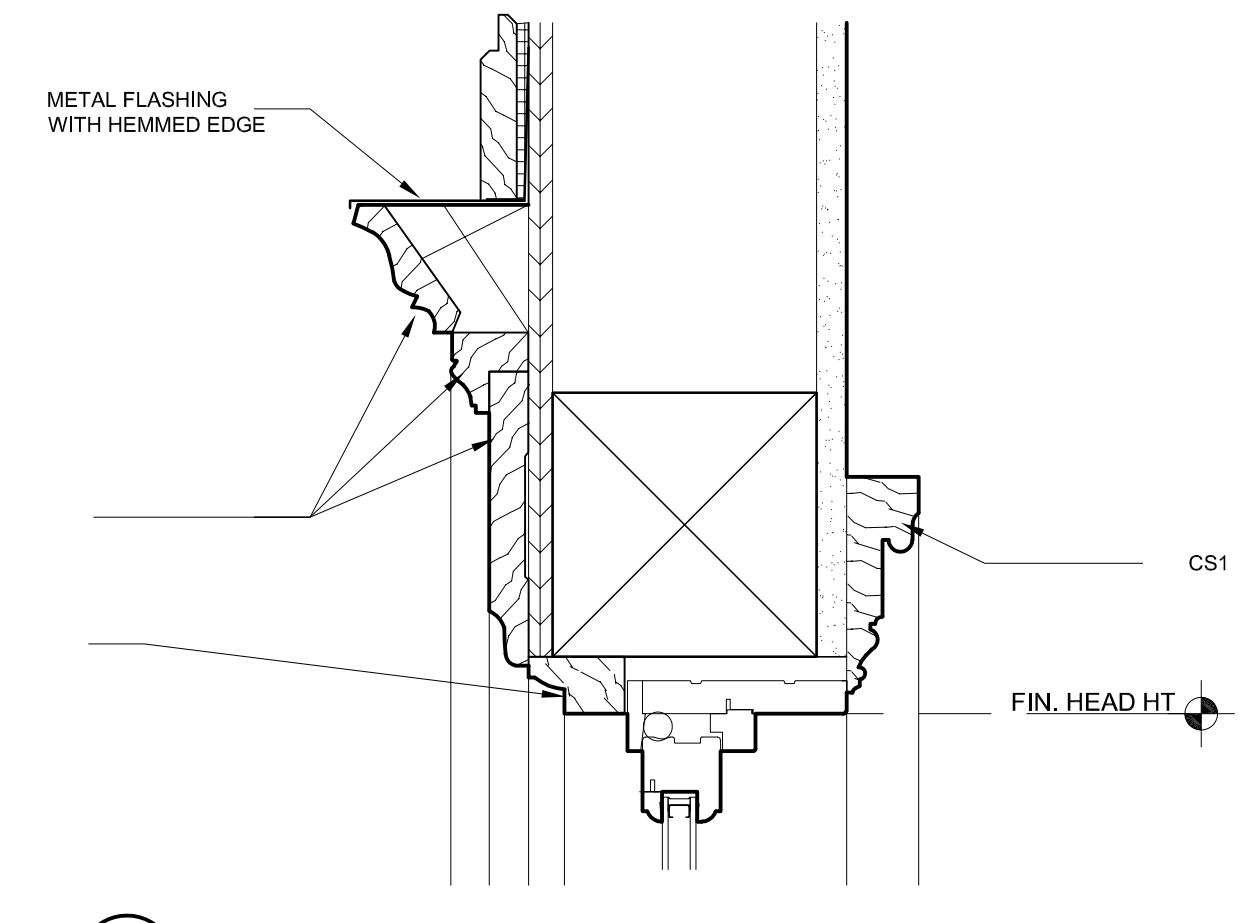
4 HEAD DETAIL
3"= 1'-0"



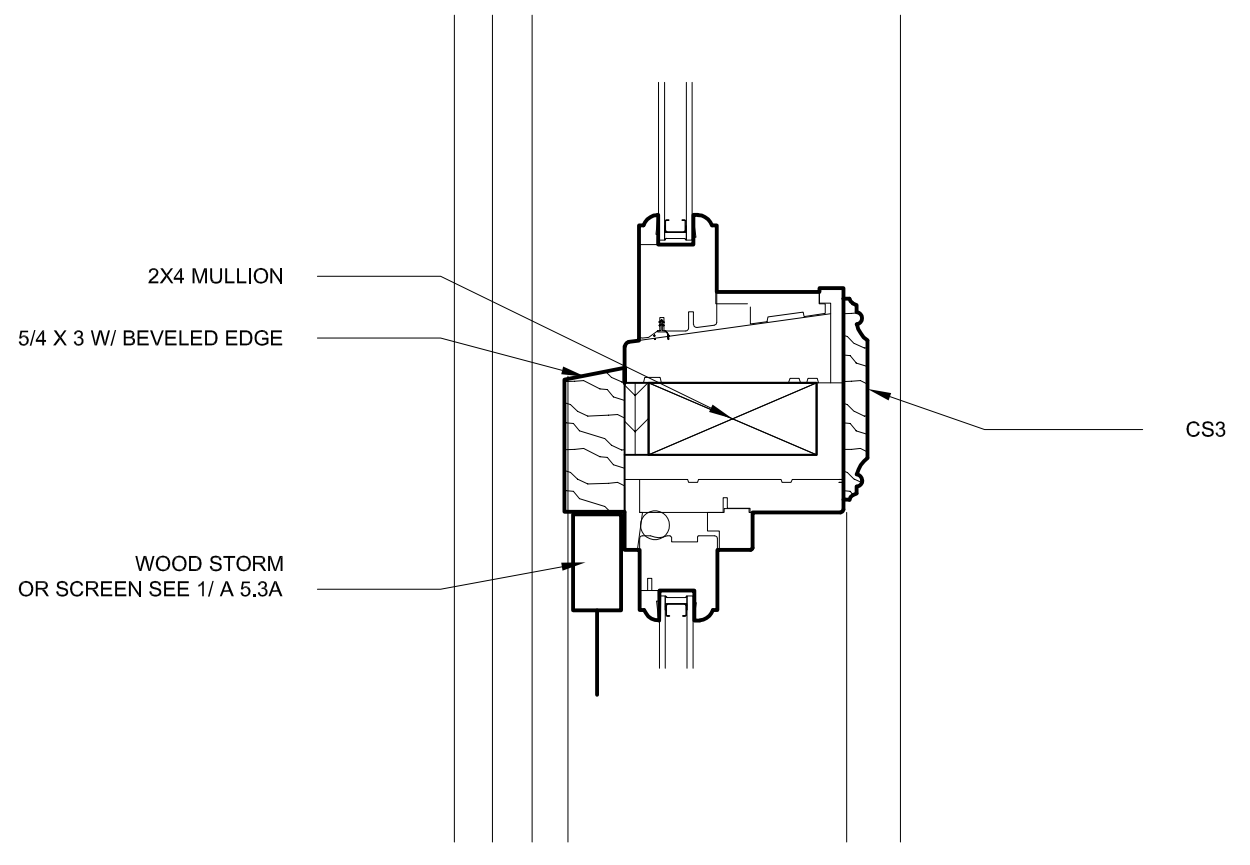
9 SILL DETAIL
3"= 1'-0"



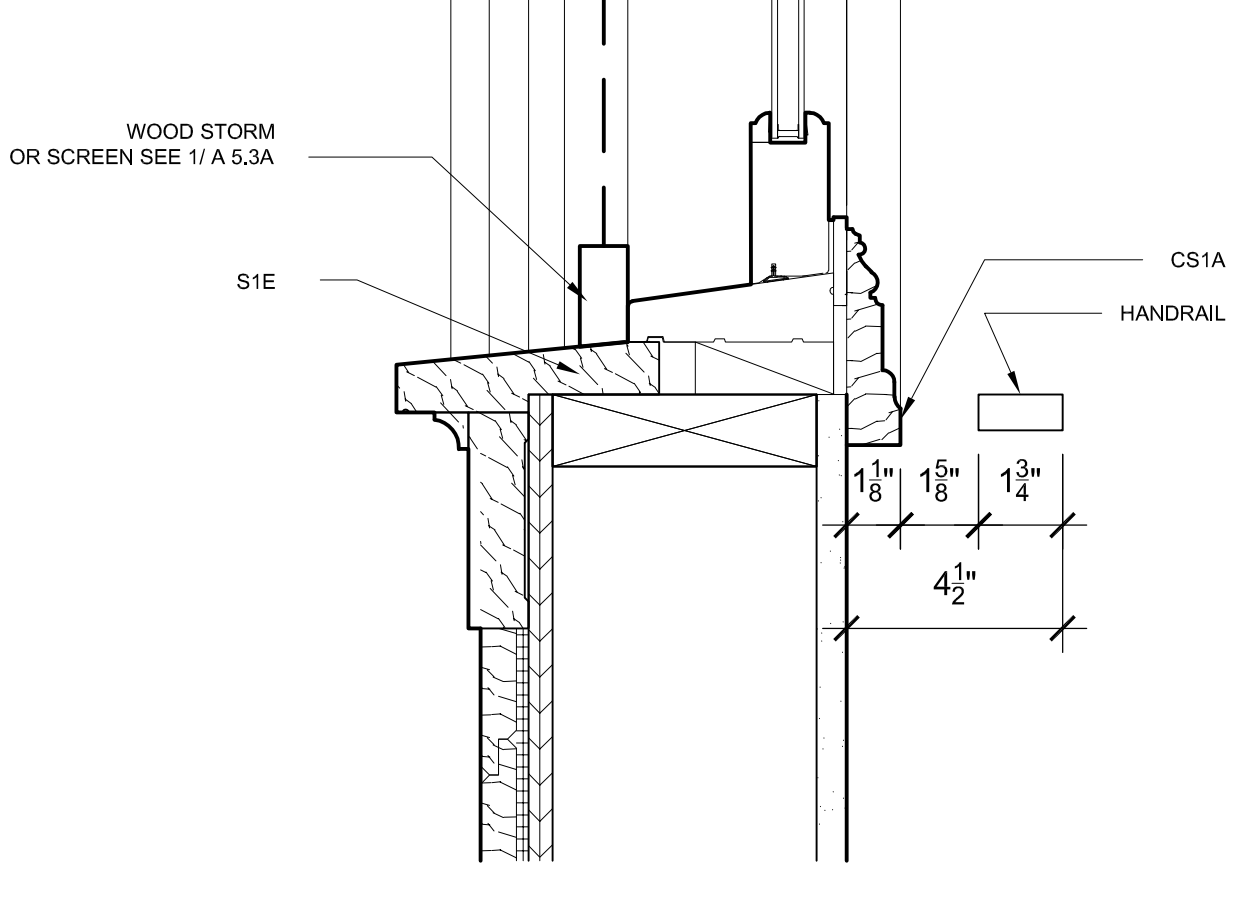
14 JAMB DETAIL
3"= 1'-0"



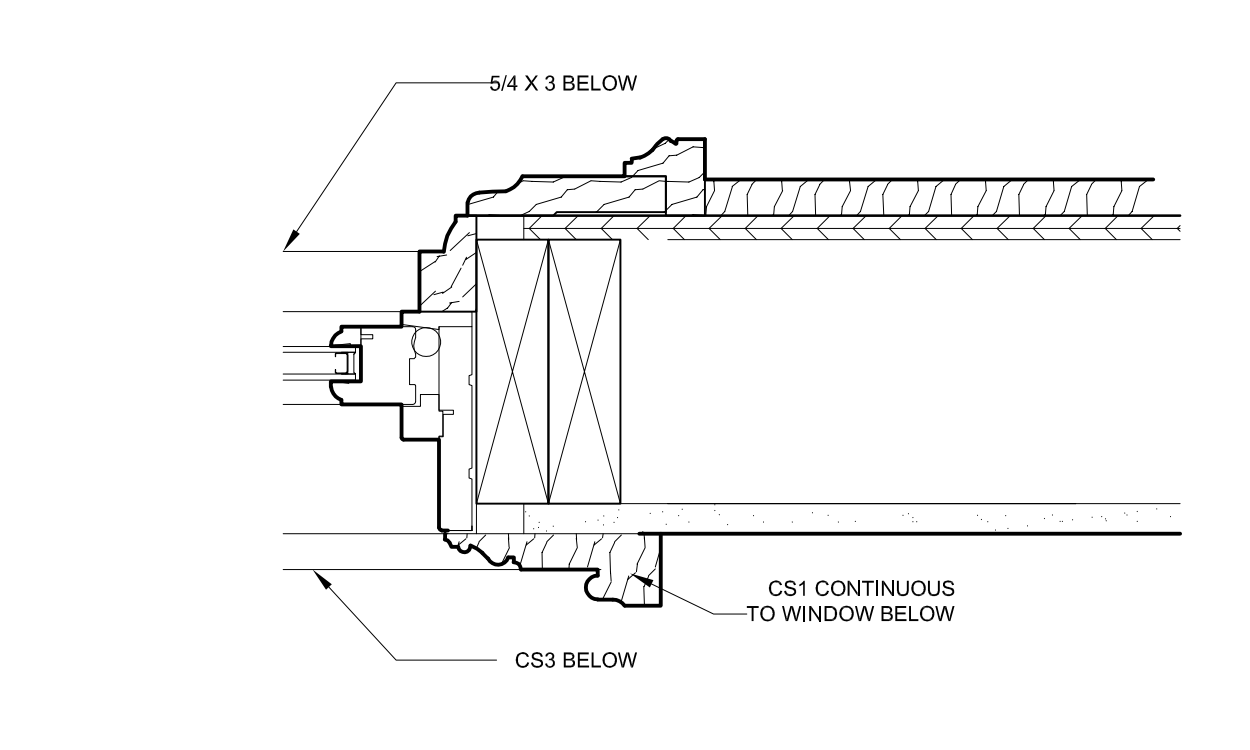
2 HEAD DETAIL
3"= 1'-0"



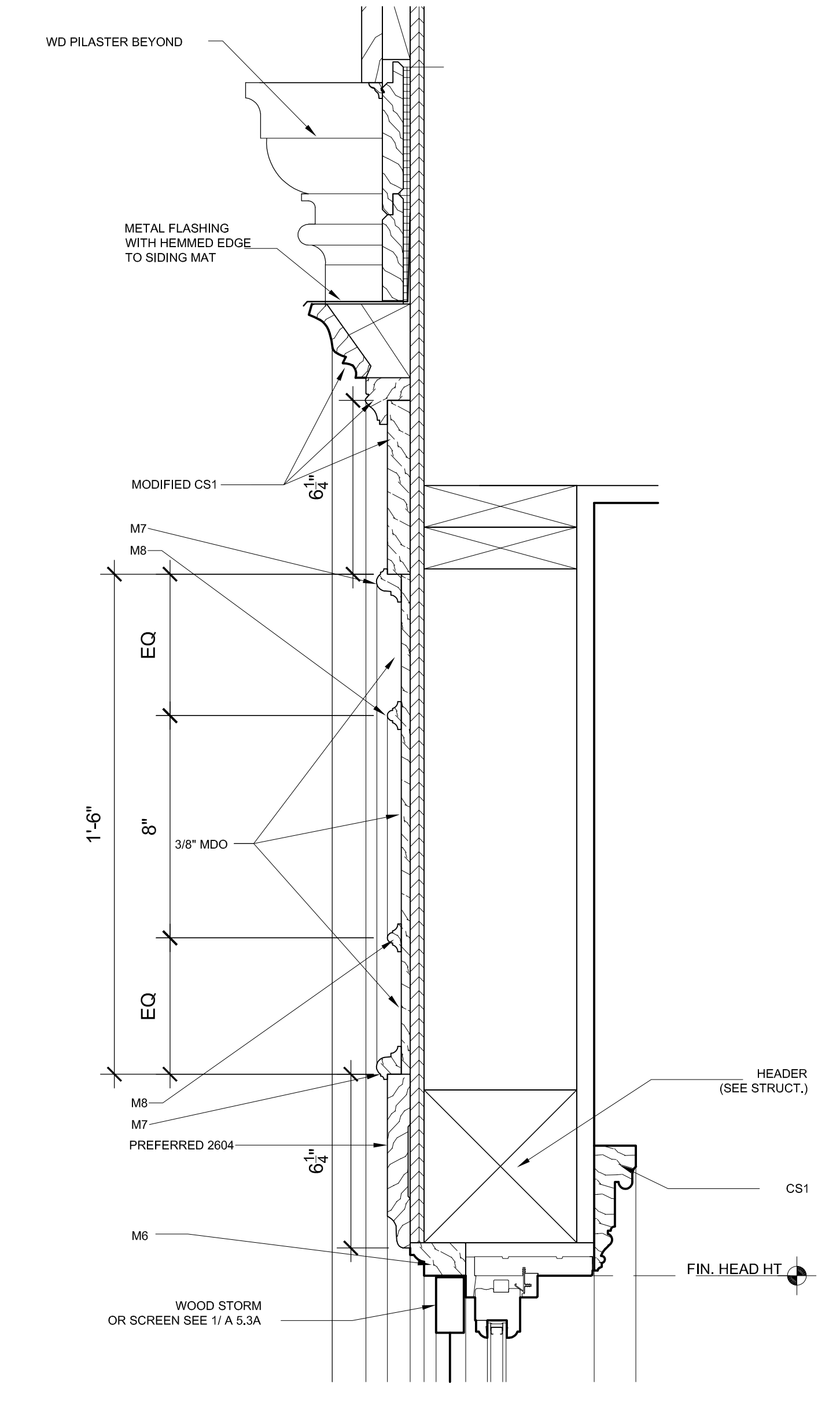
6 MULLION DETAIL
3"= 1'-0"



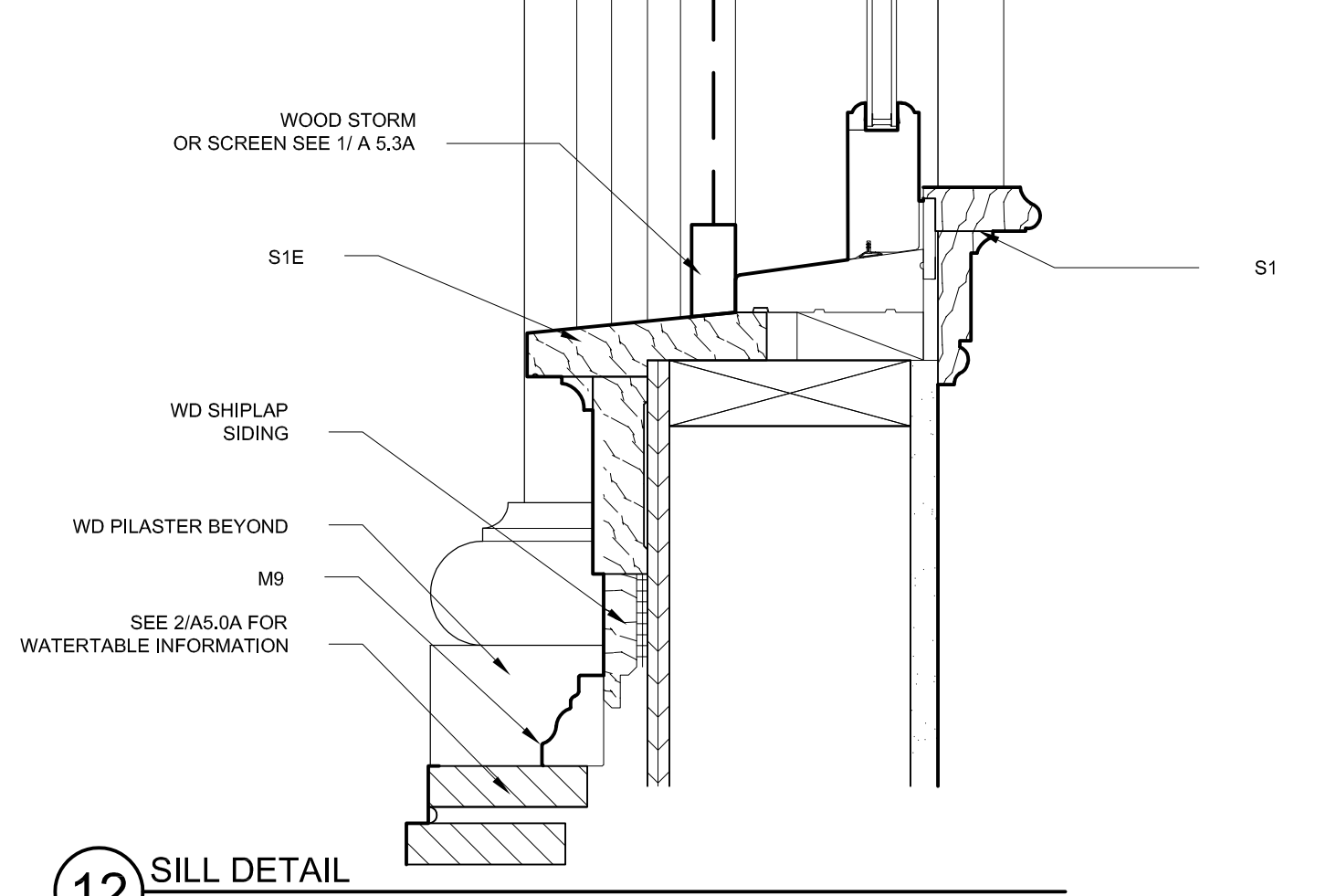
11 SILL DETAIL
3"= 1'-0"



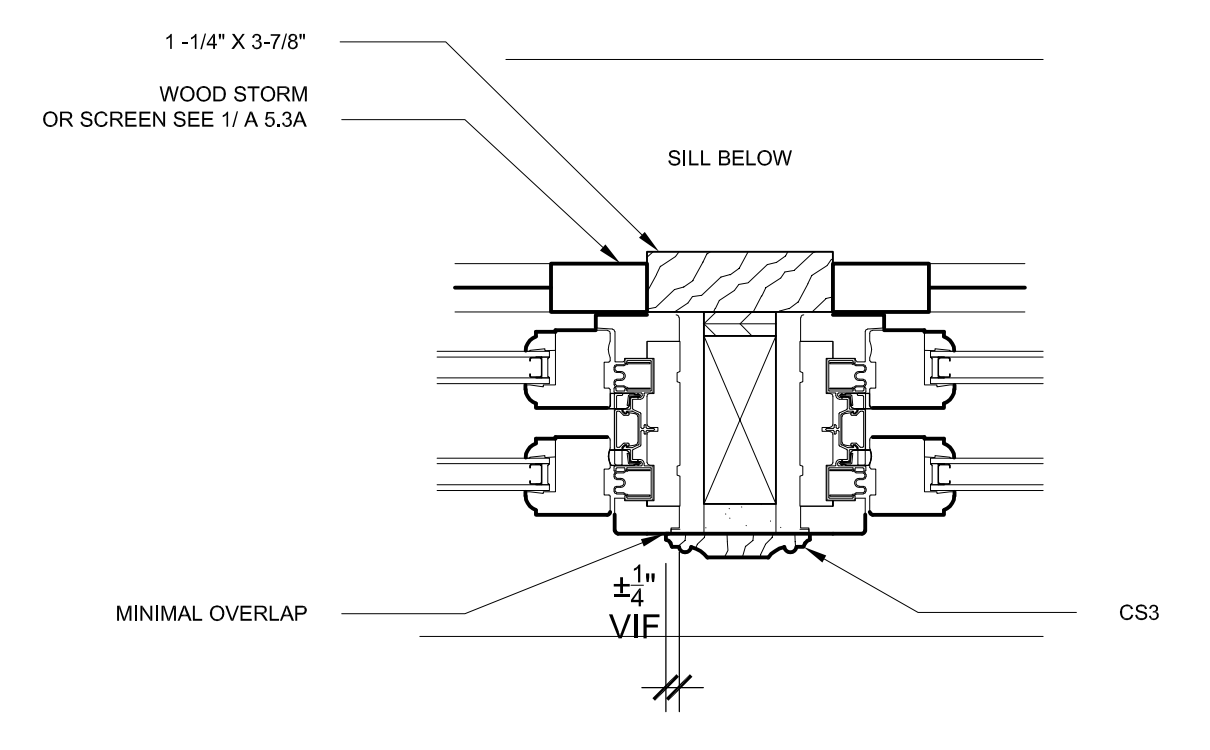
16 JAMB DETAIL
3"= 1'-0"



7 HEAD DETAIL
3"= 1'-0"

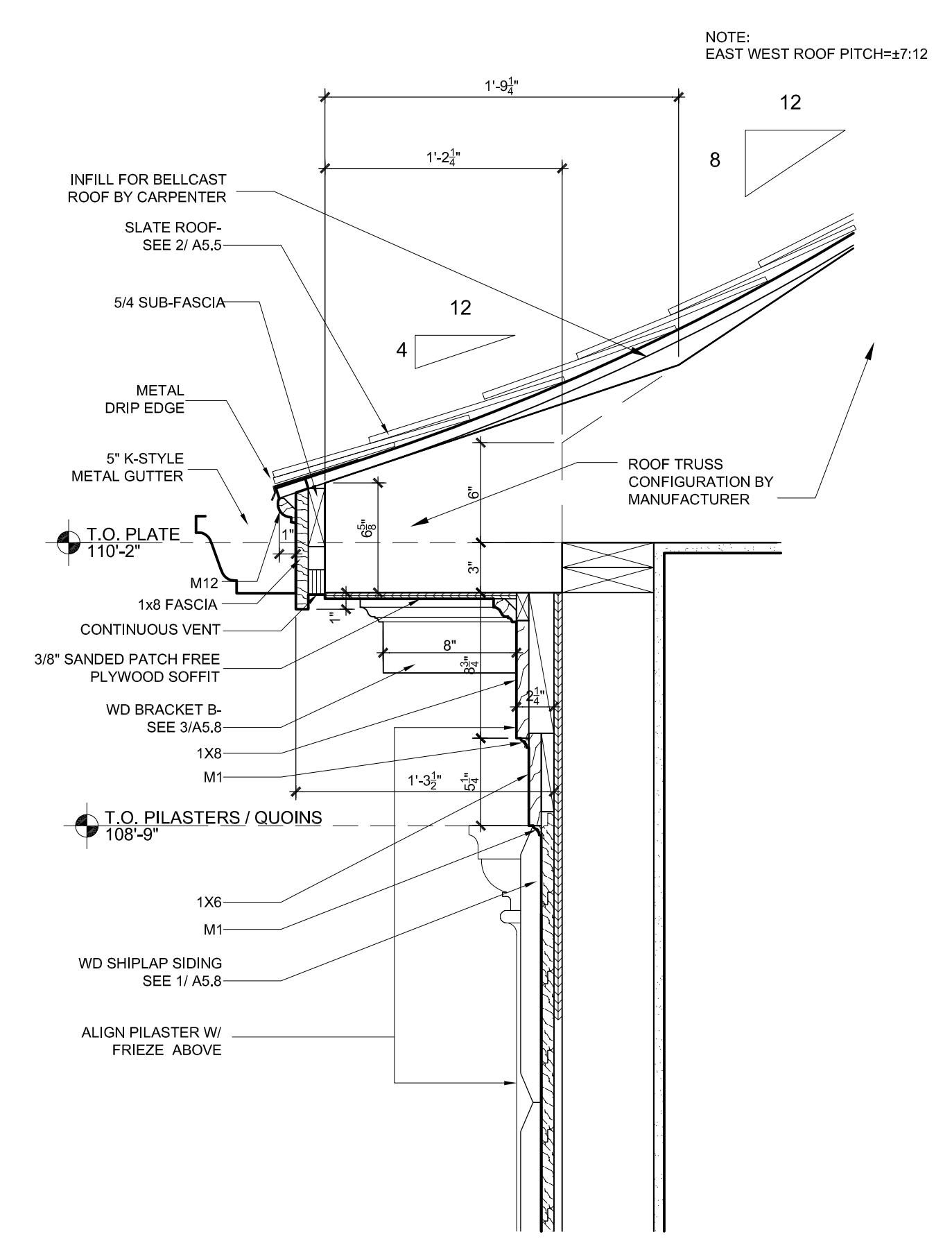


12 SILL DETAIL
3"= 1'-0"

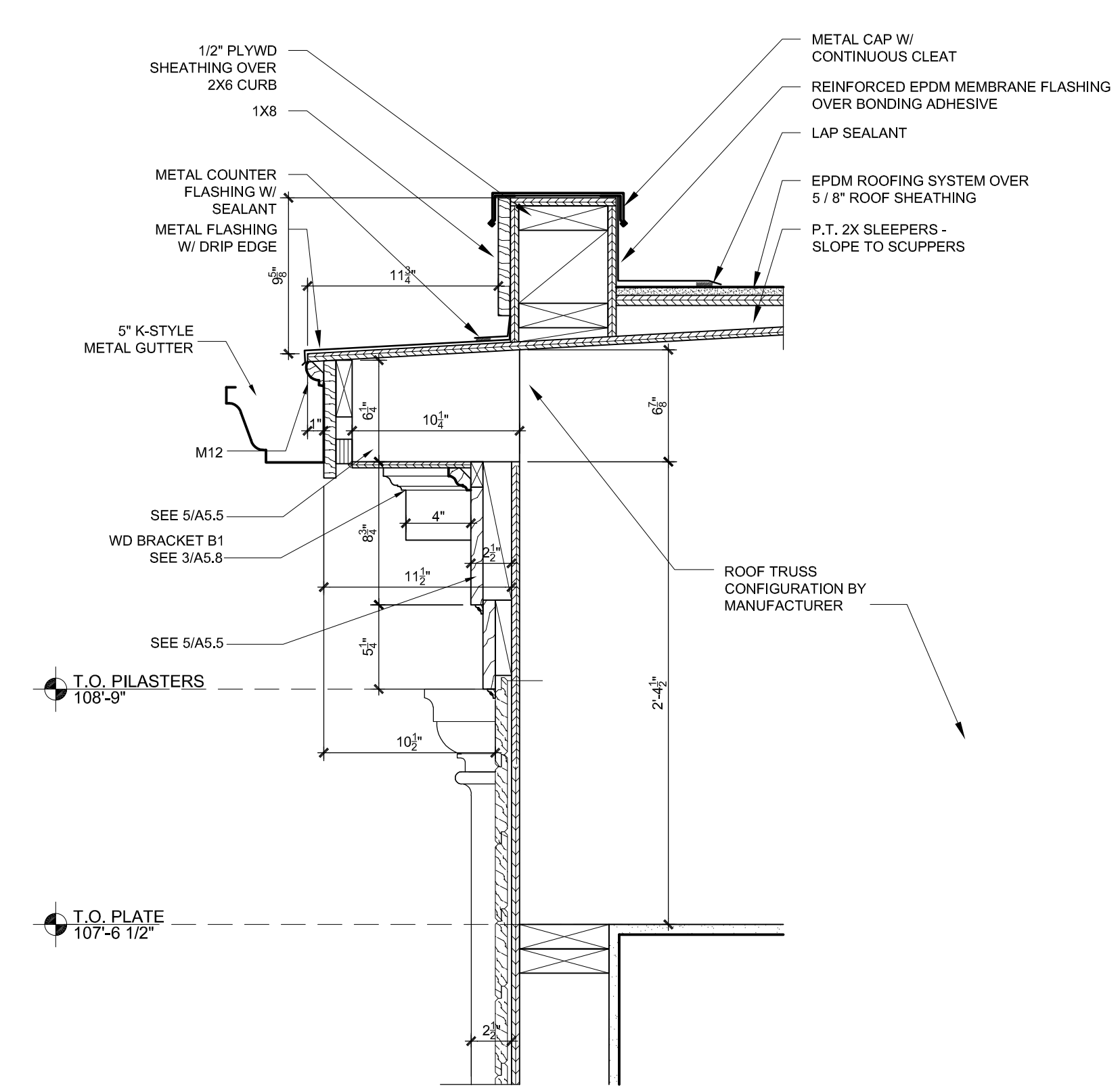


17 MULLED JAMB DETAIL @ SIDING
3"= 1'-0"

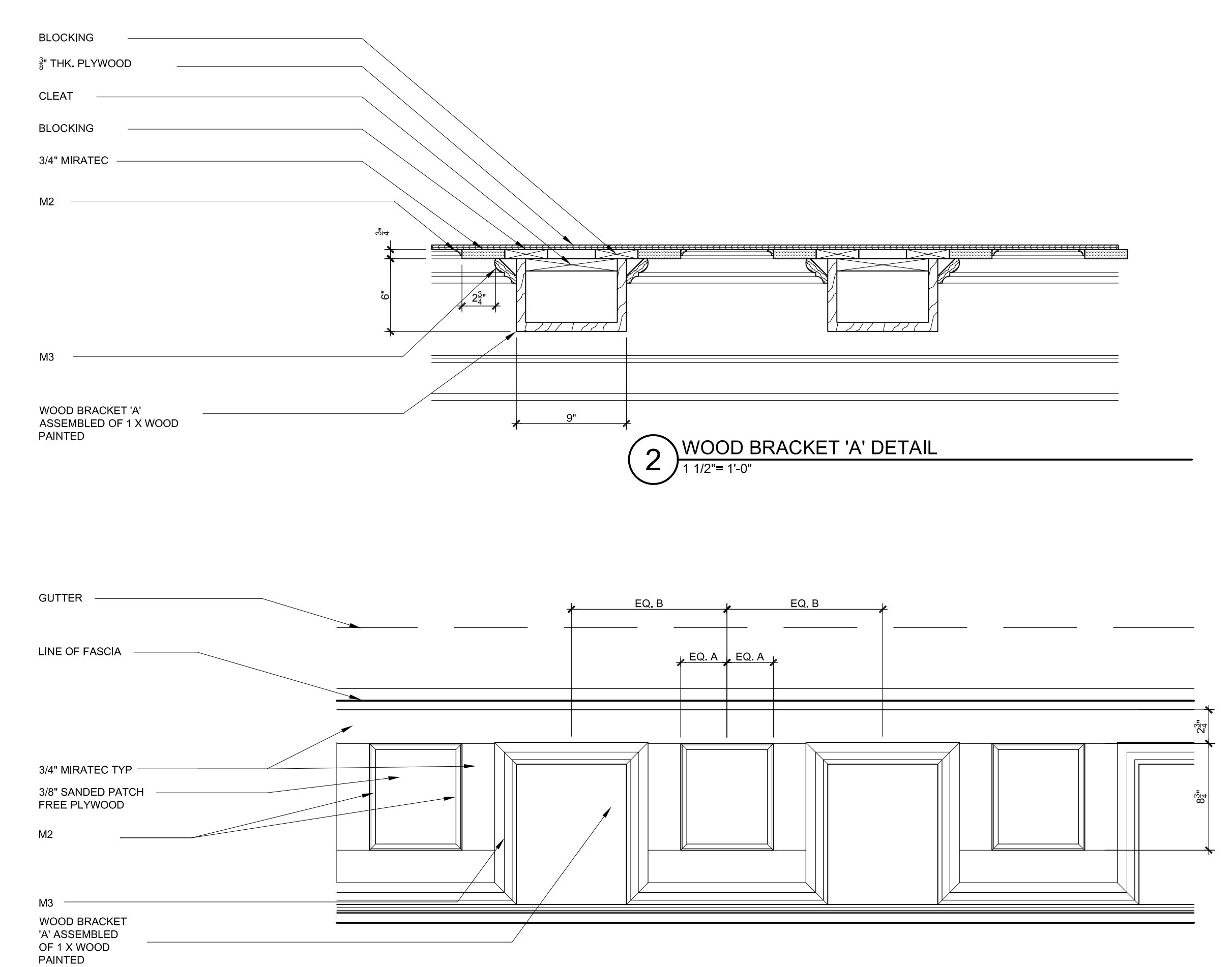
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4 GARAGE EAVE DETAIL
1 1/2" = 1'-0"

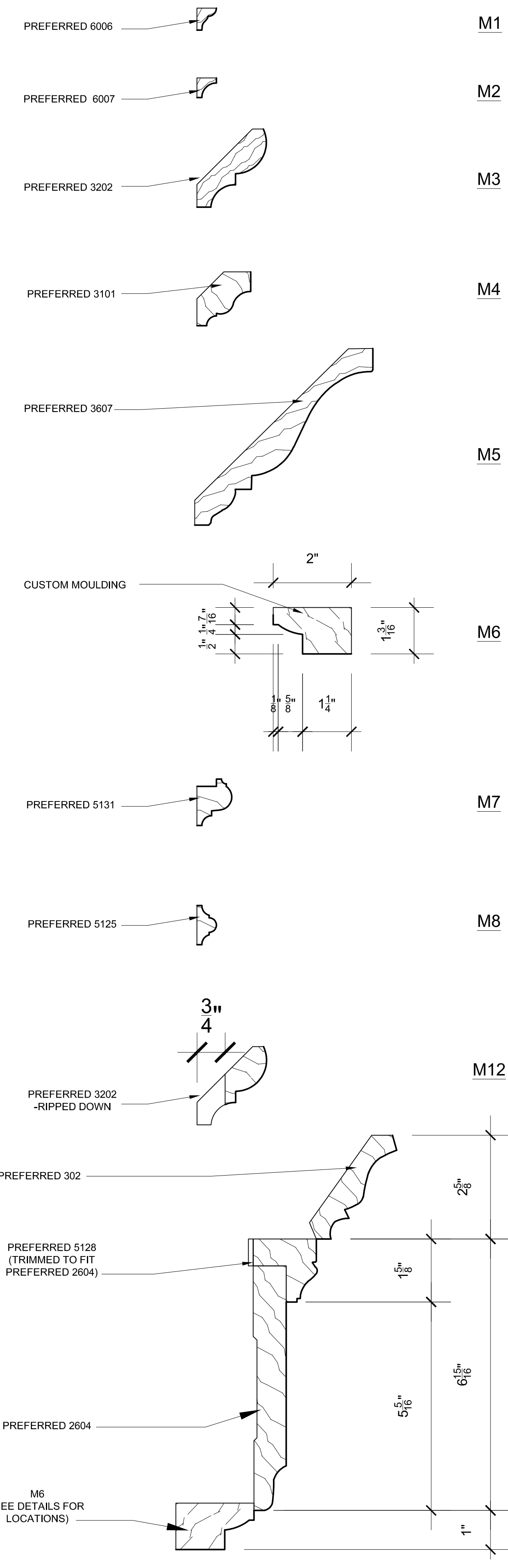


3 MUDROOM EAVE DETAIL
1 1/2" = 1'-0"

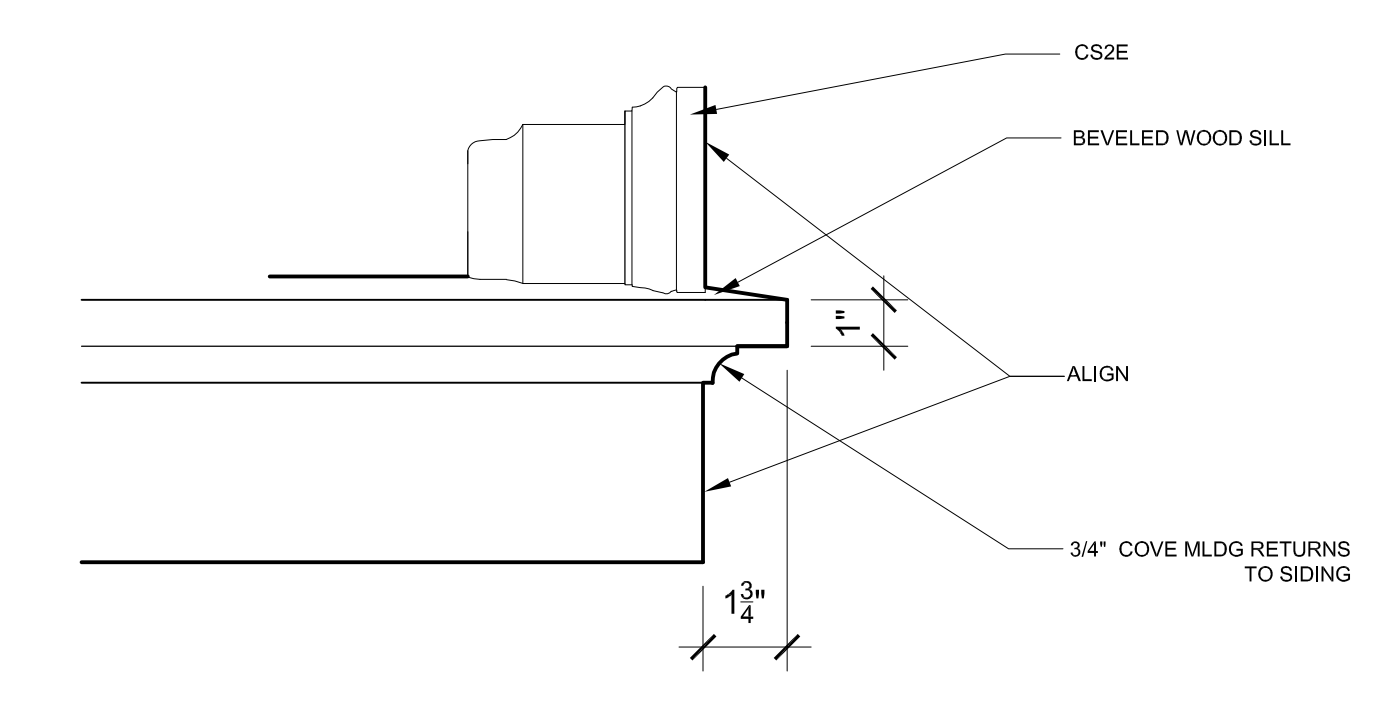
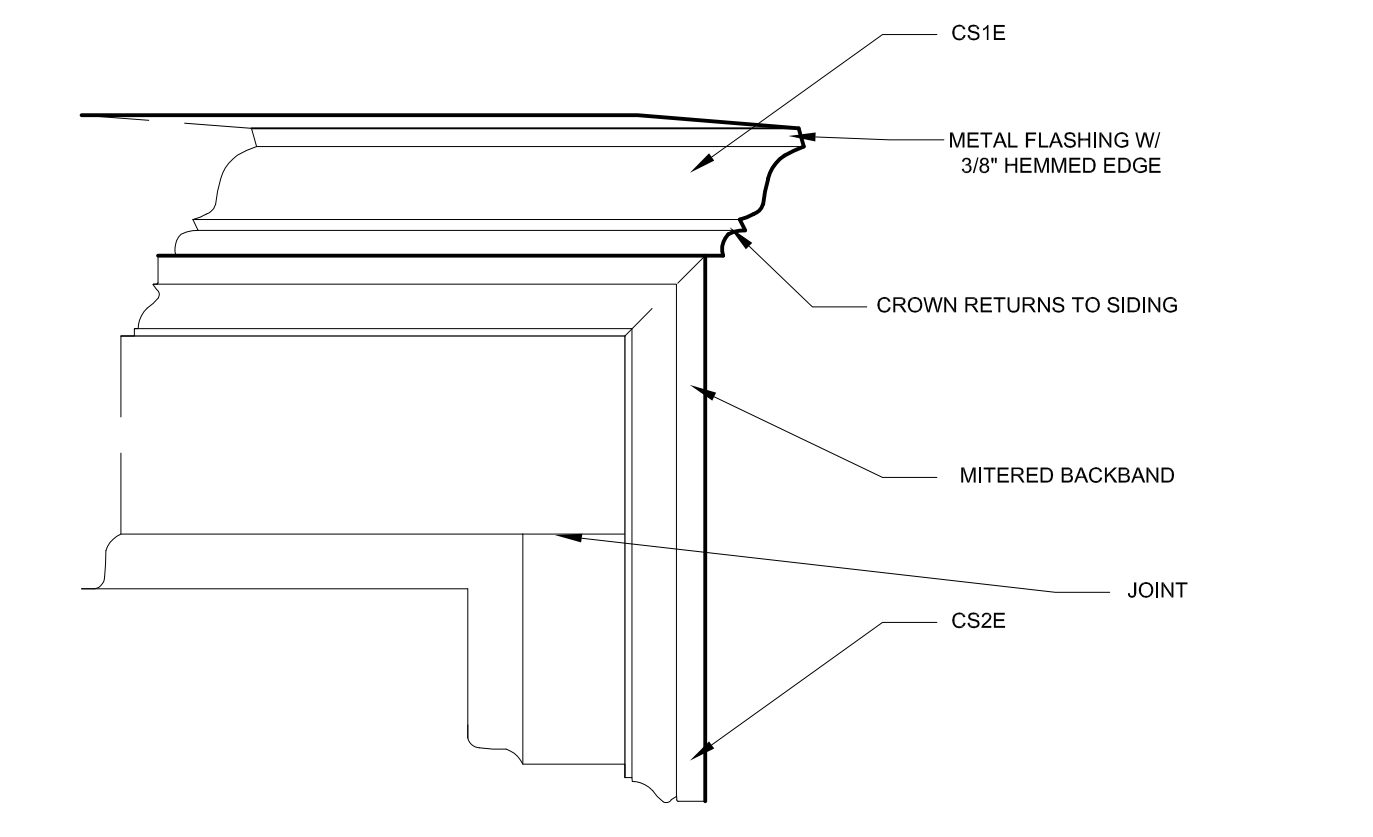
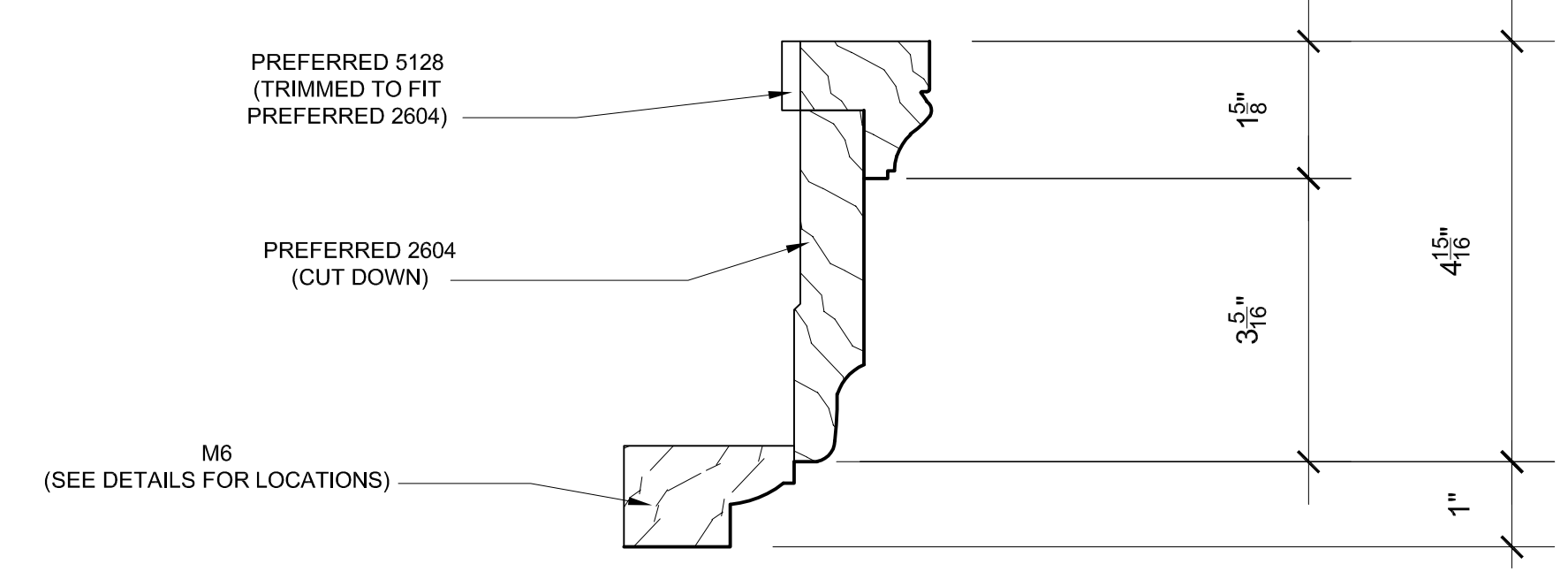
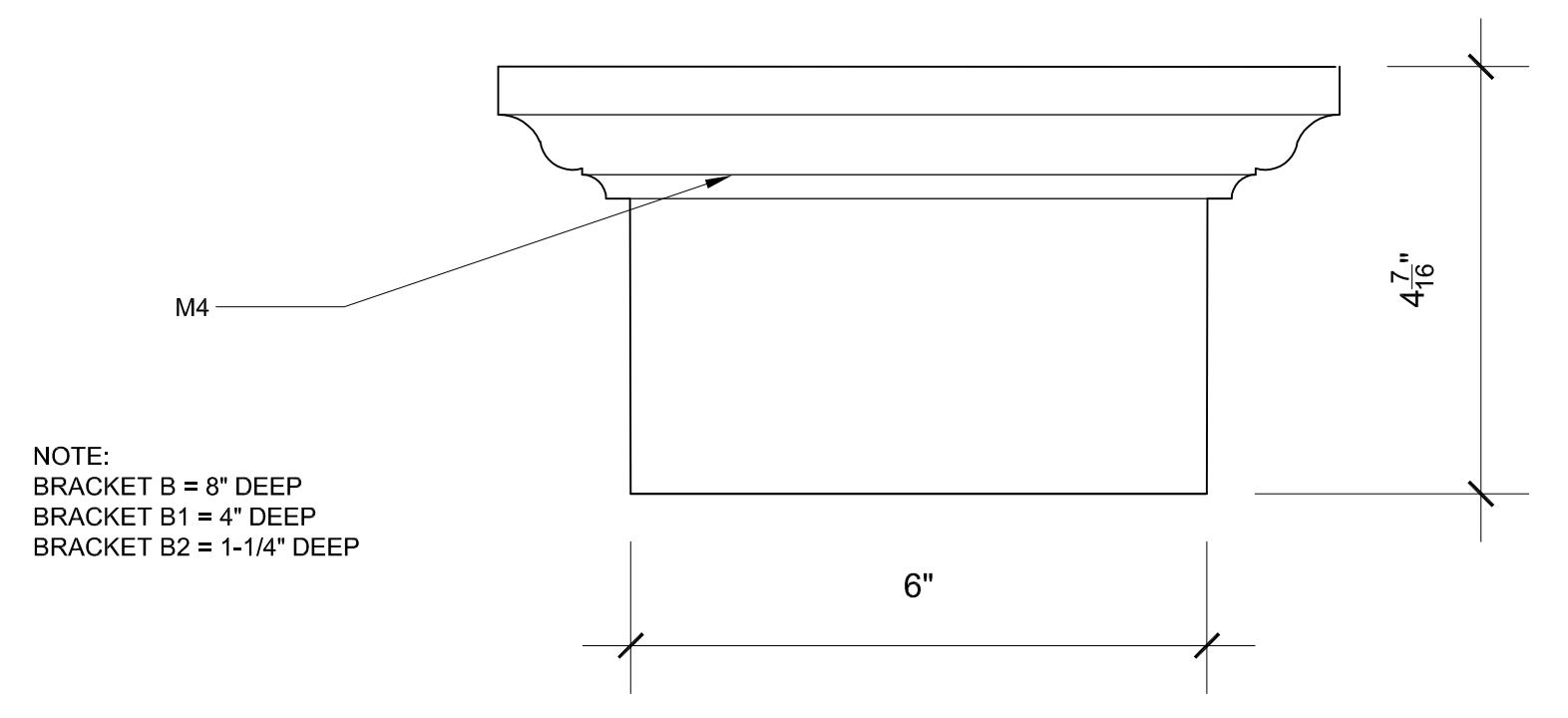
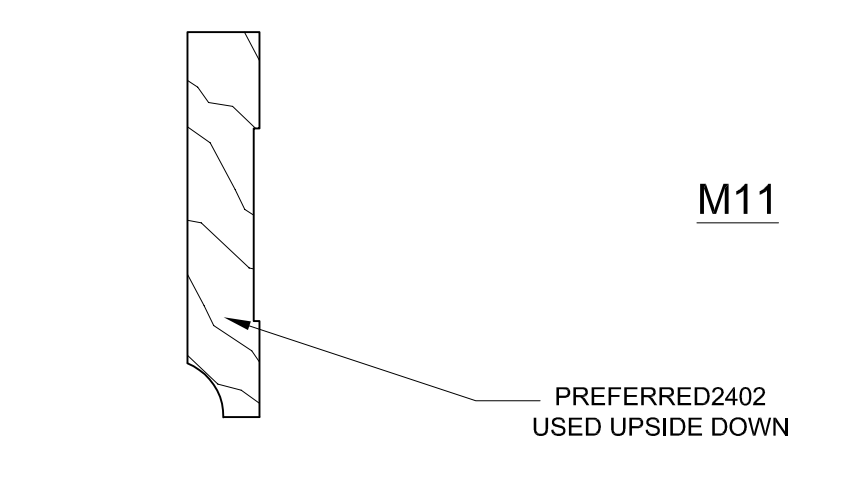
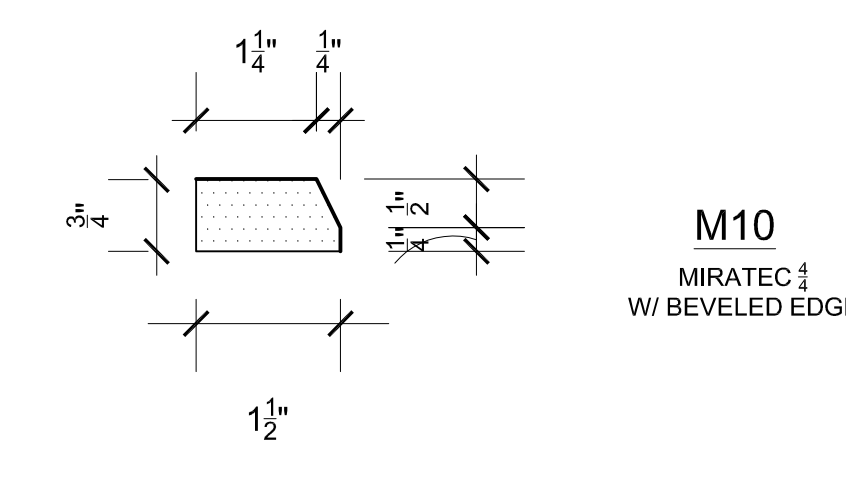
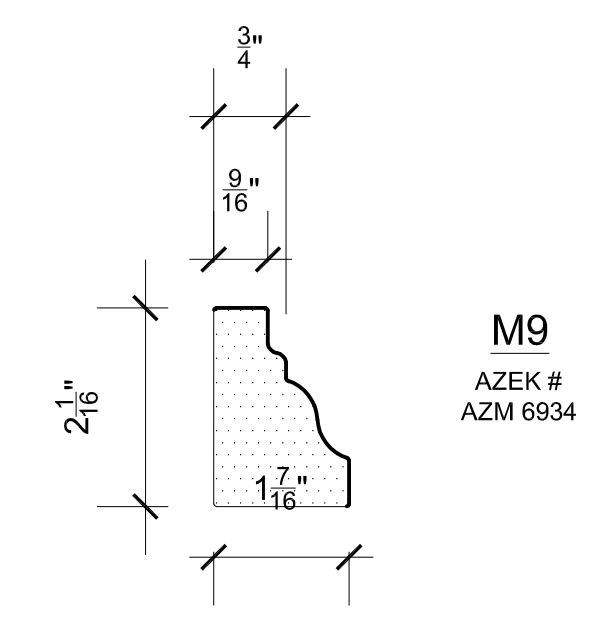


2 WOOD BRACKET 'A' DETAIL
1 1/2" = 1'-0"

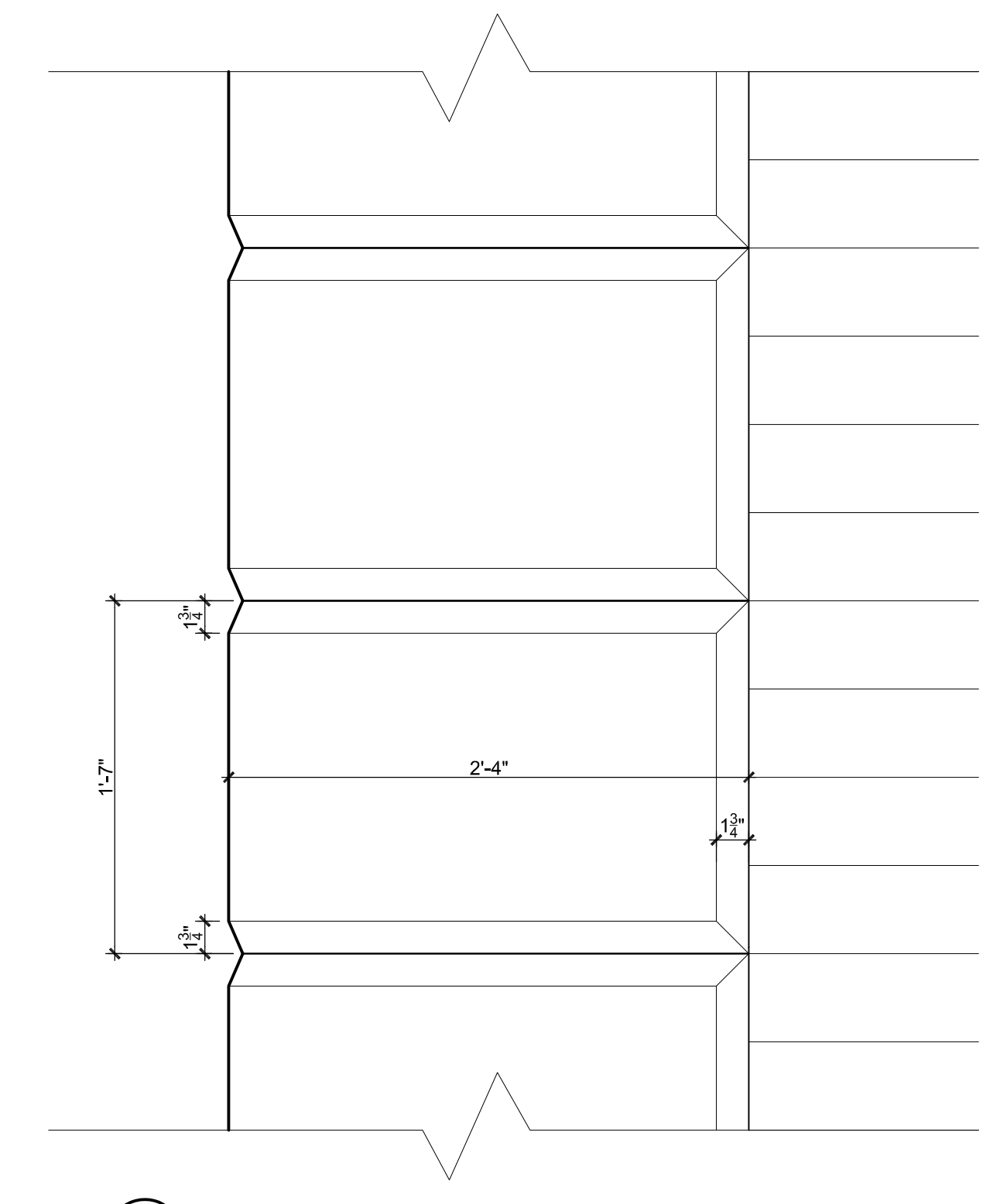
1 COFFER DETAIL
1 1/2" = 1'-0"



M1
M2
M3
M4
M5
M6
M7
M8
M12



1 TYP WINDOW CASING & SILL ELEVATION
3/8" = 1/4"



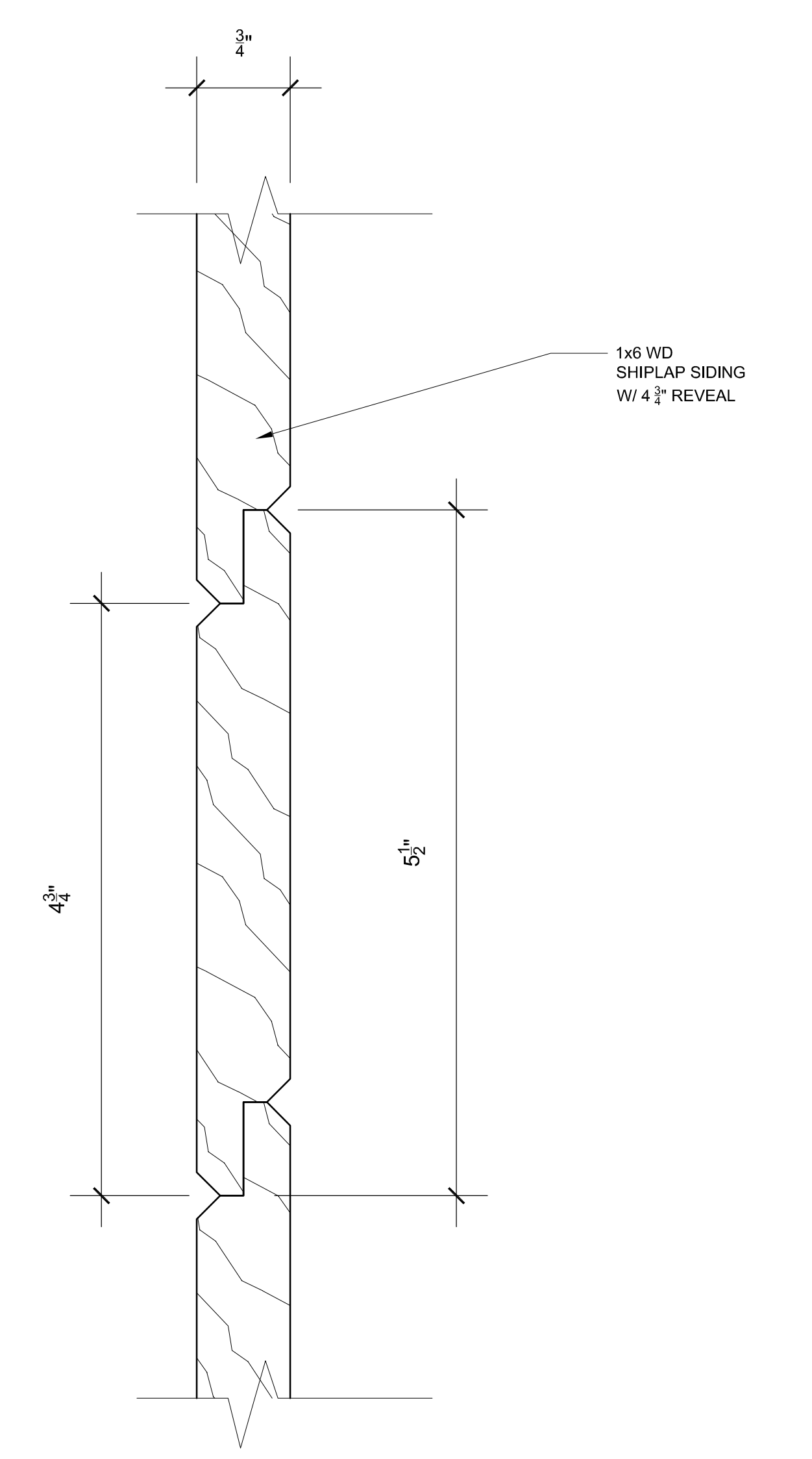
6 STUDY WD QUOIN ELEVATION DETAIL
1 1/2" = 1/4"

APPROVED
By Tim Askin-HPC at 10:37 am, Nov 06, 2018

CS1E: HEAD CASING

CS2E: JAMB CASING

S1E: SILL AND APRON



2 WOOD SIDING
1'-0" = 1/4"

3 EXTERIOR CASING AND SILL PROFILES
6" = 1/4"