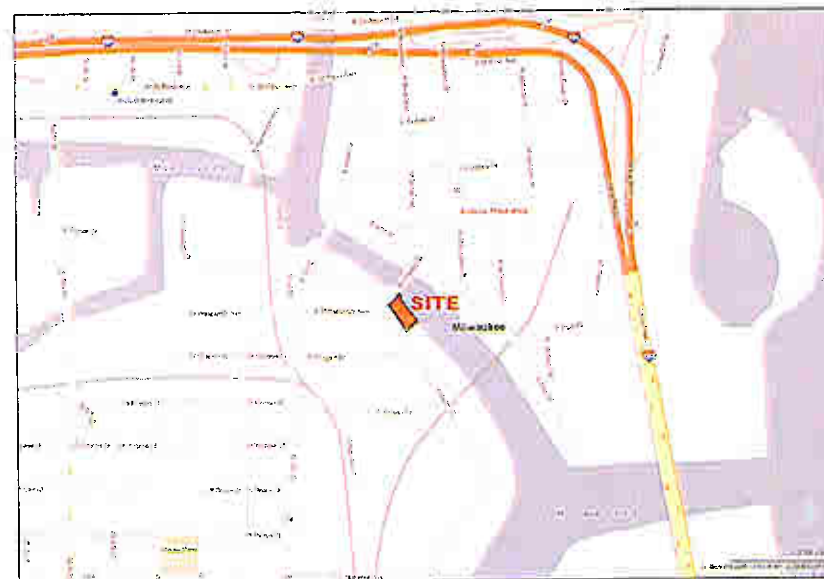


Artist Rendering by Les Leffingwell



VICINITY MAP



SITE AERIAL

RIVIANNA

230-260-290 SOUTH WATER STREET MILWAUKEE, WISCONSIN 53204

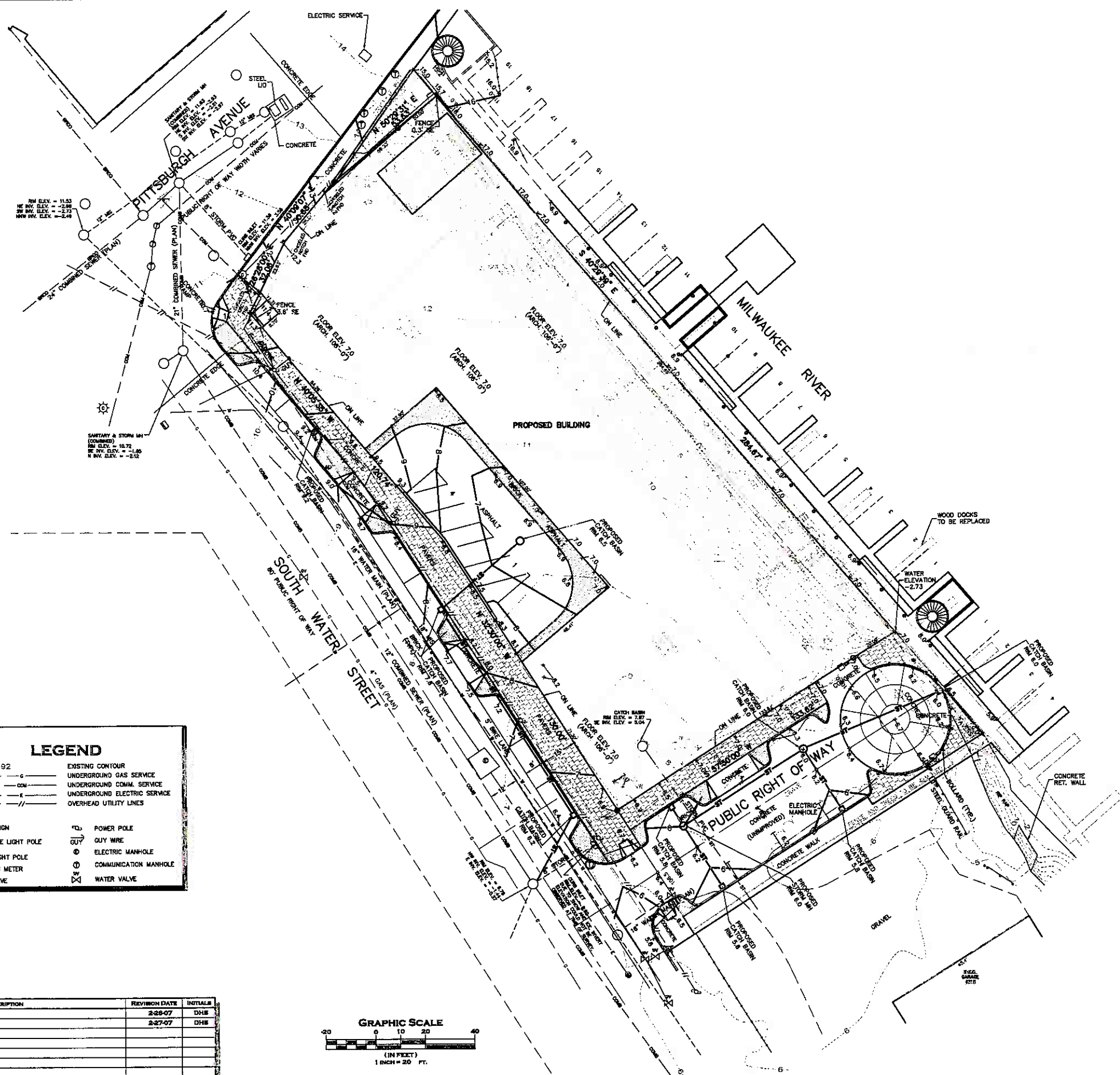
PROJECT TEAM

| | |
|---------------------------------|--|
| DEVELOPER | THE RIVIANNA GROUP, LLC 544 E Ogden Ave. Suite 700-301 Milwaukee, WI 53202 P. 414-434-0948 F. 262-436-1762 |
| LEAD ARCHITECT | 3RD COAST DESIGN CONCEPTS, LLC 544 E Ogden Ave. Suite 700-301 Milwaukee, WI 53202 P. 414-434-0948 F. 262-436-1762 |
| DESIGN CONSULTANT | LANDSCAPE ARCHITECTS, INC. 788 N Jefferson St. Suite 710 Milwaukee, WI 53202 P. 414-224-1030 F. 414-224-8070 |
| CIVIL ENGINEER/ SURVEYOR | CJ ENGINEERING, LLC 13005 W. Bluemound Rd. Suite 250 Brookfield, WI 53005 P. 262-641-2848 F. 262-641-2871 |
| LANDSCAPE ARCHITECT | LANDSCAPE ARCHITECTS, INC. 788 N Jefferson St. Suite 710 Milwaukee, WI 53202 P. 414-224-1030 F. 414-224-8070 |
| GENERAL CONTRACTOR | VJS CONSTRUCTION SERVICES, INC. W233 N2847 Roundy Circle West Pewaukee, WI 53072 P. 262-542-9000 F. 262-542-1371 |

SHEET INDEX

| | | | |
|------|---------------------------------------|------|---------------------|
| C0.0 | TITLE SHEET | A5.0 | COMMERCIAL SIGNAGE |
| C1.0 | SITE SURVEY | A5.1 | AWNING SIGNAGE |
| C2.0 | SITE PLAN/ GROUND FLOOR PLAN | A5.2 | DEVELOPMENT SIGNAGE |
| C3.0 | GRADING PLAN | A5.3 | LEGIBILITY SIGNAGE |
| C4.0 | UTILITY PLAN | | |
| C5.0 | EROSION CONTROL PLAN | | |
| L1.0 | LANDSCAPE/ ROOF GARDEN PLAN | | |
| A0.0 | MASSING CONCEPT | | |
| A1.0 | NORTH/ WEST ELEVATION | | |
| A1.1 | SOUTH/ EAST ELEVATION | | |
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| A3.0 | SECTIONS | | |
| A4.0 | DETAIL RENDERINGS | | |
| A4.1 | ARTIST RENDERINGS | | |





LEGAL DESCRIPTION
 THAT PART OF LOT 2 AND ALL OF LOTS 3, 4, 5, 6, AND 7 IN BLOCK 5A, IN SUBDIVISION OF LOTS 3 AND 5 IN SECTION 33, IN TOWNSHIP 7 NORTH, RANGE 22 EAST LYING SOUTHWESTERLY OF THE SOUTHEASTERLY LINE OF WEST PITTSBURGH AVENUE, EXCEPTING THEREFROM THAT PART DESCRIBED IN QUIT CLAIM DEED DATED MARCH 7, 1954, BETWEEN CHICAGO AND NORTHWESTERN RAILWAY COMPANY AND THE STATE OF WISCONSIN, BUT INCLUDING ALL SUBMERGED AND OTHER LANDS BETWEEN THE DOCK LINE OF THE MILWAUKEE RIVER AND SAID LOTS AND THOSE PORTIONS OF VACATED SOUTH WATER STREET APPERTAINING TO SAID PROPERTY, IN THE CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN.

- NOTES**
- SUBJECT PROPERTY ZONED: FD, SEE CITY FOR ZONING RESTRICTIONS.
 - LEGAL DESCRIPTION FROM HERITAGE TITLE SERVICES, INC. LETTER REPORT FILE NO. ML-192381 AND PLAT OF SURVEY BY INTERLINE SURVEY SERVICE DATED 5/20/97.
 - THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
 - PORTIONS OF SUBJECT PROPERTY ARE IN THE 100 YEAR FLOOD PLAIN PER FLOOD INSURANCE RATE MAP - COMMUNITY PANEL #550278 0003 B, EFFECTIVE DATE MARCH 1, 1982.
 - PROJECT BENCHMARK - S.W.R.P.C. BENCHMARK, HYDRANT AT NORTHWEST INTERSECTION OF E. MENOMONEE AND E. EARLE ST., FOUND CHISEL CROSS IN TOP OF S. SIDE HYDRANT FLANGE, ELEVATION: 13.02.
 - SITE BENCHMARK - SANITARY MANHOLE RIM IN THE INTERSECTION OF S. WATER ST. AND PITTSBURGH AVE. SOUTHWEST OF CONCRETE ISLAND, ELEVATION: 11.83.
 - ELEVATIONS BASED ON INFORMATION FROM S.W.R.P.C. AND CITY OF MILWAUKEE AND ARE AT CITY OF MILWAUKEE DATUM.

I CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY, AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSIONS OF ALL VISIBLE STRUCTURES THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENTS, IF ANY.
 THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THEREON, WITHIN ONE (1) YEAR FROM DATE THEREOF.

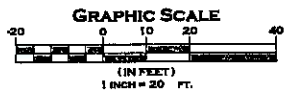
FEBRUARY 5, 2007
 DATE: _____
 MICHAEL J. BERRY, R.L.S.
 REGISTERED LAND SURVEYOR S-2545

PLAT OF SURVEY
 FOR
C.J. ENGINEERING
 236 S. WATER ST.
 MILWAUKEE, WI.

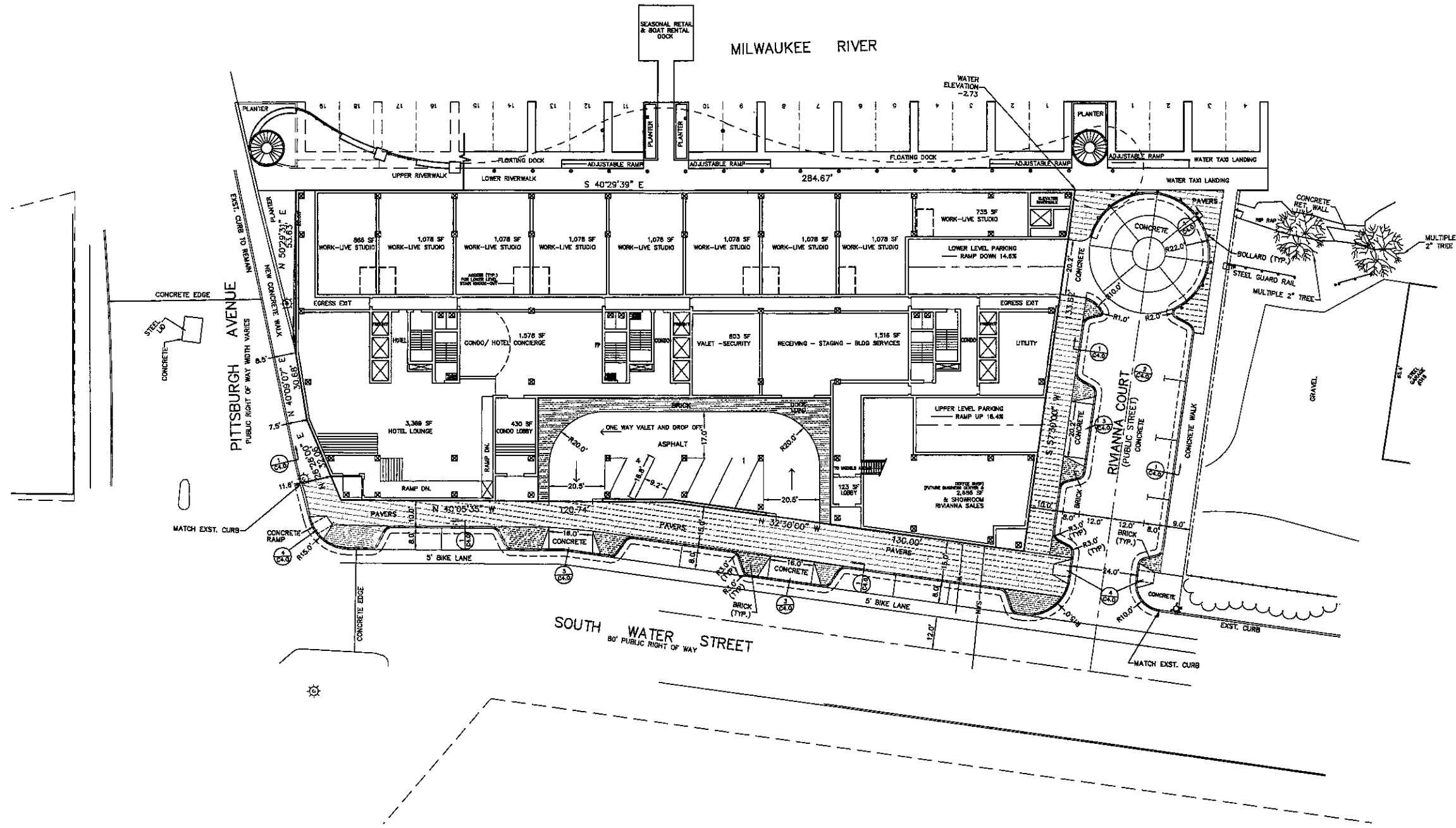
LEGEND

| | |
|-----|------------------------------|
| 92 | EXISTING CONTOUR |
| --- | UNDERGROUND GAS SERVICE |
| --- | UNDERGROUND COMM. SERVICE |
| --- | UNDERGROUND ELECTRIC SERVICE |
| --- | OVERHEAD UTILITY LINES |
| + | METAL SIGN |
| ☉ | CONCRETE LIGHT POLE |
| ☉ | WOOD LIGHT POLE |
| ⊖ | ELECTRIC METER |
| ⊖ | GAS VALVE |
| ⊖ | POWER POLE |
| ⊖ | GUY WIRE |
| ⊖ | ELECTRIC MANHOLE |
| ⊖ | COMMUNICATION MANHOLE |
| ⊖ | WATER VALVE |

| No. | DESCRIPTION | REVISION DATE | INITIALS |
|-----|---------------------------|---------------|----------|
| 1 | ADD TOPO TO SOUTH | 2-28-07 | DHS |
| 2 | ADD PROPOSED IMPROVEMENTS | 2-27-07 | DHS |
| | | | |
| | | | |
| | | | |
| | | | |

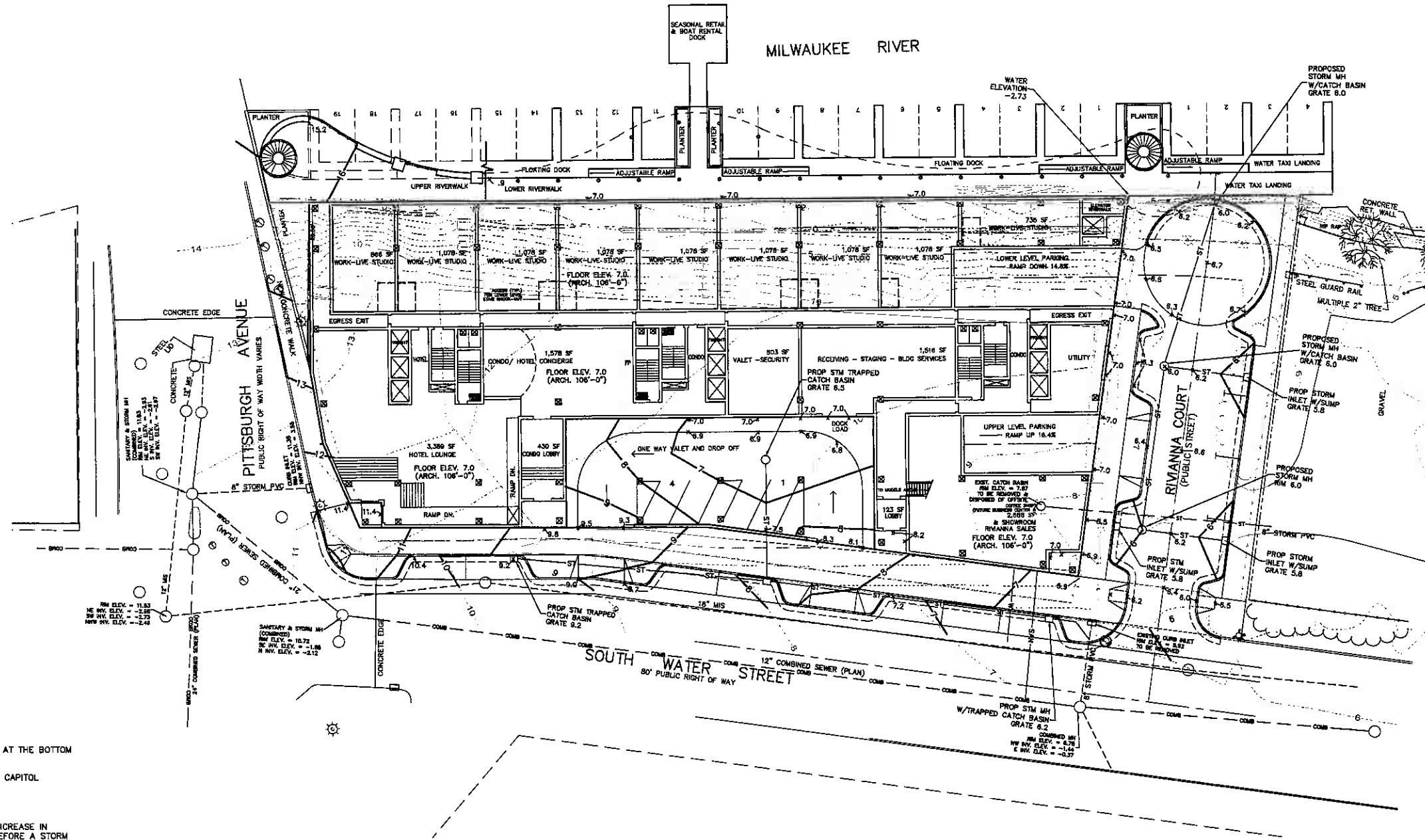


| | | | |
|--------------|--------|--------------|-------------|
| DRAWN BY: | NJF | DATE: | 2-5-07 |
| CHECKED BY: | DHS | DRAWING No.: | S07-011-2-P |
| CSE Job No.: | 07-011 | SHEET: | 1 OF 1 |



NOTES:
 1. FOR DETAILS, SEE SHEET C.A.D. SITE DETAILS
 2. ALL EXISTING CONDITIONS ARE PER THE SURVEY BY CAPITOL SURVEY AND
 ENGINEERING DATED 02-05-07.

SITE PLAN
 1" = 20'-0"

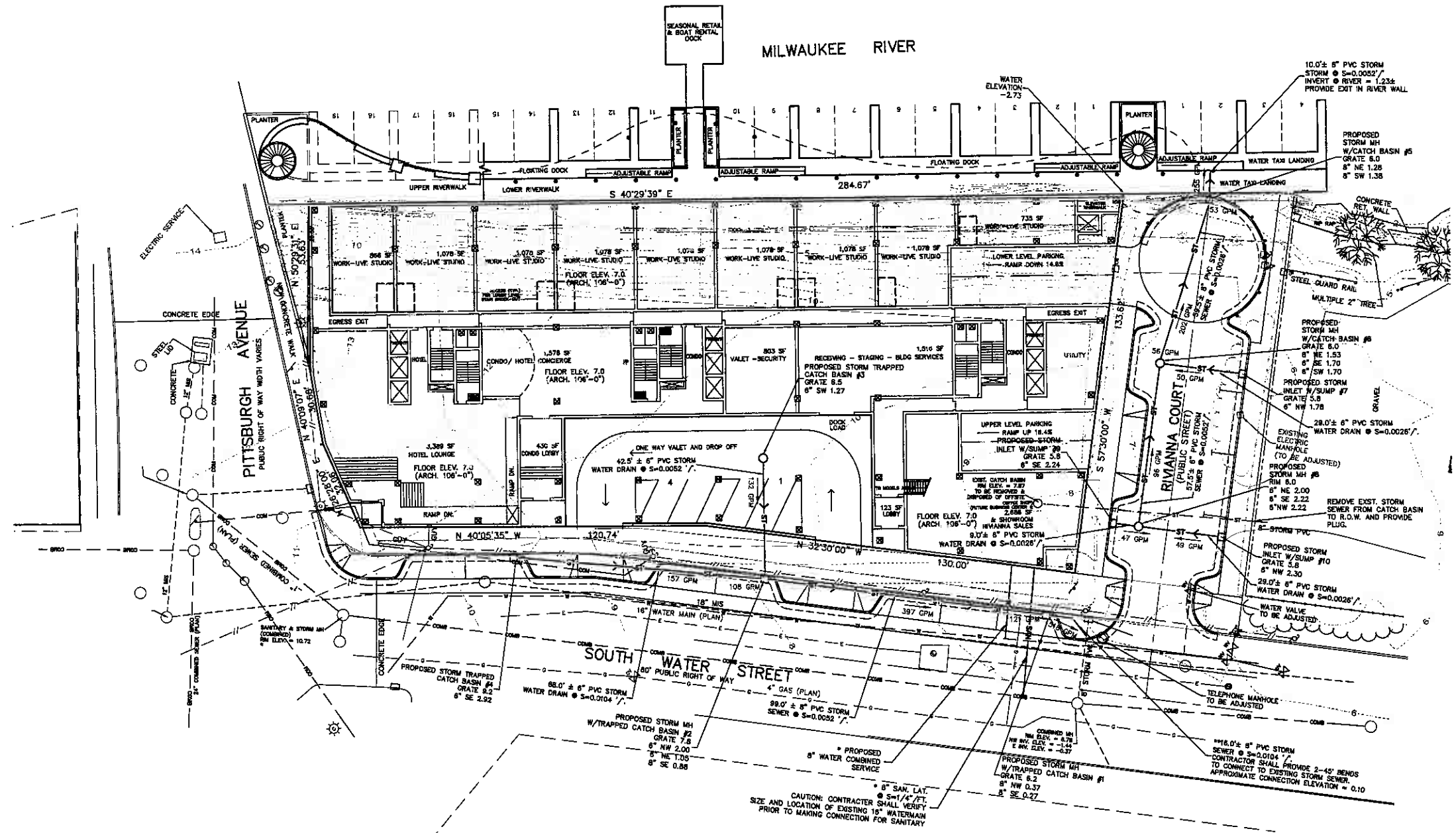
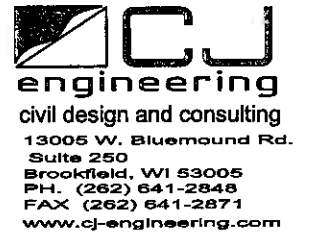


- NOTES:**
1. ALL PROPOSED GRADES ALONG THE CURB ARE AT THE BOTTOM OF THE CURB.
 2. ALL EXISTING CONDITIONS PER THE SURVEY BY CAPITOL SURVEY AND ENGINEERING DATED 02-05-07.
 3. STORM WATER MANAGEMENT REQUIREMENT:
TOTAL SITE AREA EQUALS 0.74 ACRES. TOTAL INCREASE IN IMPERVIOUS SURFACE WILL BE 0.33 ACRES; THEREFORE A STORM WATER MANAGEMENT REPORT IS NOT REQUIRED PER 120-7-2 (2).



| LEGEND | |
|--------|----------------------|
| 12 | EXISTING CONTOUR |
| 10 | PROPOSED CONTOUR |
| x6.5 | PROPOSED ELEVATION |
| ST | PROPOSED STORM SEWER |

GRADING PLAN
1" = 20'-0"



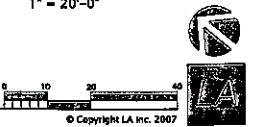
- NOTES:**
1. ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE CITY OF MILWAUKEE REQUIREMENTS.
 2. ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL.
 3. * EXACT SIZE AND LOCATION OF SANITARY AND WATER SERVICE TO PROPOSED BUILDINGS BY PLUMBING CONSULTANT/CONTRACTOR.
 4. PROPOSED WATER MAIN SHALL HAVE A MINIMUM 8 FEET OF COVER.
 5. THE CONTRACTOR SHALL VERIFY ALL SEWER AND WATER CONNECTIONS PRIOR TO UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.
 6. ALL EXISTING CONDITIONS ARE PER THE SURVEY BY CAPITOL SURVEY AND ENGINEERING DATED 02-05-07.
 7. ALL ABOVE AND BELOW GROUND ELECTRICAL UTILITIES IN CONFLICT WITH PROPOSED CONDITIONS SHALL BE REMOVED AND/OR RELOCATED AT THE EXPENSE OF THE DEVELOPER AND IN COORDINATION WITH THE UTILITY COMPANY.
 8. ALL ROOF WATER SHALL BE DIRECTED AND DISCHARGED DIRECTLY TO THE RIVER. EXACT SIZE AND LOCATION OF DISCHARGE BY PLUMBING CONSULTANT/CONTRACTOR.

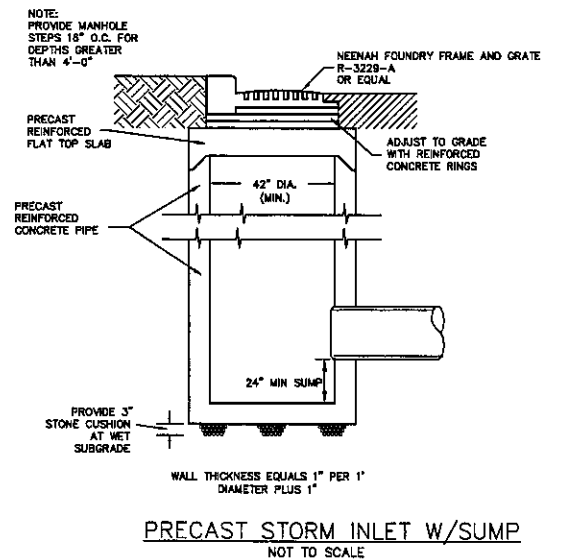
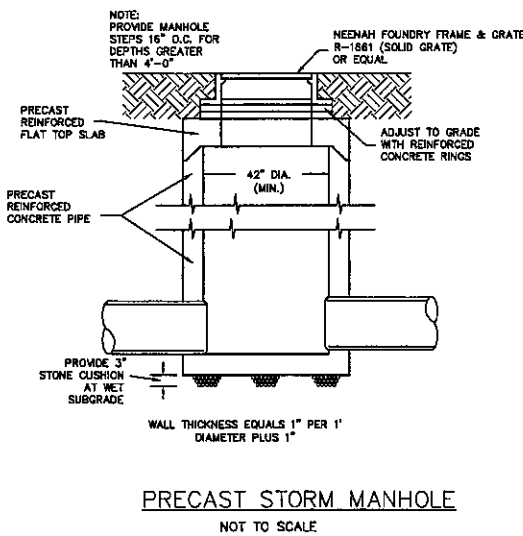
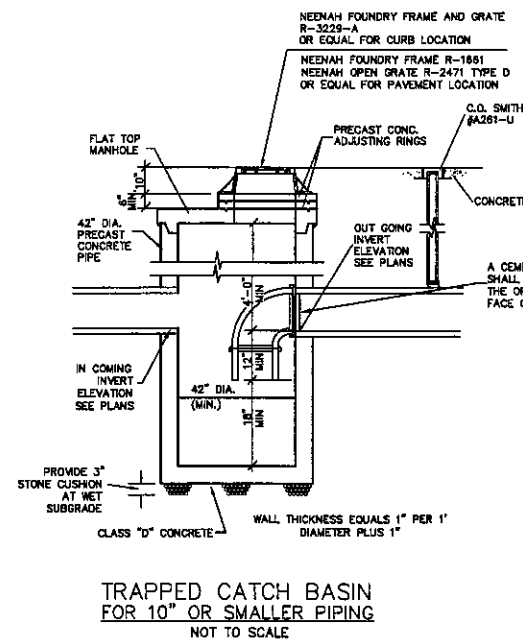
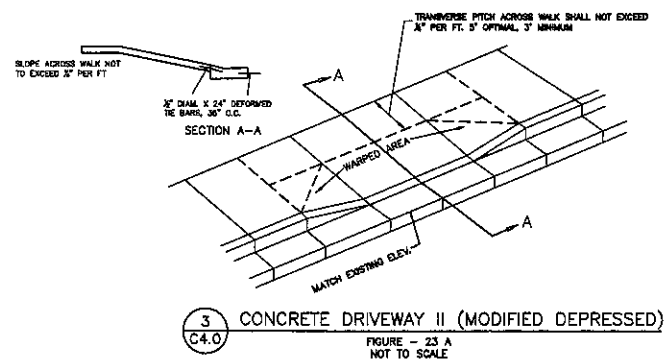
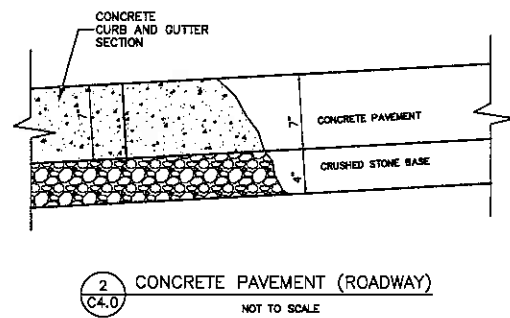
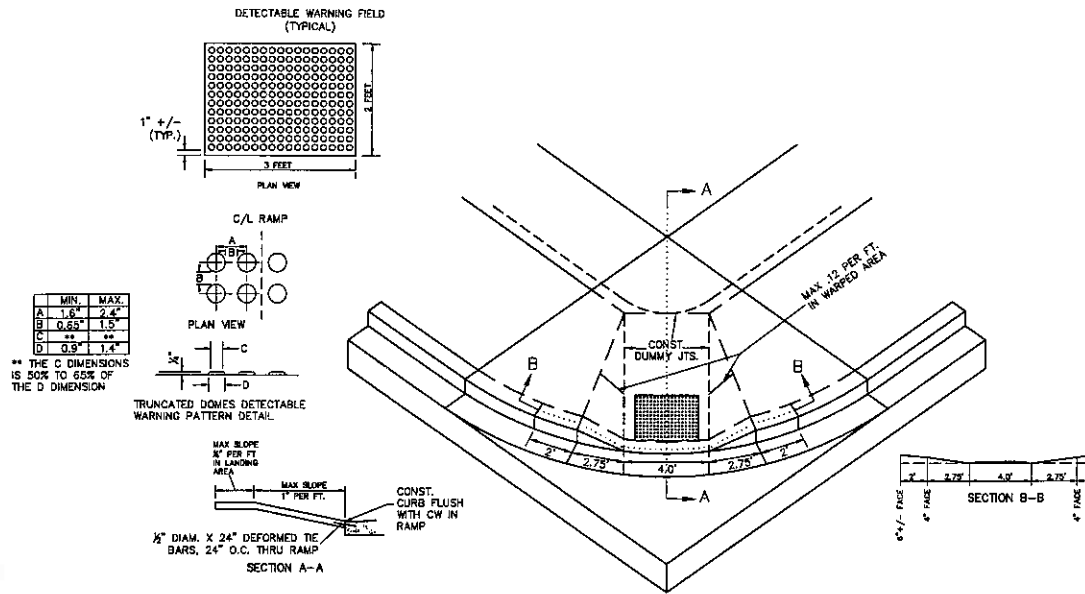
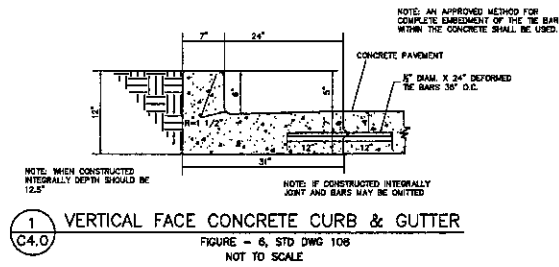
| LEGEND | |
|--------|-------------------------|
| --- | EXISTING STORM SEWER |
| ST--- | PROPOSED STORM SEWER |
| --- | EXISTING SANITARY SEWER |
| SAW--- | PROPOSED SANITARY SEWER |
| --- | EXISTING WATER MAIN |
| W--- | PROPOSED WATER MAIN |

CAUTION: CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF EXISTING 15" WATERMAIN PRIOR TO MAKING CONNECTION FOR SANITARY

**NOTE FOR CONNECTION: CONTRACTOR SHALL LOCATE, INSPECT AND VERIFY EXISTING 8" STORM SEWER AND PROVIDE CONNECTION PER CITY OF MILWAUKEE STANDARDS. REMAINING STORM SEWER AND CATCH BASIN SHALL BE ABANDONED OR REMOVED AND DISPOSED OF OFFSITE.

UTILITY PLAN
1" = 20'-0"



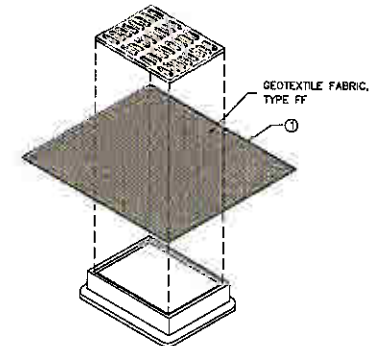
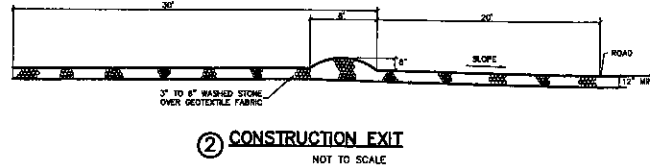


CONSTRUCTION SCHEDULE

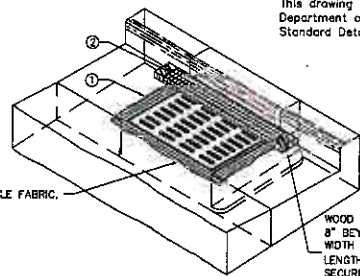
1. OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
2. FLAG THE WORK LIMIT AND BUFFER AREA FOR PROTECTION.
3. INSTALL SILT FENCE.
4. INSTALL CONSTRUCTION EOT.
5. INSTALL INLET PROTECTION IN ALL EXISTING INLETS.
6. BEGIN SITE PREPARATION INCLUDING ASPHALT REMOVAL, GRADING, ETC.
7. BEGIN BUILDING CONSTRUCTION.
8. REMOVE SILT FENCE AROUND BUILDING AREA ONCE SITE IS STABILIZED AND CONSTRUCTION HAS BEGUN.
9. INSTALL INLET PROTECTION IN REMAINING INLETS.
10. INSTALL BASE COURSE OF ASPHALT PAVEMENT.
11. ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL. NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.

MAINTENANCE PLAN

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUN-OFF-PRODUCTION RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. SEDIMENT WILL BE REMOVED FROM BEHIND THE SILT FENCE WHEN IT BECOMES ABOUT 0.5 FT. DEEP AT THE FENCE. THE SILT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
3. ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY SEDIMENT OR MATERIAL REACHING PITTSBURGH AVE. OR SOUTH WATER ST. SHALL BE REMOVED IMMEDIATELY.



INLET PROTECTION, TYPE B (WITHOUT CURB BOX)
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



INLET PROTECTION, TYPE C (WITH CURB BOX)

INSTALLATION NOTES

TYPE B & C
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

3 INLET PROTECTION
NOT TO SCALE

GENERAL NOTES

1. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
2. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
3. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
4. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 15" OF FABRIC IS WRAPPED AROUND THE CURB BOX OPENING. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

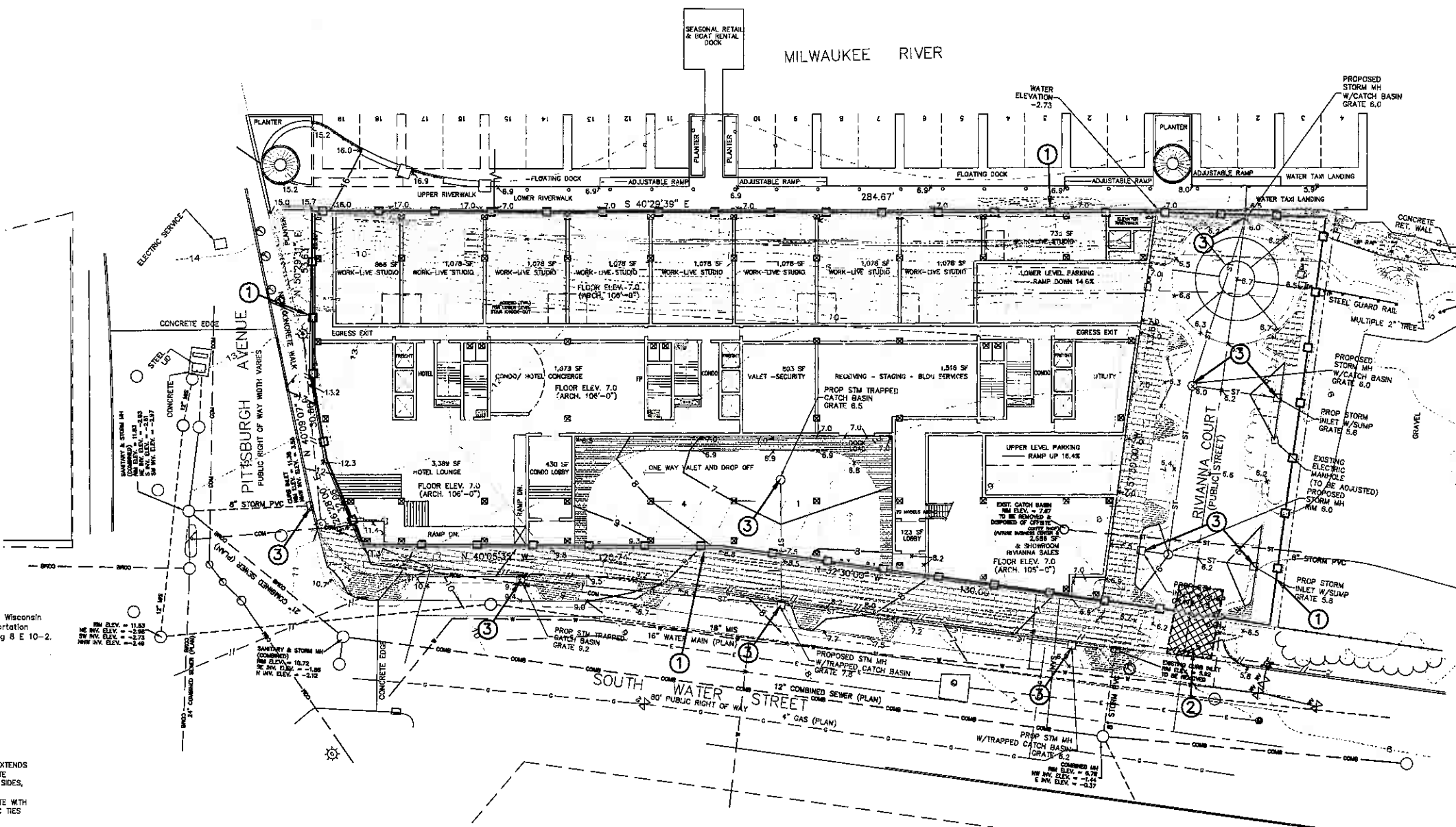
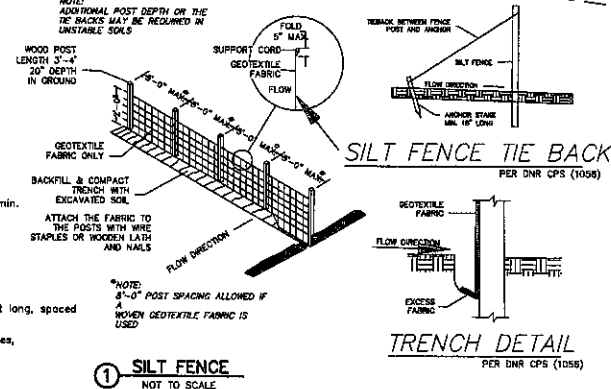


| LEGEND | |
|--------|----------------------|
| 12 | EXISTING CONTOUR |
| 10 | PROPOSED CONTOUR |
| x 6.5 | PROPOSED ELEVATION |
| ST | PROPOSED STORM SEWER |

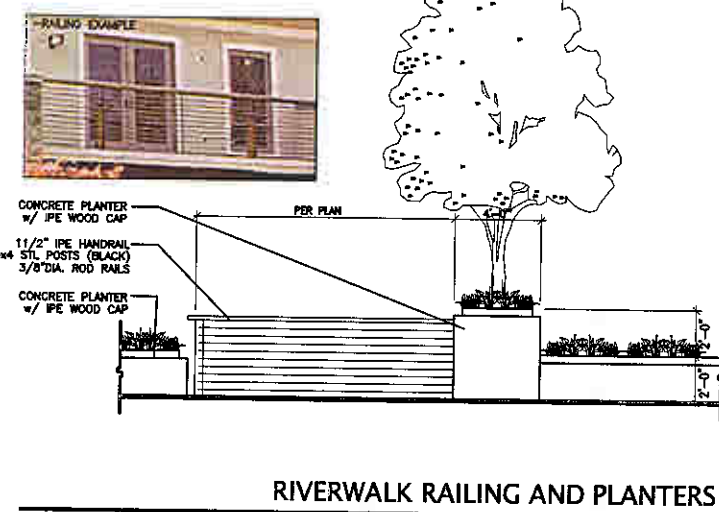
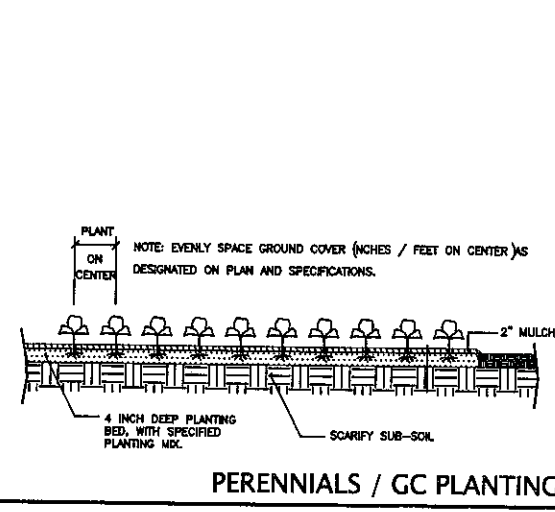
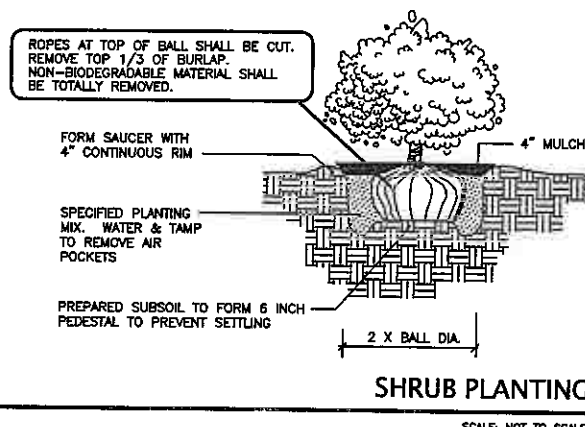
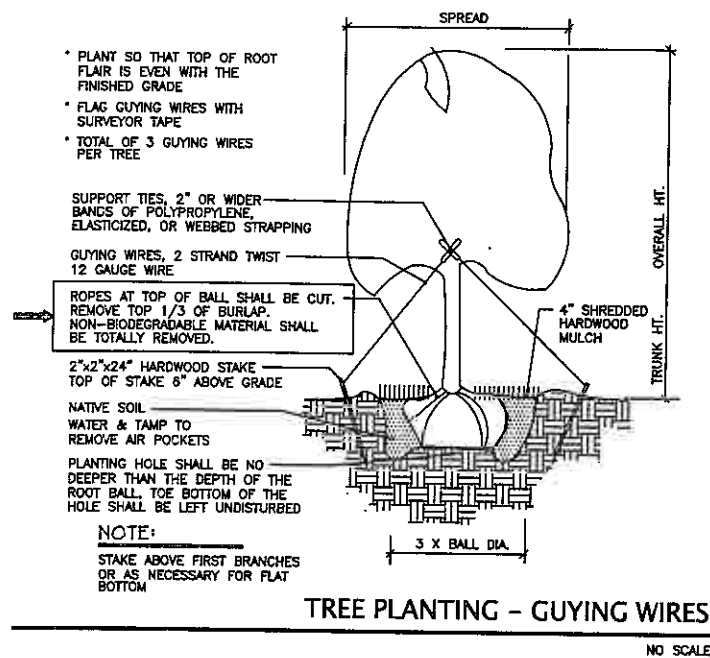
NOTES:
1. ALL EXISTING CONDITIONS PER THE SURVEY BY CAPITOL SURVEY AND ENGINEERING DATED 02-05-07.

SILT FENCE CONSTRUCTION SPECIFICATIONS
PER DNR CPS (1056)

1. Construction silt fence around the disturbed areas as shown on Erosion Control Plan, to prevent sediment from being washed into the drainage system.
2. Locate posts per DNR CPS (1056)
3. When joints are necessary, refer to DNR CPS (1056).
4. Filter fabric to be of nylon, polyester, polypropylene or silvane yarn with extra strength - 50 LB/lin. in. (Minimum) - and with a flow rate of at least 0.3 gal./sq. ft./min. Fabric should contain ultraviolet ray inhibitors and stabilizers.
5. The filter fabric shall be anchored by spreading at least 5 inches of fabric in a 4' x 6' trench.
6. The filter fabric shall be stapled and/or nailed to the upslope side of the posts.
7. Post to be 1 1/8" x 1 1/8" hickory or oak, 3 feet long, spaced a maximum of 5 feet apart.
8. Use wire reinforcement in unstabilized minor swales, ditches or diversions.



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PLANT SCHEDULE

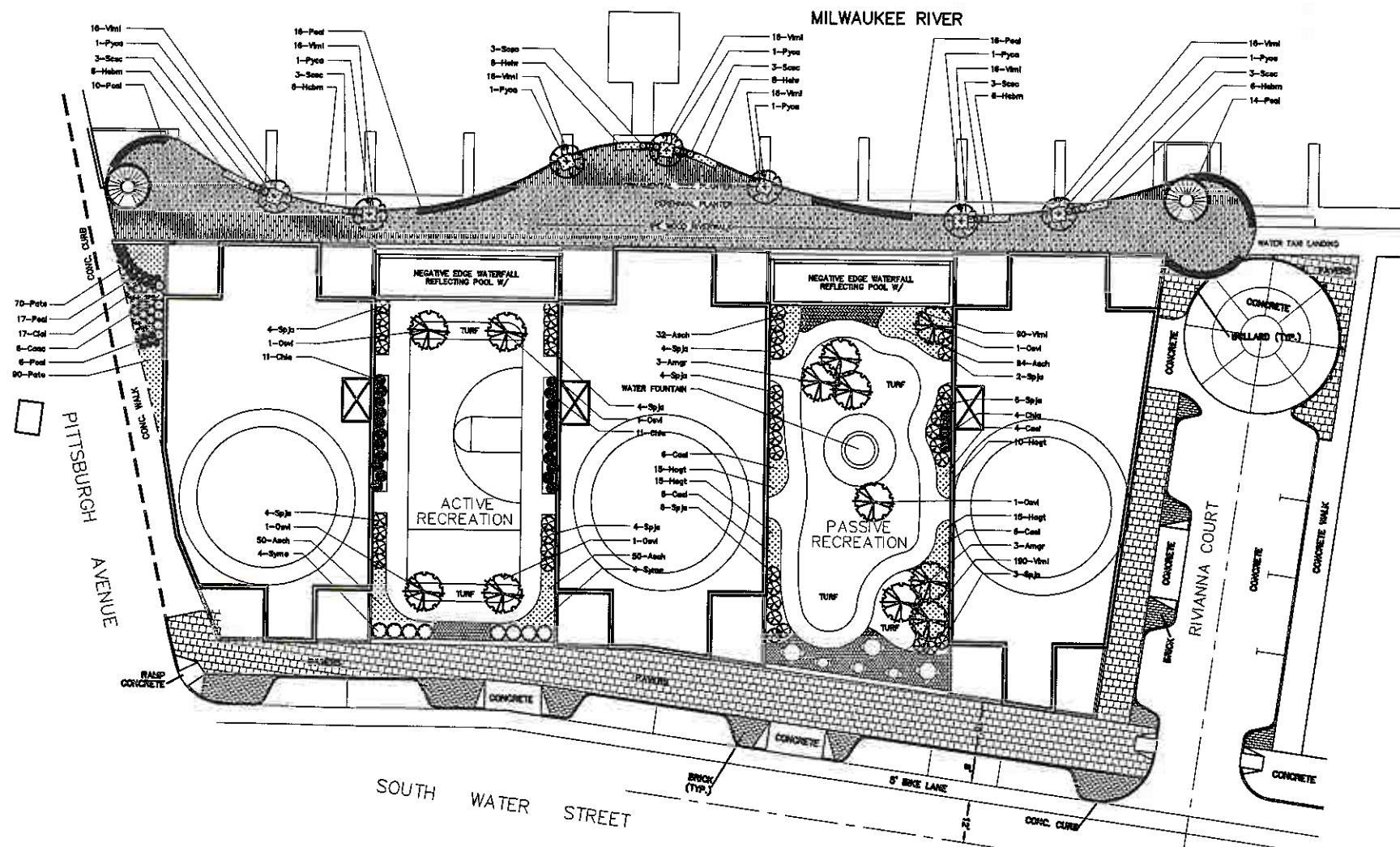
| Code | Scientific Name | Common Name | Qty. | Planting Size |
|---------------------------|--|-------------------------|------|---------------|
| Decid Trees | | | | |
| --- | --- | --- | --- | --- |
| Evergreen Trees | | | | |
| --- | --- | --- | --- | --- |
| Deciduous Trees | | | | |
| Code | Scientific Name | Common Name | Qty. | Planting Size |
| Ampr | <i>Aronia arbutifolia</i> | Apple Serviceberry | 6-7 | Ball |
| Coco | <i>Carya virginiana</i> | Ironwood or Hophornbeam | 6-7 | Ball |
| Pyca | <i>Pyrus calleryana</i> | Callery Pear | 6-7 | Ball |
| Shrubs | | | | |
| Code | Scientific Name | Common Name | Qty. | Planting Size |
| Cla | <i>Claudia canicola</i> | Summer-pressed Claudia | 3-4 | Cont. |
| Spja | <i>Spiraea japonica 'Froebel'</i> | Froebel Japanese Spirea | 2-3 | Cont. |
| Syme | <i>Syringa meyeri 'Palibin'</i> | Palibin Lilac | 3-4 | Cont. |
| Perennials/Grasses | | | | |
| Code | Scientific Name | Common Name | Qty. | Planting Size |
| Aach | <i>Asclepias tuberosa</i> | Rod Spindle | 4.5 | Pot |
| Coag | <i>Colocynthis scutellaria</i> | Karl Foerster | 1 | Gallon Pot |
| Cora | <i>Cornus alata</i> | Bowles Golden | 1 | Gallon Pot |
| Chlo | <i>Chionodoxa luteifolia</i> | Northern Sea Oats | 1 | Gallon Pot |
| Cipa | <i>Clematis recta</i> | Sweet Autumn Clematis | 4.5 | Pot |
| Haba | <i>Hemerocallis 'Barbara Mitchell'</i> | Daylily | 4.5 | Pot |
| Hem | <i>Hemerocallis 'Little Wine Cup'</i> | Daylily | 4.5 | Pot |
| Host | <i>Hosta Golden Tiara</i> | Hosta | 1 | Gallon Pot |
| Paba | <i>Pachyandra terminalis</i> | Japanese Spurge | 4.5 | Pot |
| Pagi | <i>Pennisetum alopecuroides 'Hameln'</i> | Fourtan Grass | 1 | Gallon Pot |
| Scha | <i>Schizanthus luteolus</i> | The Blues | 1 | Gallon Pot |
| Vini | <i>Vinca minor</i> | Periwinkle | 4.5 | Pot |

GENERAL NOTES

- BACKFILL AND GRADE ALL PLANTING AREAS WITH 4" SCREEN BLENDED TOPSOIL.
- ALL FINISH GRADES TO BE ONE INCH BELOW TOP OF CURBS AND PAVEMENT.
- ALL PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK AS PREPARED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANTS TO BE LOCATED ACCORDING TO THE PLAN AND PLANTED IN HOLES AT LEAST TWICE THE SIZE OF THE PLANT ROOT BALL FOR SHRUBS AND THREE TIMES THE ROOT BALL FOR TREES.
- ALL PLANTINGS TO BE TOPDRESSED WITH A MINIMUM OF FOUR INCHES OF SHREDDED HARDWOOD MULCH FOR TREES AND SHRUBS AND TWO INCHES FOR PERENNIALS.
- STAKING OF TREES IS OPTIONAL BY CONTRACTOR, BUT IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN VERTICAL POSITION OF ALL TREES AND SHRUBS.
- ALL AREAS DISTURBED DURING CONSTRUCTION AND INDICATED AS TURF SHALL BE SEeded OR SOODED AS SPECIFIED. ALL PLANTS TO RECEIVE 3 YEAR SLOW RELEASE FERTILIZER PACKETS (OR EQUAL) AT A RATE OF 2 PER GALLON INCH OF TREE AND 3 PER SHRUB.
- GUARANTEE ALL PLANT MATERIAL INCLUDING PERENNIALS AND SEED/SOD FOR A PERIOD OF ONE YEAR.
- WATER ALL PLANTINGS IMMEDIATELY AFTER INSTALLATION.
- ALL PLANTING BEDS SHALL HAVE 6 INCH SLOPE CUT EDGES OR LANDSCAPE EDGING AS SPECIFIED.

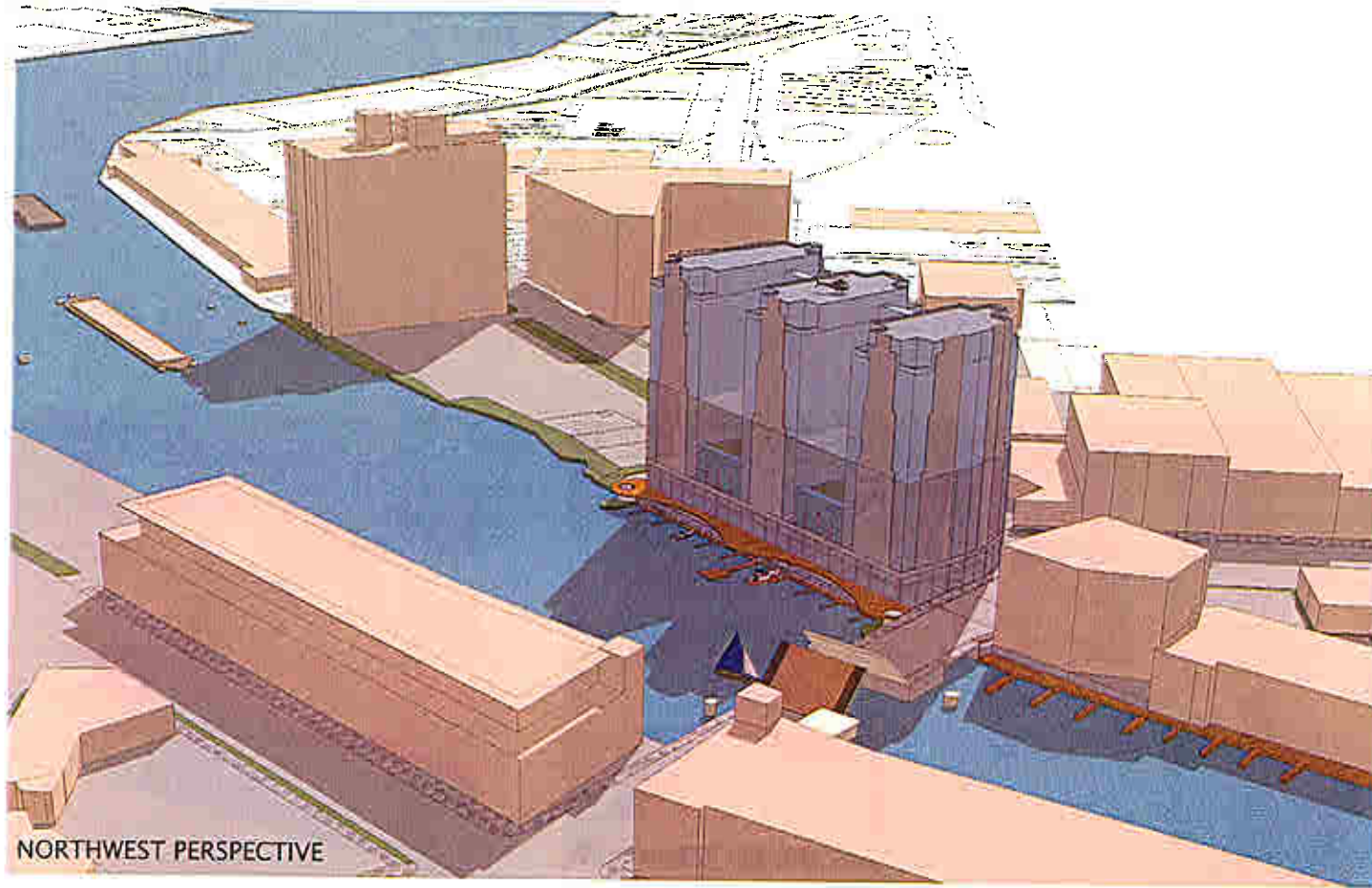
ADDITIONAL NOTES

- MOUND SOIL IN PLANTING BEDS TO ENHANCE DRAINAGE. MAXIMUM SLOPE SHOULD NOT EXCEED ONE INCH IN TWO FEET. INSTALL MULCH ONE INCH BELOW TOP OF CURB.
- A SOIL EXCHANGE IS REQUIRED IN ALL PLANTING BEDS ADJACENT TO CONSTRUCTION AREAS SUCH AS BUILDINGS, WALKS, DRIVES, ETC. I.E. ANY PLANTINGS WILL COME IN CONTACT WITH CONSTRUCTION DEBRIS. REMOVE AND BACKFILL PER LANDSCAPE DETAILS FOR PERENNIALS, SHRUBS, AND TREES.
- NOTIFY LANDSCAPE ARCHITECT IF UNEXPECTED OBSTRUCTIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED. IN CASES OF HANDRAIL LATER, 36 INCHES BELOW TOPSOIL, DRILL 6 INCH DIAMETER HOLES AT 24 INCHES ON CENTER, DOWN INTO FREE-DRAINING STRATA OR TO A DEPTH OF TEN FEET, WHICHEVER IS LESS. BACKFILL WITH FREE-DRAINING MATERIAL SUCH AS #1 OR #2 BLEND STONE WITH LANDSCAPE FABRIC SUCH AS DEWITT OR APPROVED EQUAL. IN NO CASE SHOULD ANGLULAR GRAVEL BE USED.
- USE CAUTION WHEN INSTALLING PERENNIALS AROUND EXISTING TREES. MINIMIZE ROOT DISTURBANCE DURING ALL PHASES OF LANDSCAPE OPERATIONS. DO NOT CUT ROOTS TO ACCOMMODATE PERENNIALS.
- EXCAVATION BY CONTRACTOR SHALL BE DONE PERPENDICULAR TO THE EXISTING TREES. IF ROOTS ARE ENCOUNTERED, ROOTS SHALL BE CUT CLEAN WITH LOPPERS OR PRUNING SHEARS TO ALLOW CAPILLARY ROOT GROWTH.

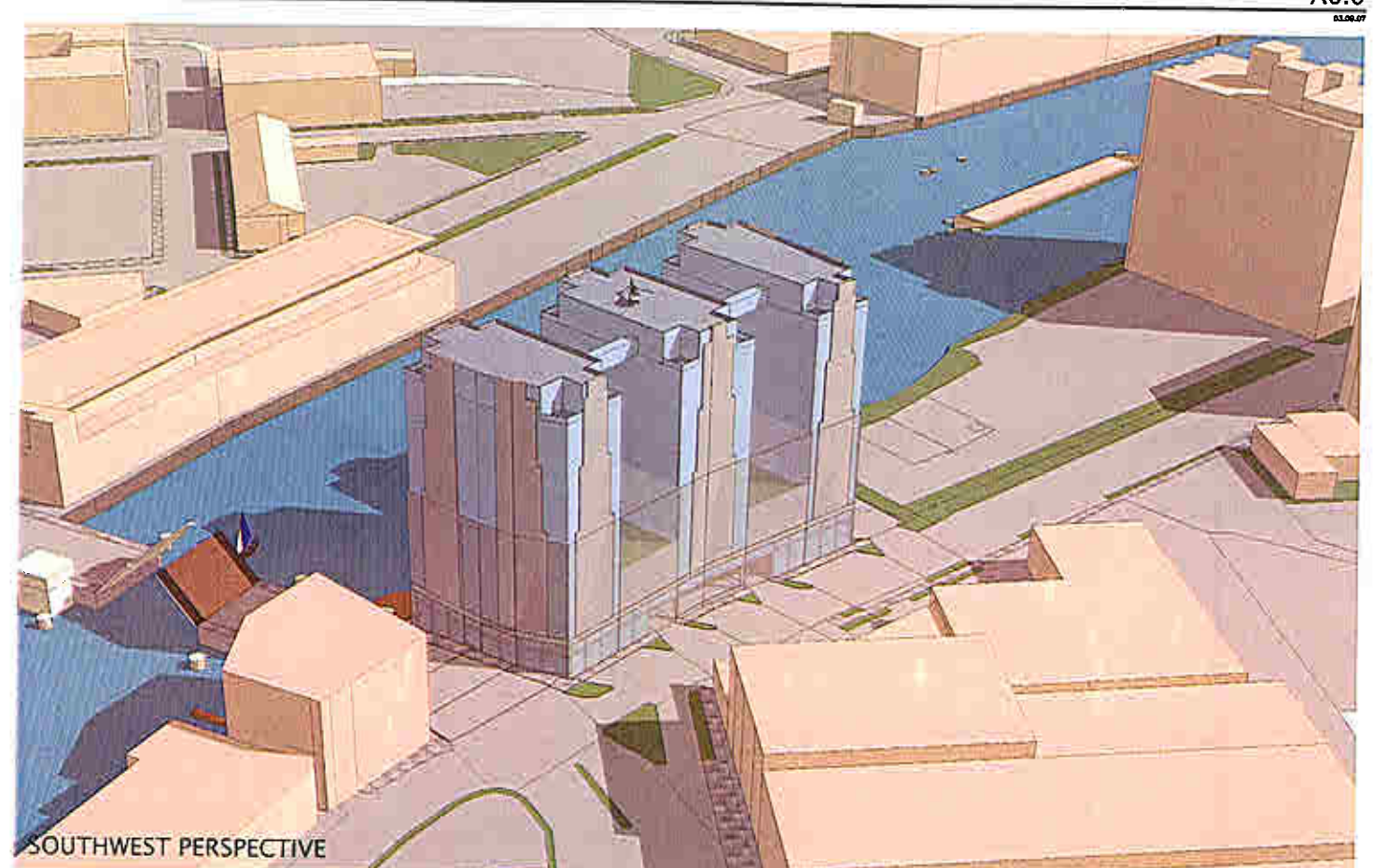


NOTIFY DIGGERS HOTLINE PRIOR TO THE COMMENCEMENT OF ANY DIGGING OPERATIONS.

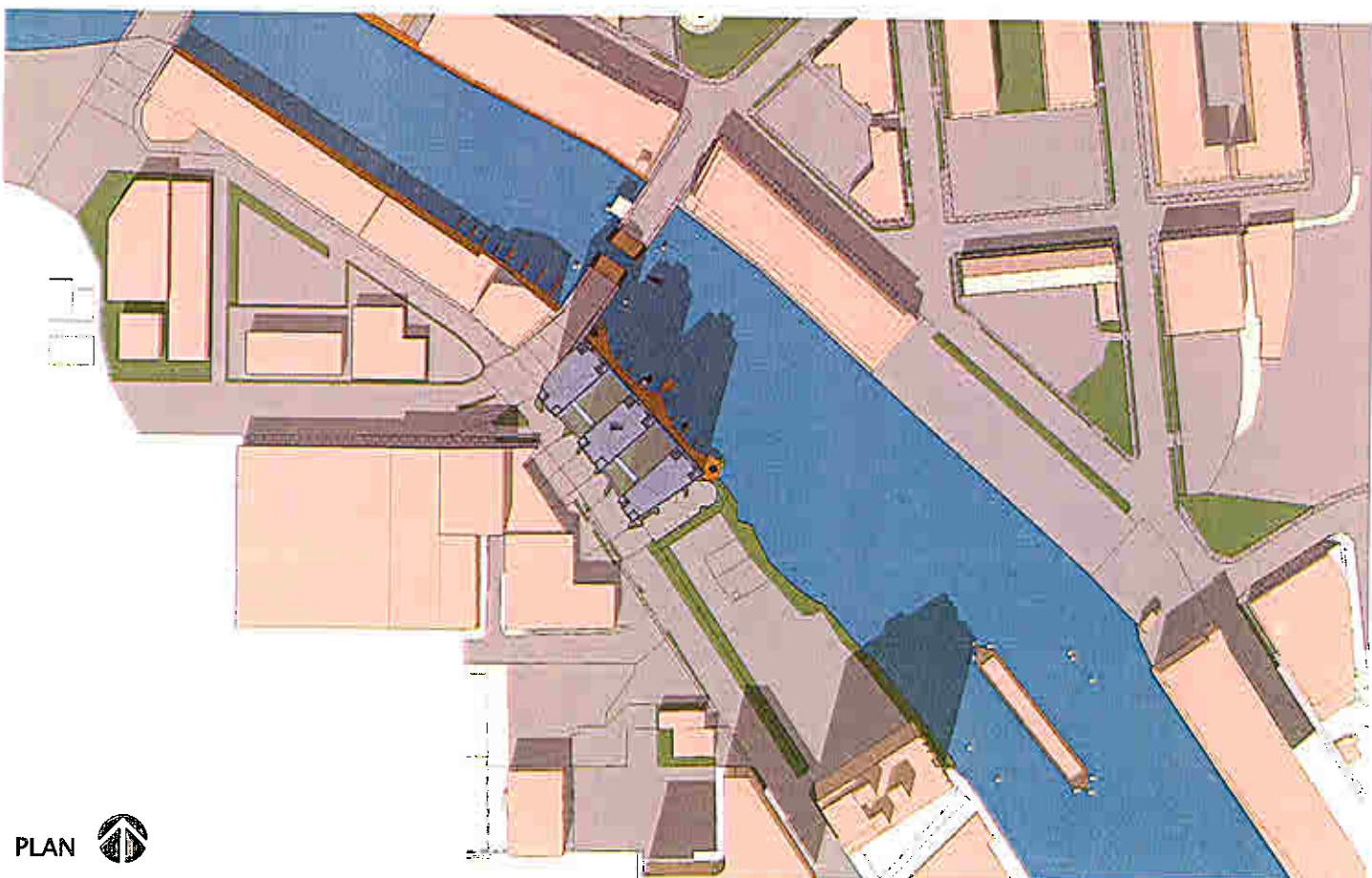




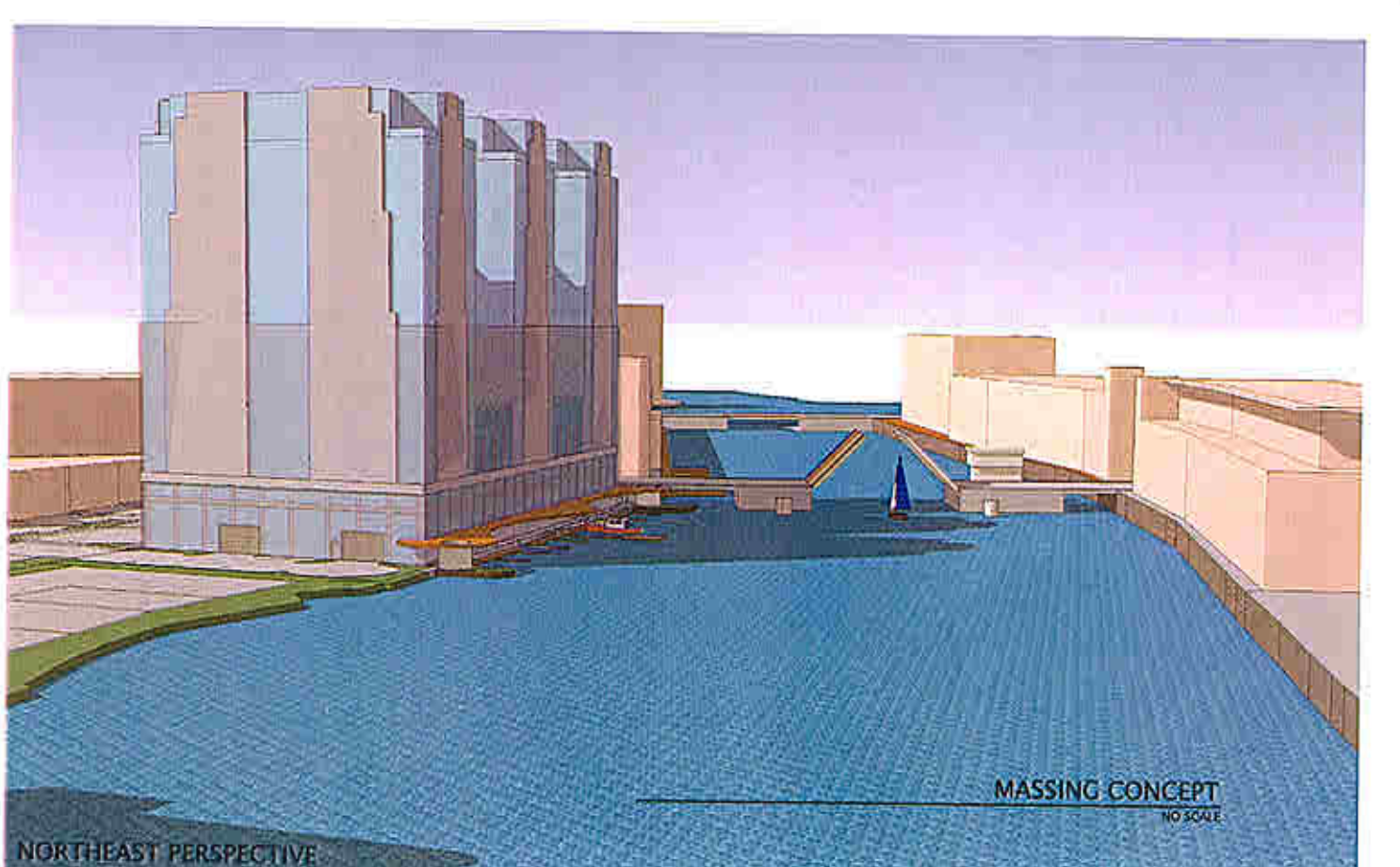
NORTHWEST PERSPECTIVE



SOUTHWEST PERSPECTIVE



PLAN



NORTHEAST PERSPECTIVE

MASSING CONCEPT
NO SCALE



RIVERWALK ELEVATION
3/32" = 1'-0"



NORTH ELEVATION - RIVER ELEVATION
1/16" = 1'-0"



WEST ELEVATION
1/16" = 1'-0"

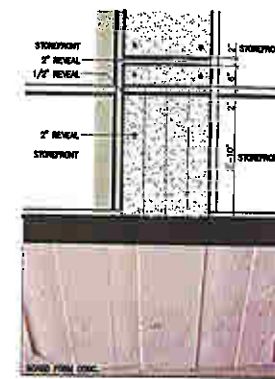




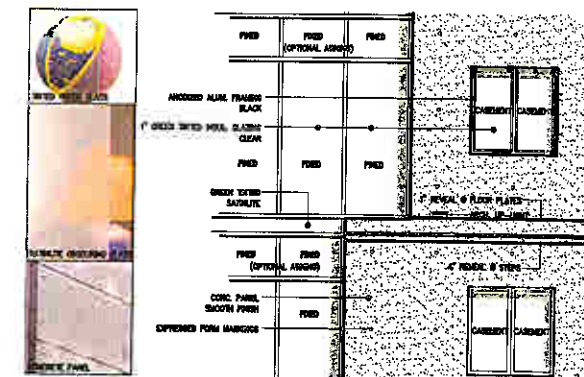
OPTIONAL EAST/WEST SHADING FIN 4
1/4" = 1'-0" A1.1



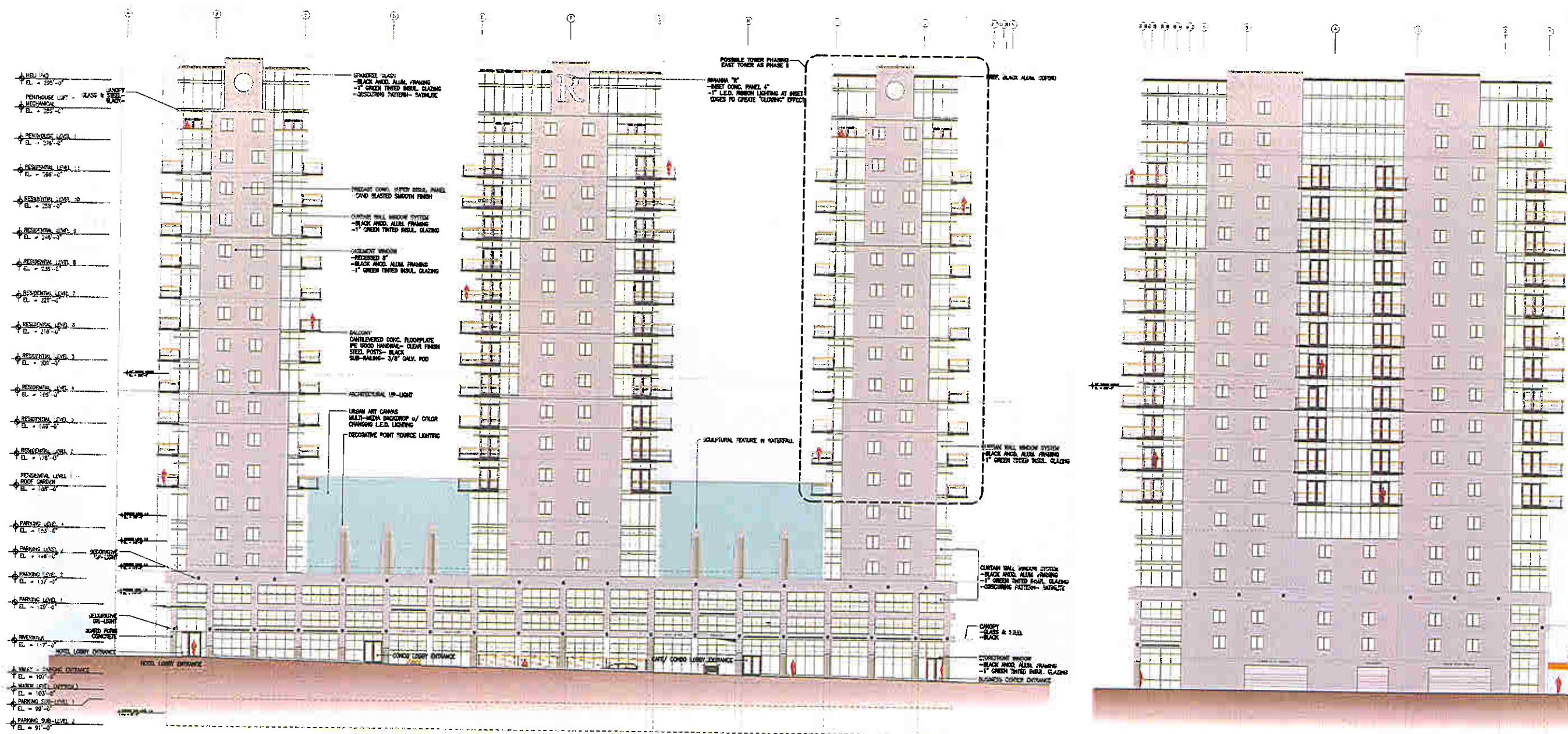
AWNING DETAIL 3
NO SCALE A1.1



CONC. DETAIL 2
1/2" = 1'-0" A1.1

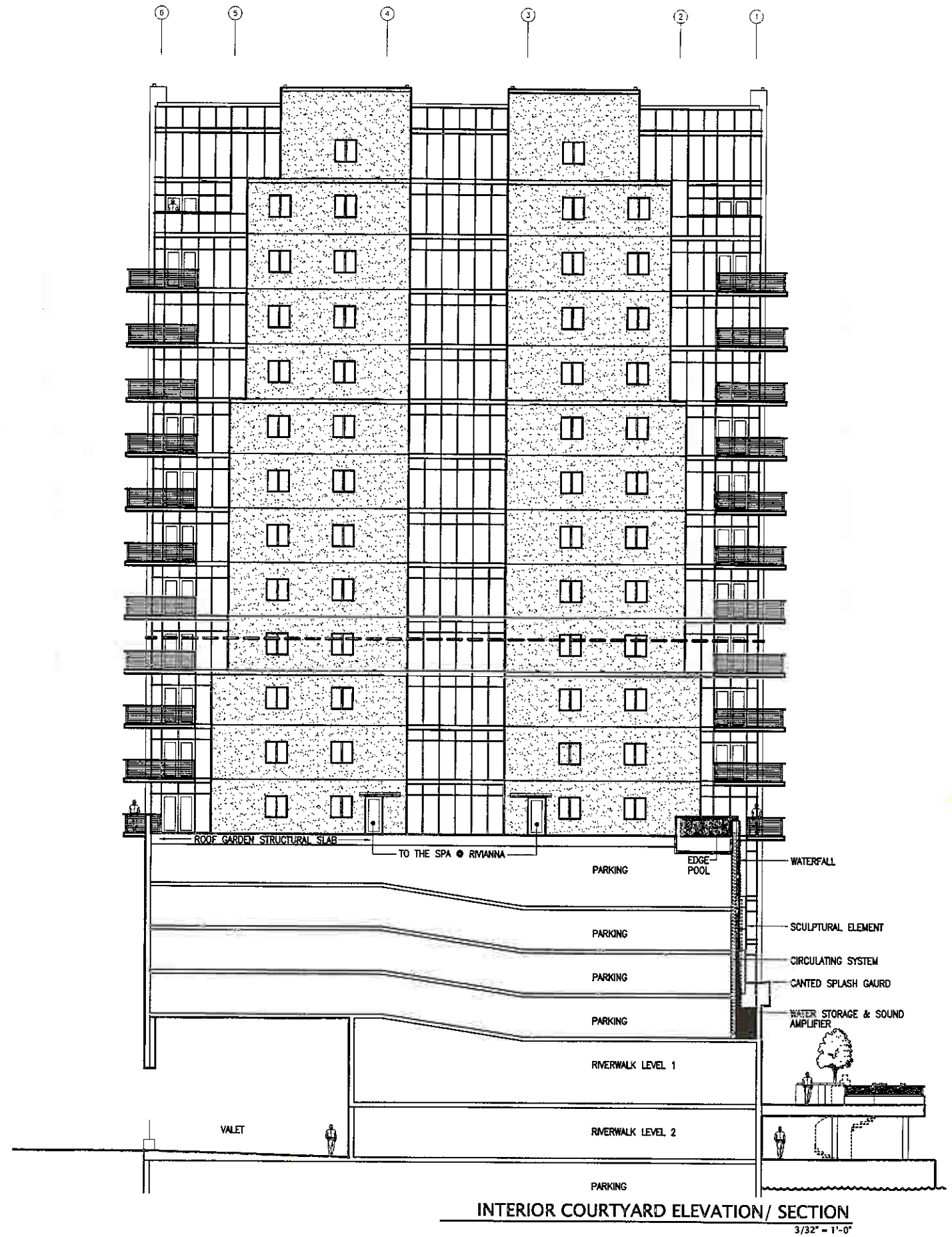


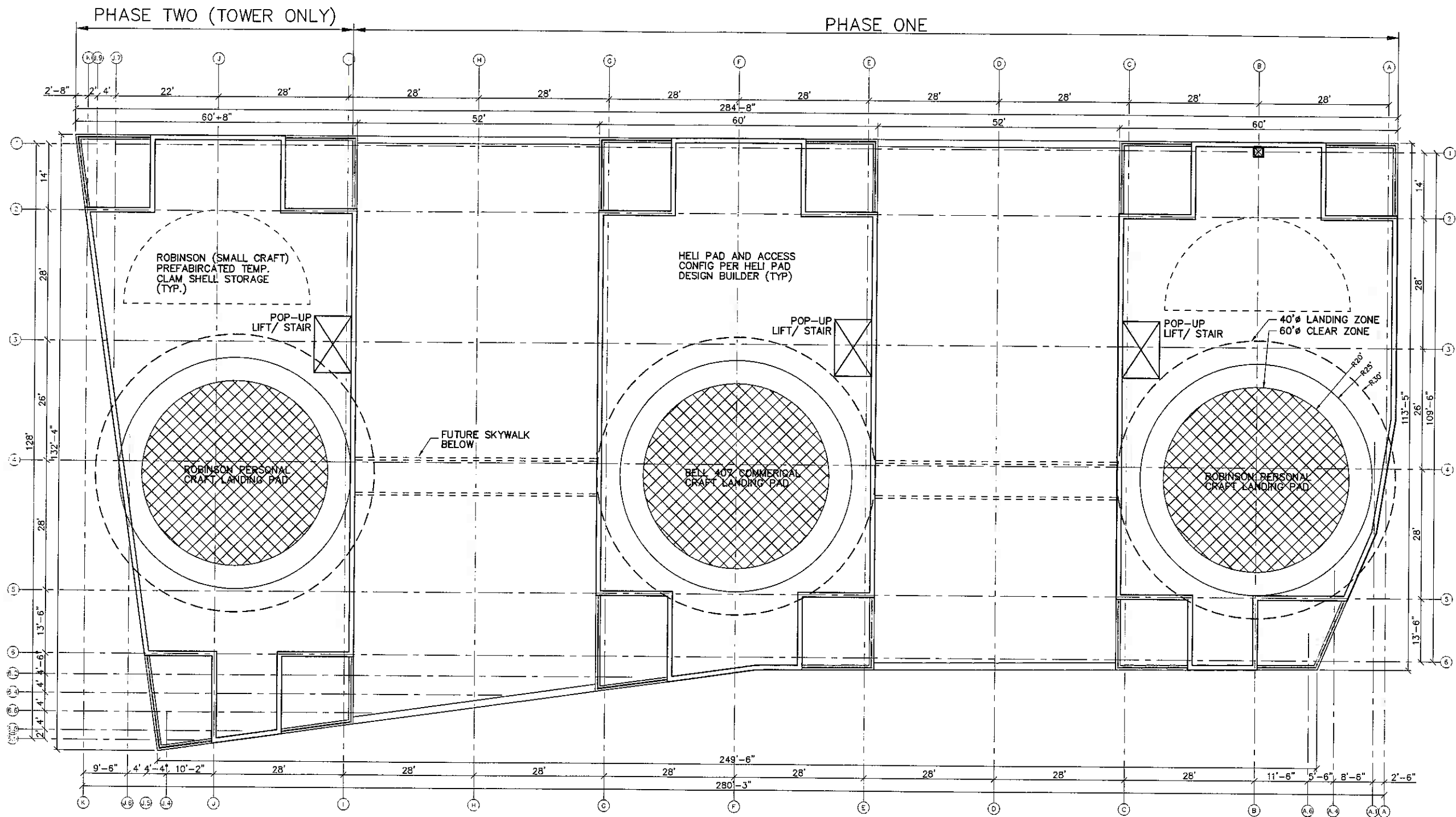
DETAIL ELEVATION 1
1/4" = 1'-0" A1.1



SOUTH ELEVATION - STREET ELEVATION
1/16" = 1'-0"

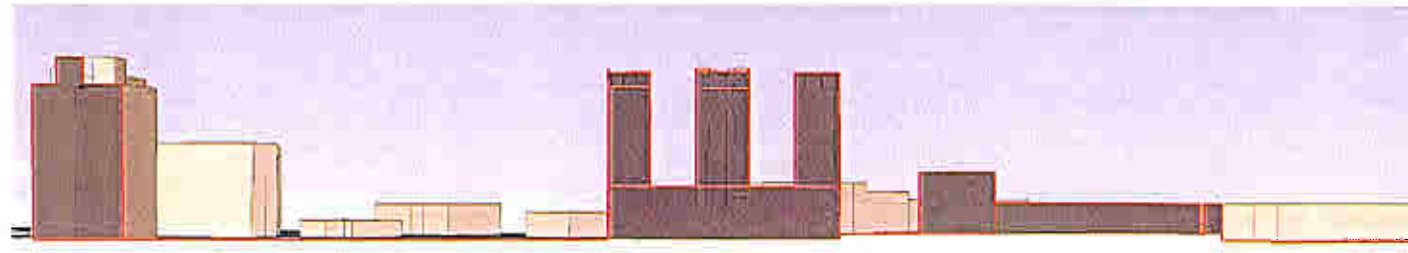
EAST ELEVATION
1/16" = 1'-0"





ROOF/ HELI PLAN
3/32" = 1'-0"

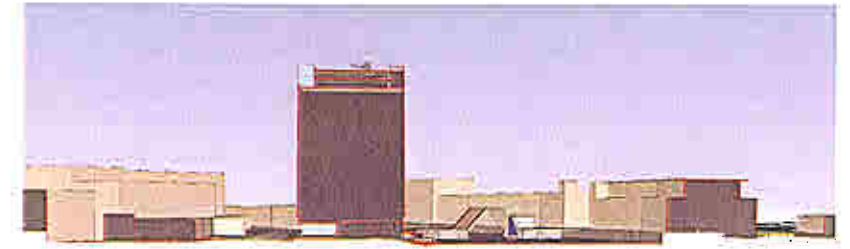




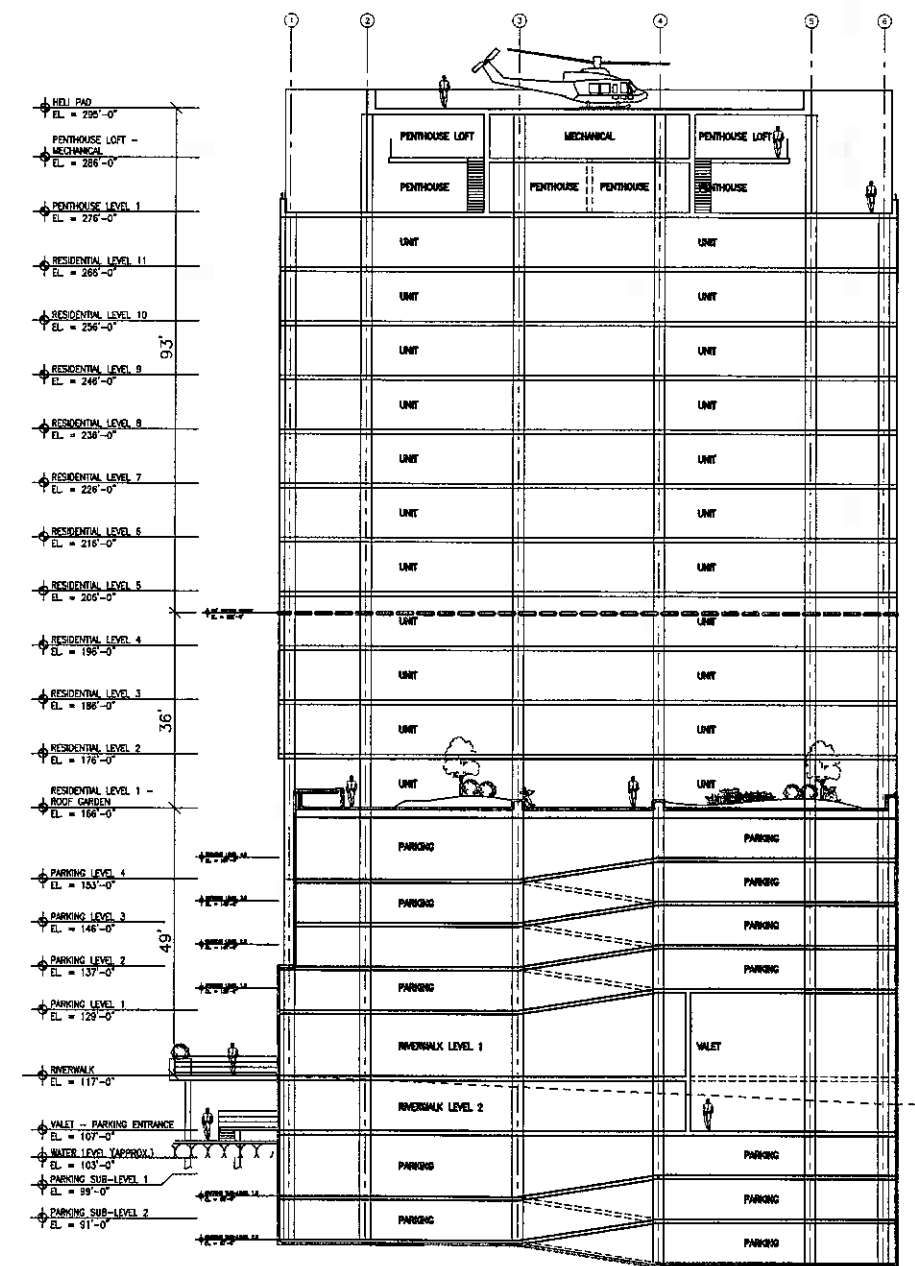
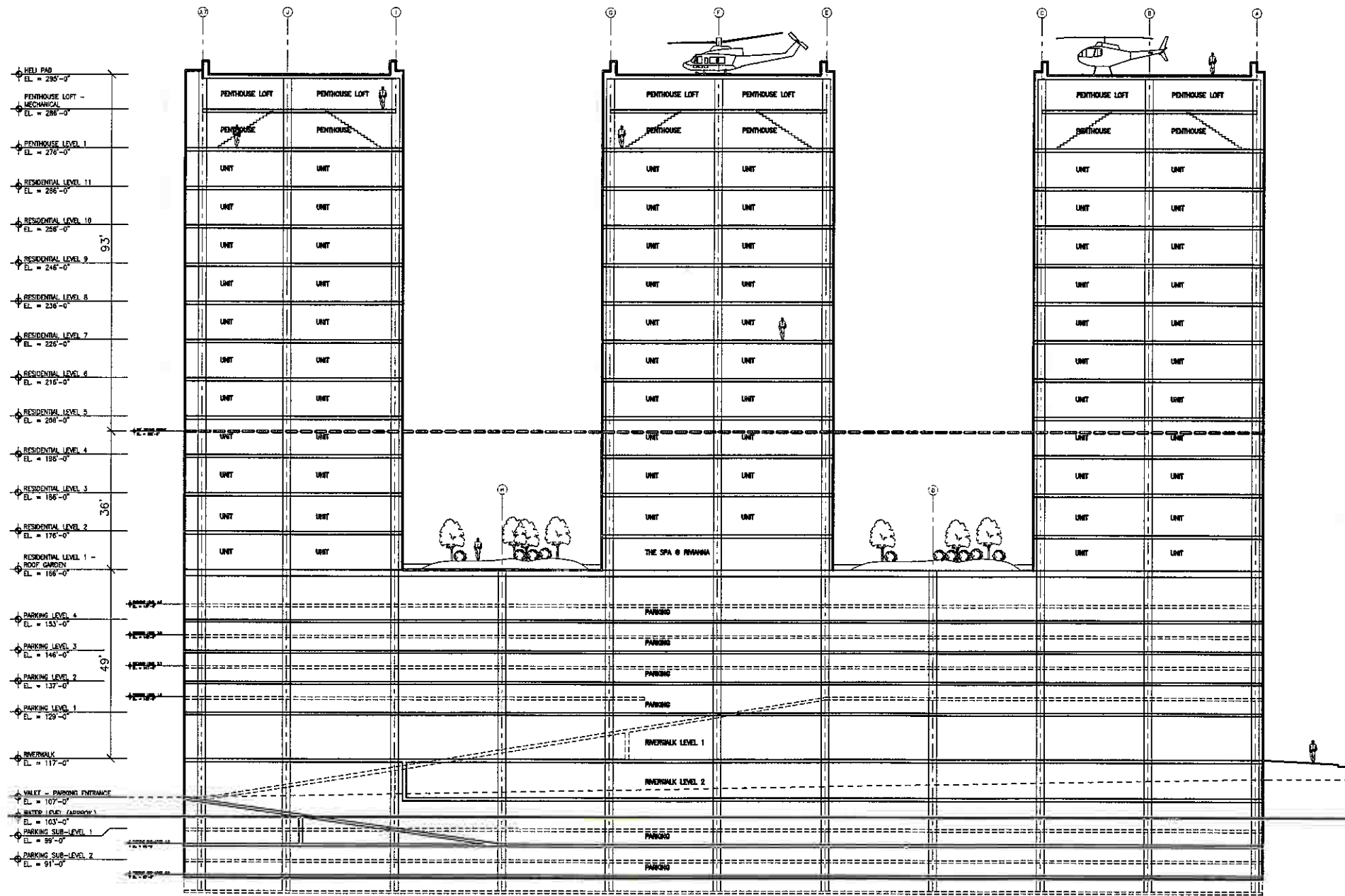
SITE SECTION B-B
NO SCALE

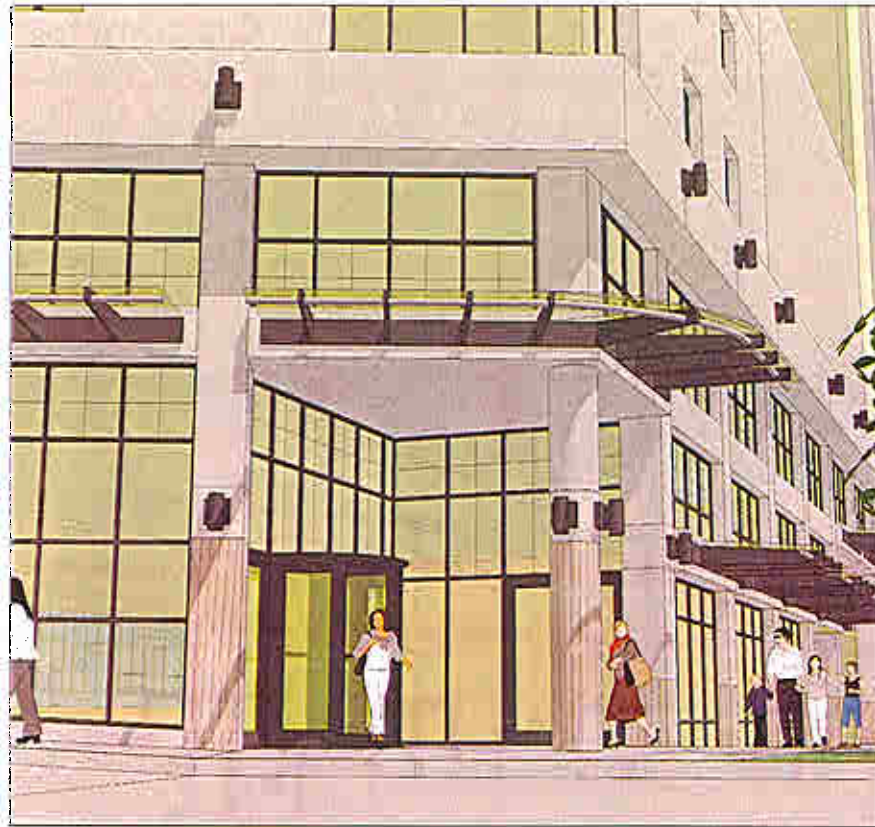


AREA MAP
NO SCALE



SITE SECTION A-A
NO SCALE





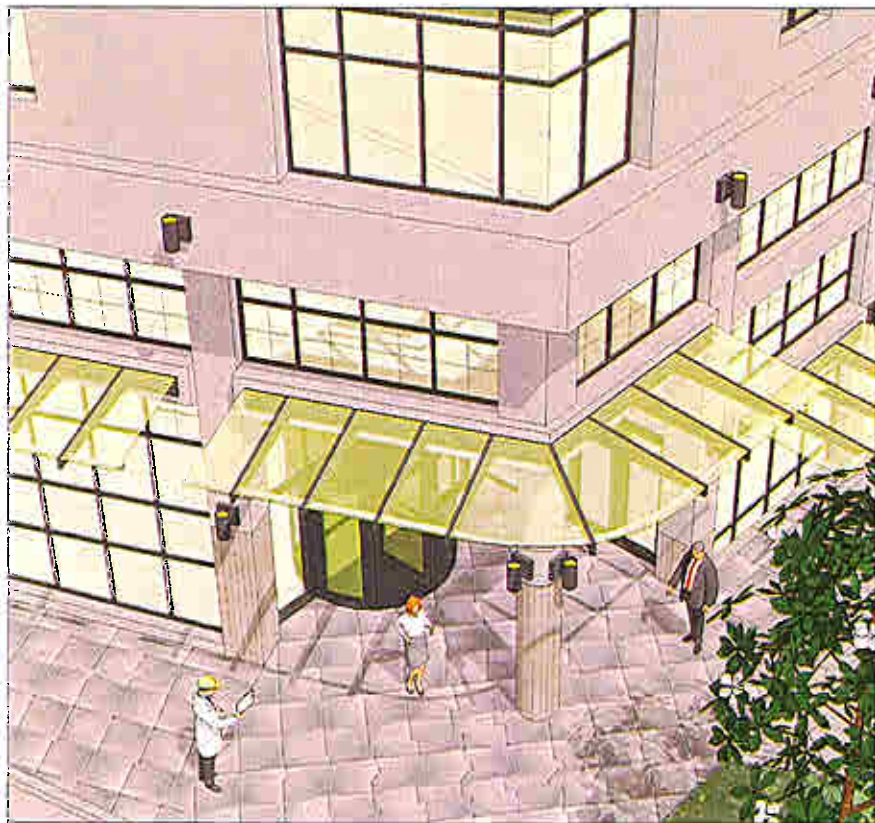
HOTEL ENTRY



RIVERWALK @ WATERFALL



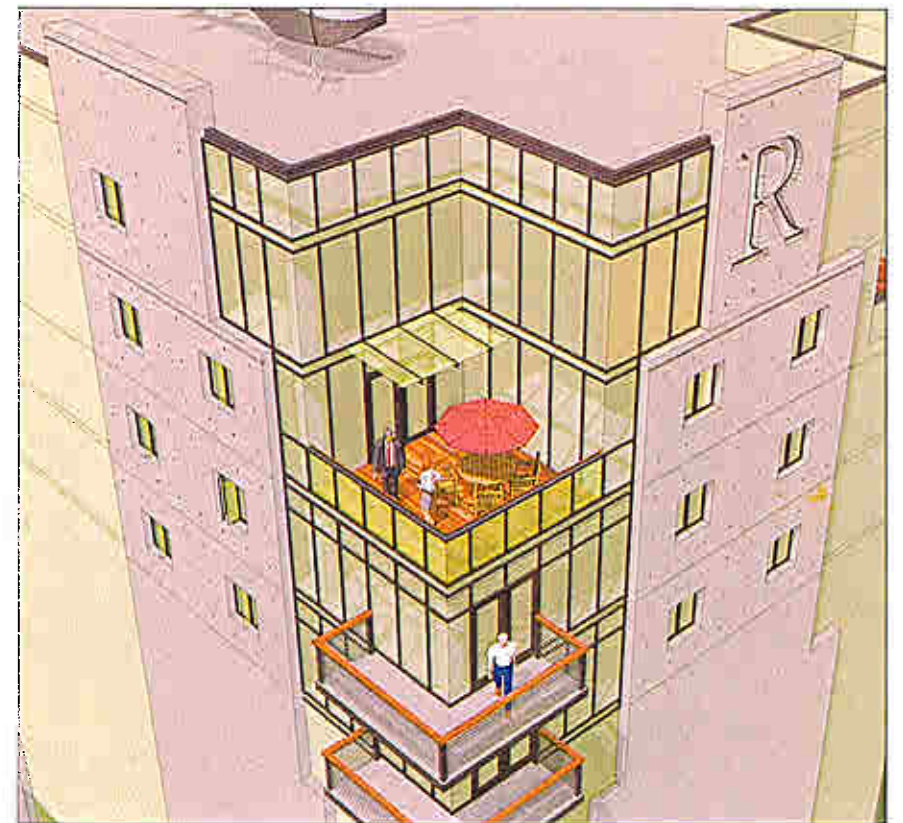
PENTHOUSE



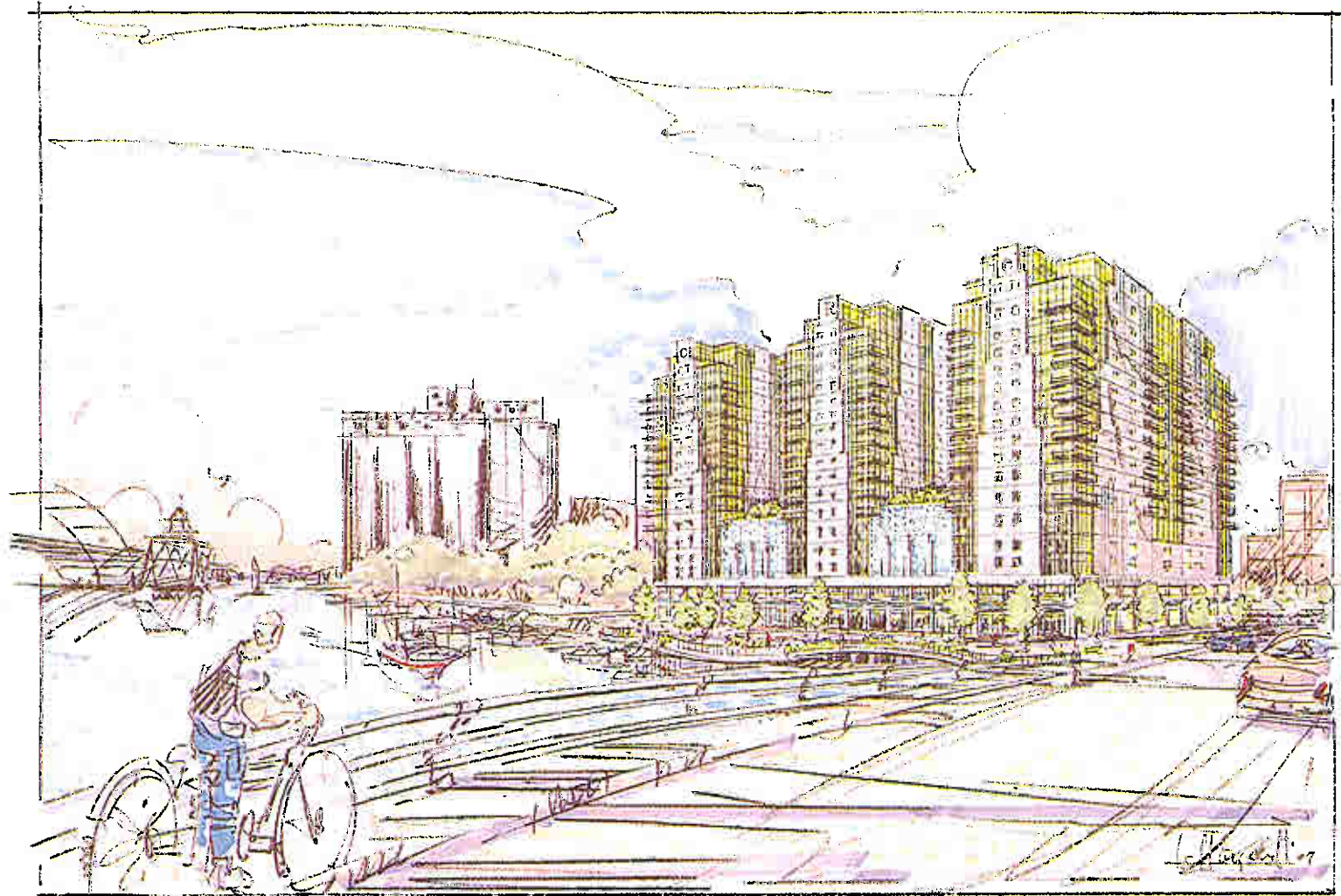
BIRDS EYE - HOTEL ENTRY



BIRDS EYE - RIVERWALK



BIRDS EYE - PENTHOUSE



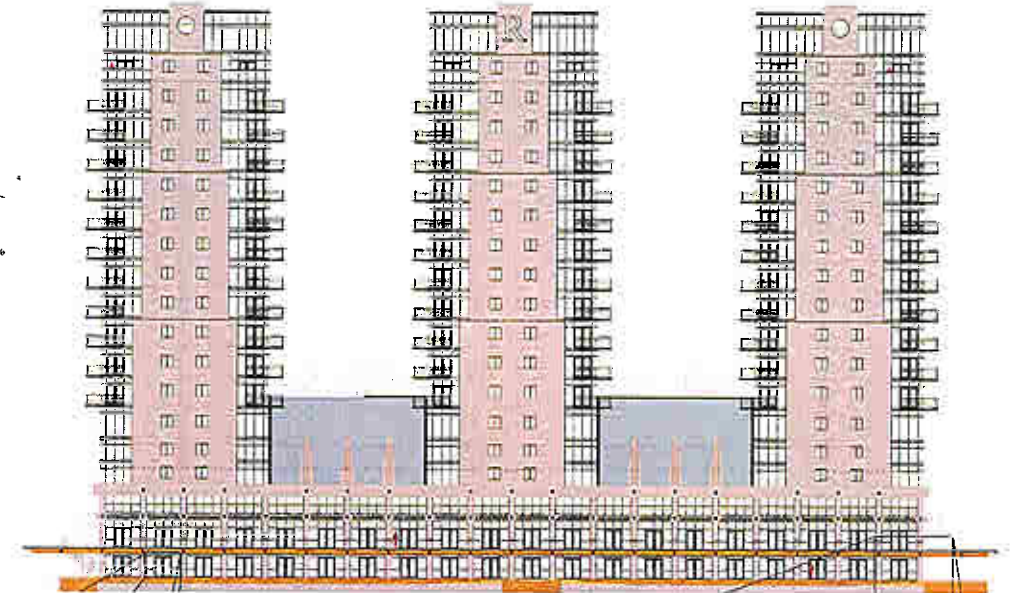
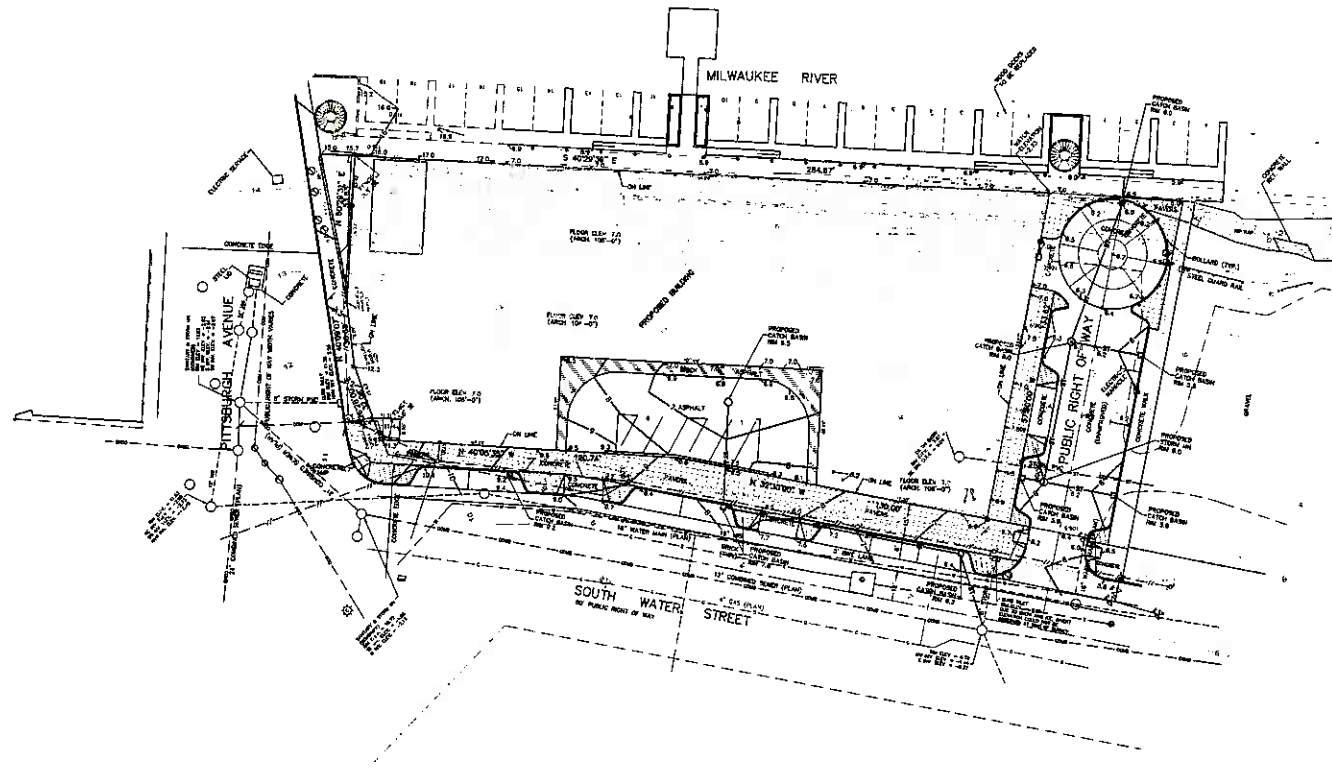
ARTIST RENDERING - YOUNG STREET
BY LES LEFTINGWELL



ARTIST RENDERING - WATER STREET
BY LES LEFTINGWELL

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Proposed Commercial Signage



Area of Visual Merchandising Guidelines

The area of visual merchandising runs the full width of the storefront and 5'-0" into the leased premises. It includes all display windows and retail graphics, display fixtures, signs, materials, finishes, color and lighting fixtures within the area.

Sale and temporary event signs should be behind the zone, and no sale and temporary signs shall be taped or suction cupped onto the display windows, or hang from the storefront ceiling.

The use of the following materials is discouraged within the merchandise zone:

- Slate wall or slate wall fixture systems
 - Stucco finish (unless approved by Landlord in writing)
 - Wood grain plastic laminates
 - Metal laminate wallboard
 - Plastic laminate
 - Simulated brick, stone or wood
 - Cork or cork tile
 - Plywood paneling or texture 1-11 plywood
 - Carpeting on walls
 - Pegboard walls and pegboard fixture
 - Wood shingles or shakes
 - Field painted aluminum
 - Metal shelving
 - Mirror walls
- Cash wrap counters are discouraged in the merchandising zone.

No fluorescent lighting will be permitted within the merchandising zone.

Storefront Lighting Standards

Lighting must be tasteful and designed to enhance your storefront and the retail streetscape.

- Lighting must be appropriate to the building and must complement the architecture.
- Lighting must be stationary and not moving or animated in any form.
- Visible suspended fluorescent tubes will NOT be approved.
- Visible suspended neon tubes are NOT encouraged.

Signage Guidelines

Encouraged:

- Cut metal letter forms, freestanding or pin-mounted.
- Cut metal logotypes, applied or pin-mounted.
- Wall mounted metal or porcelain enamel plaques.
- Stencil cut metal, visible from one side.
- Sandblasted metal or glass.
- Metal channel letters with halo illumination.
- Screen printed or gold leafed logotypes on glass.
- Clean, simple, minimally visible attachments.
- Hardware matching adjacent sign finishes, use mounting hardware that will NOT rust.
- Satin finished metals rather than highly polished finishes.

Discouraged:

- Plastic sign faces or signboxes.
- Internally illuminated plastic letters or sign faces.
- Formed or injection molded plastic signs.
- Paper or nylon signs or banners.
- Animated, flashing, blinking, rotating or audible signs.
- Signs with exposed lamps or tubing.
- Advertising postcards, banners, pennants, safe or other temporary signs.
- Signs projecting beyond lease line.

Pin-mounted Letterforms Encouraged:

- Pin-mounted letterforms on a colored plaque.
- Pin-mounted letterforms freestanding of a satin finished natural metal.
- Pin-mounted letterforms or prismatic letterforms mounted off the face of the storefront. Metals for mounting pins that will rust in the Milwaukee weather which will create unsightly streaks on the exterior finish materials of the building are NOT Allowed.

Graphics on Glass

Graphics on the interior surface of storefront glass should be tasteful and minimal. Signage in this format is pedestrian friendly and smaller graphics frequently draw the viewer closer to a window display thereby engaging them in the merchandising zone. This may serve as the only storefront identification in subtle form.

May potentially create an interesting play of light and shadows.

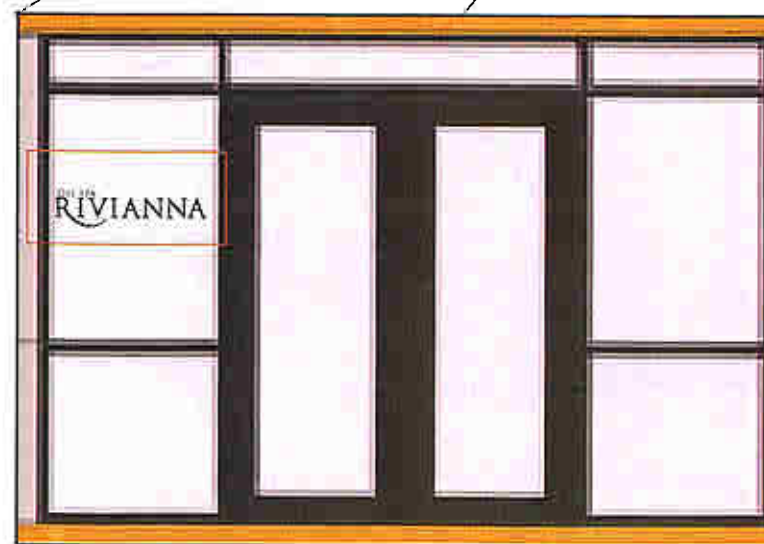
May serve as the only storefront identification in a very visible position on the storefront windows.

The larger scale and repetition of these graphics on glass are discouraged.

Encouraged Signage

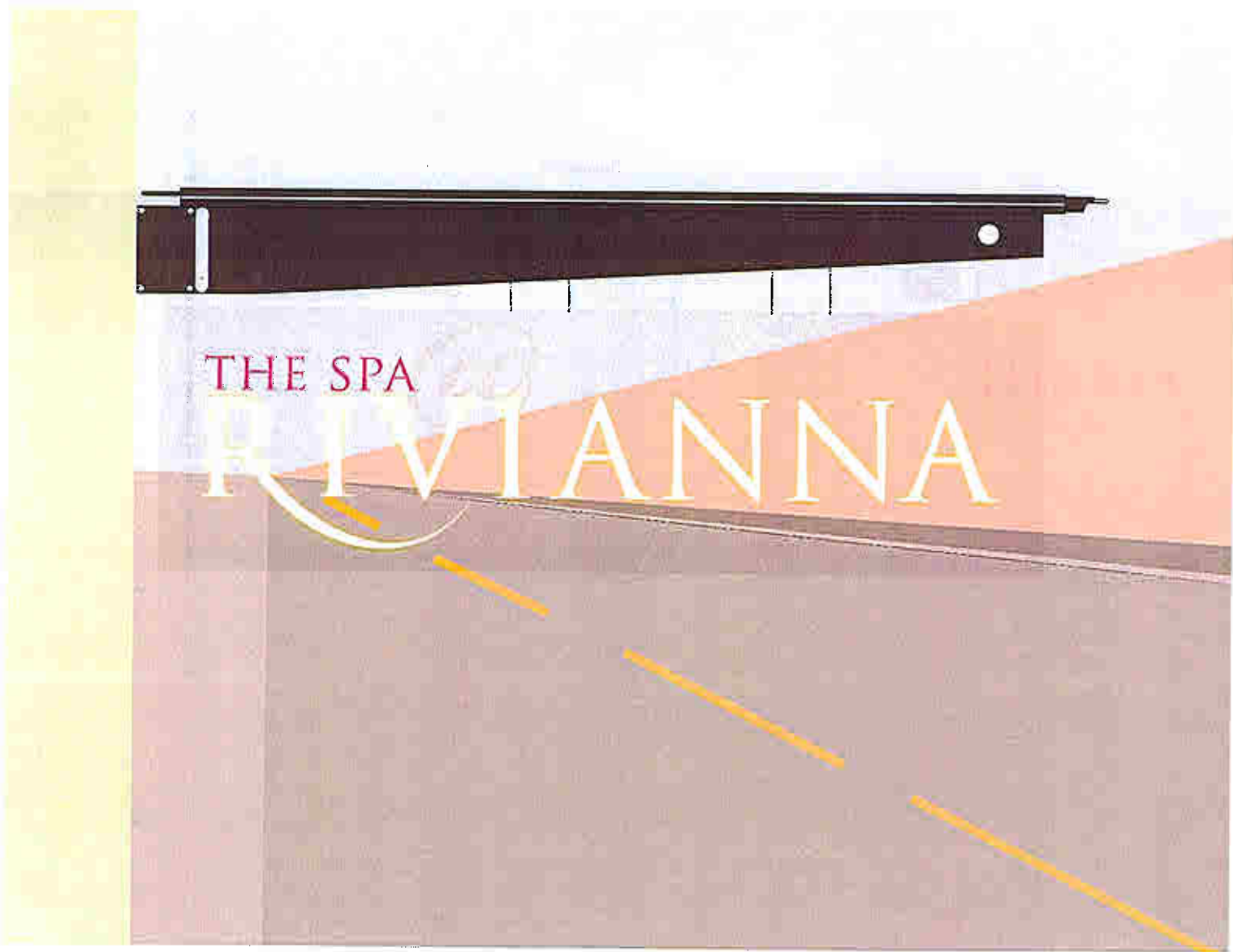
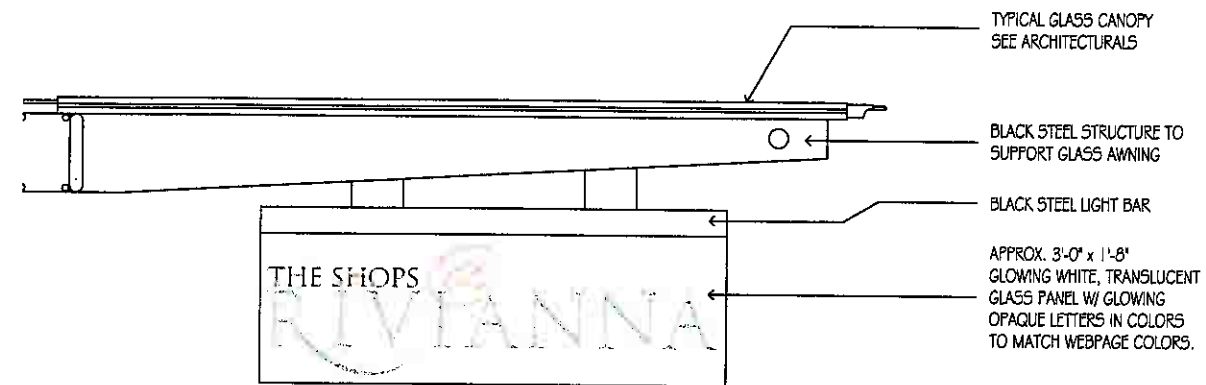
Halo lit letterforms pin-mounted off the building facade. This style of signage may be selectively lit with a secondary light source.

Stencil cut letters or numerals in a metal sign band add a tactile quality to a storefront.



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Proposed Awning Signage



Accessible Awning Signage

Material:

- Painted metal
- Brushed metal
- Acrylic w/ etched letters

Two standard sizes:

- Small: 24wx18h
- Large: 36wx24h

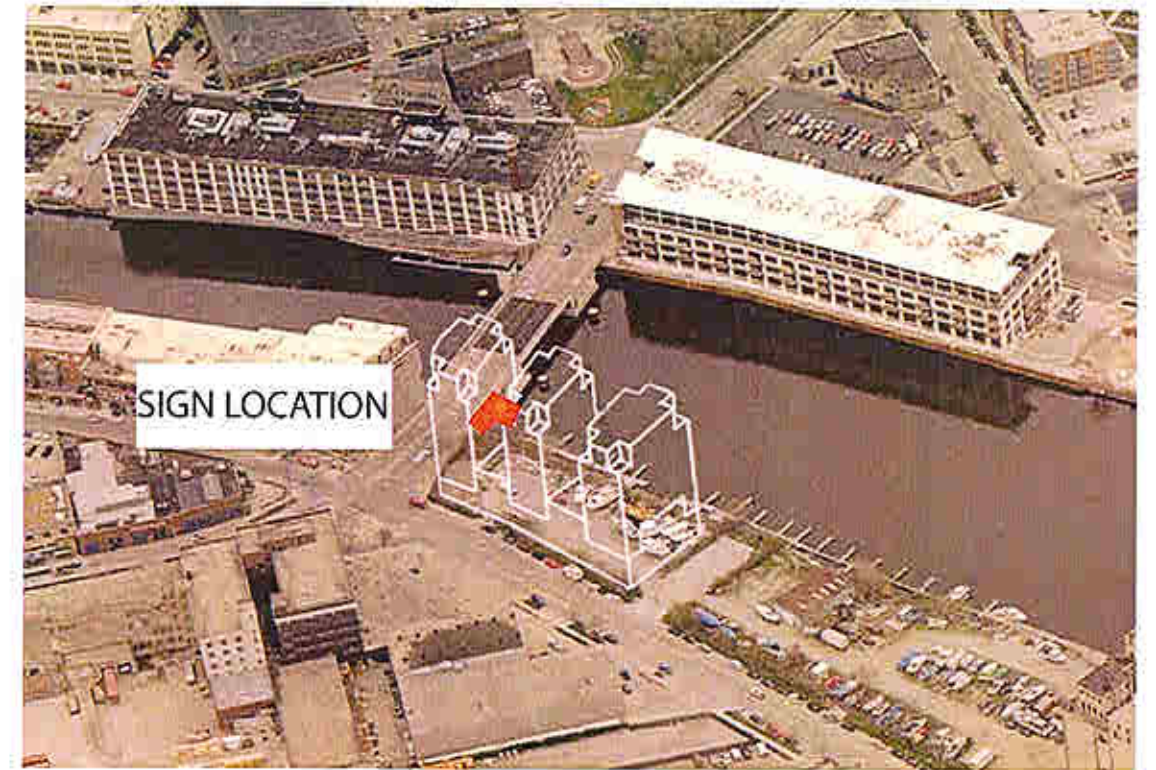
Lighting:

- White only except for hotel and other anchor tenants; Ex. Spa @ Rivianna.
- No nuisance point source lighting
- Ambient glows only (side lit acrylic panels will light up the etched lettering)
- No Neon









Color:

- Lighting: white only
- Signage: per owner
- Signage panel or panel frame to match awning color and material

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Temporary Development Signage

| | | | |
|--|--|--|---|
|  <p>HOTELS CONDOS CUSTOM TOWNHOMES <i>from the \$000's</i></p>  <p>(723) 456-7890 - www.Rivianna.com</p> | <p>COMING SOON TO THIS SITE!</p>  <p>Call Visit Our Website To get on our VIP LIST!</p>  <p>(723) 456-7890 - www.Rivianna.com</p> |  <p>HOTELS CONDOS CUSTOM TOWNHOMES <i>from the \$000's</i></p>  <p>(723) 456-7890 - www.Rivianna.com</p> | <p>COMING SOON TO THIS SITE!</p>  <p>Call Visit Our Website To get on our VIP LIST!</p>  <p>(723) 456-7890 - www.Rivianna.com</p> |
| 16 ft | | 16 ft | |
| 4 ft | | 8 ft | |



PO BOX 4571
TUALATIN, OR 97062

503 | 914 | 6279

www.Duke-Graphix.com

info@duke-graphix.com



Proposed Legibility Signage



Legibility Signage Requirements:

Font: Trajan Pro

Signs:

- Valet Enter
- Valet Exit
- Receiving
- Riverwalk Elevator
- Riverwalk Public Lobby/ Art Gallery
- Upper/ Lower Level Parking
- Accessible Entrance

TRAJAN PRO

ABCDEFGHIJKLM

MNOPQRSTUVWXYZ

WXYZ

1234567890