



# BUSINESS IMPROVEMENT DISTRICT 10

## 2020 OPERATING PLAN



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Executive Director  
Near West Side Partners, Inc.

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## BACKGROUND

In 1984, the Wisconsin legislature created Sec. 66.608 (currently Sec. 66.1109) of the Statutes enabling cities to establish Business Improvement Districts (BIDs). The purpose of the law is "...to allow businesses within those districts to develop, manage and promote the districts and to establish an assessment method to fund these activities." (1983 Wisconsin Act 184, Section 1, legislative declaration.) On October 30, 1992, the Common Council of the City of Milwaukee, by Resolution File Number 921091, created BID No. 10 - Avenues West and adopted its initial Operating Plan for the year 1993.

Section 66.1109 (3) (b), Wisconsin Statutes, requires that a BID Board "... shall annually consider and may make changes to the operating plan... The Board shall then submit the operating plan to the local legislative body for its approval." The Board of Business Improvement District No. 10 submits this Operating Plan for the year 2020 in fulfillment of the statutory requirement.

This plan proposes a continuation and expansion of activities described in the initial BID Operating Plan. Therefore, it incorporates by reference the earlier plans adopted by the Common Council. In the interest of brevity, this plan emphasizes the elements which are required by Sec. 66.1109, Wisconsin Statutes, and the proposed changes for 2020. It does not repeat the background information which is contained in the original plan nor include the Business Improvement District Statute, original petitions from property owners, or BID No. 10 Bylaws.

In 2016, the BID 10 Board approved expanding the boundaries of the BID to include properties west and north. This expansion is reflected in the attached maps.

## PHYSICAL SETTING

BID 10 is bounded by Interstate 43 on the east, Highway 41 on the west, Interstate 94 on the south and on the north by Vliet Street west of 27<sup>th</sup> Street and Highland Boulevard east of 27<sup>th</sup> Street. It includes the four primary arterials on the near west side of Milwaukee: 27<sup>th</sup> Street, 35<sup>th</sup> Street, Wisconsin Avenue and Vliet Street. In addition, there are several commercial corridors, including areas on St. Paul Avenue, Clybourn Street, Michigan Street, Kilbourn Avenue, Wells Street, State Street and others. A map of the District is provided in Appendix A.

PLAN OBJECTIVES

The objective of Business Improvement District No. 10 is, as stated in its first year, to "...continue the revitalization and improvements of a portion of Milwaukee's near west side." This objective is intended to be accomplished by maximizing both human and capital resources through the operation of an office whose staff implements and promotes activities determined appropriate by the board of directors in achieving the District's objective. The District has a continuing contract starting in 2016 with Near West Side Partners, Inc. as the agency to provide staffing and implementation in 2020.

Near West Side Partners, Inc. is a Section 501(c)(3) organization dedicated to revitalizing and sustaining the Near West Side of Milwaukee as a thriving business and residential corridor, through collaborative efforts to promote commercial corridor development, improved housing, unified neighborhood identity and branding, and greater safety for residents and businesses.

Near West Side Partners, Inc. envisions a vibrant Near West Side with a well-balanced mix of residential neighborhoods and business corridors that is thriving because it offers:

1. A safe and welcoming environment for employees, residents and visitors;
2. Residential neighborhoods that are attractive to those working in the area;
3. A distinct neighborhood identity and brand that is attractive to employers, employees, residents and visitors; and
4. A vibrant mix of commercial corridor development that serves the needs of those living and working on the Near West Side.

PROPOSED ACTIVITIES

The principal activities to be undertaken during 2020 are intended to result in enhanced neighborhood safety, improved area image, new development, and the increased value of present improvements. Possible staff activities include:

1. Directing and/or collaborating with other agencies (including Near West Side Partners, Inc.) in the implementation of long range plans approved by the Board;
2. Encouraging all commercial buildings to be maintained litter and graffiti-free, and financially supporting and coordinating the means to accomplish this goal;

3. Encouraging and supporting facade improvements to commercial properties within the BID, with emphasis on the SOHI District (27th street), 35<sup>th</sup> Street, Wisconsin Avenue, Vliet Street, and other commercial corridors;
4. Advising area businesses on safety and security measures and working with the security offices of area institutions, the Community Prosecution Unit (CPU) and the Milwaukee Police Department to address crime and safety issues;
5. Working with owners and managers of private and public property to encourage quality maintenance and management of their properties;
6. Providing staff assistance to property owners and developers who are engaged in property improvements and redevelopment activities;
7. Marketing and providing visual enhancement of the Near West Side's seven neighborhoods, including the newly reconstructed Wisconsin Avenue corridor;
8. Coordinating with economic development programs of area organizations, institutions and government agencies;
9. Collaborating with area BIDS and nonprofit organizations to develop long-term strategies to address homelessness and panhandling; and
10. Leading strategic efforts to recruit businesses and high-quality developments along major commercial corridors, in partnership and collaboration with Near West Side Partners (NWSP).

#### PROPOSED EXPENDITURES

Recognizing that it is beyond the resources and capacity of Business Improvement District No. 10 to address every significant issue affecting the Near West Side area, the Board shall set priorities for expenditures based on cost effectiveness and fulfillment of the goals of the BID. Grants may be awarded during the program year that are not presently identified as such but fit within the intent of the Operating Plan. Functional expenditures are anticipated to be in the approximate amounts set forth in Table 1 below.

#### FINANCING METHOD

It is proposed that \$331,923.14 will be obtained from assessments on property within the District. (See Appendix B.) The assessment method is described in the Method of Assessment Section of this plan. The BID Board shall have the authority and responsibility to prioritize expenditures and to revise the budget as necessary to match the funds actually available.

TABLE 1: INCOME AND EXPENDITURES

|                           |                  |
|---------------------------|------------------|
| <b>BID Revenue</b>        |                  |
| Assessments (339 parcels) | \$331,923        |
|                           |                  |
| <b>Total Revenue</b>      | <b>\$331,923</b> |
|                           |                  |
| <b>BID Expenses</b>       |                  |
| Total Personnel           | \$235,894        |
| Other Personnel Expenses  | \$15,035         |
| Non-Personnel Expenses    | \$80,994         |
|                           |                  |
| <b>Total Expense</b>      | <b>\$331,923</b> |
|                           |                  |
| <b>Net Income</b>         | <b>(0)</b>       |

**Income** for the BID comes from the assessments as explained in section, Assessment Rate and Method, page 11.

**Personnel Expenses** includes salary, benefits and taxes for 3.2 FTE staff paid by the BID. These positions include an executive director, an associate director, part-time office administrator, and part-time finance person.

**Other Personnel Expenses** includes audit fees; graffiti removal; payroll & 401K administration fees; and miscellaneous consulting fees.

**Non-Personnel Expenses & all other expenses** include both program and office expenses.

**Program expenses** include business grants, event expenses, and funds for security improvements. These funds are dedicated to supporting local business initiatives. Program expense may include (but not be limited to) the following projects and programs, as approved by the BID Board:

- Arts Programming
- Business Recruitment
- Business Retention
- Camera / Surveillance Projects

- Community Outreach & Engagement
- Educational & Training Programming
- Façade, Whitebox, Security & Signage Grant Programs
- Graffiti Removal Programs
- Landlord Compact
- Lighting Programs
- Marketing and Branding (i.e. website, mailings, etc.)
- Safety and Security Activities and Programming
- Streetscape Projects

**Office expenses** includes office equipment, supplies, rental/maintenance, dues and subscriptions, insurance, postage and delivery, printing, rent, telephone, internet, travel, meeting expenses, continuing education, depreciation, miscellaneous, and etc. These funds support the daily activity of the organization to operate.

#### ORGANIZATION OF BID BOARD

State law requires that the Board be composed of at least five members and that a majority of the Board members be owners or occupants of property within the District. Since the expansion of the BID boundaries, efforts have been taken to recruit members who are representative of the entire BID geography. The Board’s primary responsibility is implementation of the annual Operating Plan.

The Mayor appoints Directors who serve without compensation for three-year terms. The BID Board elects its own officers each year.

All meetings of the Board shall be governed by the Wisconsin Open Meetings Law. Files and records of the Board’s affairs shall be kept pursuant to public record requirements.

The Board shall meet quarterly, as stated in its bylaws.

#### ROLES AND RELATIONSHIPS

##### RELATIONSHIP TO NEAR WEST SIDE PARTNERS, INC.

NSWP is the contracting agency with the BID to provide services to the BID in accordance with this plan. The Executive Director of the NWSP shall also serve as the Executive Director of the BID with staff as necessary to implement the annual Operating Plan.

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#### RELATIONSHIP TO CITY OF MILWAUKEE

In February 1978, the Common Council of the City of Milwaukee adopted a Preservation Policy as the policy basis for its Comprehensive Plan and as a guide for its planning, programming and budgeting decisions. The Common Council reaffirmed and expanded the Preservation Policy in Resolution File Number 881978, adopted January 24, 1989. The Preservation Policy emphasizes maintaining Milwaukee's present housing, jobs, neighborhoods, services, and tax base rather than passively accepting loss of jobs and population, or emphasizing massive new development. In its January 1989 reaffirmation of the policy, the Common Council gave new emphasis to forging new public and private partnerships as a means to accomplish preservation.

The District is a means of formalizing and funding the public-private partnership between the City and property owners in the Near West Side area and for furthering preservation and redevelopment in this portion of the City of Milwaukee. Therefore, it is fully consistent with the City's Comprehensive Plan and Preservation Policy.

The Near West Side Area Comprehensive Plan was adopted as part of the City of Milwaukee's Overall Comprehensive Plan in March, 2004. According to Common Council Resolution, File No. 031371, "...Comprehensive Plan as approved shall provide guidance and serve as the basis for decision-making by the Common Council in its consideration of land use and physical development issues..."

Business Improvement District #10 may utilize, at its discretion, the recommendations contained within the Near West Side Comprehensive Plan and any of its amendments for the purpose of guidance and decision-making in the consideration of land-use and development issues.

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#### CITY ROLE IN DISTRICT OPERATIONS

The City of Milwaukee has committed to helping private property owners in the District promote its development. To this end, the City has played a significant role in the creation of the District and in the implementation of its Operating Plan. In particular, the City will:

1. Provide technical assistance as appropriate to the BID Board.
2. Monitor and, when appropriate, apply for outside funds that could be used in support of the District.
3. Collect BID assessments, maintain them in a segregated account, and disburse the monies of the District.
4. Receive a copy of the annual report including an independent audit from the BID Board as required per Sec. 66.1109(3) (c) of the BID law. If the audit is not provided within six



months of the due date, the City may contract for an independently certified audit with the cost paid from BID appropriations.

5. Provide the Board, through the Tax Commissioner's Office, on or before June 30th of each Plan year, with the official city records and assessed value of each tax key number within the District as of January 1st of each Plan year for purposes of calculating the BID assessments for the following Plan year.
6. Encourage the State of Wisconsin, Milwaukee County, and other units of government to support the activities of the District.

## METHOD OF ASSESSMENT

### ASSESSMENT RATE AND METHOD

The District proposes to continue the assessment rate and method used in its prior plans, with minor modifications as noted below. The principle behind the assessment methodology is that each property should contribute to the BID in proportion to the benefit derived from the BID. After consideration of other assessment methods, it was determined that assessed value of a property was the characteristic most directly related to the potential benefit provided by the BID. Therefore, a special assessment based on the assessed value of each property was selected as the basic assessment method for this BID.

However, maintaining an equitable relationship between the BID assessment and the expected benefits requires an adjustment to the basic assessment method. To prevent a disproportionate assessment of a small number of high value properties, a maximum assessment of \$6,000.00 per parcel will be applied to all properties. In addition, a per-owner cap will apply such that no single property owner (as to all properties owned directly or indirectly through a title-holding entity) will be assessed more than \$25,000 in the aggregate across all of the assessable parcels in the BID. Owners of multiple properties through title-holding entities who may be entitled to the per-owner cap may submit to the BID 10 Executive Director legally recognized documentation demonstrating ownership of the properties and the affiliated title-holding entities prior to the assemblage and approval of the annual operating plan.

The assessment total for BID purposes is \$331,923 (339 parcels). This plan proposes to assess the property in the District at a rate of \$3.00 per \$1,000.00 of assessed value, subject to the maximum assessment of \$6,000 per parcel and the aggregate maximum of \$25,000 per owner. Appendix B shows the projected BID assessment for each property included in the District.

## EXCLUDED AND EXEMPTED PROPERTY

The BID law requires explicit consideration of certain classes of property.

1. The District will contain property used exclusively for manufacturing purposes, as well as properties used in part for manufacturing. These properties will be assessed according to the method set forth in this Plan because they also benefit from the activities of the District.
2. State Statute 66.1109(5) (a): Property known to be used exclusively for residential purposes may not be assessed by the District. Such properties will be identified as BID exempt properties in Appendix B, as revised each year.
3. There are several large residential buildings in the District in which ground floor retail or office space is provided. To prevent the disproportionate assessment of such properties, this Plan provides for an adjustment to the assessment of "substantially residential property."
4. Real property, on which more than 66-2/3% of the square footage of the area of the building of such real property is used for residential purposes, is defined as "substantially residential property." The law authorizing the creation of BIDs states the intention that residential space is considered a residential, and not a commercial use. Therefore, the owner of any substantially residential property within the BID may certify to the BID Board the square footage of such real property used for residential and nonresidential purposes. The percentage of square footage used for nonresidential purposes, as compared to the total square footage of such building, multiplied by the assessed value for the entire value for the entire building on such real property, shall be the value of the real property used for multiplication against the BID assessment rate, subject to the \$6,000 per parcel and \$25,000 per owner caps. (There is no minimum assessment.) Calculation of floor area shall exclude basement area. Properties which received an adjusted assessment for 2018 shall be assessed for 2020 only on the non-residential portion of the property as certified by the owner and accepted by the Board. These adjustments are reflected in the amounts shown in Appendix B.
5. Privately owned tax-exempt property adjoining the District and which is expected to benefit from District activities may be asked to make a financial contribution to the District on a voluntary basis.

## FUTURE YEAR DEVELOPMENT AND OPERATING PLAN

Section 66.1109 (3) (a) of the BID law requires an annual review of the Operating Plan, but permits rather than requires revisions of the Plan. The Board interprets this wording as encouraging consistency in program and approach from year to year.

The Board expects to revise the Operating Plan each year to reflect changes in assessed values and costs, completion of specific programs, and changing development needs and opportunities. However, the Board intends each Plan to reflect the same purposes and objectives that provided the basis for the creation of the District. The BID Operating Plan will continue to apply the assessment formula, as adjusted, to raise funds to meet the next annual budget. However, the method of assessing shall not be materially altered, except with the consent of the City of Milwaukee. Approval by the Common Council of the Annual Operating Plan shall be conclusive evidence that the Plan has complied with Section 66.1109 Wisconsin Statutes.

## AMENDMENT, SEVERABILITY AND EXPANSION

This BID was created under the authority of Section 66.608 (currently 66.1109) of the Statutes of the State of Wisconsin. Should any court find any portion of this Statute invalid or unconstitutional, its decision will not invalidate or terminate the BID and this BID Operating Plan shall be amended to conform to the law without need of re-establishment.

Should the legislature amend the Statute to narrow or broaden the process of a BID so as to exclude or include as assessable properties of a certain class or classes of properties, then this BID Operating Plan may be amended by the Common Council of the City of Milwaukee as and when it conducts its annual Operating Plan approval and without necessity to undertake any other act. This action is specifically authorized under Section 66.1109 (3) (b).

## STAFF AND BOARD

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### BID OFFICERS

President: Rick Wiegand, Wiegand Enterprises/Ambassador Hotel

Vice President: John Hennessy, Hennessy Group

Secretary: Dan Naumann, Great Lakes Commercial Sales

Treasurer: Aaron Martinez, CPA, MillerCoors

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### BID BOARD MEMBERS

Rana Altenburg, Marquette University

Kamari Green, Aurora Health Care

Ben Lorber, WISN

Pat McQuillan, Central Standard Craft Distillery

Tom Schmitt, CPA, Select Management

Tom Straub, CMS Contracting, LLC

Jason Tolleson, Harley-Davidson

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### STAFF

Keith Stanley, Executive Director

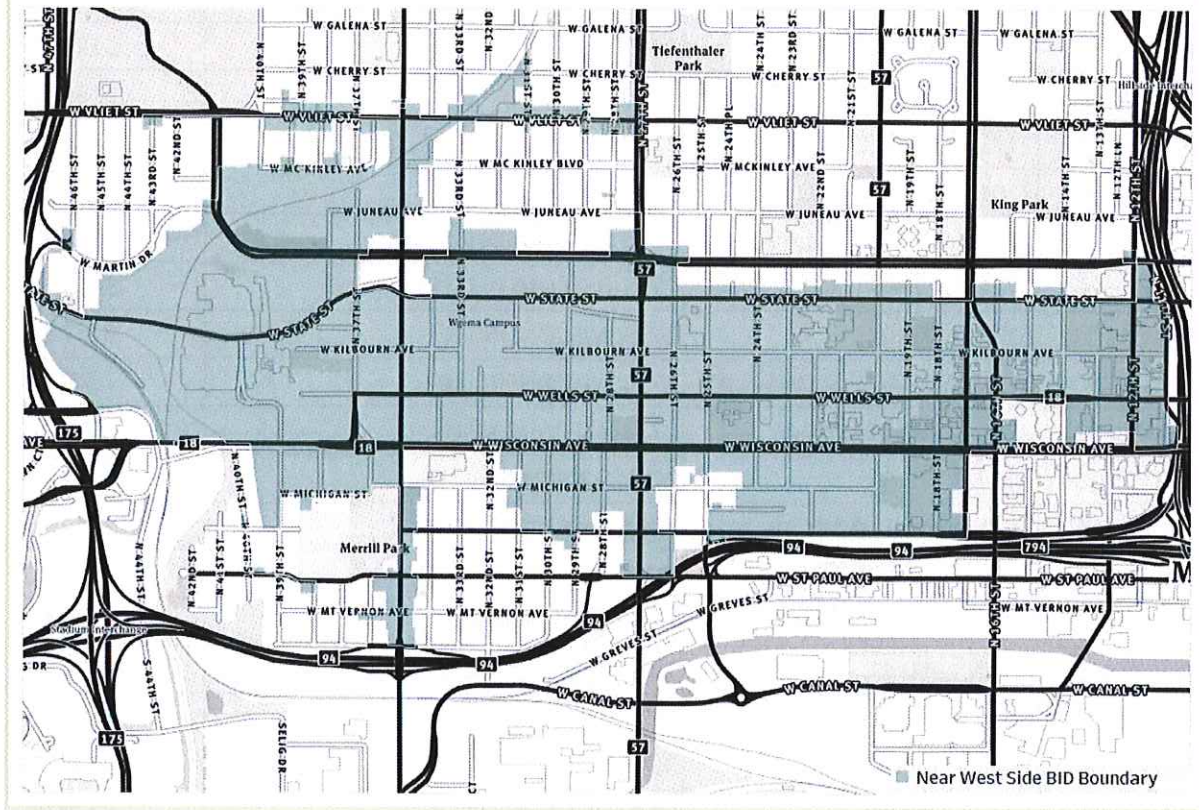
Lindsey St. Arnold Bell, Associate Director

Elizabeth Moen, Administrative Assistant

Gail Kahovic, Finance Manager

APPENDIX A: MAP OF BID

Near West Side BID Boundary



APPENDIX B: VALUES AND ASSESSMENTS

| Taxkey     | Address                  | Owner                      | Assessment |
|------------|--------------------------|----------------------------|------------|
| 3632723000 | 1834 W WISCONSIN AV      | 1722 LLC                   | \$1,706.70 |
| 4000206100 | 2102 W MICHIGAN ST       | 2029 LLC                   | \$124.20   |
| 3891538000 | 2104-2106 W WELLS ST     | 2106 WELLS LLC             | \$136.57   |
| 4000220100 | 2123 W MICHIGAN ST       | 2123 WEST MICHIGAN LLP     | \$1,496.10 |
| 4010501000 | 2701-2703 W WISCONSIN AV | 2701 WISCONSIN LLC         | \$359.10   |
| 4010504100 | 2719 W WISCONSIN AV      | 2725 WISCONSIN LLC         | \$836.70   |
| 4010505000 | 2725-2727 W WISCONSIN AV | 2725 WISCONSIN LLC         | \$169.65   |
| 4010511000 | 625 N 27TH ST            | 2725 WISCONSIN LLC         | \$139.50   |
| 4010506000 | 2729-2731 W WISCONSIN AV | 2733 WISCONSIN LLC         | \$47.70    |
| 4010507000 | 2733 W WISCONSIN AV      | 2733 WISCONSIN LLC         | \$578.70   |
| 4010520100 | 605 N 27TH ST            | 27TH & MICHIGAN LLC        | \$334.20   |
| 4010901112 | 2801 W WISCONSIN AV      | 2801 WISCONSIN LLC         | \$649.80   |
| 4010502000 | 2709-2711 W WISCONSIN AV | 28TH & MICHIGAN LLC        | \$86.70    |
| 4010516100 | 2720-2730 W MICHIGAN ST  | 28TH & MICHIGAN LLC        | \$140.40   |
| 4010961000 | 504 N 29TH ST            | 2965 RICHARDS LLC          | \$225.01   |
| 4012015000 | 3127 W WISCONSIN AV      | 3127 WEST WISCONSIN        | \$995.70   |
| 4020020000 | 3504 W PARK HILL AV      | 3504 LLC                   | \$96.77    |
| 4010753100 | 234 N 35TH ST            | 35TH HOLDING LLC           | \$129.90   |
| 3870012000 | 3700 W WELLS ST          | 3700 WEST WELLS STREET LLC | \$641.70   |
| 3660505000 | 3827 W VLIET ST          | 3827 VLIET LLC             | \$551.70   |
| 3650807110 | 2900 W VLIET ST          | 414 ENTERPRISES LLC        | \$1,056.60 |
| 3860051100 | 4648 W STATE ST          | 47TH & STATE LLC           | \$493.80   |
| 4010984100 | 505 N 27TH ST            | 505 27TH ST LLC            | \$151.80   |
| 3891208000 | 2502-2506 W WISCONSIN AV | A & I PETROLEUM LLC        | \$447.00   |
| 3910202000 | 855 N 11TH ST            | A CHUDNOW & SONS           | \$364.80   |
| 3891606000 | 2218-2220 W WELLS ST     | ACCOMODATING BLDG CO INC   | \$39.30    |
| 3891607000 | 2224-2228 W WELLS ST     | ACCOMODATING BLDG CO INC   | \$709.80   |
| 3891605000 | 2212-2214 W WELLS ST     | ACCOMODATING BUILDING CO   | \$39.90    |
| 3632450000 | 1822-1824 W STATE ST     | ADVANTA IRA SERVICES       | \$56.31    |
| 4010201100 | 3435 W CLYBOURN ST       | AGAPE PROPERTIES LLC       | \$477.90   |

|            |                          |                              |            |
|------------|--------------------------|------------------------------|------------|
| 3879995000 | 971-975 N 37TH ST        | AGNES VONGKHAMSA             | \$82.88    |
| 3650075000 | 1334 N 35TH ST           | AHMAD PROPERTIES LLC         | \$550.20   |
| 3661401110 | 1353 N 35TH ST           | AHMAD PROPERTIES LLC         | \$936.00   |
| 3661402100 | 1333 N 35TH ST           | AHMAD PROPERTIES LLC         | \$412.50   |
| 3650072100 | 3431-3433 W VLIET ST     | AHMAD PROPERTIES LLC         | \$296.70   |
| 4012013000 | 3111 W WISCONSIN AV      | ALAN D EISENBERG REVOC TRUST | \$1,124.10 |
| 3870704000 | 3539 W STATE ST          | ALFRED SCHIENKE              | \$548.10   |
| 4010959000 | 2812 W CLYBOURN ST       | ALI YURTTAS                  | \$174.90   |
| 4020329000 | 3928-3934 W ST PAUL AV   | ALISON B AKIN                | \$85.01    |
| 3890743110 | 2412-2416 W STATE ST     | ALLEY CAT PROPERTIES LLC     | \$703.68   |
| 4000505100 | 2227 W WISCONSIN AV      | AMBASSADOR ENTERPRISE LLC    | \$118.50   |
| 4000519000 | 2301-2305 W WISCONSIN AV | AMBASSADOR ENTERPRISE LLC    | \$4,041.60 |
| 3892001000 | 2308-2324 W WISCONSIN AV | AMBASSADOR ENTERPRISES       | \$6,000.00 |
| 3881101100 | 2708 W WISCONSIN AV      | AMBASSADOR SUITES LLC        | \$600.00   |
| 3910201000 | 1119 W KILBOURN AV       | AMC REALTY LLC               | \$474.30   |
| 3880664000 | 3424 W WELLS ST          | AMOULI INVESTMENT LLC        | \$467.70   |
| 3870703000 | 3535 W STATE ST          | ANDY SONG                    | \$854.40   |
| 3870712000 | 926-R N 37TH ST          | ANDY SONG                    | \$27.90    |
| 3661736000 | 3800 W VLIET ST          | ANTWON S PERKINS             | \$143.40   |
| 3891029100 | 2020 W STATE ST          | AREC 10 LLC                  | \$3,714.90 |
| 3910209100 | 840 N 12TH ST            | AURORA HEALTH CARE           | \$5,000.00 |
| 3910226112 | 925-953 N 12TH ST        | AURORA HEALTH CARE           | \$5,000.00 |
| 3910227110 | 1218 W KILBOURN AV       | AURORA HEALTH CARE           | \$5,000.00 |
| 3910307110 | 1020 N 12TH ST           | AURORA HEALTH CARE           | \$5,000.00 |
| 3910509113 | 948-960 N 12TH ST        | AURORA HEALTH CARE           | \$5,000.00 |
| 3632447100 | 1812 W STATE ST          | BADGER DISTRIBUTING          | \$465.90   |
| 3632448000 | 1816 W STATE ST          | BADGER DISTRIBUTING OF       | \$298.80   |
| 3661510000 | 3500 W VLIET ST          | BASSAM AL-RAMAHI             | \$127.35   |
| 3650286000 | 1419 N 31ST ST           | BENEDICT WEILER              | \$101.10   |
| 3890870110 | 2522 W STATE ST          | BETTY STOUGH LLC             | \$3,229.50 |
| 3891577100 | 725 N 22ND ST            | BILLER HOTEL, LTD            | \$3,004.50 |
| 4010911100 | 2919 W WISCONSIN AV      | BLANKSTEIN ENTERPRISES INC   | \$209.37   |
| 3891584000 | 2224 W WISCONSIN AV      | BLANKSTEIN ENTERPRISES, INC. | \$155.06   |
| 3891567100 | 2120 W WISCONSIN AV      | BMO HARRIS BANK NA           | \$3,397.80 |

|            |                          |                              |            |
|------------|--------------------------|------------------------------|------------|
| 4000041100 | 510 N 27TH ST            | BOCKHORST PROPERTIES LLC     | \$421.20   |
| 3881704000 | 2929 W HIGHLAND BL       | BRADLEY T CARTER             | \$945.00   |
| 4000601000 | 2001 W WISCONSIN AV      | BRETT II LLC                 | \$873.88   |
| 4000602000 | 2009-2011 W WISCONSIN AV | BRETT II, LLC                | \$103.20   |
| 4000605000 | 623 N 20TH ST            | BRETT II, LLC                | \$45.60    |
| 4000606000 | 623-R N 20TH ST          | BRETT II, LLC                | \$5.70     |
| 4000217100 | 2030 W CLYBOURN ST       | C CATALANO CO, INC           | \$1,956.00 |
| 4029989000 | 3510 W ST PAUL AV        | CABLE CONTRACT SERVICES      | \$255.00   |
| 3632655000 | 812-814 N 18TH ST        | CAMPUS DEVELOPMENT LLC       | \$28.80    |
| 4000604100 | 2017-2023 W WISCONSIN AV | CAPT FREDERICK PABST MANSION | \$1,551.60 |
| 4000952000 | 418 N 27TH ST            | CAREY PROPERTIES LLC         | \$1,241.10 |
| 3919994100 | 1100-1116 W WELLS ST     | CATHOLIC FINANCIAL LIFE      | \$6,000.00 |
| 3881632100 | 3216 W HIGHLAND BL       | CCCM REALTY LLC              | \$5,569.20 |
| 3880114100 | 801-813 N 27TH ST        | CECELIA ANNEX LLC            | \$284.99   |
| 3880114200 | 817-831 N 27TH ST        | CECELIA BUILDING LLC         | \$432.60   |
| 3650412110 | 3412 W JUNEAU AV         | CENTER CITY CORP             | \$153.60   |
| 4000001110 | 639 N 25TH ST            | CENTRAL UNITED METHODIST     | \$440.10   |
| 3651201000 | 3424-3426 W VLIET ST     | CFSC PROPERTIES LLC          | \$11.10    |
| 3651202000 | 3428-3432 W VLIET ST     | CFSC PROPERTIES LLC          | \$200.40   |
| 3661713100 | 3710-3712 W VLIET ST     | CHA LOR                      | \$124.80   |
| 3891556100 | 2101 W WELLS ST          | CHARLES TUNKIEICZ FARMS, INC | \$165.00   |
| 3650004000 | 2729 W VLIET ST          | CHER X YANG                  | \$742.50   |
| 3891110100 | 1003 N 22ND ST           | CITY ON A HILL INC           | \$73.20    |
| 3891594100 | 853 N 22ND ST            | CITY ON A HILL INC           | \$131.10   |
| 3891941000 | 2224 W KILBOURN AV       | CITY ON A HILL INC           | \$445.81   |
| 3632554000 | 1701 W STATE ST          | CLEAR CHANNEL OUTDOOR INC    | \$6.60     |
| 3650299200 | 3116 W CHERRY ST         | COMMUNITY CARE INC           | \$63.60    |
| 3910255110 | 1202-1212 W HIGHLAND AV  | CONTINENTAL A1 CORP          | \$3,423.00 |
| 3860209120 | 980 N 45TH ST            | COWEN FAMILY TRUST           | \$1,616.40 |
| 3881637000 | 3112 W HIGHLAND BL       | CREAM CITY PROPERTIES LLC    | \$2,733.00 |
| 3881204000 | 901-917 N 27TH ST        | D & R KILBOURN PROPERTY LLC  | \$1,300.20 |
| 4012001100 | 3001 W WISCONSIN AV      | DAHI CORPORATION DBA         | \$3,114.30 |
| 4020239000 | 4000 W CLYBOURN ST       | DANIEL E WATERS TOD          | \$321.22   |
| 3891571000 | 2117-2131 W WELLS ST     | DEBRA JEAN THATCHER          | \$475.20   |



|            |                         |                             |            |
|------------|-------------------------|-----------------------------|------------|
| 3870755110 | 3522 W WISCONSIN AV     | DEHE48 WISCONSIN LLC        | \$5,322.00 |
| 3650067110 | 3247 W VLIET ST         | DELTA PRINTING CORP         | \$424.50   |
| 3651173000 | 3314 W VLIET ST         | DENISE BEVERLY-DAVIS        | \$11.10    |
| 3860209110 | 4300 W MONARCH PL       | DENNIS HAMEISTER            | \$725.70   |
| 3880413100 | 3300 W WISCONSIN AV     | DENNIS PERKINS LLC          | \$125.40   |
| 3661509000 | 1421 N 35TH ST          | DOUGLAS H SNOW              | \$12.60    |
| 3632426000 | 1926-1928 W STATE ST    | DOUGLAS P LAWINGER          | \$122.70   |
| 4011028000 | 2724 W ST PAUL AV       | DREAMLAND PETROLEUM COMPANY | \$22.50    |
| 4012172000 | 2710 W ST PAUL AV       | DREAMLAND PETROLEUM COMPANY | \$108.30   |
| 4012171000 | 405 N 27TH ST           | DREAMLAND PETROLEUM COMPANY | \$4,521.30 |
| 3650071100 | 3329 W VLIET ST         | DULCE M B TREJO             | \$174.00   |
| 3891320000 | 2302 W STATE ST         | DYAN WARD                   | \$167.85   |
| 4000766100 | 522-530 N 22ND ST       | EAGLES530 LLC               | \$1,223.10 |
| 4000708000 | 2401 W WISCONSIN AV     | EAGLES AUDITORIUM INC       | \$2,173.50 |
| 4000730111 | 2407 W MICHIGAN ST      | EAGLES AUDITORIUM INC       | \$606.60   |
| 4000709000 | 2425 W WISCONSIN AV     | EAGLE'S AUDITORIUM INC      | \$201.90   |
| 4000742000 | 538 N 25TH ST           | EAGLE'S AUDITORIUM INC      | \$38.70    |
| 4000743000 | 534 N 25TH ST           | EAGLE'S AUDITORIUM INC      | \$37.20    |
| 3661757100 | 3904-3906 W VLIET ST    | EDUCARE ACADEMY LLC         | \$107.39   |
| 3881005000 | 3306 W HIGHLAND BL      | ELIJAH M RASHAED            | \$277.41   |
| 4000770110 | 2455 W CLYBOURN ST      | ELLER MEDIA CO              | \$107.10   |
| 3660902000 | 3525 W VLIET ST         | ERNEST ZAZUETA              | \$176.70   |
| 3660903000 | 3529 W VLIET ST         | ERNEST ZAZUETA              | \$151.80   |
| 3880644100 | 930-932 N 35TH ST       | ESSA PROPERTIES LLC         | \$105.60   |
| 3880647100 | 950 N 35TH ST           | ESSA PROPERTIES LLC         | \$1,361.40 |
| 3891582000 | 2210 W WISCONSIN AV     | ETD DEVELOPMENT LLC         | \$2,327.40 |
| 3650299100 | 1511 N 31ST ST          | EXTREME ENTERPRISES LLC     | \$278.40   |
| 4011063000 | 2911-2913 W CLYBOURN ST | FALA7 INVESTMENTS LLC       | \$21.90    |
| 4011064100 | 2901-2909 W CLYBOURN ST | FALA7 INVESTMENTS LLC       | \$793.61   |
| 4011066000 | 437 N 29TH ST           | FALA7 INVESTMENTS LLC       | \$44.10    |
| 3890703000 | 2411-2419 W STATE ST    | FIFTH PROP DEVELOPMENT LLC  | \$202.65   |
| 3901311000 | 1924-1932 W WELLS ST    | FIRST MILWAUKEE PROPERTIES  | \$1,100.10 |
| 4029983100 | 333 N 35TH ST           | FIRST SERVICE CREDIT UNION  | \$2,066.10 |
| 4000002100 | 2525 W WISCONSIN AV     | FIRSTAR BANK NA             | \$1,581.90 |

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| 3881418110 | 3333 W HIGHLAND BL      | FOREST COUNTY POTAWATOMI             | \$1,599.30 |
| 3881715100 | 3209 W HIGHLAND BL      | FOREST COUNTY POTAWATOMI             | \$952.50   |
| 3881716110 | 3215 W HIGHLAND BL      | FOREST COUNTY POTAWATOMI             | \$65.70    |
| 3890900112 | 2622 W KILBOURN AV      | FOUNTAIN CRE LLC                     | \$132.90   |
| 3650024110 | 2807-2811 W VLIET ST    | FRIENDS OF HOUSING CORP              | \$373.20   |
| 4010978111 | 547 N 27TH ST           | FROEBEL REALTY CO., INC              | \$684.90   |
| 4011081000 | 2929-2931 W CLYBOURN ST | GARFIELD PLUNKETT                    | \$157.50   |
| 3881203000 | 921-927 N 27TH ST       | GARY LEE LIESKE                      | \$341.35   |
| 3661758000 | 3910-3912 W VLIET ST    | GEANICE GLADNEY                      | \$138.75   |
| 3870018100 | 749 N 37TH ST           | GEORGE W RUSSELL AND NATALIE RUSSELL | \$591.00   |
| 3900012100 | 1434 W STATE ST         | GRZECA ENTERPRISES LTD               | \$972.00   |
| 3650284100 | 3106 W VLIET ST         | GTG PROPERTIES LLC                   | \$336.90   |
| 3661981000 | 1302 N 38TH ST          | HARLEY DAVIDSON INC                  | \$178.50   |
| 3870388111 | 1235 N 35TH ST          | HARLEY DAVIDSON INC                  | \$6,000.00 |
| 3660518000 | 1300-1302 N 39TH ST     | HARLEY DAVIDSON MOTOR CO             | \$15.90    |
| 3871151000 | 1127 N 35TH ST          | HARLEY DAVIDSON MOTOR CO             | \$2,444.10 |
| 3660138112 | 3700 W JUNEAU AV        | HARLEY DAVIDSON MOTOR CO             | \$6,000.00 |
| 3870367114 | 3725 W JUNEAU AV        | HARLEY DAVIDSON MOTOR CO             | \$1,191.00 |
| 3660137100 | 3721 W MC KINLEY AV     | HARLEY-DAVIDSON MOTOR CO             | \$686.40   |
| 3890301000 | 954-956 N 27TH ST       | HAUSMANN ENTERPRISES LLC             | \$127.95   |
| 3890896000 | 2611-2613 W STATE ST    | HAUSMANN ENTERPRISES LLC             | \$264.30   |
| 3632626110 | 1900 W WELLS ST         | HEARST-ARGYLE STATIONS INC           | \$863.40   |
| 3632724110 | 759 N 19TH ST           | HEARST-ARGYLE STATIONS INC           | \$6,000.00 |
| 3670013000 | 4303 W VLIET ST         | HERITAGE WEST PROPERTIES             | \$330.30   |
| 3900109000 | 811 N 14TH ST           | HSRE MARQUETTE LLC                   | \$3,441.39 |
| 3661714000 | 3714-3716 W VLIET ST    | ILO CORPORATION                      | \$118.80   |
| 3661717000 | 3726-3728 W VLIET ST    | J E D INVESTMENT CORPORATION         | \$54.30    |
| 3860052000 | 4634 W STATE ST         | J&L STADLER INVESTMENTS              | \$288.75   |
| 3900218000 | 1014 N 16TH ST          | JAMES L MCNAUGHTON                   | \$231.00   |
| 3861103110 | 4601 W JAMES ST         | JAMES STREET LLC                     | \$366.00   |
| 3900014100 | 1426 W STATE ST         | JAMES T LOCKE                        | \$330.00   |
| 3660725000 | 4110 W MARTIN DR        | JAMI LLC                             | \$592.70   |
| 4029987000 | 401 N 35TH ST           | JASKIRAN TOOR                        | \$139.50   |

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|------------|--------------------------|------------------------------|------------|
| 3632427000 | 1932 W STATE ST          | JASWINDER KAUR               | \$22.80    |
| 3890910000 | 914 N 27TH ST            | JB PROPERTIES LTD PTNRSP     | \$1,191.00 |
| 3870706000 | 3611 W STATE ST          | JD HARRIS                    | \$226.50   |
| 4000037210 | 534-536 N 27TH ST        | JEROME A MURRAY              | \$269.40   |
| 3980686000 | 515 N 19TH ST            | JOHN J PICCIURO              | \$81.30    |
| 3980687100 | 1900 W CLYBOURN ST       | JOHN J PICCIURO ET AL        | \$888.00   |
| 3890302000 | 958-960 N 27TH ST        | JOHN MEYERS                  | \$166.33   |
| 3890303000 | 962-966 N 27TH ST        | JOHN MEYERS                  | \$367.65   |
| 3890304000 | 2627-2631 W STATE ST     | JOHN MEYERS                  | \$125.25   |
| 3890305000 | 2623-2625 W STATE ST     | JOHN MEYERS                  | \$37.50    |
| 3891730110 | 2424-2434 W WELLS ST     | JOHNSON SQUARE MILW LLC      | \$390.70   |
| 3661931100 | 4212 W HIGHLAND BL       | JONAS FAMILY LTD PARTNERSHIP | \$6,000.00 |
| 3660122000 | 3737-3739 W VLIET ST     | JOSEPH ALAKA                 | \$69.90    |
| 3661761000 | 3922-3926 W VLIET ST     | JOYE A PETERSON              | \$93.90    |
| 3651200000 | 3416-3422 W VLIET ST     | JUAN M TREJO                 | \$271.53   |
| 3900214100 | 1530 W STATE ST          | KASHMIR MULTANI              | \$1,272.90 |
| 3882210121 | 3022 W KILBOURN AV       | KILBOURN KNOLL LLC           | \$28.80    |
| 3880501000 | 3435-3447 W WELLS ST     | KINKUN INC                   | \$222.45   |
| 4010758110 | 212 N 35TH ST            | KLER'S 35TH STREET           | \$1,565.10 |
| 4010755000 | 222-224 N 35TH ST        | KLER'S 35TH STREET PROPERTY  | \$311.10   |
| 3891802100 | 2313 W WELLS ST          | KOPCA INVESTMENTS LLC        | \$693.90   |
| 3899998000 | 2524-2526 W WISCONSIN AV | LA I LLC                     | \$94.80    |
| 3899999000 | 2532 W WISCONSIN AV      | LA I LLC                     | \$837.90   |
| 3651171100 | 3308 W VLIET ST          | LADDI LLC                    | \$2,207.40 |
| 3890517000 | 820-826 N 27TH ST        | LAKESIDE EFFECT LLC          | \$163.05   |
| 4011082000 | 2925 W CLYBOURN ST       | LEONARD R GIGOWSKI TRUST     | \$77.10    |
| 4000219100 | 2100 W CLYBOURN ST       | LOFTUS GROUP II LLC          | \$1,192.50 |
| 3891583000 | 2220 W WISCONSIN AV      | MARGARET CHRISTODOULAKIS     | \$569.70   |
| 3660540100 | 3935-3937 W VLIET ST     | MARK CLOUGH                  | \$140.68   |
| 3879989110 | 4111 W MARTIN DR         | MARKSIDE APARTMENTS PARTNERS | \$89.10    |
| 3632671100 | 845 N 16TH ST            | MARQUETTE DELTA CORPORATION  | \$1,311.29 |
| 4000624000 | 501 N 20TH ST            | MARQUETTE LOFTS LLC          | \$641.99   |
| 3632696000 | 1601-1607 W WELLS ST     | MARQUETTE UNIVERSITY         | \$849.90   |
| 3901181000 | 1633 W WELLS ST          | MARQUETTE UNIVERSITY         | \$1,778.70 |

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| 3901183000 | 1617 W WELLS ST             | MARQUETTE UNIVERSITY     | \$716.40   |
| 3901185000 | 1613 W WELLS ST             | MARQUETTE UNIVERSITY     | \$867.30   |
| 3901187000 | 1609-1611 W WELLS ST        | MARQUETTE UNIVERSITY     | \$429.00   |
| 3901188100 | 1624 W WELLS ST, Unit 5C1   | MARQUETTE UNIVERSITY     | \$2,291.10 |
| 3901188300 | 803-811 N 16TH ST, Unit 5C3 | MARQUETTE UNIVERSITY     | \$3,423.30 |
| 3901190000 | 1528-1532 W WELLS ST        | MARQUETTE UNIVERSITY     | \$6,000.00 |
| 3901212100 | 1610-1616 W WISCONSIN AV    | MARQUETTE UNIVERSITY     | \$2,966.10 |
| 3910218000 | 1200 W WELLS ST             | MARQUETTE UNIVERSITY     | \$498.60   |
| 3910219100 | 1222 W WELLS ST             | MARQUETTE UNIVERSITY     | \$394.20   |
| 4020519000 | 3607 W MT VERNON AV         | MARY K BERG              | \$223.57   |
| 3650031100 | 2901-2907 W VLIET ST        | MARY L BUEHLER REV TRUST | \$180.90   |
| 3632452000 | 1830-1834 W STATE ST        | MATRIC INC               | \$14.70    |
| 3650419120 | 1224 N 35TH ST              | MC DONALDS CORP          | \$1,737.00 |
| 4000711100 | 2455 W WISCONSIN AV         | MCDONALDS CORP           | \$1,857.00 |
| 4029999100 | 3501-3535 W WISCONSIN AV    | MEGAL DEVELOPMENT CORP   | \$2,603.10 |
| 4000752110 | 2404 W CLYBOURN ST          | MEI HUA MARKET LLC       | \$2,122.50 |
| 3870756110 | 733-741 N 35TH ST           | METRO MILWAUKEE FLORISTS | \$755.10   |
| 3890929000 | 2608-2610 W STATE ST        | MICHAEL CHRIST           | \$271.80   |
| 3860218000 | 4719-4723 W STATE ST        | MIKE TORMEN              | \$359.10   |
| 3870013100 | 3800 W WELLS ST             | MILLERCOORS LLC          | \$1,562.50 |
| 3870369112 | 3701-3731 W HIGHLAND BL     | MILLERCOORS LLC          | \$1,562.50 |
| 3871141100 | 3939 W HIGHLAND BL          | MILLERCOORS LLC          | \$1,562.50 |
| 3871142100 | 3810 W STATE ST             | MILLERCOORS LLC          | \$1,562.50 |
| 4020132000 | 3901-3939 W BLUE MOUND RD   | MILLERCOORS USA LLC      | \$1,562.50 |
| 3860202200 | 4400 W STATE ST             | MILLERCOORS USA LLC      | \$1,562.50 |
| 3860203100 | 4430 W STATE ST             | MILLERCOORS USA LLC      | \$1,562.50 |
| 3860211112 | 4315-4429 W STATE ST        | MILLERCOORS USA LLC      | \$1,562.50 |
| 3870003110 | 4122 W STATE ST             | MILLERCOORS USA LLC      | \$1,562.50 |
| 3870014110 | 4001 W STATE ST             | MILLERCOORS USA LLC      | \$1,562.50 |
| 3870028110 | 4103-4135 W STATE ST        | MILLERCOORS USA LLC      | \$1,562.50 |
| 3871143000 | 3930 W STATE ST             | MILLERCOORS USA LLC      | \$1,562.50 |
| 3871144000 | 3979 W HIGHLAND BL          | MILLERCOORS USA LLC      | \$1,562.50 |
| 3879990100 | 4270 W STATE ST             | MILLERCOORS USA LLC      | \$1,562.50 |

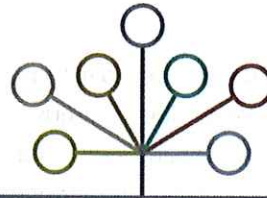
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|------------|--------------------------|-------------------------------|------------|
| 3879991110 | 4051 W HIGHLAND BL       | MILLERCOORS USA LLC           | \$1,562.50 |
| 3870022000 | 3831 W WELLS ST          | MILLERCOORS USA LLC           | \$1,562.50 |
| 3880503100 | 750 N 35TH ST            | MILWAUKEE MIDWEST MEDICAL     | \$2,103.00 |
| 4000033100 | 540 N 27TH ST            | MOHAMMED Y SAIFUDDIN          | \$212.40   |
| 4000084000 | 2631-2639 W CLYBOURN ST  | MOHAMMED Y SAIFUDDIN          | \$380.10   |
| 4011003000 | 2705 W CLYBOURN ST       | MRP CLYBOURN LLC              | \$186.90   |
| 3870204100 | 3706 W WISCONSIN AV      | MTL 1245 R STREET LLC         | \$1,230.90 |
| 4000982000 | 2222-2312 W CLYBOURN ST  | MUFAR INVESTMENTS LLC         | \$1,482.90 |
| 4000983000 | 2322 W CLYBOURN ST       | MUFAR INVESTMENTS, LLC        | \$662.10   |
| 3890883000 | 2537 W STATE ST          | MULTANI PROPERTY LLC          | \$106.46   |
| 3650049000 | 3101-3103 W VLIET ST     | MYRTLE OWENS                  | \$36.71    |
| 4010980111 | 535 N 27TH ST            | NATIONAL LOAN INVESTORS, L.P. | \$1,206.30 |
| 4010994100 | 528-534 N 28TH ST        | NATIONAL LOAN INVESTORS, L.P. | \$186.03   |
| 3891813000 | 2336 W WISCONSIN AV      | NATIONAL REAL ESTATE          | \$594.00   |
| 3660532000 | 3901-3905 W VLIET ST     | NAVDIP KAUR                   | \$414.30   |
| 3890311100 | 2612-2616 W STATE ST     | NEW STATE MKE, LLC            | \$506.84   |
| 3661759000 | 3914-3916 W VLIET ST     | NORTHERN LIGHTS               | \$104.10   |
| 4011002000 | 2715-2717 W CLYBOURN ST  | OMAR M BARKHADLE              | \$334.50   |
| 4000042000 | 2634 W CLYBOURN ST       | PACHEFSKY PROPERTY II LLC     | \$18.00    |
| 3890519100 | 848 N 27TH ST            | PCC BUILDING LLC              | \$175.50   |
| 3670003100 | 4227 W VLIET ST          | PEDAL MILWAUKEE LLC           | \$374.10   |
| 4000981000 | 2202-2210 W CLYBOURN ST  | PERITAL LLC                   | \$968.40   |
| 4010981000 | 527 N 27TH ST            | PEVNICK REV TR D9/13/2013     | \$1,081.20 |
| 3870210000 | 3742 W WISCONSIN AV      | PLATFORM II WISCONSIN LLC     | \$5,598.90 |
| 3651157000 | 1420 N 33RD ST           | POWER OF GOD F.G.B.C.         | \$188.40   |
| 4012014000 | 3121 W WISCONSIN AV      | QUID ROE LLC                  | \$823.40   |
| 4029995112 | 3601-3711 W WISCONSIN AV | R R L INVESTMENT CORPORATION  | \$2,101.50 |
| 4001002000 | 2040-2048 W MICHIGAN ST  | R2 2051 PARTNERS LLC          | \$684.00   |
| 3860226114 | 900 N 46TH ST            | REAL ESTATE REDEV GROUP LLC   | \$658.80   |
| 3860226115 | 944 N 46TH ST            | REAL ESTATE REDEV GROUP LLC   | \$1,733.70 |
| 3890900111 | 930 N 27TH ST            | REALTY INCOME PROPERTIES 19   | \$1,311.60 |
| 4000754100 | 2330 W CLYBOURN ST       | RED LION PROPERTIES LLC       | \$681.00   |
| 3870388200 | 1255 N 35TH ST           | RENOVATION REALTY             | \$161.70   |
| 4000767000 | 2120-2130 W CLYBOURN ST  | RESNANT PROPERTIES LTD        | \$1,500.30 |

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| 4010983100 | 509-511 N 27TH ST        | RICHARD A PETERS             | \$375.00   |
| 4020008110 | 301-305 N 35TH ST        | RICHARD A PUKITE             | \$528.90   |
| 4010207000 | 424 N 35TH ST            | ROBERT J OWENS               | \$200.40   |
| 4010209000 | 3434 W ST PAUL AV        | ROBERT L ANDERSON TR         | \$514.80   |
| 3880415100 | 3316 W WISCONSIN AV      | ROCKBED LLC                  | \$880.20   |
| 3661762100 | 3916-3918 W KISSLICH PL  | RUN MANAGEMENT LLC           | \$248.83   |
| 3881814000 | 949-967 N 27TH ST        | S & L GLOBAL CONSULTING USA  | \$1,369.20 |
| 3880663000 | 800 N 35TH ST            | SADAQAT ALI                  | \$297.60   |
| 4011004100 | 431 N 27TH ST            | SANDHU REAL ESTATE LLC       | \$1,548.90 |
| 3890894000 | 2601-2603 W STATE ST     | SAR LLC                      | \$370.20   |
| 3890895000 | 2607-2609 W STATE ST     | SAR LLC                      | \$22.50    |
| 4000701000 | 2323 W WISCONSIN AV      | SCRUB AVENUE LLC             | \$828.00   |
| 4020911000 | 3801 W WISCONSIN AV      | SHERWIN SIEGEL AS TRUSTEE    | \$3,057.90 |
| 3650422000 | 1238-1256 N 35TH ST      | SINGH & SINGH LLC            | \$1,930.50 |
| 3892011000 | 2632 W WELLS ST, Unit 1  | SOHI COMMERCIAL LLC          | \$285.30   |
| 3890108000 | 760 N 27TH ST            | SOHI CORNER INC              | \$710.40   |
| 3890109120 | 750 N 27TH ST            | SOHI CORNER INC              | \$47.10    |
| 3871104100 | 741-743 N 42ND ST        | SOO LINE RAILROAD COMPANY    | \$9.90     |
| 4010737100 | 302 N 35TH ST            | SPEEDWAY SUPERAMERICA LLC    | \$2,052.30 |
| 4020102100 | 3727 W WISCONSIN AV      | SRN REAL ESTATE LLP          | \$3,213.90 |
| 4020106100 | 603-629 N 36TH ST        | SRN REAL ESTATE LLP          | \$2,474.70 |
| 3910203000 | 845 N 11TH ST            | STEVEN TILTON & NOLA         | \$514.50   |
| 3670014000 | 4307-4309 W VLIET ST     | STEWART G FRIEND             | \$332.30   |
| 3670015000 | 4311-4315 W VLIET ST     | STEWART G FRIEND             | \$428.77   |
| 4000951000 | 2620-2628 W ST PAUL AV   | SYLVAN HOLDINGS LLC          | \$557.70   |
| 3650077000 | 3410-3434 W MC KINLEY BL | SYLVIA TIWARI                | \$660.90   |
| 3650005000 | 2733 W VLIET ST          | T & M CLEANING SERVICES INC  | \$245.14   |
| 3870027000 | 3844-3846 W WISCONSIN AV | THE ZURICH JOINT REVOCABLE   | \$500.40   |
| 3660911110 | 3611 W VLIET ST          | THIRTY SIX VLIET LLC         | \$1,497.00 |
| 4010931100 | 2930 W CLYBOURN ST       | THOMAS E FRITZ & AMY HW      | \$692.10   |
| 3660501100 | 3801-3813 W VLIET ST     | THOMAS J STRAUB              | \$119.66   |
| 3891504000 | 2041-2043 W WELLS ST     | THOMAS SCHMITT               | \$456.71   |
| 3632700100 | 1600-1608 W WISCONSIN AV | THREE A COMPANY              | \$3,560.79 |
| 3660550000 | 3912 W MC KINLEY AV      | TIME WARNER CABLE MIDWEST LL | \$740.40   |

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| 4020009000 | 237-239 N 35TH ST        | TOMMIE LEE JONES             | \$209.70   |
| 4020017110 | 215 N 35TH ST            | TRIGRAM PROPERTIES LLC       | \$1,320.60 |
| 3661737000 | 3804 W VLIET ST          | TRUMALOO LLC                 | \$427.50   |
| 3890704000 | 2429 W STATE ST          | UNIVERSAL WHOLESALE LLC      | \$84.60    |
| 3890705000 | 2441-2463 W STATE ST     | UNIVERSAL WHOLESALE LLC      | \$117.30   |
| 3880416110 | 726 N 34TH ST            | USA MIDWEST PROVINCE OF THE  | \$994.80   |
| 3661715000 | 3718 W VLIET ST          | VACHINZONG LOR               | \$127.20   |
| 3871132000 | 3808 W WISCONSIN AV      | VALLEY SQUARE LLC            | \$368.84   |
| 3880651000 | 3419-3425 W STATE ST     | VARITAS LLC                  | \$202.55   |
| 3882291000 | 720-730 N 35TH ST        | VETERANS MANOR LLC           | \$2,070.68 |
| 3661718000 | 3730-3732 W VLIET ST     | VLIET STREET PARTNERS        | \$139.95   |
| 4000760110 | 2203 W MICHIGAN ST       | WASHFOUNTAIN LLC             | \$1,330.80 |
| 4000513100 | 2200-2220 W MICHIGAN ST  | WASHFOUNTAIN, LLC            | \$360.00   |
| 3880105111 | 2711 W WELLS ST          | WEIGAND INVESTMENTS 2711     | \$1,008.00 |
| 3880107114 | 2805-28005 W WELLS ST    | WEIGAND INVESTMENTS 2711 LLC | \$509.70   |
| 4010735000 | 324 N 35TH ST            | WEST SIDE BAPTIST CHURCH     | \$32.10    |
| 3871131000 | 3809 W WELLS ST          | WI COMMUNITY SERVICES INC    | \$58.65    |
| 3880311112 | 763 N 28TH ST            | WIEGAND INVESTMENTS          | \$194.10   |
| 3891540111 | 2112 W WELLS ST          | WIEGAND INVESTMENTS 2112     | \$257.40   |
| 4000703110 | 624 N 24TH ST            | WIEGAND INVESTMENTS 624      | \$574.50   |
| 3880111100 | 853 N 27TH ST            | WIEGAND INVESTMENTS 624 LLC  | \$121.80   |
| 3880112110 | 839 N 27TH ST            | WIEGAND INVESTMENTS 624 LLC  | \$243.90   |
| 3880115100 | 2734 W WELLS ST          | WIEGAND INVESTMENTS 624 LLC  | \$66.30    |
| 4000749000 | 2460 W CLYBOURN ST       | WIEGAND INVESTMENTS 624 LLC  | \$1,275.00 |
| 4000751000 | 2422 W CLYBOURN ST       | WIEGAND INVESTMENTS 624 LLC  | \$525.00   |
| 3891804000 | 755 N 23RD ST            | WIEGAND INVESTMENTS 755      | \$552.00   |
| 4000750000 | 2440 W CLYBOURN ST       | WIEGAND INVMTS 624 LLC       | \$903.00   |
| 3870701000 | 973-975 N 35TH ST        | WILLIAM C GAGLIANO REV TR    | \$586.20   |
| 3870734000 | 959 N 35TH ST            | WILLIAM C GAGLIANO REV TR    | \$63.00    |
| 3650261111 | 3020 W VLIET ST          | WIS AFRICAN AMERICAN         | \$1,000.20 |
| 3990321000 | 1933 W WISCONSIN AV      | WIS AVE PROPERTIES 1 LLC     | \$356.70   |
| 4000011110 | 635 N 26TH ST            | WIS27 LLC                    | \$6,000.00 |
| 3870203100 | 727 N 37TH ST            | WISCONSIN COMMUNITY SERVICES | \$56.10    |
| 3870209000 | 3716-3734 W WISCONSIN AV | WISCONSIN COMMUNITY SERVICES | \$2,361.00 |

|            |                     |                              |              |
|------------|---------------------|------------------------------|--------------|
| 3870211100 | 726 N 38TH ST       | WISCONSIN COMMUNITY SERVICES | \$94.80      |
| 3880510100 | 3400 W WISCONSIN AV | WISCONSIN PROVINCE OF THE    | \$1,350.00   |
| 3860035100 | 4706 W STATE ST     | YASH PROPERTIES LLC          | \$801.00     |
| 4010963000 | 514 N 29TH ST       | YB MEDFORD LLC               | \$47.10      |
| 3880669110 | 827 N 34TH ST       | ZAIRE NICHOLE PROPERTIES LLC | \$471.30     |
|            |                     |                              | \$331,923.14 |





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**NEAR WEST SIDE**

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*A Neighborhood of Neighborhoods*

## **Business Improvement District #10**

### **Annual Report**

Sept. 2018 – Aug. 2019

**Prepared By: Keith Stanley**

**Executive Director**

**Near West Side Partners, Inc.**

## **Mission Statement/Vision/Priorities:**

The Mission of Business Improvement District #10 and Near West Side Partners is to revitalize and sustain the Near West Side as a thriving business and residential corridor, through collaborative efforts to promote economic development, improved housing, unified neighborhood identity and branding, and greater safety for residents and businesses.

Business Improvement District #10 has a continuing contract with Near West Side Partners, Inc. (NWSP) to provide the necessary staffing and support to implement the BID Operating Plan. NWSP is a nonprofit organization dedicated to revitalizing Milwaukee's Near West Side.

BID #10 and Near West Side Partners envision a vibrant Near West Side with a well-balanced mix of residential neighborhoods and business corridors that is thriving because it offers:

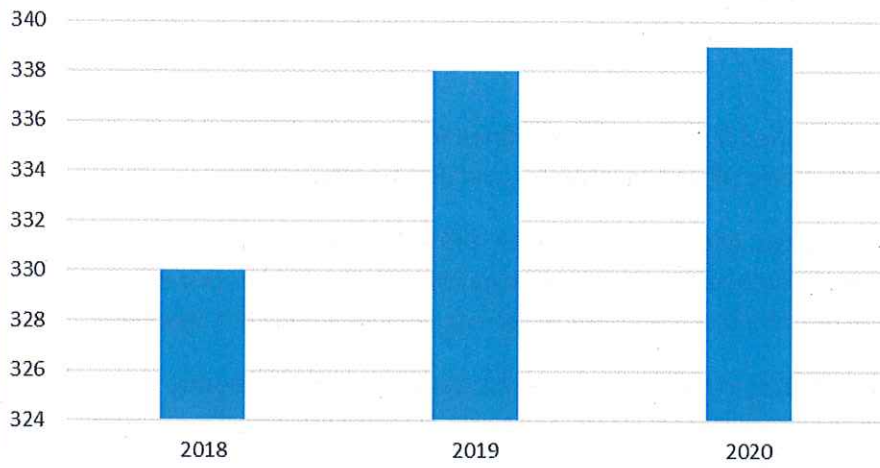
- A safe and welcoming environment for employees, residents and visitors;
- Residential neighborhoods that are attractive to those working in the area;
- A distinct neighborhood identity and brand that is attractive to employers, employees, residents and visitors; and
- A vibrant mix of commercial corridor development that serves the needs of those living and working in the Near West Side.

Bid #10 supports this vision through a variety of grants and activities that strengthen neighborhood businesses, promote and market the area's many assets, improve the overall appearance and image of the Near West Side business corridors and develop and implement crime reduction and safety strategies.

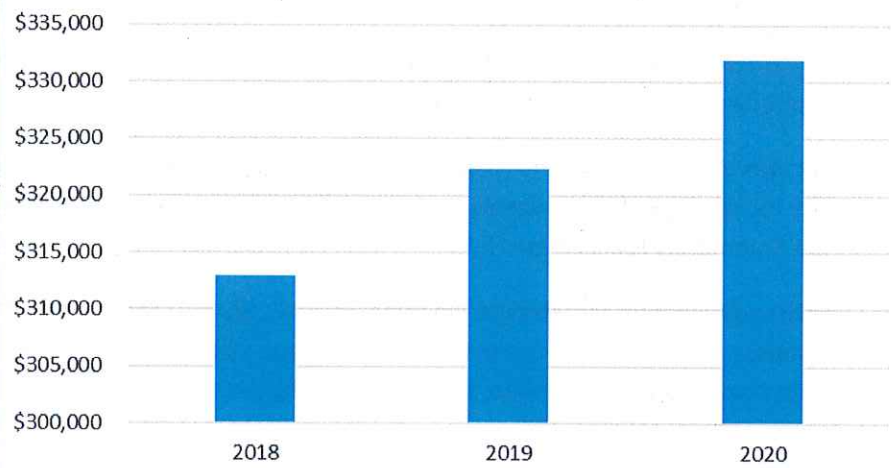
## **Total Assessed Value of Properties within District:**

The total BID assessment for 2019 is \$322,301, reflecting an increase from 2018 of \$9,350. The total number of assessable parcels is 338. In 2020, the projected BID assessment is \$331,923. This positive change can be attributed to a small increase in the number of assessable parcels from 2019-2020 and to an increase in the total assessment of several commercial parcels.

Number of Assessable Parcels 2018-2020



BID Assessment Total 2018-2020



## Programs, Economic Development & Marketing

Within the last year, Business Improvement District #10 in conjunction with Near West Side Partners (NWSP) supported a variety of grants and activities that strengthen neighborhood businesses, promote and market the area's many assets, improve the overall appearance and image of the Near West Side business corridor. These include:

**Administrative Support.** BID #10 supports the salary, benefits, and taxed for 3.2 FTEs. This includes the executive director, associate director, part-time office administrator, and part-time finance person.

**Business Improvement District #10 Meetings.** Since September 2018, BID #10 has held 7 public meetings to discuss budgets, approval grant requests, and set priorities. BID #10 also held its first BID networking event to share updates on recent projects and strengthen connections among BID members.

**Business Grants.** BID 10 approved three grants to businesses and organizations to support façade, signage and whitebox improvements and surveillance systems, and homeless outreach initiatives to-date has disbursed over \$10,000 in business support.

**Business Recruitment.** BID #10 excitedly welcomed 12 new businesses to the Near West Side, including Hands-in-Harmony, Lisa Kaye Catering, Jizzles, and Mr. Home Improvement.

**Community Events.** BID #10 supports and sponsors a number of community events through the collaboration with Near West Side Partners and other Near West Side organizations. BID #10 committed close to \$2,500 to events that highlight partnerships and business opportunities in the Near West Side.

Additionally, BID #10 hosts and promotes several monthly events in order to help educate residents and businesses, and to provide them with resources to improve their community. These include, but are not limited, to the Neighborhood of Neighborhoods (NeON) meeting, Landlord Compact Meeting, and MPD District Three Crime and Safety Meeting.

**Graffiti Removal.** BID #10 continues to monitor and work with property owners to abate graffiti and has supported removal at 7 locations throughout the Near West Side.

**Security Ambassadors.** The Near West Side Security Ambassadors provide a number of services to BID #10 members, including weekly business checks, blight reports, and support ongoing efforts of MPD and the Community Prosecution Unit.

**Wisconsin Avenue Streetscape Planning.** In 2018, BID #10 contracted Quorum Architects, a local business, to assist with the creation of streetscape plans for the newly reconstructed Wisconsin Avenue. With construction is complete, the BID is working with the City of Milwaukee to develop a plan to finance the improvements.

**Marketing and Branding.** BID #10 and Near West Side Partners utilizes various social media tools in order to advertise events easily to the broader community. NWSP maintains 1,725 followers on its Facebook page along with another 1,619 people who like the page.