

Koenig Residence - 2429 E Wyoming Pl.

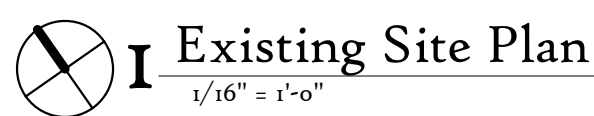


### E. WYOMING PLACE

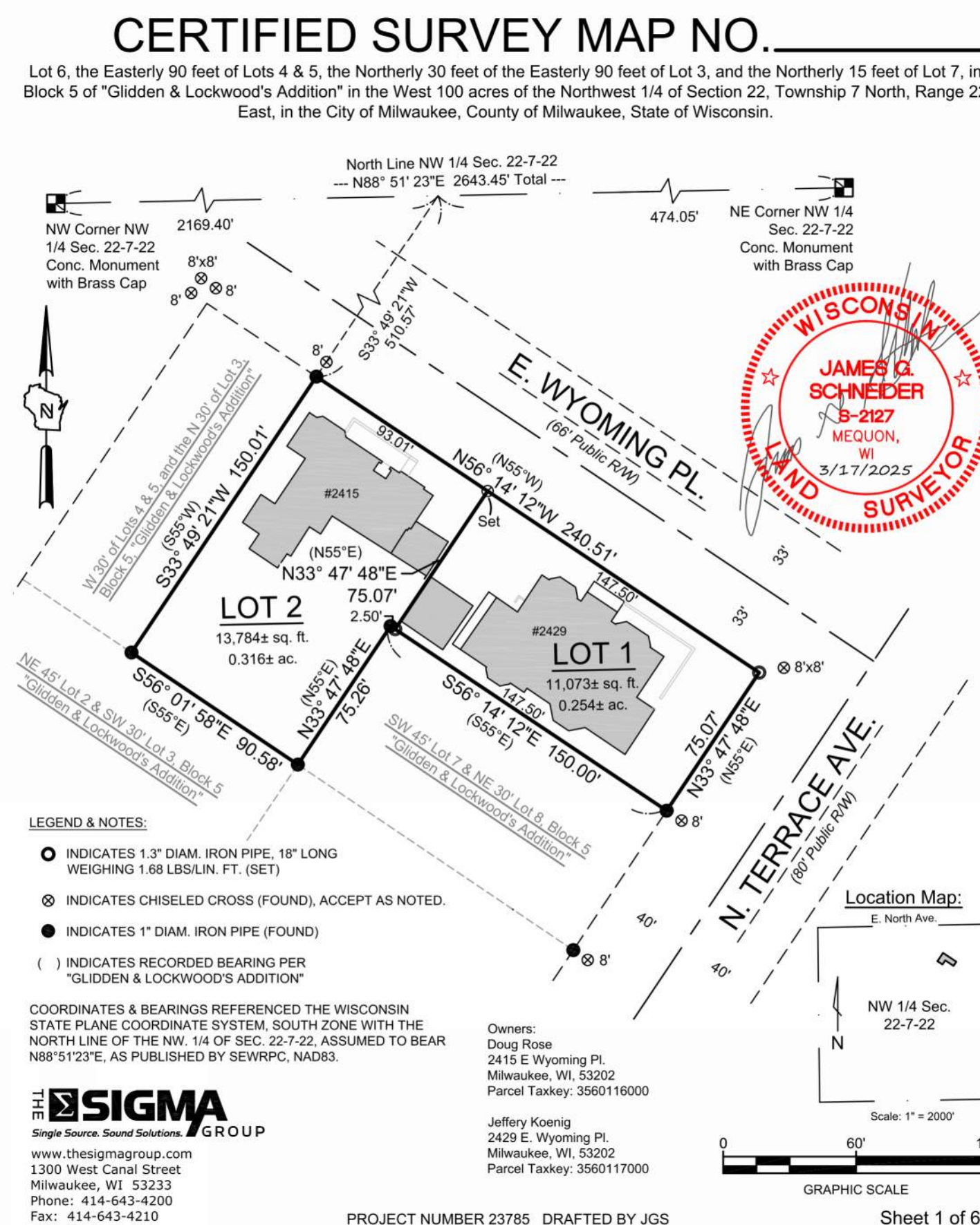
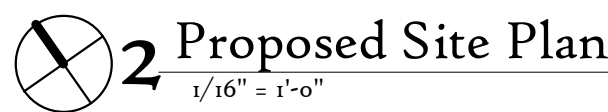


PROJECT & ZONING INFO:

1. Property Info:  
Address: 2429 E Wyoming Place  
Tax Key: 356017000  
Existing Lot Area: 11,271 sf  
Proposed Lot Area (see CSM): 11,073 sf
2. Zoning District: **RT2**, Single/Two Family Residential District.  
**Attached Housing Note:** Per 295-505.2(c-1) Limited Use Standards, in an RT2 not more than two single-family housing may be attached.
3. Setbacks:  
Front (East, along N. Terrace Ave.) : average **No Change, Complies**  
Side (North, along E. Wyoming Pl.): 20% of lot width = 15' **Complies**  
Side (South): 1.5' **Complies w/ Table 295-505-3 as referenced by 295-505-3-f-9**  
Rear: 0' **Does not Comply. However see note above regarding Attached Housing**
4. Lot Coverage - Corner Lot:  
Principal Building Maximum 40%  
Accessory Building Maximum 15%  
Existing Residence = 4,112 sf / 11,271 sf = 36.5% **Complies**  
Existing Residence with Reduced Lot Size (CSM) = 4,112 sf / 11,073 sf = 37.1% **Complies**  
Existing Garage (to be Demolished) = 538 sf / 11,271 sf = 5%  
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**Proposed Garage** = 1,292 sf / 11,073 sf = 11.7% < 15% **Complies** (295-505-3-f-9)



### E. WYOMING PLACE



NEW/PROPOSED CSM WITH RELOCATED ADJOINING  
PROPERTY LINE SEPARATING 2429 & 2415

**SITE DRAINAGE & EROSION CONTROL LEGEND**

EROSION CONTROL BARRIER -  
SEDIMENT/SILT FENCE

ALL ELEVS. DERIVED FROM  
SURVEY. SEE SURVEY.

SITE DRAINAGE DIRECTION

DOWNSPOUT LOCATION

### SITE DRAINAGE & EROSION GENERAL NOTES

- LINE FINISHED GRADE OF THE SOIL SHALL AVOID AWAY FROM THE DWELLING AT A RATE OF AT LEAST 12" PER FOOT FOR A MINIMUM DISTANCE OF 10 FEET, OR TO THE LOT LINE, WHEREVER IS LESS**
- 2. WHERE LAND DISTURBING CONSTRUCTION ACTIVITIES ARE TO OCCUR EROSION CONTROL AND SEDIMENT CONTROL PRACTICES SHALL BE EMPLOYED, AS NECESSARY, AND MAINTAINED SUFFICIENT TO REDUCE THE POTENTIAL DEPOSITION OF SOIL OR SEDIMENT TO ADJACENT PROPERTIES, INCLUDING:**
- OFF-ROAD VEHICLES BY TRUCKS**
  - DISTURBED AREAS SHALL NOT ONSITE STORM WATER INLETS**
  - INTO ADJUTING WATERS**
  - DISCHARGE WAYS THAT RUN OFF THE SITE**
  - DISCHARGE FROM DE-WATERING ACTIVITIES**
  - DISCHARGE FROM SOIL STOCKPILES EXCEEDING MORE THAN 7 DAYS**
- 3. LAND DISTURBING CONSTRUCTION ACTIVITIES, EXCEPT THOSE ACTIVITIES NECESSARY TO IMPLEMENT EROSION OR SEDIMENT CONTROL PRACTICES, MAY NOT BEGIN UNTIL THE SEDIMENT CONTROL PRACTICES ARE IN PLACE.**
- EROSION OR SEDIMENT PREVENTATION SHALL BE MAINTAINED UNTIL THE DISTURBED AREA ARE STABILIZED. THE DISTURBED AREA SHALL BE CONSIDERED STABILIZED BY VEGETATION WHEN A PERENNIAL COVER HAS BEEN ESTABLISHED WITH A DENSITY OF AT LEAST 70%.**
- 4. OFF-SITE SOIL DEPOSITION RESULTING FROM CONSTRUCTION ACTIVITIES THAT CAUSE A TURNURE, SHALL BE CLEANED UP BY THE END OF THE WORK DAY.**
- 5. ANY EXCESSIVE MATERIAL RESOURCES STORED ON SITE MUST BE REMOVED FROM THE PROPERTY PRIOR TO THE COMMENCEMENT OF NEW PHASE IN NR15 12**

## DRAWING INDEX

<b><u>DRAWING INDEX</u></b>	
<b>Sheet Number</b>	<b>Sheet Name</b>
A-001	Cover Sheet & Site Information
A-002	Existing Condition Photographs
A-101	Garage Floor Plan
A-102	Roof Plan, Foundation Plan & Wall Section
A-201	Exterior Elevations
A-202	Building & Wall Sections
A-401	Full Front Elevation
A-402	Materials, Finishes & Fixtures



ARCHITECT:



400 E. Wisconsin Ave. #205  
Milwaukee, WI 53202  
(414) 261-8956  
admin@kcbbuildings.com

PROJECT:

2415 E Wyoming Pl. -  
New/Proposed Replacement  
Garage

OWNER:

Doug Rose

PROJECT ADDRESS:

2415 E Wyoming Pl  
Milwaukee, WI 53202

Drawing Issuance Schedule:

[illegible]

General Notes:

Contractor to field verify all dimensions, levels and datums prior to starting the work. Any discrepancies or omissions shall be reported to the General Contractor and/or Architect.

All work shall be done in compliance with local codes, ordinances, rules and regulations.

No work shall be started until plans have been approved by the building inspector and all other agencies having jurisdiction.

Stamp:



Sheet Title:

## Cover Sheet & Site Information

Scale	As indicated
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Date 03/26/2025

Sheet No.

A-001



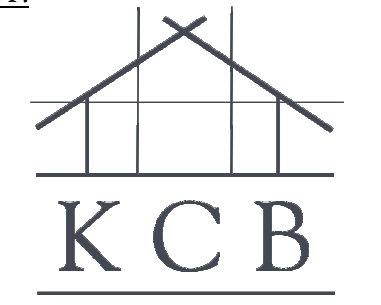


EXISTING CONDITION PHOTOGRAPHS



EXISTING CONDITION PHOTOGRAPHS

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Sheet Title:

Existing Condition  
Photographs

Scale

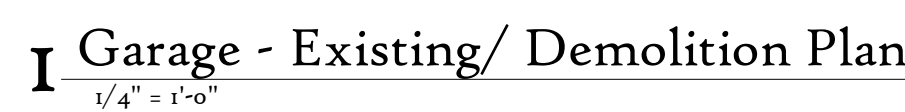
Date 03/26/2025

Sheet No.

A-002

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ARCHITECT:



The logo features a stylized roofline with a central peak and two intersecting lines forming an 'X' at the top. Below the roofline is a horizontal line, and underneath that, the letters 'KCB' are written in a large, bold, serif font. Below the letters is another horizontal line, followed by the words 'ARCHITECTURE' and '& DESIGN' in a smaller, all-caps, sans-serif font.

KCB  
ARCHITECTURE  
& DESIGN

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General Notes:

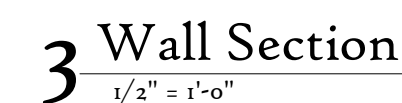
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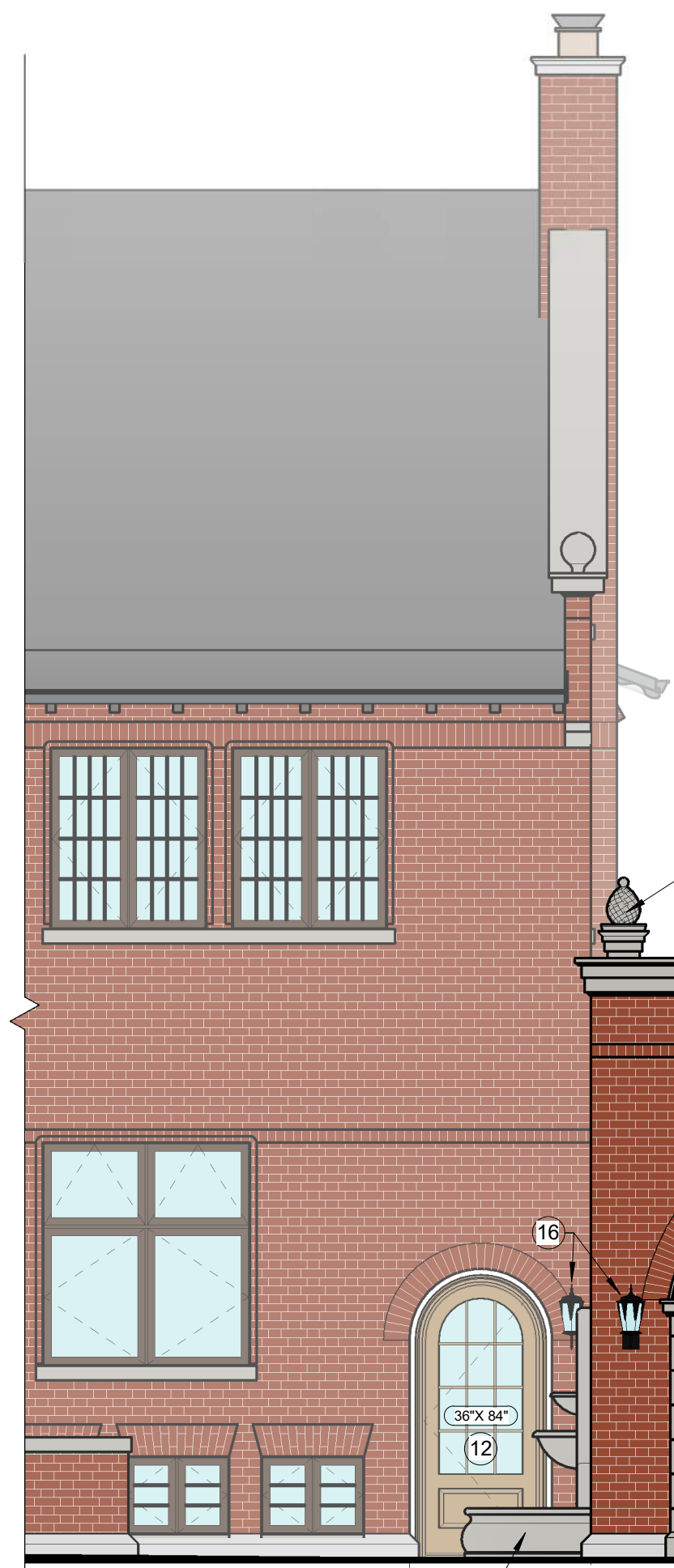


A-101

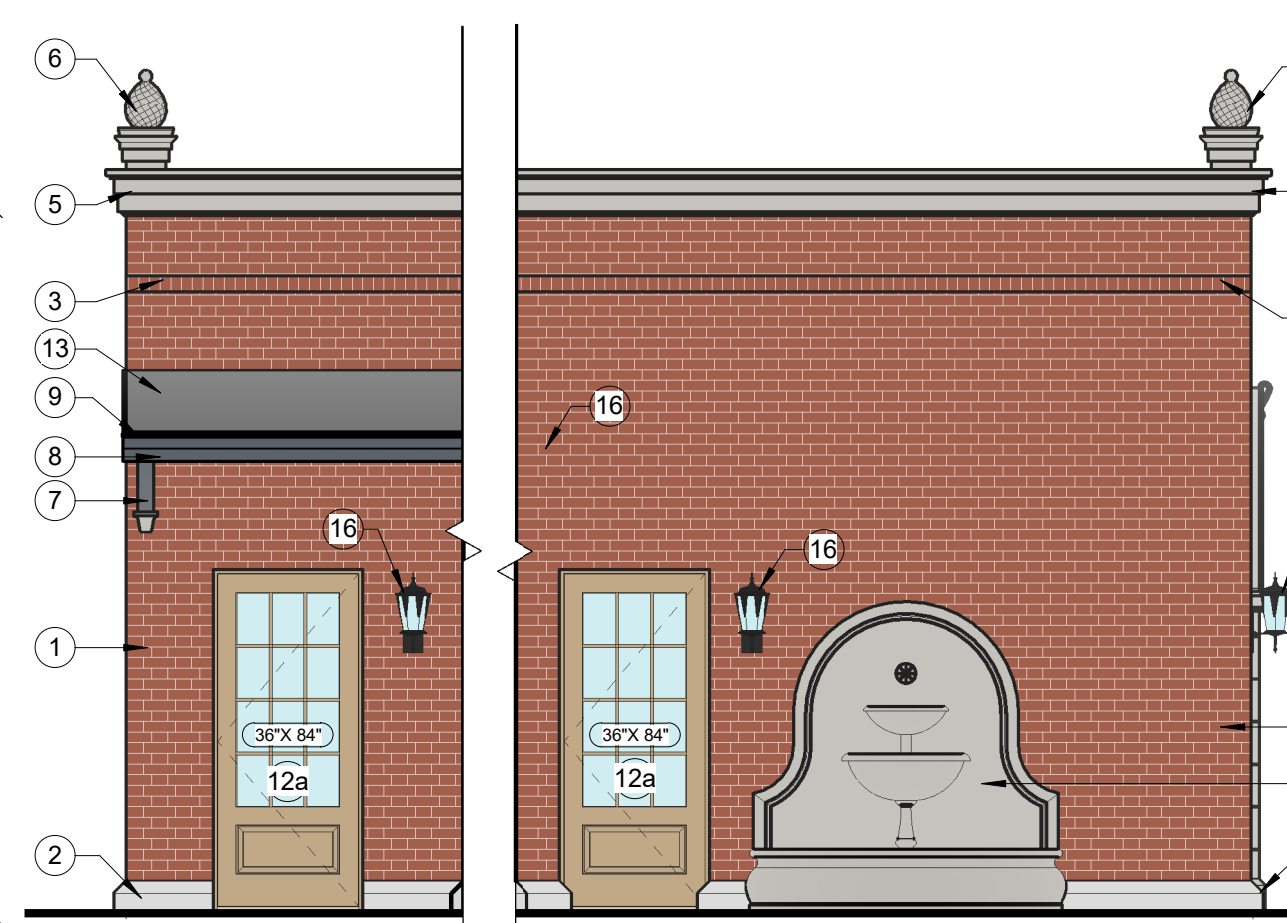


5/10/2025 4:14:42 PM





### 3 North (Front) Elevation



### I South (Rear) Elevation

## 6/10/2025 4:14:45 PM





6/10/2025 4:14:47 PM





**I** North (Front) Elevation  
 1/8" = 1'-0"

**HPC - REQUESTED DOCUMENTATION**



KCB Architects  
 400 E. Wisconsin Ave. #205 Milwaukee, WI 53202  
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 p: (414) 261-8956

**2429 E Wyoming Pl. - New/Proposed Replacement Garage**

Project Address:  
 2429 E Wyoming Pl  
 Milwaukee, WI 53202

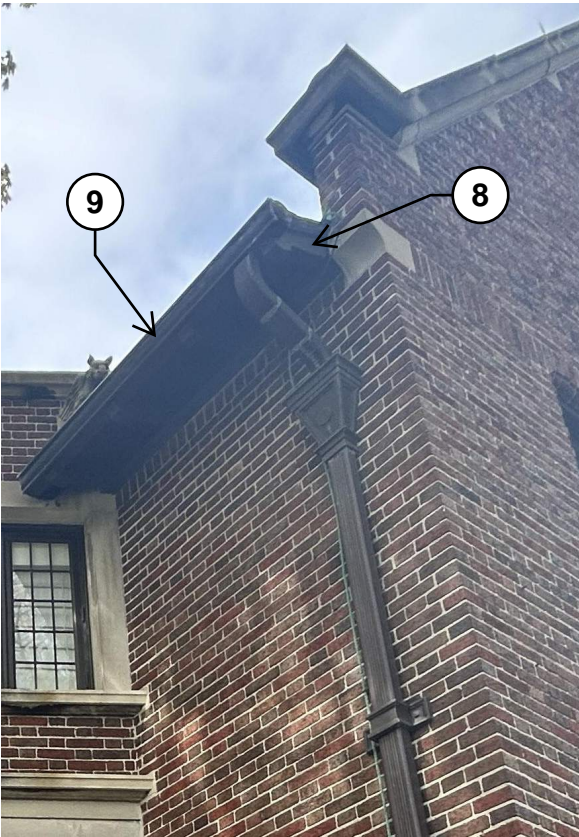
**Full Front Elevation  
 A-401**

Scale: 1/8" = 1'-0"  
 03/26/2025



EXTERIOR MATERIALS,  
FINISHES, AND FIXTURES

- 1 NEW BRICK AND MORTAR COLOR TO MATCH EXISTING HOUSE
- 2 STONE WALL SKIRT AT GRADE TO MATCH EXISTING HOUSE
- 3 ROWLOCK COURSE BRICK WORK TO MATCH EXISTING HOUSE
- 5 STONE COPING AT ROOF LEVEL
- 6 STONE DECORATIVE ELEMENT TO MATCH EXISTING HOUSE ORNAMENTS
- 7 DECORATIVE WOOD BRACKET - COLOR AND STYLE TO MATCH EXISTING BRACKETS AT REAR GABLE END OF HOUSE
- 8 NEW LP FASCIA BOARD TO MATCH EXISTING HOUSE
- 9 NEW PREFINISHED ALUMINUM GUTTER, COLOR & STYLE TO MATCH EXISTING HOUSE GUTTERS
- 10 108" W X 124" H ARCH TOP WOOD GARAGE DOORS
- 11 WALL MOUNTED DECORATIVE STONE WATER FOUNTAIN
- 12 36" x 84" WOOD HALF ROUND TOP GLASS FRENCH DOOR TO FIT EXISTING ARCHWAY
- 12a 36" x 84" WOOD & GLASS FRENCH DOOR
- 13 SLATE ROOFING TO MATCH EXISTING HOUSE
- 14 DECORATIVE STONE SURROUND FOR GARAGE DOORS
- 15 STONE COPING AT PARTY WALL PITCHED TO MATCH #2415 GARAGE ROOF PITCH AT JOINT
- 16 SCONCE LIGHTS TO MATCH EXISTING HOUSE



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2429 E Wyoming Pl. - New/Proposed Replacement Garage

HPC - REQUESTED DOCUMENTATION

Project Address:  
2429 E Wyoming Pl  
Milwaukee, WI 53202

Materials, Finishes & Fixtures  
A-402  
Scale:  
03/26/2025



EXTERIOR MATERIALS,  
FINISHES, AND FIXTURES

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- SCONCE LIGHTS TO MATCH EXISTING HOUSE

10

CUSTOM ARCH  
TOP WOOD  
GARAGE DOORS

12

12a

MARVIN ULTIMATE  
WOOD DOORS



ULTIMATE SWINGING FRENCH DOOR G2  
The Ultimate Swinging French door G2, available in both inswing and outswing, delivers a traditional aesthetic with a 4 3/4 inch stile and top rail and a 4 3/4 inch or 8 1/8 inch bottom rail. Select sizes up to 10 feet high and 14 feet wide to maximize views and access to the outdoors. Choose up to 4 panels with an Ogee interior glazing profile.



Available with I23

71

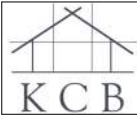


Design Intent

Similar



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2429 E Wyoming Pl. - New/Proposed Replacement Garage

Project Address:  
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Milwaukee, WI 53202

Materials, Finishes & Fixtures  
A-403  
Scale:  
03/26/2025