

**RENAISSANCE FARWELL**

1443 & 1451 N. Prospect Ave. and 1490 N. Farwell Ave.  
Milwaukee, WI 53202

1st Amendment to the Detailed Planned Development known as Renaissance Farwell  
Submission Packet  
File Number: 230510  
8.24.2023



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DEVELOPER



**Tim Gokhman**  
Director  
1840 North Farwell Avenue  
Milwaukee, WI 53202

CIVIL



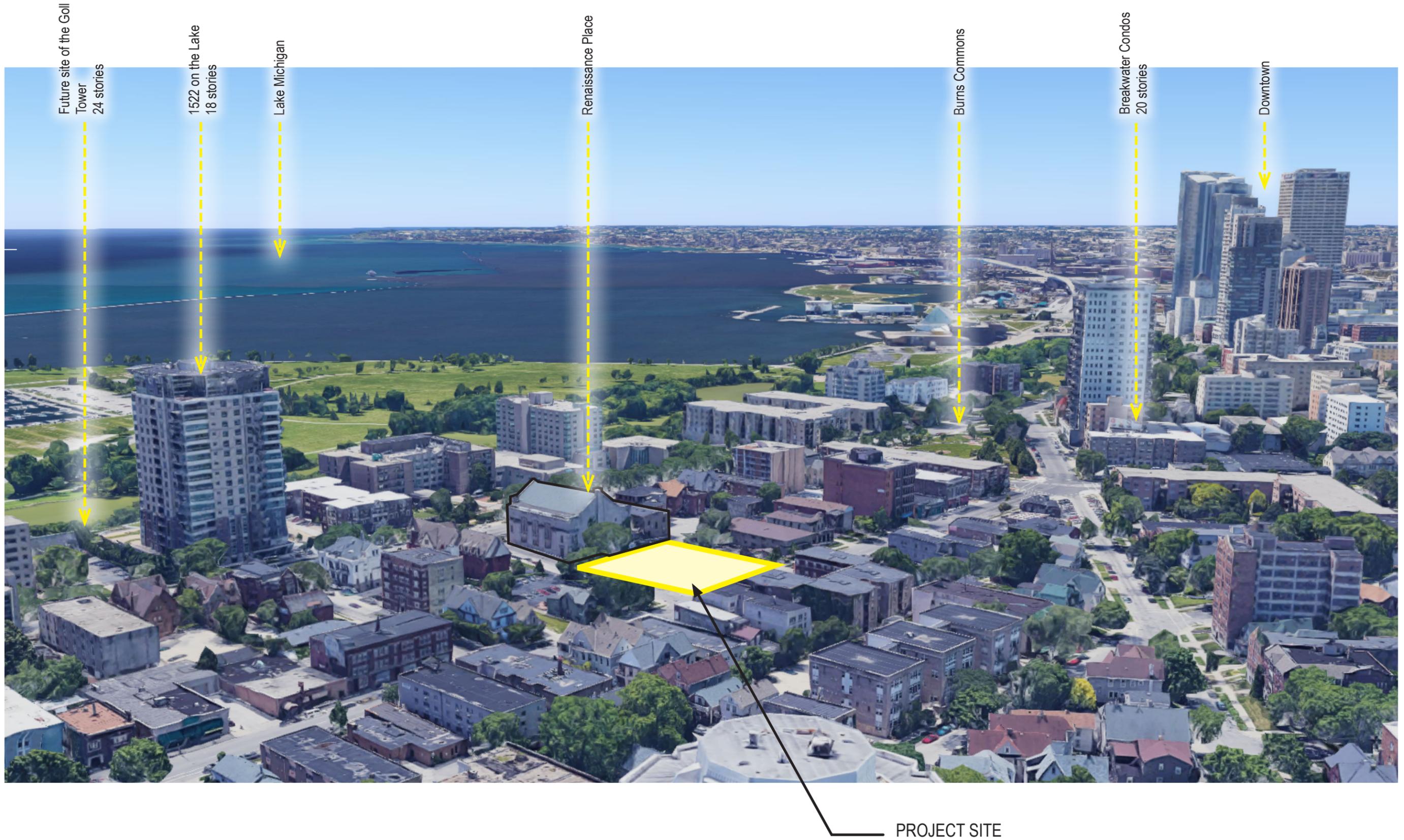
**Andrew P. Mertz**  
Project Engineer  
W238 N1610 Busse Rd, Suite 100  
Pewaukee, WI 53188

ARCHITECT



**Jason Korb AIA**  
President  
648 N. Plankinton Ave, Suite 240  
Milwaukee, WI 53203







N/E Corner of Site - E Curtis Place



N/W Corner of Site - E Curtis Place + N Farwell Avenue



S/W Corner of Site - N Farwell Avenue



Existing Mexican Consulate Building - N Prospect Avenue



Existing Renaissance Place Building - N Prospect Avenue



Existing 1451 N Prospect (Renaissance Place) - East Facade & Building Signage



Existing 1451 N Prospect (Renaissance Place) - North Facade



Existing 1451 N Prospect (Renaissance Place) - West Facade



Existing 1443 N Prospect (Mexican Consulate) - East Facade & Landscape



Existing 1451 N Prospect (Renaissance Place) - Existing Monument Sign



Existing 1451 N Prospect (Renaissance Place) - Existing Entrance

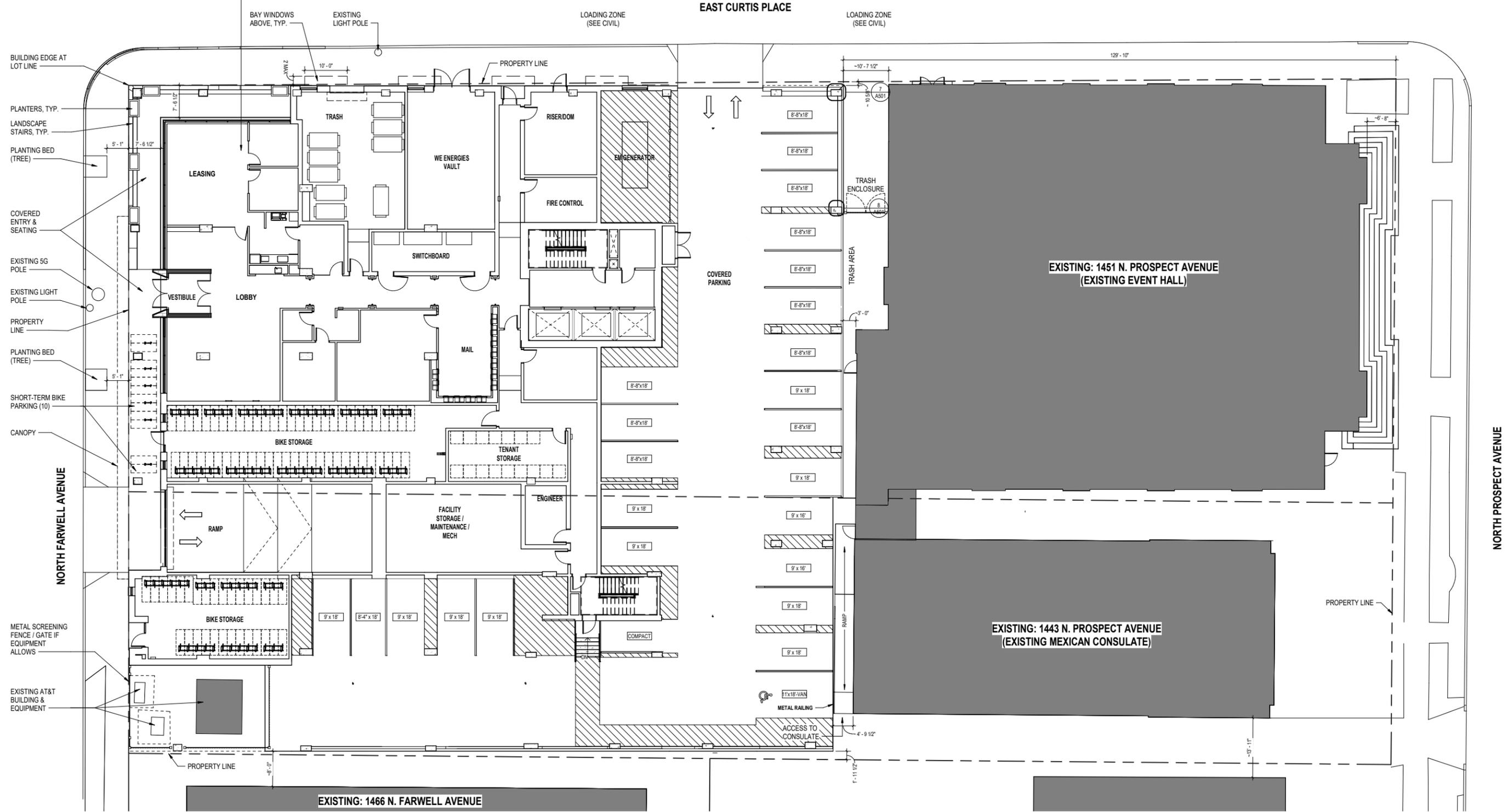


Existing AT&T Building and Equipment to Remain - New 1490 N Farwell structure to be constructed over this equipment



Existing electrical service to be relocated into new structure electrical vault

- PROPOSED 1490 N. FARWELL AVENUE - MULTI-FAMILY HOUSING**
- 24 STORIES
  - PARKING
  - 6 FLOORS OF ENCLOSED PARKING (FLOORS 2-7) - MIN OF 368 PARKING SPACES
  - FIRST LEVEL COVERED PARKING - MIN. OF 18 PARKING SPACES



ALTA/NSPS LAND TITLE SURVEY

BEING PART OF THE NORTHWEST AND SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 21, TOWNSHIP 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN.

NOTES CORRESPONDING TO SCHEDULE B-SECTION TWO EXCEPTIONS

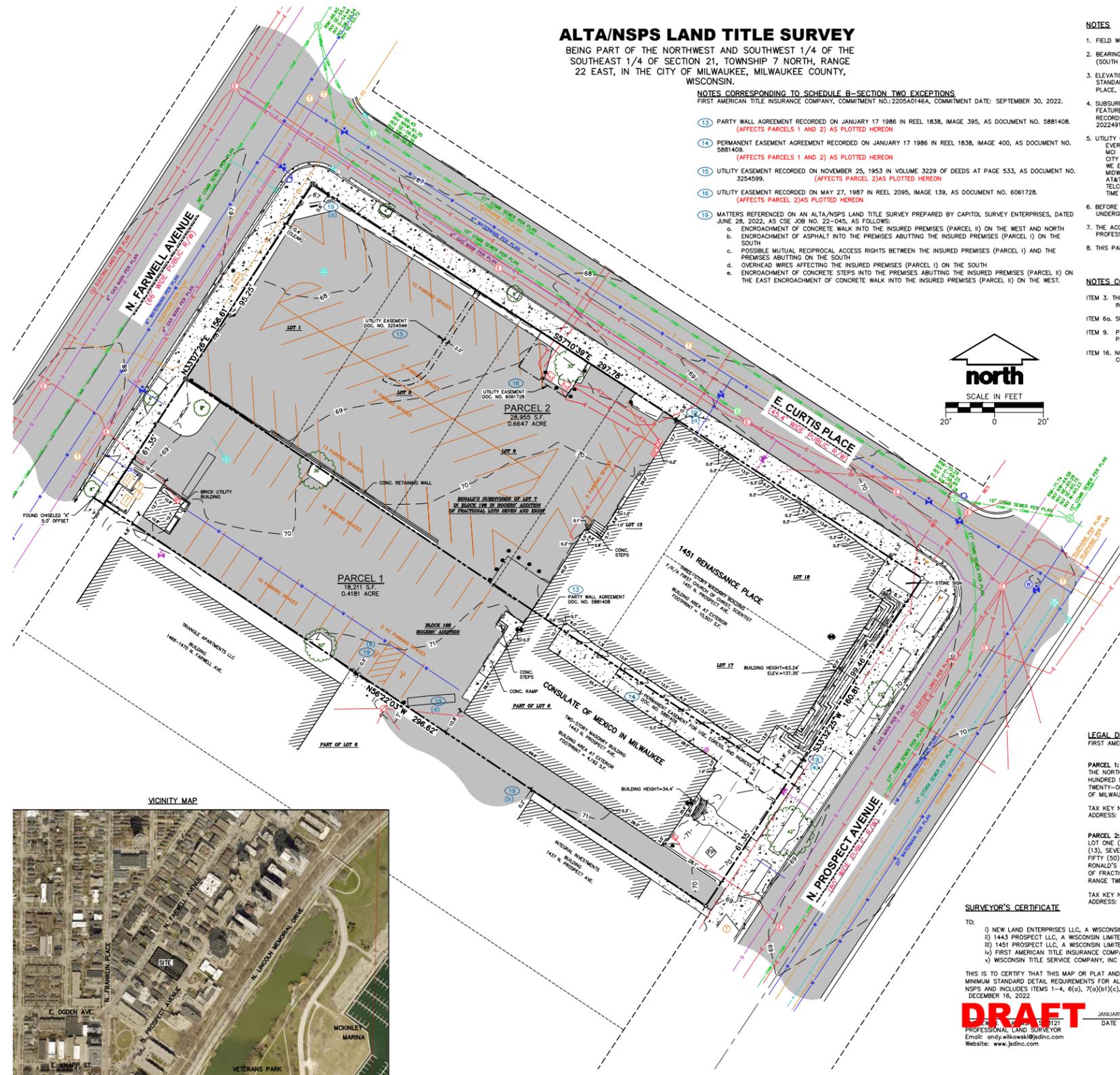
- 13 PARTY WALL AGREEMENT RECORDED ON JANUARY 17 1986 IN REEL 1838, IMAGE 395, AS DOCUMENT NO. 5881408. (AFFECTS PARCELS 1 AND 2) AS PLOTTED HEREON.
14 PERMANENT EASEMENT AGREEMENT RECORDED ON JANUARY 17 1986 IN REEL 1838, IMAGE 400, AS DOCUMENT NO. 5881409. (AFFECTS PARCELS 1 AND 2) AS PLOTTED HEREON.
15 UTILITY EASEMENT RECORDED ON NOVEMBER 25, 1953 IN VOLUME 3229 OF DEEDS AT PAGE 533, AS DOCUMENT NO. 3254599. (AFFECTS PARCEL 2) AS PLOTTED HEREON.
16 UTILITY EASEMENT RECORDED ON MAY 27, 1987 IN REEL 2095, IMAGE 139, AS DOCUMENT NO. 6061728. (AFFECTS PARCEL 2) AS PLOTTED HEREON.
17 MATTERS REFERENCED ON AN ALTA/NSPS LAND TITLE SURVEY PREPARED BY CAPITOL SURVEY ENTERPRISES, DATED JUNE 28, 2022, AS CSE JOB NO. 22-045, AS FOLLOWS:
a. ENCROACHMENT OF CONCRETE WALK INTO THE INSURED PREMISES (PARCEL 1) ON THE WEST AND NORTH.
b. ENCROACHMENT OF ASPHALT INTO THE PREMISES ABUTTING THE INSURED PREMISES (PARCEL 1) ON THE SOUTH.
c. POSSIBLE MUTUAL RECIPROCAL ACCESS RIGHTS BETWEEN THE INSURED PREMISES (PARCEL 1) AND THE PREMISES ABUTTING ON THE SOUTH.
d. OVERHEAD WIRES AFFECTING THE INSURED PREMISES (PARCEL 1) ON THE SOUTH.
e. ENCROACHMENT OF CONCRETE STEPS INTO THE PREMISES ABUTTING THE INSURED PREMISES (PARCEL 1) ON THE EAST ENCROACHMENT OF CONCRETE WALK INTO THE INSURED PREMISES (PARCEL 1) ON THE WEST.

NOTES

- 1. FIELD WORK COMPLETED BY JSD PROFESSIONAL SERVICES, INC. ON DECEMBER 16, 2022.
2. BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE)(NAD83).
3. ELEVATIONS ARE BASED ON THE CITY OF MILWAUKEE DATUM. BENCHMARK IS A CITY OF MILWAUKEE STANDARD BENCHMARK #11 AT THE SOUTHWEST CORNER OF THE INTERSECTION OF N. LAKE DRIVE AND E. WINDSOR PLACE, ELEVATION = 52.71'.
4. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGERS HOTLINE TICKET NO. 20224910575, 2024910590, 20224910599, 20224910609 & 20224910623, WITH A CLEAR DATE OF DECEMBER 10, 2022.
5. UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE: EVERSTREAM, MCI, CITY OF MILWAUKEE, WE ENERGIES-ELE AND WE GAS, MIDWEST FIBER NETWORKS, AT&T DISTRIBUTION, TELCOM CONSTRUCTION, TIME WARNER CABLE.
6. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
7. THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
8. THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.

NOTES CORRESPONDING TO TABLE A REQUIREMENTS:

- ITEM 3. THE SUBJECT PROPERTY IS LOCATED WITHIN "ZONE X" AREA OF MINIMAL FLOOD HAZARD, PER FEMA FLOOD INSURANCE RATE MAP PANEL 55079C0092E, EFFECTIVE SEPTEMBER 26, 2008.
ITEM 6a. SURVEYOR WAS NOT PROVIDED WITH A ZONING REPORT OR LETTER.
ITEM 9. PARCEL 1 HAS 28 PARKING STALLS; 26 REGULAR, 2 HANDICAP. PARCEL 2 HAS 50 REGULAR PARKING STALLS. 2 OF WHICH ARE RESERVED FOR ZPCARS.COM.
ITEM 16. NO RECENT EARTHWORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.



LEGEND table listing symbols for various features: CHISELED 'X' SET, MAG NAIL SET, CHISELED 'X' FOUND, 1" IRON PIPE FOUND, BENCHMARK, EDGE OF PAVEMENT, CONCRETE CURB & GUTTER, SANITARY SEWER, WATER LINE, STORM SEWER, NATURAL GAS, OVERHEAD LINE, UNDERGROUND ELECTRIC, FIBER OPTIC, UNDERGROUND TELEPHONE, BUILDING, INDEX CONTOUR, SPOT ELEVATION, BITUMINOUS PAVEMENT, CONCRETE PAVEMENT, EDGE OF BITUMINOUS, PAVEMENT STRIPPING, DENOTES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY.

LEGAL DESCRIPTION (AS FURNISHED)

FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO.: 2205A0146A, COMMITMENT DATE: SEPTEMBER 30, 2022.
PARCEL 1: THE NORTHEASTERLY SIXTY-ONE AND THIRTY-FIVE HUNDRETHS (61.35) FEET OF LOT SIX (6), IN BLOCK ONE HUNDRED NINETY-EIGHT (198), IN ROGERS'S ADDITION, IN THE SOUTHEAST ONE-QUARTER (1/4) OF SECTION TWENTY-ONE (21), IN TOWNSHIP SEVEN (7) NORTH, RANGE TWENTY-TWO (22), IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN, EXCEPTING THEREFROM PUBLIC STREETS.
TAX KEY NO. 359-0013-113
ADDRESS: 1443 NORTH PROSPECT AVENUE, MILWAUKEE, WI 53202
PARCEL 2: LOT ONE (1), EXCEPT THE NORTHWESTERLY FIFTY (50) FEET FOR STREET, AND LOTS FIVE (5), NINE (9), THIRTEEN (13), SEVENTEEN (17) AND EIGHTEEN (18), IN RONALD'S SUBDIVISION LOT ONE (1), EXCEPT THE NORTHWESTERLY FIFTY (50) FEET FOR STREET, AND LOTS FIVE (5), NINE (9), THIRTEEN (13), SEVENTEEN (17) AND EIGHTEEN (18), IN RONALD'S SUBDIVISION OF LOT SEVEN (7), IN BLOCK ONE HUNDRED NINETY-EIGHT (198) IN ROGERS'S ADDITION OF FRACTIONAL LOTS SEVEN (7) AND EIGHT (8), IN SECTION TWENTY-ONE (21), IN TOWNSHIP SEVEN (7) NORTH, RANGE TWENTY-TWO (22) EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE AND STATE OF WISCONSIN.
TAX KEY NO. 359-0013-112
ADDRESS: 1451 NORTH PROSPECT AVENUE, MILWAUKEE, WI 53202

SURVEYOR'S CERTIFICATE

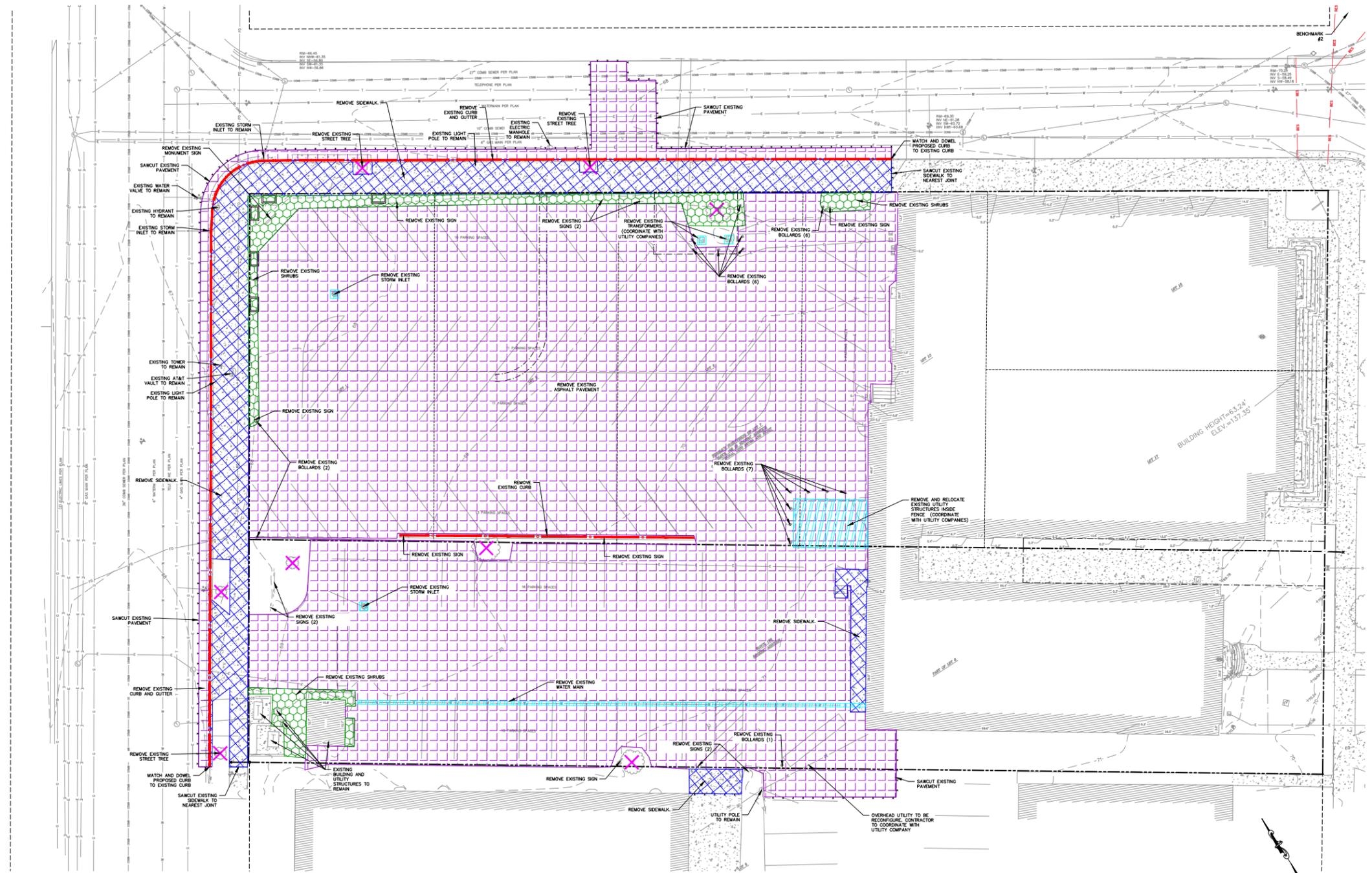
- TO:
1) NEW LAND ENTERPRISES LLC, A WISCONSIN LIMITED LIABILITY COMPANY
2) 1443 PROSPECT LLC, A WISCONSIN LIMITED LIABILITY
3) 1451 PROSPECT LLC, A WISCONSIN LIMITED LIABILITY
4) FIRST AMERICAN TITLE INSURANCE COMPANY,
5) WISCONSIN TITLE SERVICE COMPANY, INC

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 1-4, 6(a), 7(a)(b)(c), 8, 9, 13 & 16 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 16, 2022.

DRAFT
ANDREW W. WILKOWSKI
PROFESSIONAL LAND SURVEYOR
S-3121
E-mail: andy.wilkowski@jdsinc.com
Website: www.jdsinc.com

JANUARY 13, 2023
DATE





**CONSTRUCTION SITE SEQUENCE NOTES**

- 1490 N FARMELL AVE  
MILWAUKEE, WI
- ALL SITE GRADING WORK AND EROSION CONTROL EFFORTS SHALL BE PERFORMED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES AND APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- STAGED OPERATIONS**
1. INSTALL INLET PROTECTION AND TRACKING PAD AT ENTRANCE TO SITE.
  2. INSTALL PERIMETER SEDIMENT CONTROL AS SHOWN ON THE APPROVED CONSTRUCTION PLANS.
  3. CONDUCT DEMOLITION OF EXISTING SITE FEATURES.
  4. CONSTRUCT BUILDING FOOTING/FOUNDATIONS.
  5. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
  6. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF PAVEMENT, WALKS, ETC.
  7. THE CONTRACTOR SHALL TOPSOIL, AND SEED DISTURBED PORTIONS OF THE SITE AS THEY ARE COMPLETED AS IS PRACTICAL.
  8. ALL OF THE EROSION CONTROL MEASURES FOR THE ENTIRE SITE MUST BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT IN ACCORDANCE WITH WISCONSIN DNR REQUIREMENTS AND AS REQUIRED BY THE CITY OF MILWAUKEE.

**DEMOLITION NOTES**

1. REFER TO SHEET C300 FOR COMPLETE SITE EROSION CONTROL NOTES.
2. ALL DEMOLITION WORK SHALL BE IN COMPLIANCE WITH CITY OF MILWAUKEE REQUIREMENTS.
3. ALL DEBRIS SHALL BE REMOVED FROM THE SITE DAILY.
4. CONTRACTOR IS RESPONSIBLE TO NOTIFY CITY OF MILWAUKEE OFFICIALS FOR ANY WORK WITHIN PUBLIC RIGHTS-OF-WAY AND APPLY FOR ALL NECESSARY PERMITS.
5. CONTRACTOR SHALL PROTECT CITY OF MILWAUKEE PAVEMENTS AND REPLACE IN ACCORDANCE WITH CITY REQUIREMENTS IF DAMAGED.
6. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL DEMOLITION ITEMS AND QUANTITIES.
7. CONTRACTOR IS RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITY COMPANIES TO DETERMINE IF RELOCATION OF UTILITY POLES, TELEPHONE AND FIBER OPTIC BOXES, AND/OR OTHER UTILITIES WILL BE REQUIRED. CONTRACTOR SHALL NOTIFY OWNER FOR APPROVAL PRIOR TO RELOCATION OF SAID UTILITIES.
8. CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF MATERIALS.
9. CONTRACTOR SHALL RETAIN, ON-SITE, ALL AGGREGATE MATERIALS REMOVED DURING DEMOLITION. THE RE-PURPOSED AGGREGATE IS TO BE USED FOR NEW CONSTRUCTION WHERE APPROPRIATE. ANY UNUSED OR UNSALVAGEABLE PORTION OF MATERIALS SHALL BE REMOVED FROM THE CONSTRUCTION SITE AND SHALL BE RE-PURPOSED ELSEWHERE OR SHALL BE PROPERLY DISPOSED OF.
10. THE CONTRACTOR IS RESPONSIBLE FOR ANY ITEMS IN ADJACENT PROPERTIES THAT MAY BE DAMAGED DURING DEMOLITION OR CONSTRUCTION.

**SHEET INDEX**

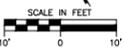
C100	DEMOLITION PLAN
C200	SITE PLAN
C300	GRADING & EROSION CONTROL PLAN
C400	UTILITY PLAN
C401	PROSPECT AVE UTILITY PLAN
C500	DETAILS
C501	DETAILS

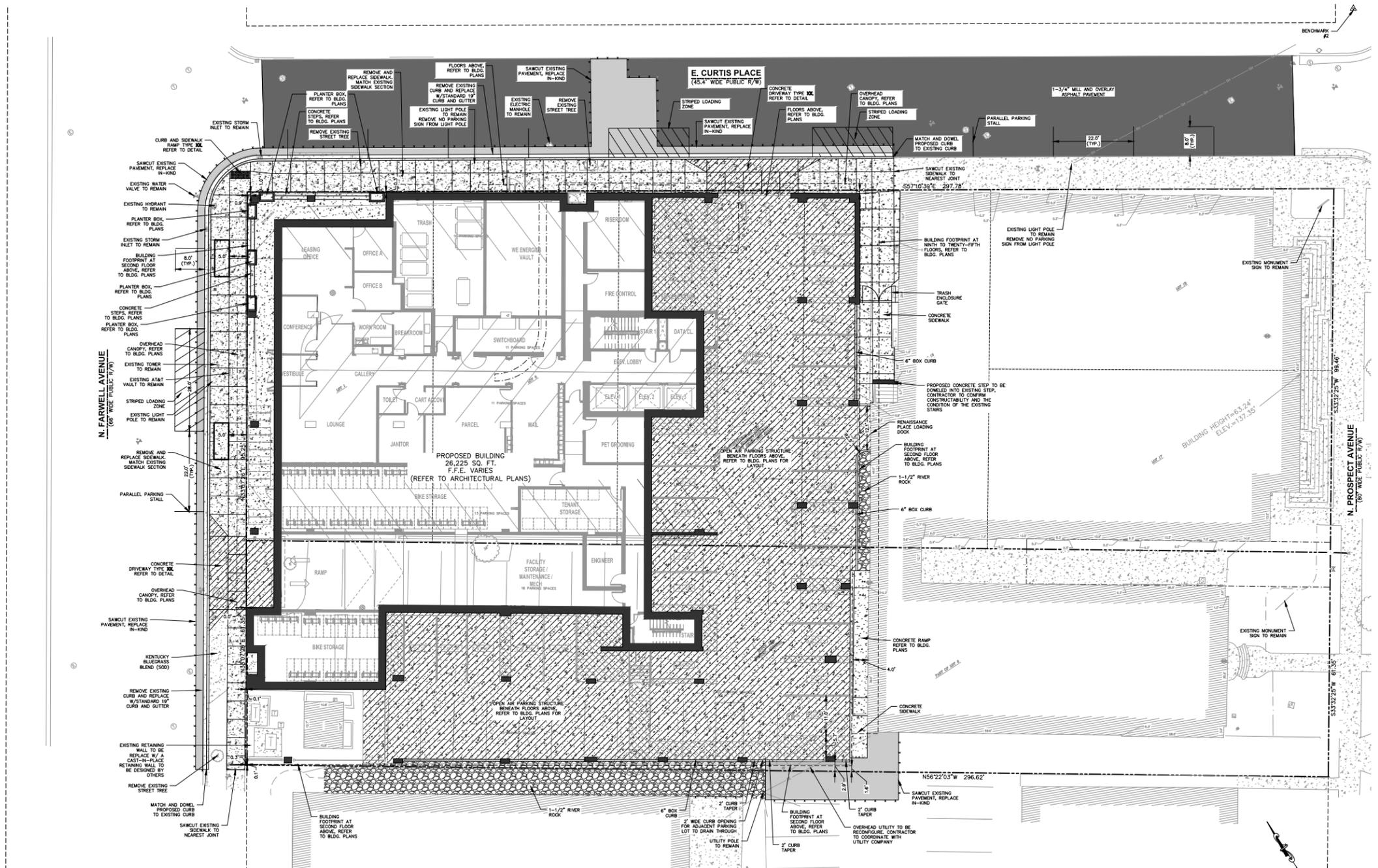
**LEGEND**

●	GAS VALVE	---	PROPERTY LINE	---	DEMOLITION - REMOVAL OF ON-SITE CURB SURFACES AND BASE COURSE
⊙	SANITARY MANHOLE	---	RIGHT-OF-WAY	---	DEMOLITION - REMOVAL OF ASPHALT SURFACES
⊙	STORM MANHOLE	---	EASEMENT LINE	---	DEMOLITION - REMOVAL OF CONCRETE SURFACES
⊙	CATCH BASIN ROUND	---	EXISTING WATER MAIN	---	DEMOLITION - REMOVAL OF UTILITIES
⊙	CATCH BASIN SQUARE	---	EXISTING GAS	---	DEMOLITION - REMOVAL OF LANDSCAPE BEDDING AND SHRUBS
⊙	PARKING METER	---	EXISTING COMBINED SEWER	---	
⊙	LIGHT POLE	---	EXISTING SANITARY SEWER	---	
⊙	POWER POLE	---	EXISTING STORM SEWER	---	
⊙	TELEPHONE PEDESTAL	---	EXISTING STEAM TUNNEL	---	
⊙	SIGN	---	EXISTING OVERHEAD UTILITIES	---	
⊙	ELECTRICAL PEDESTAL/TRANSFORMER	---	EXISTING UNDERGROUND TELEP.	---	
⊙	CONIFEROUS TREE	---	EXISTING UNDERGROUND ELEC.	---	
⊙	DECIDUOUS TREE	---	EXISTING BULK ELEC. SYSTEM	---	
⊙	BUSH	---	SAWCUT LINE	---	
⊙	TREE REMOVAL	---		---	

**BENCHMARKS**

DESCRIPTION	ELEVATION
BENCHMARK #1: CITY OF MILWAUKEE BM-11 LOCATED ON THE SW CORNER OF THE INTERSECTION OF NORTH LAKE DRIVE AND EAST WINDSOR PLACE	52.71
BENCHMARK #2: MAG NAIL IN SIDEWALK AT THE NORTHERLY CORNER OF THE INTERSECTION OF EAST CURTIS PLACE AND NORTH PROSPECT AVENUE	71.03





**PAVING NOTES**

- THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING:
  - STANDARD SPECIFICATIONS FOR SEWER AND WATER IN WISCONSIN, CURRENT EDITION, WITH AMEND.
  - THE CITY OF MILWAUKEE MANIPAL CODE, CURRENT EDITION.
- JSD PROFESSIONAL SERVICES, INC. (JSD) SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- ALL MATERIALS SHALL BE APPROVED BY THE CITY OF MILWAUKEE ENGINEER PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511).
- THE CITY OF MILWAUKEE AND JSD SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
- ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO CONSTRUCT THE FACILITIES IN ACCORDANCE WITH THE DESIGN DRAWINGS.
- EXISTING UTILITY INFORMATION IS BASED ON SOCIETY'S HOME UNDERGROUND UTILITY LOCATIONS, SURVEY WORK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK.
- PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN IDENTIFIED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

- CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- ALL WORK TO BE COMPLETED IN COMPLIANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
- REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS AND DETAILS.
- ALL NEW-HARD SURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, AND BE SEED, MULCHED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED. REFER TO LANDSCAPE PLANS FOR FURTHER INFORMATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
- FINAL PAVEMENT DESIGN TO BE DETERMINED BY OWNER BASED ON GEOTECHNICAL ENGINEER OF RECORD RECOMMENDATIONS. ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER OF RECORD RECOMMENDATIONS AS SPECIFIED IN THE SAID GEOTECHNICAL REPORT.
- CONCRETE PAVEMENT PAVING SPECIFICATIONS
  - CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE CONCRETE PAVEMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 475 AND 416 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION, HEREINAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
  - REINFORCEMENT - CONCRETE PAVEMENT SHALL BE REINFORCED WITH #5M<sup>2</sup> WELDED WIRE MESH REINFORCEMENT.
  - CURING COMPOUNDS - CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
  - FINISHING -
    - CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO

- OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
- CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
- EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
- ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TX-280UV CONCRETE SEALANT.
- CRUSHED AGGREGATE BASE COURSE - THE BASE COURSE SHALL CONFORM TO SECTIONS 300 AND 305, STATE HIGHWAY SPECIFICATIONS. CLEAN RECYCLED ORGANS CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD.
- SURFACE PREPARATION - NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING. THE CONTRACTOR SHALL VERIFY THE FOLLOWING:
  - ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK.
  - THE LOCATION AND ELEVATION OF EXISTING:
    - PIPE INVERTS
    - FLOOR ELEVATIONS
    - CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK.
    - HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES
  - NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING.
  - ALL ANGLES FOR ROADWAY, PARKING LOT, AND BUILDING LOCATION ARE PERPENDICULAR TO PROPERTY LINES UNLESS NOTED OTHERWISE.
  - DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE FACE OF BUILDING.
  - SON CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE

- REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION.
- ALL RADI ARE DIMENSIONED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL COORDINATES AND DIMENSIONS ARE NECESSARY TO THE EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
- SOME FIELD ADJUSTMENTS MAY BE REQUIRED AT POINTS WHERE PROPOSED PAVEMENT CURB AND SIDEWALKS MEET EXISTING PAVEMENT, CURB AND SIDEWALKS. REVIEW ANY REQUIRED CHANGES WITH THE ENGINEER PRIOR TO CONSTRUCTION OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS FOR ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED TO COMPLETE PROPOSED ITEMS IN PLACE. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED AS SUCH.
- ALL COSTS SHALL BE INCLUDED IN THE BID.
- ALL PAVEMENT TO BE STANDARD DUTY PAVEMENT, UNLESS NOTED OTHERWISE.
- CONTRACTOR IS RESPONSIBLE FOR DESIGN AND PERMITTING OF ANY REQUIRED TRAFFIC CONTROL MEASURES, INCLUDING BUT NOT LIMITED TO: TRAFFIC LANE CLOSURES, SIDEWALK CLOSURES, ALLEY CLOSURES, ETC.
- A 1/2" FELT MUST BE PROVIDED BETWEEN THE SIDEWALK AND THE BUILDING/PAVING STEPS, AND THE SIDEWALK AND BACK OF CURB.
- ANY SIDEWALK DAMAGED DURING CONSTRUCTION, OUTSIDE OF THE WORK AREA, MUST BE REPLACED TO THE NEAREST JOINT. PARTIAL RESTORATION WILL NOT BE ACCEPTED.

**LEGEND**

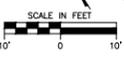
	CONCRETE PAVEMENT SECTION
	CONCRETE SIDEWALK
	FULL DEPTH ASPHALT PAVEMENT REPLACEMENT
	1-3/4" MILL AND OVERLAY ASPHALT PAVEMENT
	1-1/2" RIVER ROCK
	PROPOSED CURB AND GUTTER
	PROPOSED SAWCUT

**SITE PLAN DATA**

1. DEVELOPMENT NAME: RENAISSANCE FARWELL
2. LOCATION: 1490 N. FARWELL AVE. MILWAUKEE, WISCONSIN 53202
3. OWNER/DEVELOPER: NEW LAND ENTERPRISES 1840 N. FARWELL AVE SUITE A MILWAUKEE, WI 53202
4. ARCHITECT: KORB & ASSOCIATES 648 N. PLANKINTON AVE SUITE 240 MILWAUKEE, WI 53203
5. PROPERTY AREA: 47,166 S.F. (1.0828 NET AC) PROJECT AREA: 27,404 S.F. (0.6291 NET AC)
6. BUILDING SETBACKS: <ul style="list-style-type: none"> <li>NORTH SETBACK REFER TO DIMENSION ON PLAN</li> <li>EAST SETBACK REFER TO DIMENSION ON PLAN</li> <li>SOUTH SETBACK REFER TO DIMENSION ON PLAN</li> <li>WEST SETBACK REFER TO DIMENSION ON PLAN</li> </ul>
7. BUILDING HEIGHT: REFER TO ARCHITECTURAL PLANS
8. PARKING COUNT: 25 OPEN AIR PARKING STALLS 439 INTERIOR STALLS
9. LSR: PROPOSED 0.02% / EXISTING 6.82% *BASED ON PROJECT AREA

**BENCHMARKS**

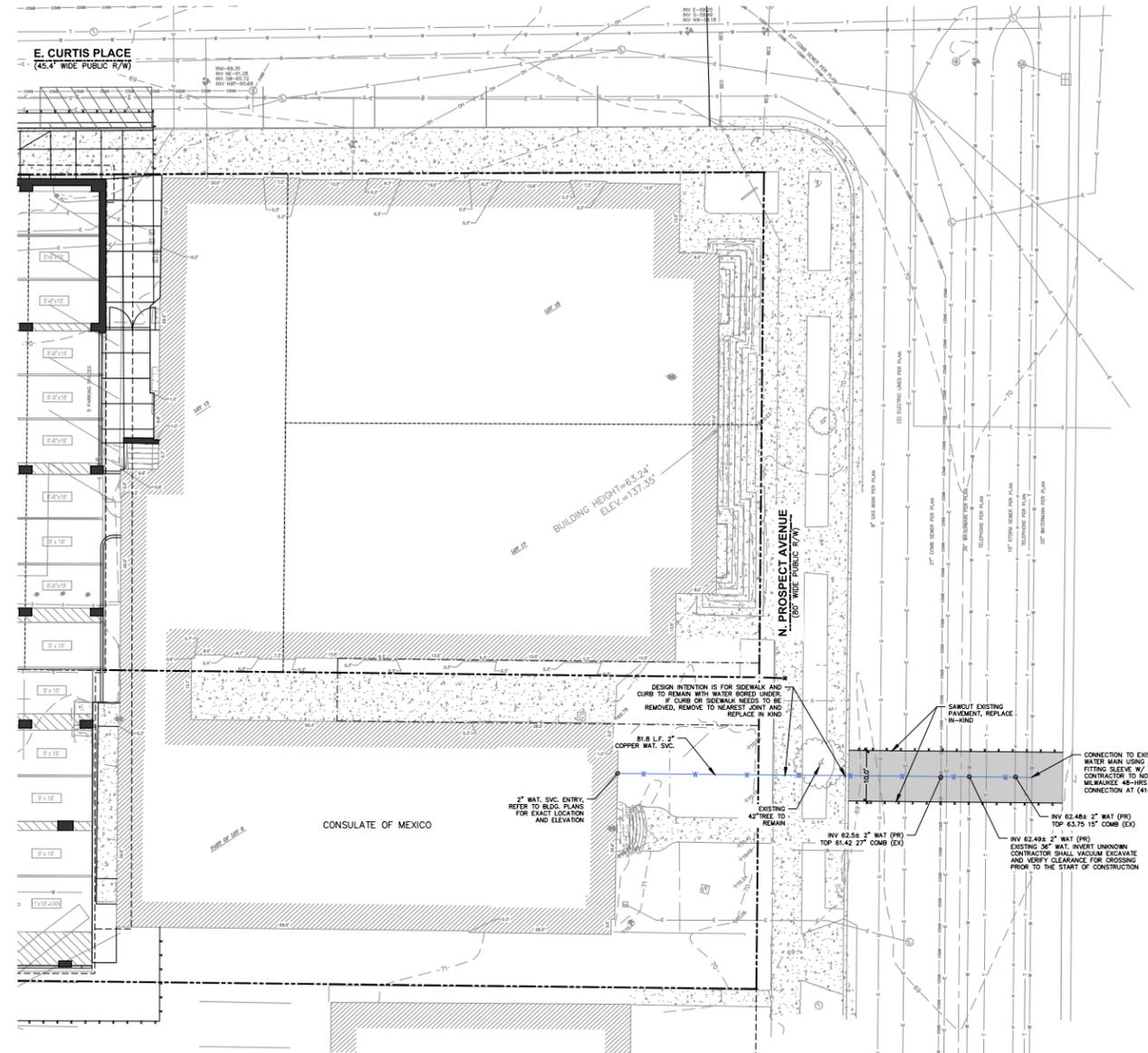
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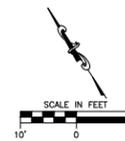




# Civil: Prospect Avenue Utility Plan



LEGEND			
⊙	GAS VALVE	---	EASEMENT LINE
⊕	SANITARY MANHOLE	---	SETBACK LINE
⊕	STORM MANHOLE	---	EXTERIOR PROPERTY LINE
⊕	CATCH BASIN ROUND	---	EXISTING WATER MAIN
⊕	CATCH BASIN SQUARE	---	EXISTING GAS
⊕	PARKING METER	---	EXISTING COMBINED SEWER
⊕	LIGHT POLE	---	EXISTING SANITARY SEWER
⊕	POWER POLE	---	EXISTING STORM SEWER
⊕	TELEPHONE PEDESTAL	---	EXISTING STEAM TUNNEL
⊕	SIGN	---	EXISTING OVERHEAD UTILITIES
⊕	ELECTRICAL PEDESTAL/TRANSFORMER	---	EXISTING UNDERGROUND TELEP.
⊕	CONFEROUS TREE	---	EXISTING UNDERGROUND ELEC.
⊕	DECIDUOUS TREE	---	PROPOSED STORM SEWER
⊕	BUSH	---	PROPOSED SANITARY SEWER
X	PROPOSED SAWCUT	---	PROPOSED WATERMAIN



BENCHMARKS	
DESCRIPTION	ELEVATION
BENCHMARK #1: CITY OF MILWAUKEE BM-11 LOCATED ON THE SW CORNER OF THE INTERSECTION OF NORTH LAKE DRIVE AND EAST WINDSOR PLACE	52.71
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**WATER MAIN OVER SANITARY/STORM SEWER**

NOTE: AT CROSSING ONE FULL 18 FOOT LENGTH OF WATER MAIN SHALL BE CENTERED ON THE SEWER MAINTAINING A MINIMUM HORIZONTAL SEPARATION OF 6 FEET.

**SANITARY/STORM SEWER OVER WATER MAIN**

4" MIN. POLYSTYRENE BOARD INSULATION IF SEPARATION IS LESS THAN 3" AND DEPTH OF BURIAL TO TOP OF SEWER IS LESS THAN 4'

**SEWER - WATER MAIN SEPARATION**

**CATCH BASIN/INLET UNDERDRAIN**

GENERAL NOTES:

- UNDERDRAINS SHALL BE INSTALLED ON ALL INLET/CATCH BASINS LOCATED WITHIN IMPERVIOUS PAVEMENTS.
- UNDERDRAIN CONNECTIONS SHALL BE CORED ON SITE.
- UNDERDRAIN VERTICAL LOCATION MAY VARY DEPENDING ON STORM SEWER PIPE LOCATION.
- ALTERNATIVE DESIGN MAY BE SUBSTITUTED IF SHOP DRAWINGS ARE SUBMITTED AND APPROVED BY CITY OF KENOSHA.

**INLET PROTECTION - TYPE "A"**

GENERAL NOTES:

- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10' AROUND THE PERIMETER OF FACILITY MAINTENANCE OR REMOVAL.
- FOR INLET PROTECTION TYPE "C" (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT A WOOD 2x4

**INLET PROTECTION - TYPE "B" WITHOUT CURB BOX**

WOOD 2"x4" STAKES AND CROSS BRACING

**INLET PROTECTION - TYPE "C" WITH CURB BOX**

WOOD 2"x4" EXTENDS 10" BEYOND GRATE WIDTH ON BOTH SIDES. SECURE TO GRATE WITH WIRE OR PLASTIC TIES.

**INLET PROTECTION - TYPE "D"**

WOOD 2"x4" EXTENDS 10" BEYOND GRATE WIDTH ON BOTH SIDES. SECURE TO GRATE WITH WIRE OR PLASTIC TIES.

**STORM & SANITARY SEWER BEDDING**

LEGEND:

- BACKFILL MATERIAL CONTAINING NO STONES LARGER THAN 3" AND NO HARD OR FROZEN LUMPS OF EARTH.
- WASHED GRAVEL OR CRUSHED STONE

**WATERMAIN BEDDING**

**CONSTRUCTION ENTRANCE**

NOTE: CONTRACTOR TO VERIFY LOCATION WITH OWNER.

**FIBER SILT SOCK**

GENERAL NOTES:

- EXCAVATE A SHALLOW TRENCH SLIGHTLY BELOW BASEFLOW OR A 4" TRENCH ON SLOPE CONTOURS.
- PLACE THE ROLL IN THE TRENCH AND ANCHOR WITH 2" x 3" POSTS PLACED ON BOTH SIDES OF THE ROLL AND SPACED LIBERALLY ON 2' TO 4' CENTERS. TRIM THE TOP OF THE POSTS EVEN WITH THE EDGE OF THE ROLL IF NECESSARY.
- NOTCH THE POSTS AND TIE TOGETHER ACROSS THE ROLL WITH 9 GAUGE GALVANIZED WIRE OR 1/8" DIAMETER BRAIDED NYLON ROPE.
- PLACE SOIL EXCAVATED FROM THE TRENCH BEHIND THE ROLL AND HAND TAMM PLANT WITH SUITABLE HERBACEOUS OR WOODY VEGETATION AS SPECIFIED.

**COMBINED TRAPPED MANHOLE**

INSTALL PER SPS 382.34(12), 382.35(5)(a), & MILWAUKEE CODE OF ORDINANCES 225-4.4.B

NOTE: STEPS ARE REQUIRED

**STORM SEWER MANHOLE**

GENERAL NOTES:

- MANHOLE CONSTRUCTION TO MEET REQUIREMENTS OF ASTM C478.
- PROVIDE FLAT TOP SLAB FOR MANHOLES 5' OR LESS IN DEPTH. FLAT TOP SLABS TO BE IN-BELL TYPE.
- JOINTS FOR MANHOLE RISEN SECTION SHALL BE MADE WITH NON-SHRINK GROUT. RUBBER O-RING GASKETS A CONTINUOUS RING OF BUTYL RUBBER SEALANT (E2-STK OR RENT SEAL IN ROPE FORM) OR EQUAL.
- ADJUSTING RINGS AND MANHOLE FRAMES SHALL BE SET WITH NON-SHRINK GROUT OR BUTYL RUBBER SEALANT TROWELED INTO A 1/4-INCH THICK LAYER OVER THE ENTIRE SURFACE AREAS OF THE TOP OF CONE AND ALL ADJUSTING RINGS. THE BUTYL RUBBER SEALANT SHALL BE E2-STK OR RENT SEAL. BUTYL BASE SEALANT IN TROWELABLE GRADE OR EQUAL.
- USE MORTAR FOR PIPE CONNECTIONS.
- EXCENTRIC CONE SECTION OF MANHOLE TO BE SET OUTSIDE OF VEHICULAR WHEEL PATH NEAR ROADWAY.

**6" BOX CURB**

**STANDARD ASPHALT PAVEMENT SECTION**

**CONCRETE PAVEMENT SECTION**

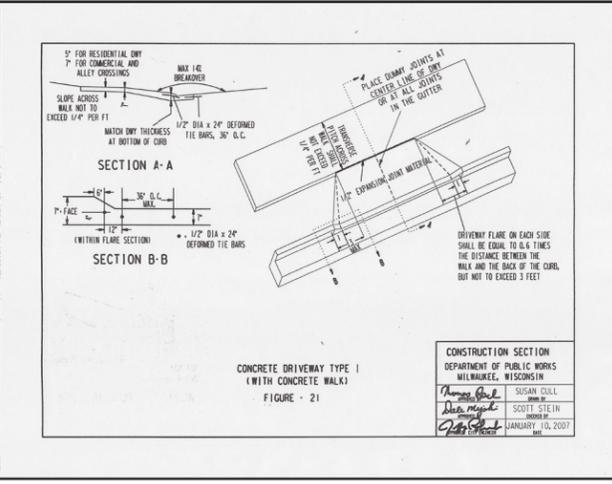
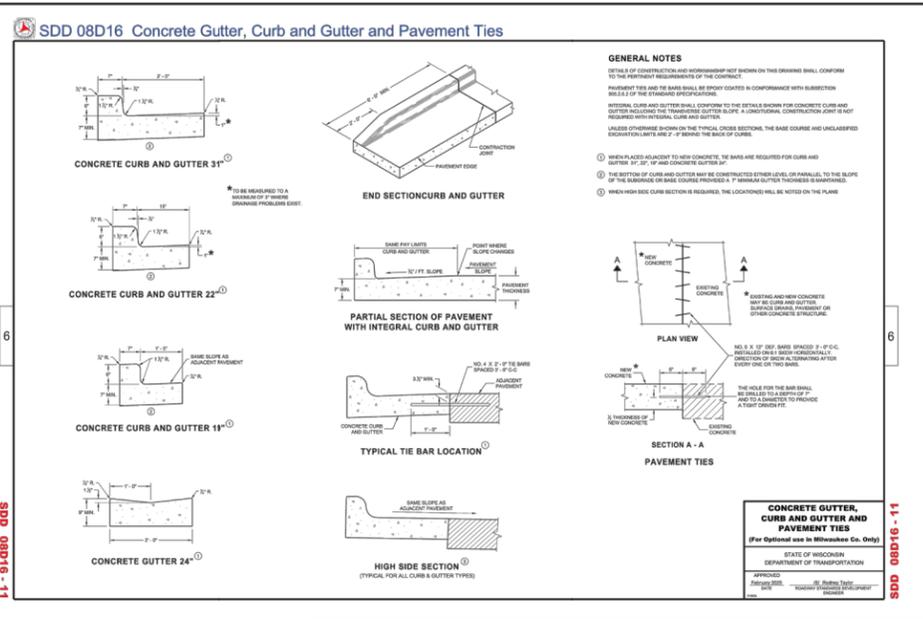
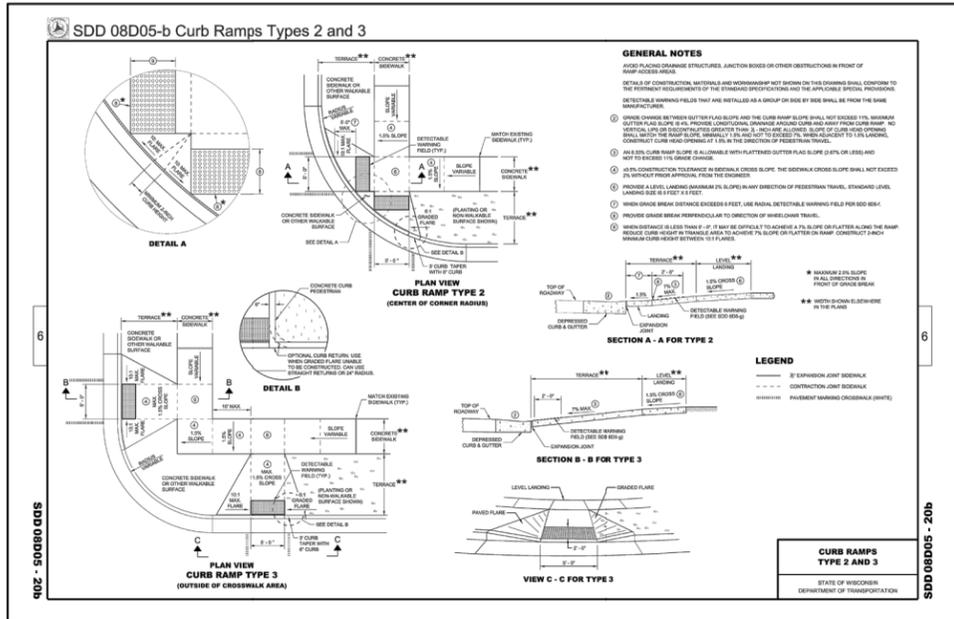
**PAVEMENT SECTIONS**

GENERAL NOTES:

- PAVEMENT SECTION PROVIDED BASED ON SIMILAR PROJECTS WITH SIMILAR EXPECTED TRAFFIC LOADING SINCE NO GEOTECHNICAL REPORT HAS BEEN PROVIDED, AS OF THIS DATE, WE CANNOT GUARANTEE PERFORMANCE OR LIFE EXPECTANCY OF PROPOSED PAVEMENT DESIGN.
- MSDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, INCLUDING SUPPLEMENTAL SPECIFICATIONS, COMPACTOR REQUIREMENTS:
  - BITUMINOUS CONCRETE: REFER TO SECTION 465-1
  - BASE COURSE: REFER TO SECTION 301.5.4.2, STANDARD COMPACTION.
- CONCRETE EQUIPMENT PADS SHALL HAVE A MINIMUM 6" THICK PORTLAND CEMENT CONCRETE OVER COMPACTED 6" THICK DENSE GRADED BASE WITH REINFORCEMENT FOR GRADE CONTROL.

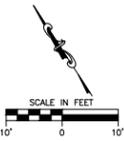
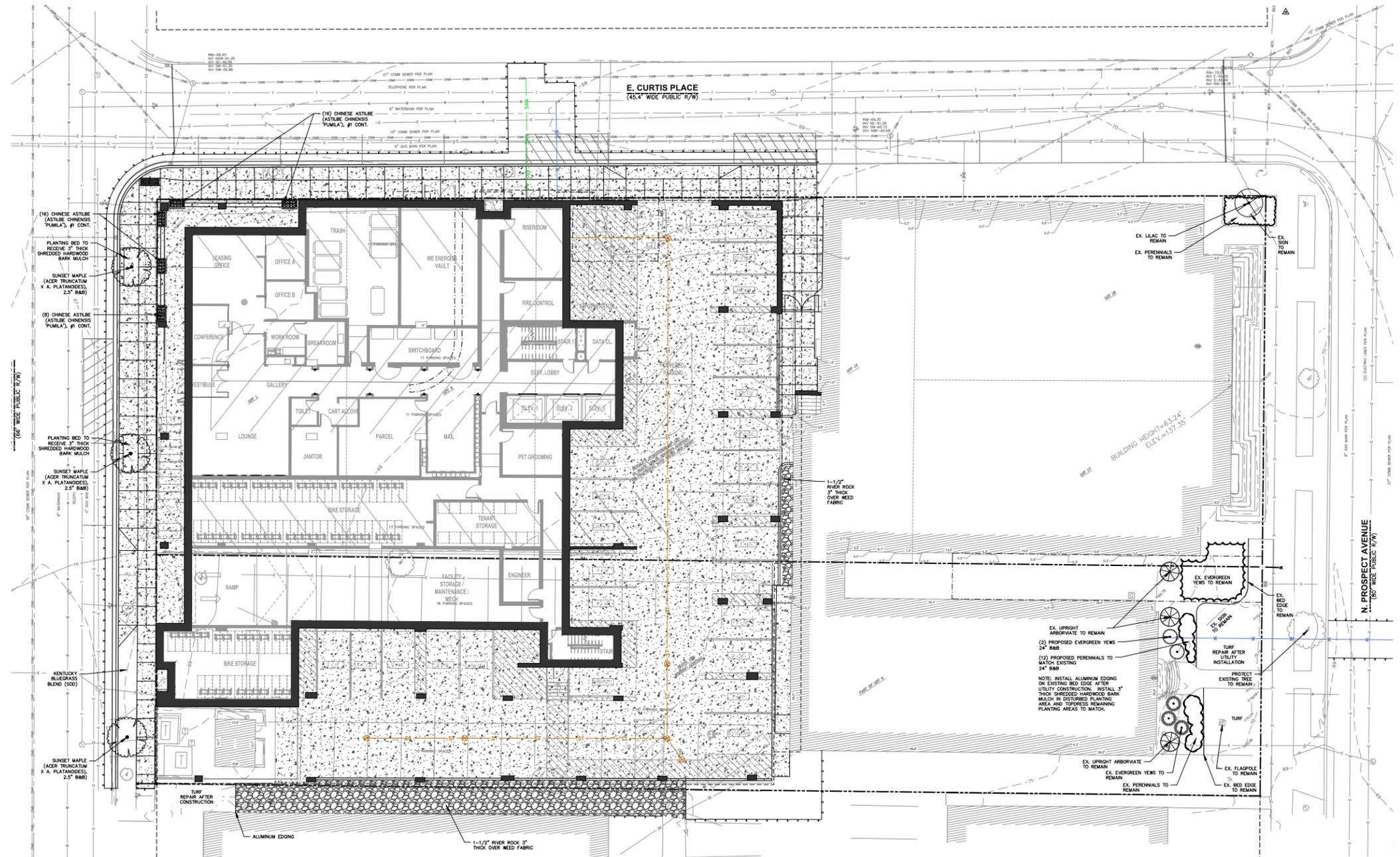
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**DIAPER TOWNLINE**  
 Call 811 or (800) 242-8511  
 Milwaukee Area (262) 452-7970  
 Hearing Impaired TDD (800) 542-2289  
 www.DiaperTownline.com



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Call 811 or (800) 242-8511  
Milwaukee Area (262) 452-7910  
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 Milwaukee Area (262) 442-0799  
 Hearing Impaired TDD (800) 542-2289  
 www.DiggersOnCall.com

# Landscaping: Details and General Notes

## GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- JOB SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
- REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN.
- CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT INSTALLATION (IF APPLICABLE), AND FRESH GRASSING ARE COMPLETE.
- DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FRESH GRASSING ARE COMPLETE.
- ALL WORK IN THE R-0-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JOB SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-442-8811 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL UTILITIES. CONTRACTOR IS RESPONSIBLE FOR STAMPING THE PREVIOUSLY INSTALLABLE MARK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAMPING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY. IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH NET SOLID MAT OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROW STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK AND SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG DURING THE MOST RECENT FAVORABLE HARVEST SEASON. PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE INDUSTRIOUSLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND GENUINELY FOLIATED WITH LEAFY AND TREE-FREE OF DISEASE AND INSECT EGG, PUPAE OR LARVAE. THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING UNDER PREMATURITY MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF HAZARDOUS TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VEHICULAR AND PEDESTAL CLEARANCE.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE-CARE OPERATIONS AND SHALL BE IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 1/4" IN DIAMETER AND BRANCHES OR SCANS ON BARK, MAKE THE PRUNED SURFACE LAYER SMOOTH TO LEAVE FUSION AND BRUSH SMOOTH AND SHARP BRANCHES SO AS NOT TO RETAIN WATER. TRIM THE AREA WITH AN APPROVED INCONSPICUOUS LATEX-BASED ANTISEPTIC TREE PAINT IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DEPOSED OF EXCESS SOIL, REMOVE ALL CUTTINGS AND WASTE MATERIALS, SOIL AND BRANCHES, BIND AND WRAP THESE MATERIALS, ANY REJECTED PLANTS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LICENSEE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

## EXISTING LANDSCAPE ALONG N PROSPECT AVENUE



## LANDSCAPE MATERIAL NOTES

- MATERIALS - PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- MATERIALS - TOPSOIL: TOPSOIL TO BE CLEAN, FINE-TEXTURED LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 1/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS FOR SOIL TEST.
- MATERIALS - SHREDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED-FREE SHREDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDED HARDWOOD BARK MULCH SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE APPLIED TO ALL PLANTING AREAS LABELED ON PLAN. SHREDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOOD, WOOD WASTE, BARBERS' FIBRE, OR PLASTIC/IMPREGNATED BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VESIGLEN.
- MATERIALS - STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE DECORATIVE STONE MULCH (1/2" OVER ROCK), SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. DECORATIVE STONE MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. STONE MULCH AREAS SHALL RECEIVE WOOD, WOOD WASTE, BARBERS' FIBRE, NO PLASTIC/IMPREGNATED BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VESIGLEN.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDING LAIN AREAS TO BE INSTALLED WITH A MINIMUM 4" DIAMETER SHREDED HARDWOOD BARK MULCH TREE RING SPREAD TO A CONSISTENT DEPTH OF 3-INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 1" DEPTH SHOULDER CUT EDGE, ANGLED AS DEGREES INTO SOIL AT A 2" DIAMETER ABOUT THE CENTER OF THE TREE PLANTING. A PRE-EMERGENT GRANULAR HERBICIDE WEED-PREVENTER SHOULD BE MIXED WITH MULCH TO INSTALL TREE RING AS WELL AS TYPICALLY APPLIED TO COMPLETED INSTALLATION OF TREE RING.
- MATERIALS - ALUMINUM EDGING: EDGING SHALL BE 1/8" x 4" ALUMINUM EDGING. MILL FINISH. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
- MATERIALS - TREE PROTECTION: ALL TREES TO BE INSTALLED WITH LOPE TREE GUARDS AS MANUFACTURED BY A.M. LEONARD HORTICULTURAL TOOL & SUPPLY CO. OR APPROVED EQUAL.
- MATERIALS - (ALTERNATE 1): TREE WATERING BASIN: ALL TREES TO BE INSTALLED WITH ONE (1) WATER BASIN. PRODUCT TO BE "TREE GATOR ORIGINAL SLOW RELEASE WATERING BASIN" PRODUCT NO. 98183-R OR APPROVED EQUAL. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

## SEEDING & SODDING NOTES

- MATERIALS - TURFOSS SEED: DISTURBED LAIN AREAS LABELED ON PLAN AS SUCH SHALL RECEIVE 6" OF TOPSOIL AND EARTH CARPET'S "MADISON PARK" GRASS SEED OR EQUIVALENT AS APPROVED BY THE OWNER'S REPRESENTATIVE. INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO TURFOSS SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZER AND MULCH PER MANUFACTURER'S RECOMMENDATIONS. MULCH SHALL BE CERTIFIED NOXIOUS WEED SEED-FREE.
- MATERIALS - SOD: DISTURBED LAIN AREAS LABELED ON PLAN AS SUCH SHALL RECEIVE 6" OF TOPSOIL AND A PREMIUM GRADE TURFOSS SOD. ONLY IMPROVED TYPES OF SOD (GUTTS ARE ACCEPTABLE). TURFOSS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF 80 INCH. PLUS OR MINUS .25 INCH AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFOSS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH, BROKEN PAIRS AND TORN OR UNEVEN EDGES WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFOSS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGING. TURFOSS SOD SHALL NOT BE HANDLED OR TRANSPORTED WHEN MOISTURE CONTENT IS EXCESSIVELY HIGH OR WHEN IT MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY. TURFOSS SOD SHALL BE LIFTED AND MOVED WITH SOIL. CONTRACTOR TO VERIFY QUANTITIES WITH OWNER'S REPRESENTATIVE. AT TIME OF ACCEPTANCE BY THE OWNER, TURFOSS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPLANTED WITHIN A PERIOD OF 24 HOURS. TURFOSS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO 0.5 INCH ALLOWABLE UNCOMPRESSED). TURFOSS SOD SHALL BE REASONABLY FREE (TO RESIST/TO SOIL) OF DISEASE, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFOSS SOD SHALL BE FREE OF CRASSY AND BROAD LEAF WEEDS AND WEED SEED. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.

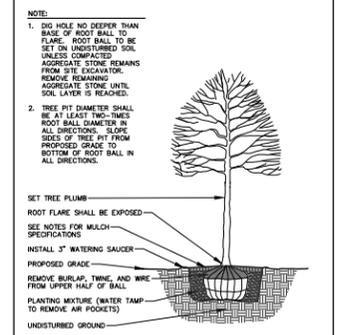
## CONTRACTOR AND OWNER RESPONSIBILITY NOTES

- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A WORKING THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESPONSE BEGINS AS NECESSARY FOLLOWING PLANT REPLACEMENT INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAMPING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDING AND/OR SODDED LAIN AREAS. THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAIN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAIN/TURFOSS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAIN/TURFOSS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS AND SHARPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAIN/TURFOSS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAIN/TURFOSS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

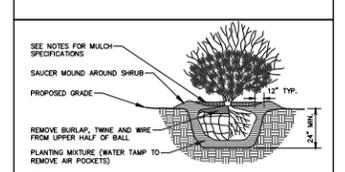
## LANDSCAPING

LANDSCAPING TO BE INSTALLED AFTER COMPLETION OF THE BUILDING

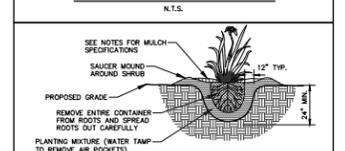
INSTALLATION OF LANDSCAPING NOT TO AFFECT OPERATIONS OF THE BUILDING.



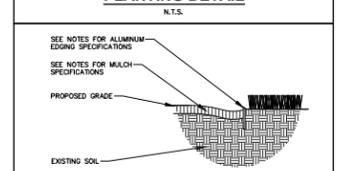
## DECIDUOUS TREE PLANTING DETAIL



## SHRUB PLANTING DETAIL



## PERENNIAL/ORNAMENTAL GRASS PLANTING DETAIL

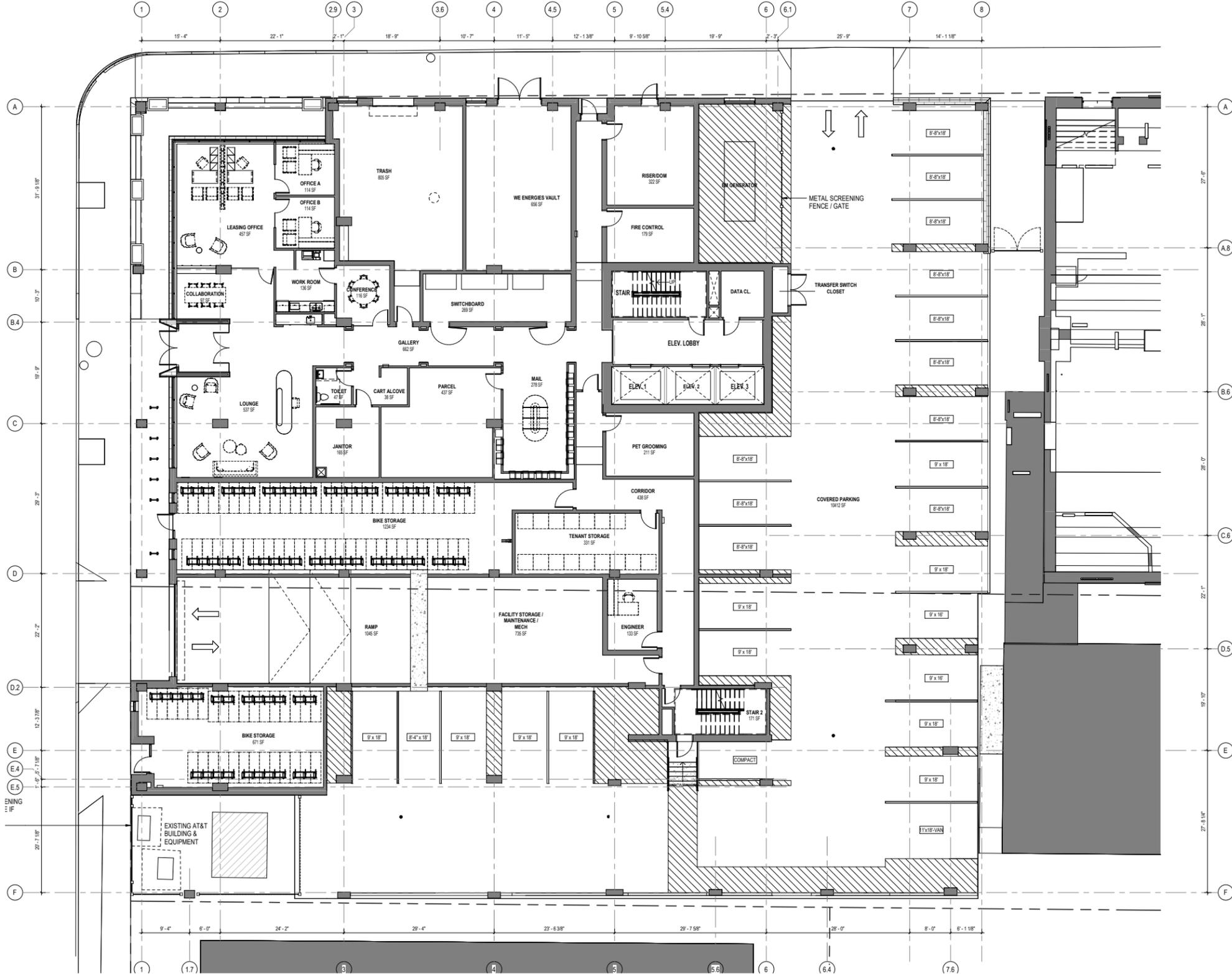


## ALUMINUM LANDSCAPE EDGING DETAIL

N.T.S.

## EXISTING LANDSCAPE CORNER N PROSPECT AVENUE & E CURTIS PLACE

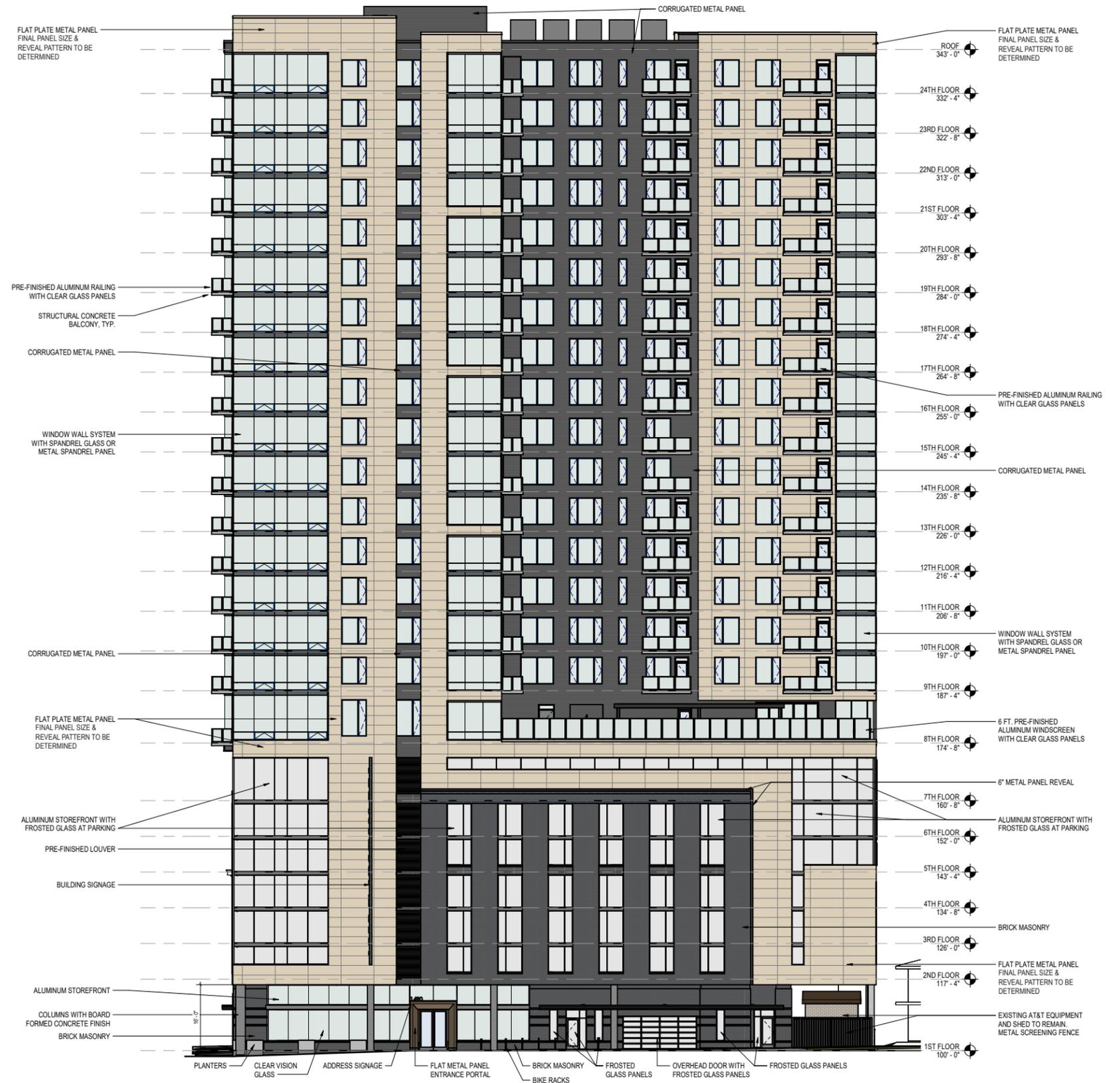




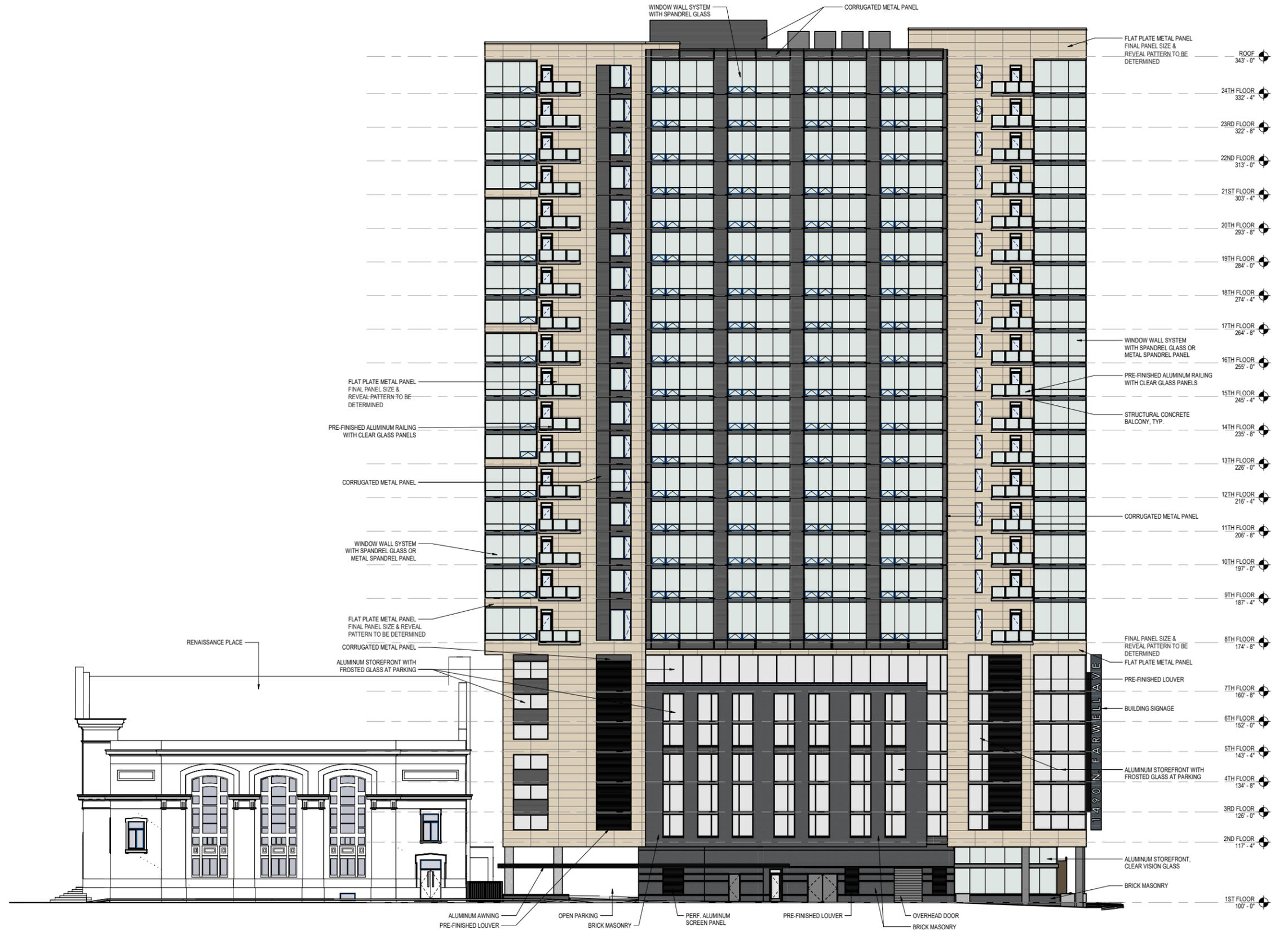
Type	Type Mark	Type Comments	Count
INDOOR GROUND	BICYCLE PARKING	1 GROUND	67
SHORT TERM - EXTERIOR	BICYCLE PARKING	1 GROUND	12
			99

SCHEDULE - PARKING		SCHEDULE - PARKING	
8'-4" x 18'	1	COMPACT	2
8'-8" x 18'	11	4TH FLOOR 65	65
9' x 18'	2		
9' x 18'	11	8'-4" x 18'	2
11' x 18'-VAN	1	8'-4" x 18'	7
COMPACT	1	8'-8" x 18'	5
1ST FLOOR 27	27	8'-8" x 18'	7
		9' x 18'	10
8'-4" x 18'	1	9' x 18'	30
8'-4" x 18'	3	EX18-ADA	1
8'-8" x 18'	4	EX18-VAN	1
8'-8" x 18'	3	COMPACT	2
EX28' P	3	5TH FLOOR 65	65
9' x 18'	9		
9' x 18'	27	8'-4" x 18'	2
EX18'T	2	8'-4" x 18'	7
EX18-ADA	1	8'-8" x 18'	5
11' x 18'-VAN	1	8'-8" x 18'	7
2ND FLOOR 56	56	9' x 18'	10
		9' x 18'	30
8'-4" x 18'	2	EX18-ADA	1
8'-4" x 18'	7	11' x 18'-VAN	1
8'-8" x 18'	5	COMPACT	2
8'-8" x 18'	7	6TH FLOOR 65	65
9' x 18'	10		
9' x 18'	30	8'-4" x 18'	2
EX18-ADA	1	8'-4" x 18'	5
11' x 18'-VAN	1	8'-8" x 18'	7
COMPACT	2	8'-8" x 18'	8
3RD FLOOR 65	65	9' x 18'	5
		9' x 17'	10
8'-4" x 18'	2	9' x 18'	22
8'-4" x 18'	7	EX18-ADA	1
8'-8" x 18'	5	11' x 18'-VAN	1
8'-8" x 18'	7	COMPACT	2
9' x 18'	10	7TH FLOOR 63	63
9' x 18'	30		
EX18-ADA	1		
11' x 18'-VAN	1		

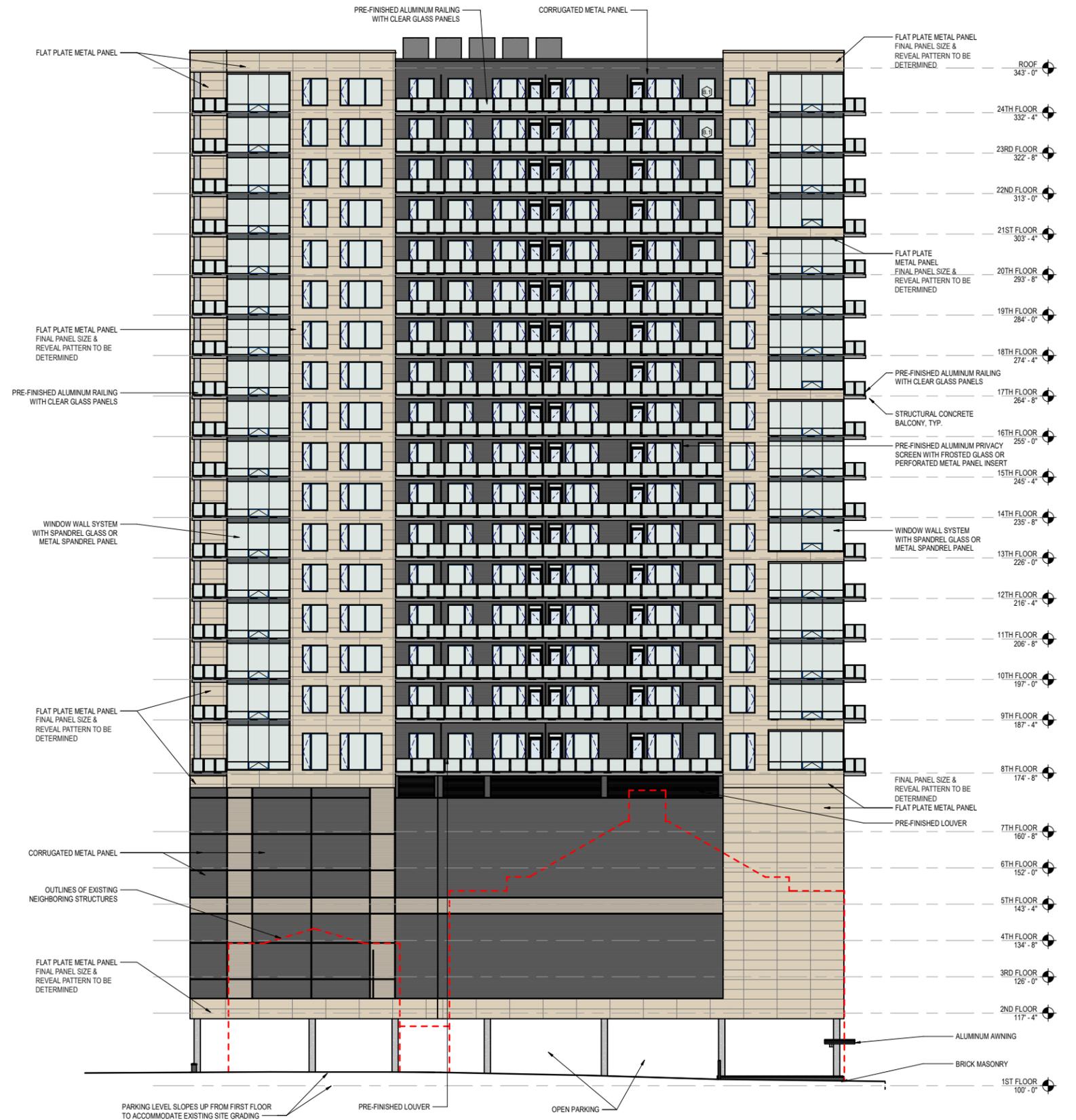
# Architectural Elevations: West



# Architectural Elevations: North



# Architectural Elevations: East



# Architectural Elevations: South

