



# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

## Property

1401 E. BRADY ST., 1672 & 1678 N. Warren      Brady Street Historic District

## Description of work

Construction at Nomad World Pub's Biergarten shall consist of a new outdoor bar with a wood fence backdrop, a new outbuilding, and replacing the existing garage on site. Existing outdoor bar/canopy, wooden egress stair, and crushed-stone groundscape will all remain. The project involves the following:

### Demolition:

Removal of eastern wood fence, gate, and landscape block (1672 N. Warren). Demo garage at 1668 N. Warren  
Removal of southern section of wood fence and associated landscape blocks moved 2'-0" further south (along existing neighboring building)

### Installation of Palapa Bar:

Located roughly half-way into site off of Warren Ave. Bar will be open-air, roughly 12'-0" W x 18'-0" L housed under a large 18'-0" diameter palapa roof (made in the traditional Mexican style of leaves/thatch roof). Roof will be ~16'-0" tall, providing 10'-0" of clearance to underside of the roof structure.

### Wood Fence:

Construction of a new wood fence to separate beergarten from neighboring driveway and a new exterior walk-in cooler (10'x16') unit to the south. Wood fence is proposed at 6'-10.5" tall off ground elevation at the drive, runs 54'-0" in length with a 6'-0" gap at existing wood stairway on site to provide exiting access to the beergarten. Fence will be constructed of painted 2x wood slats, spaced 2.5" apart attached to 4x4 wood posts.

### Outbuilding (1672 N. Warren):

Construction of new 2x6 wood framed outbuilding at eastern edge of property. Proposed as one-story tall, approx. 11'-10" in height including parapet, and continue public restrooms/storage (18'-8"x 26'-0") and a small concession room (11'-5" x 13'-4") for the beergarten. Overall dimensions including hallway 35'-1" x

26'-0". Concession portion of out-building will be clad with a painted 2x wood rain screen. Eastern portion will be clad with plaster. This outbuilding will be attached to the garage.

Garage (1668 N. Warren):

Demolition of current garage and construction of new wood-framed garage on same location. Garage is revised per drawing of 10/25/17 and attached to this record.

Garage will be 27'-6.25" W, 30'-8" deep and 16'-6.75" tall. Garage will be clad in painted wood lap siding, trimmed with wood, including corner boards, water table, door trim, and frieze. It shall be capped with a flat roof. Garage door shall be a single unit with dimensions of 10'W x 16'H. A service door of 3'x7' will be to its side and have a small protective canopy shed roof with sinewave metal decking to match the existing exterior bar.

**Date issued**

11/10/2017

PTS ID 114385 COA: demo garage, new garage, new cooler, new bathroom building, new bar, new fence

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

**No bare metal finish shall be permitted on the walk-in cooler. If a bare metal finish cooler is purchased, the sides shall be painted.**

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Historic Preservation staff as follows: Phone: (414) 286-5712 E-mail: HPC@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.milwaukee.gov/build](http://www.milwaukee.gov/build), or call (414) 286-8210.

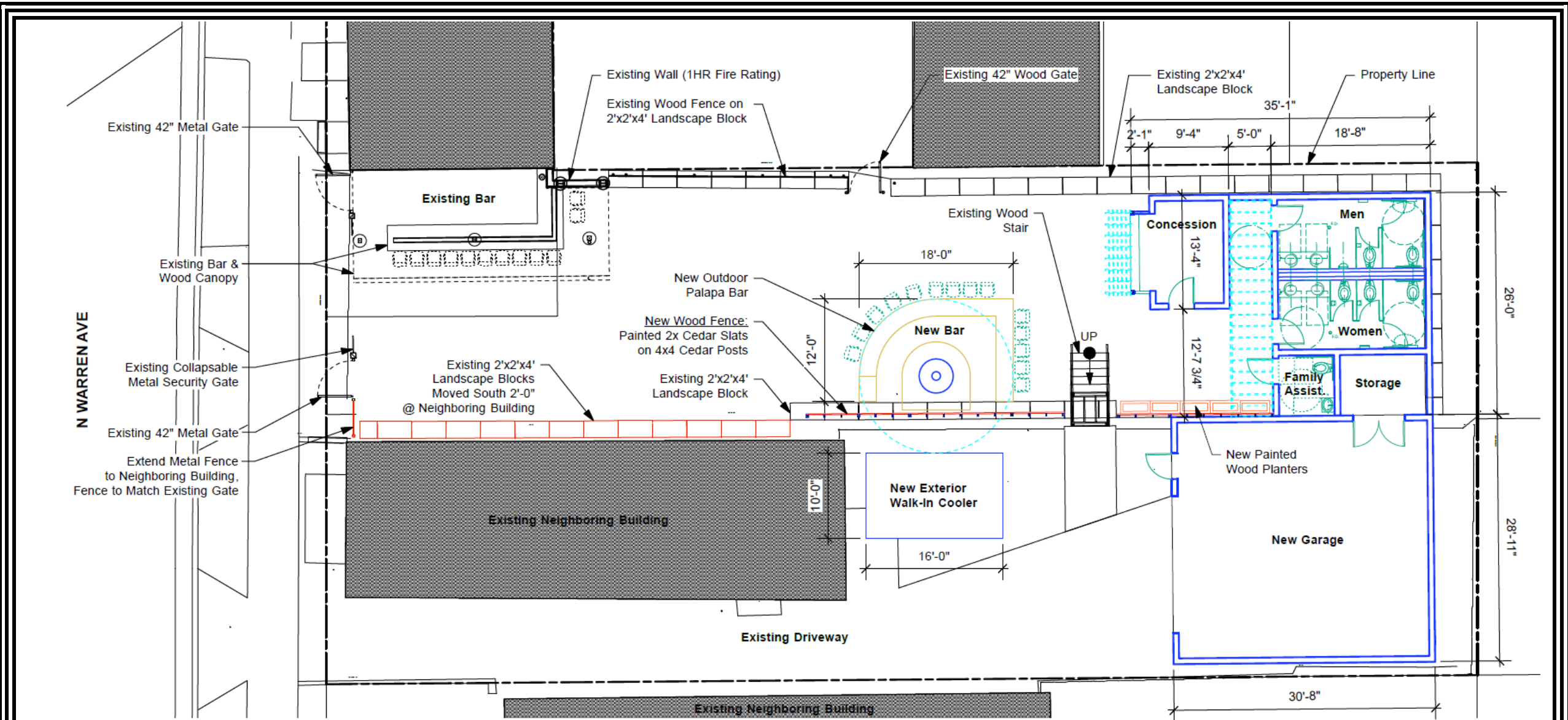


City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Nik Kovac, Contractor



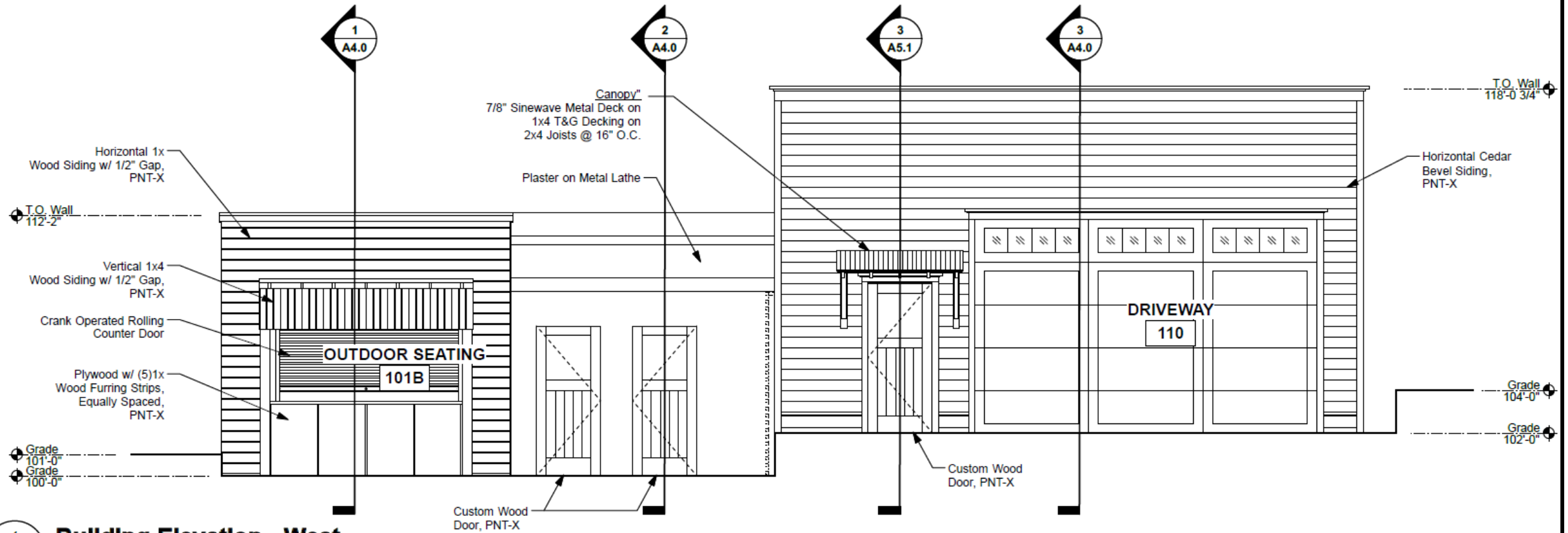
Demolish garage at 1668 N. Warren Avenue



1 **SITE PLAN**  
 A0.0 Scale: 3/32" = 1'-0"

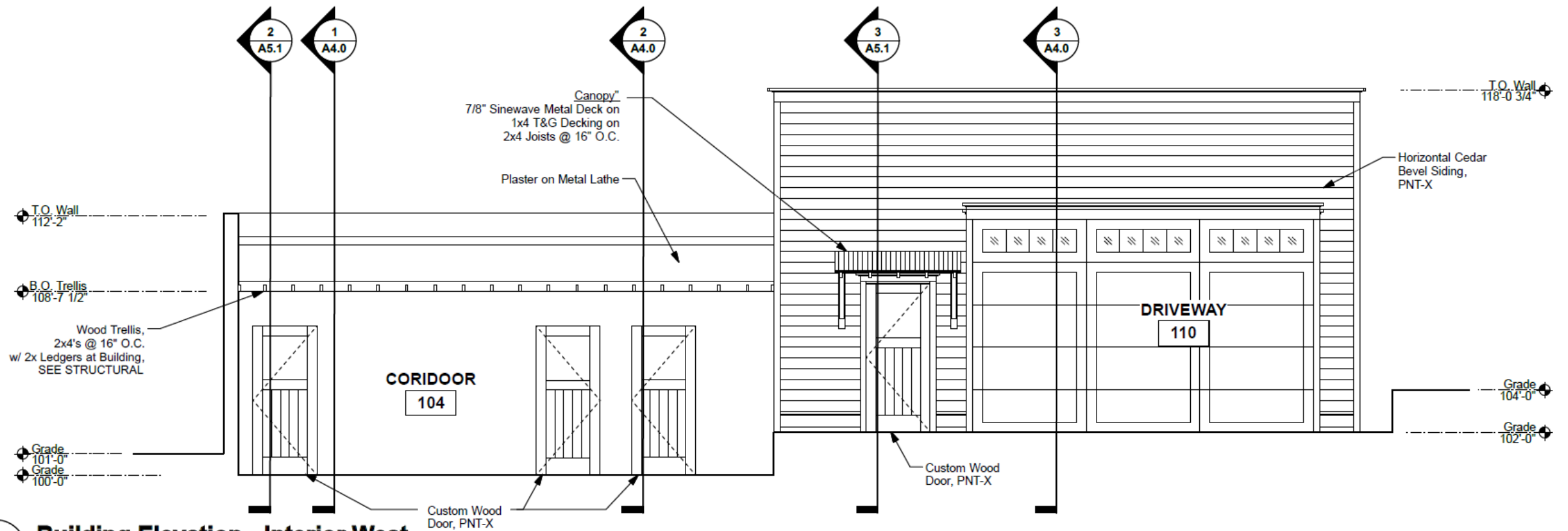


17.00 x 11.00 in

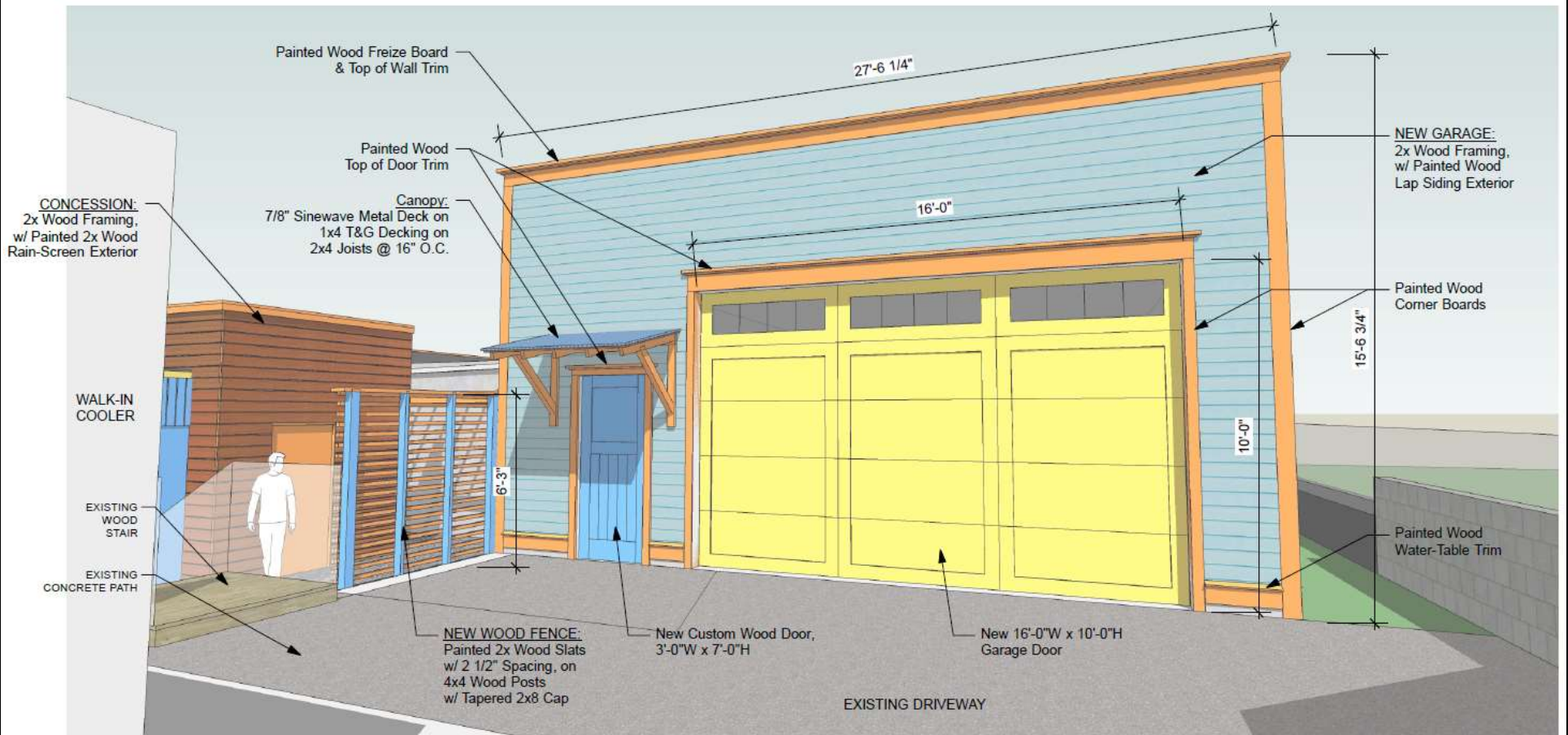


1
**Building Elevation - West**  
 A3.0 Scale: 1/4" = 1'-0"

New construction: west elevation.

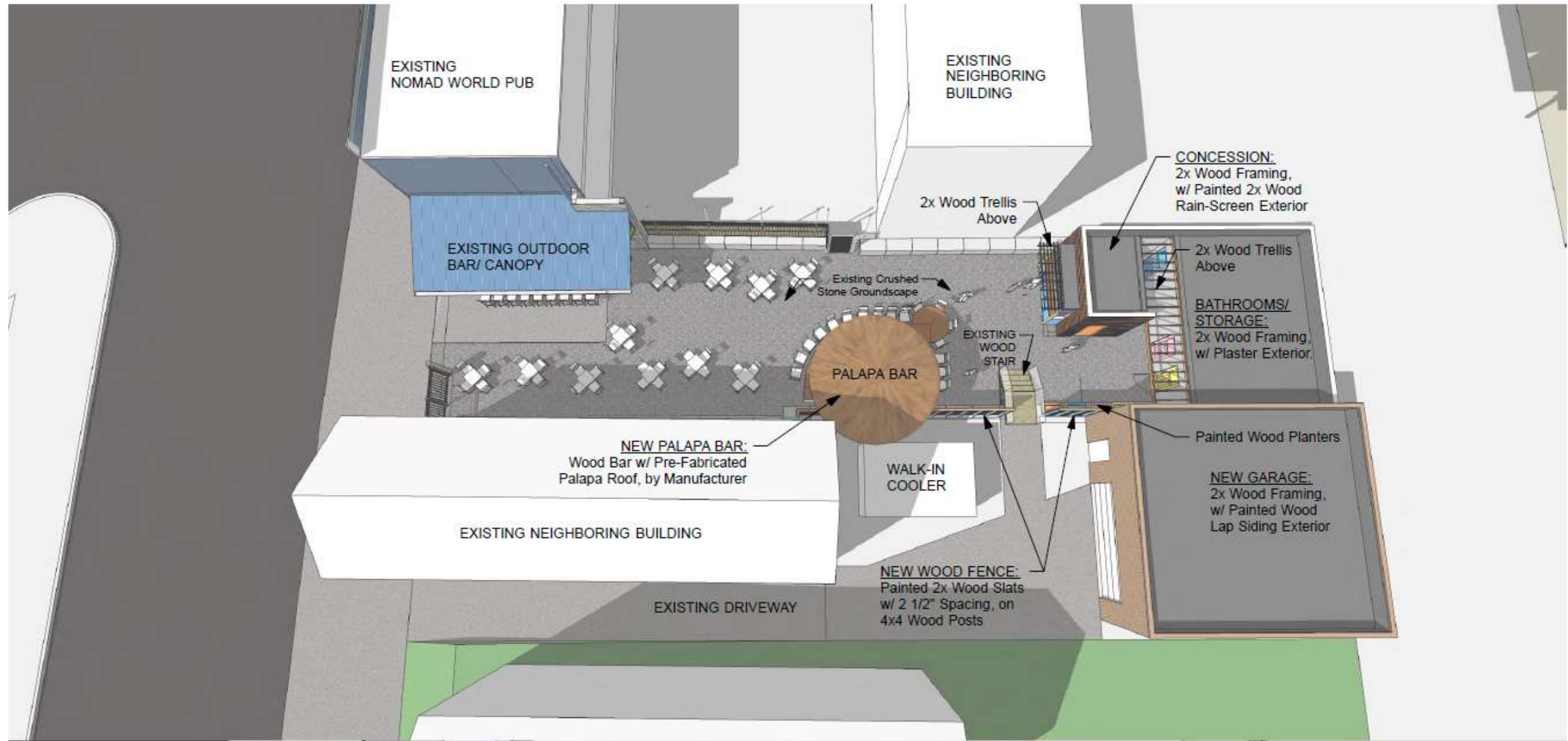


2 **Building Elevation - Interior West**  
 A3.0 Scale: 1/4" = 1'-0"



1 **MODEL VIEW - PERSPECTIVE NEW GARAGE**  
 A1.4 Scale: NTS

Approved, final garage design. Fence will now extend across entire left side of this scene (see p. 12).



1  
A1.0

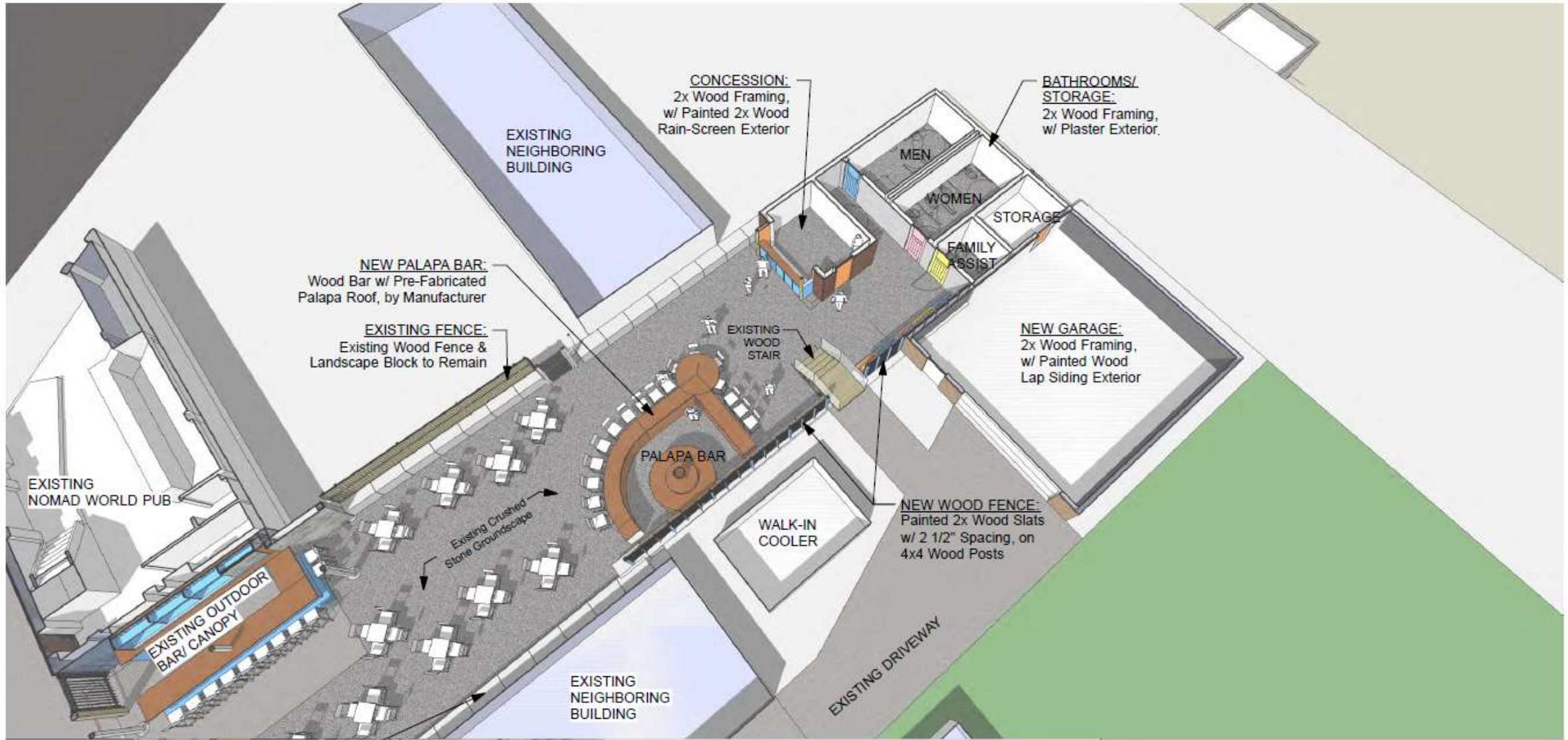
**MODEL VIEW - AERIAL**

Scale: NTS



Wood fence will now extend across staircase. Build new garage per pages 5-7; ignore this design.



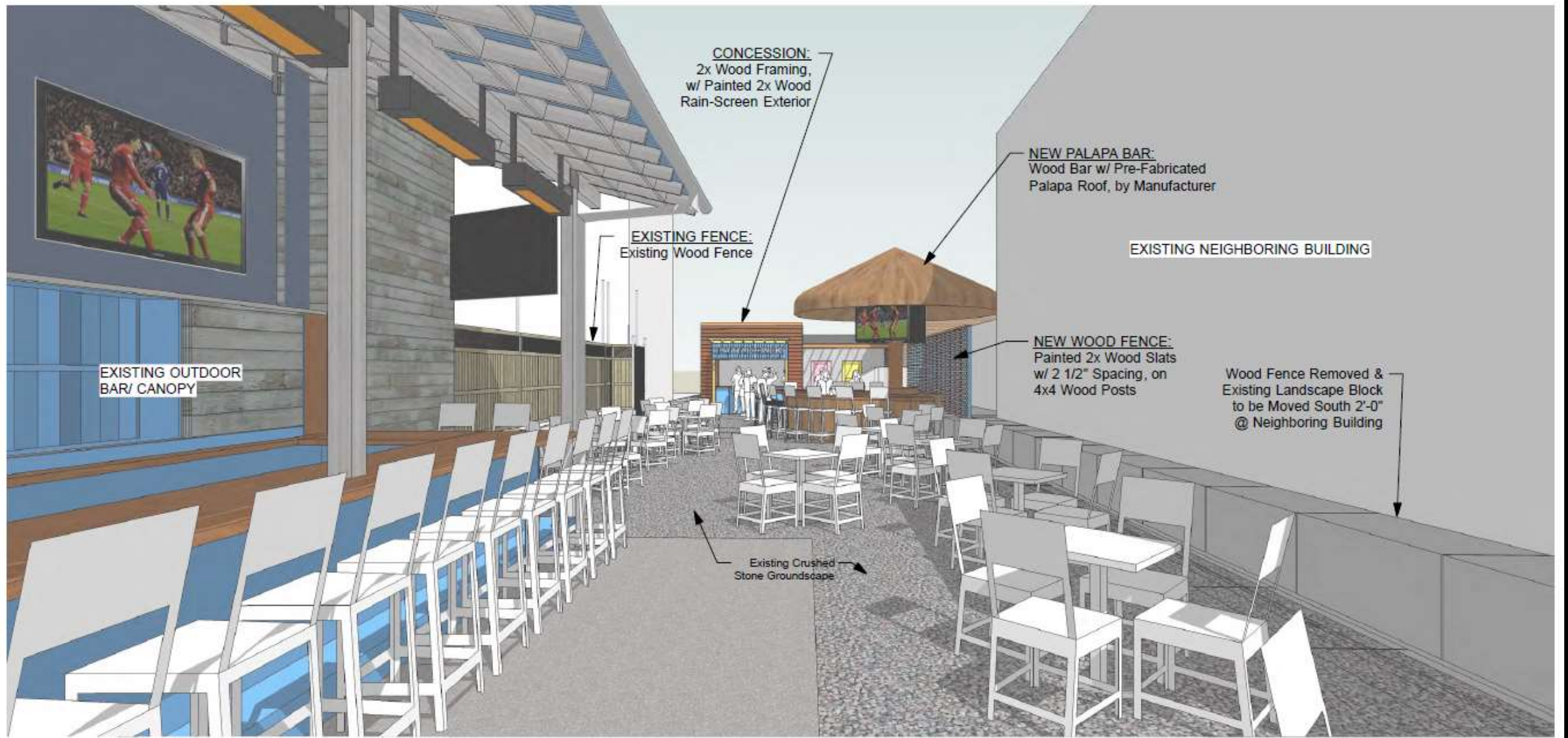


1  
A1.1

**MODEL VIEW - AERIAL PLAN CUT**

Scale: NTS

Wood fence will now extend across staircase and connect to 1668 building (see p. 12). See garage redesign above (p. 7). Build new garage per pages 5-7; ignore this design.



1 **MODEL VIEW - PERSPECTIVE FROM WARREN**  
 A1.2 Scale: NTS

New fence must turn corner and connect to 1668 N. Warren building (see p. 12). This is otherwise approved as shown.



1 **MODEL VIEW - PERSPECTIVE FROM EXISTING BAR**  
 A1.3 Scale: NTS

New fence must turn corner and connect to 1668 N. Warren building (see p. 12). Build new garage per pages 5-7; ignore this garage design. This rendering is otherwise approved as shown.



Turn fence around corner to connect to adjacent building and extend across staircase. This will further screen cooler from public view.

- Unlimited Lengths in 1' increments
- Available in widths of:  
6', 7', 8', 9', 10', 11' & 12'
- Heights: 7'7" & 8'7" with floor;  
7'4" & 8'4" floorless
- FRP threshold
- Pre-assembled remote refrigeration  
systems in stock for 5 day  
shipment
- Cooler, freezer or combination  
cooler/freezer models
- Installation is fast & easy
- Indoor or outdoor models
- 30" or 36" self closing door
- 15 year panel warranty



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File No. A3204



Walk-in cooler is to be similar to those shown. **BARE METAL FINISH IS NOT PERMITTED. COOLER MUST BE PAINTED** or otherwise treated to eliminate bare metal finish. Different exterior materials are acceptable.