



# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/841 N Broadway/Milwaukee, WI 53202/phone 414-286-5722

## Property Description of work

### 2044 N. 2<sup>nd</sup> Street, Brewers Hill Historic District

Replace two courses of concrete block on the south porch column in-kind with salvaged and/or replacement block. Reconstruction of column to match current design.

## Date issued 8/15/2023

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

New mortar must match the original mortar in terms of color, texture, grain size, joint width, and joint finish/profile. The compressive strength of the repointing mortar shall be equal or less than the compressive strength of the original mortar and surrounding brick or stone. The replacement mortar shall contain approximately the same ingredient proportions of the original mortar. Mortar that is too hard is subject to premature failure and could damage the masonry. See the city's books *As Good As New* or *Good for Business*, Masonry Chapters, for more information. In most cases, this means a lime mortar with natural hydraulic cement rather than Portland cement. No joint of a width less than 3/8" may be cleaned of damaged/decomposed mortar with power disc grinders. No over-cutting of the joints is permitted. Remove decomposed mortar back into the wall 2.5 times the height of the joint before repointing. When installing new flashing at a masonry feature, the flashing must be stepped or cut into the mortar joints. The bricks may not be cut to install flashing at an angle.

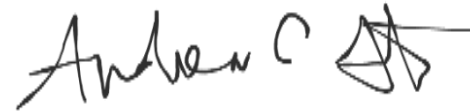
New brick/stone/terra cotta must match as closely as possible the color texture, size, and finish of the original.

A sample panel of the masonry materials and their mortar must be reviewed and approved by HPC staff prior to general installation of the material.

**UNDER NO CIRCUMSTANCES SHALL UNPAINTED MASONRY BE GIVEN A WATERPROOFING TREATMENT, OR CLEANED BY ABRASIVE MEANS; THIS STATEMENT SUPERSEDES ANY OTHER WORDING IN THIS DOCUMENT INDICATING THE CONTRARY.**

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Historic Preservation staff as follows: Phone: (414) 286-5722 E-mail: [hpc@milwaukee.gov](mailto:hpc@milwaukee.gov).

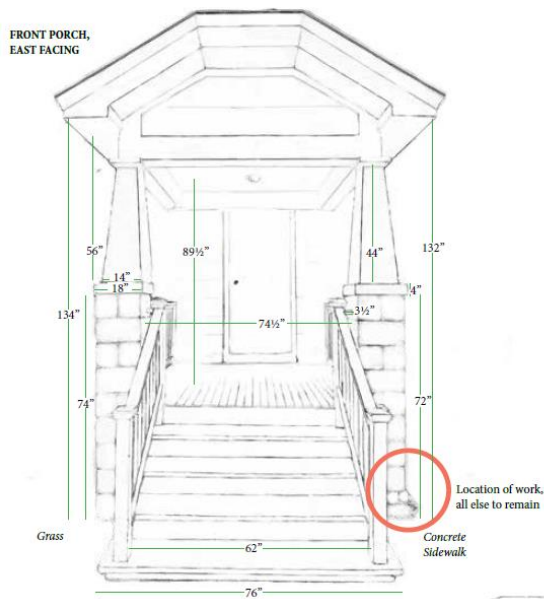
If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.milwaukee.gov/lms](http://www.milwaukee.gov/lms), or call (414) 286-8210.

A handwritten signature in black ink, appearing to read "Andrew C. Coggs", followed by a stylized flourish or mark.

City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Coggs

## PORCH DETAIL



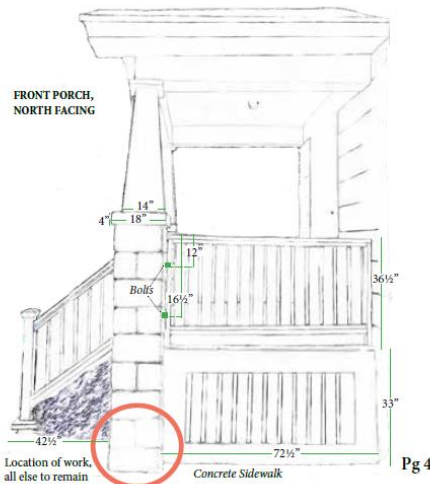
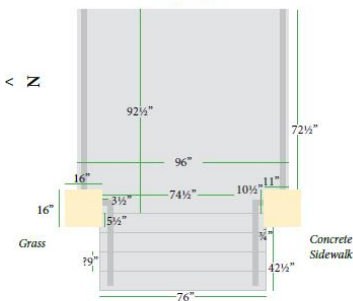
### City permitting requirements:

- The size and height of the deck or porch (above grade, to floor surface, to roof (if applicable)).
- The type of construction (beam size and spans, size and spacing of joist, decking material, etc.)
- Footing size and placement (unless existing to remain)
- Steps, guardrails, railings, etc. (unless existing to remain)
- Show sufficient surrounding information to show where on the building the work is located, the extent of the work area, any other connections/structure affected, etc.
- Mark items as "existing to remain" if they are not changing.

### Porch Elevation

Scale: 1 inch = 1/2 mm

Front Entrance



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Scope of work

## LOWER COLUMN DETAIL

Total Height =  
9 Courses,  
2 Blocks Each

Blocks  
To Be  
Salvaged  
If Possible  
(7 Courses)

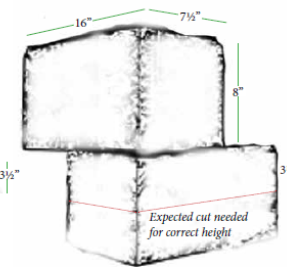
Blocks  
Requiring  
Replacement  
(2 Courses)



The new block work will replicate the existing pattern and dimensions before damage. An estimated total of 4 replacement blocks (2 blocks, 2 courses) will be installed at the foot of the column after the upper portion is carefully removed and salvaged. Because the Southern block column sits directly on concrete sidewalk, there is no footing requirement like on the Northern column. To account for the slight (~2") change in grade, the lowermost replacement blocks will need to be cut (see images on pg 2) to maintain overall block/column height, taking it's cue from the existing block pattern. The exact measurement of the cut can not be determined until damaged blocks have been removed to account for any potential inlay in the concrete sidewalk. If the grade is consistent with the concrete sidewalk at the time of removal, the cut would be 3 1/2" from the top of the block.

### Replacement Courses

Block dimensions are approx. to account for surface changes in rock pattern

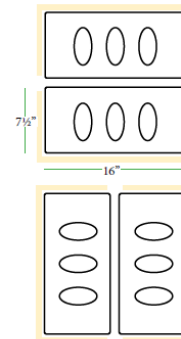


### City permitting requirements, cont.:

- The dimensions of the column pier, including a dimension string for the portion being replaced.
- Written description/notes should be included to accurately describe the removal and repair. The "amount & quantity" isn't as import as specifying the sizes of the stone, a pattern name (if available), if it is to match existing, etc.

### Elevation of Alternating Horizontal Cross Section Pattern of Courses

Scale: 1 inch = 2 mm



### VERTICAL STACK PATTERN, FACING EAST

### VERTICAL STACK PATTERN, FACING NORTH

Scale: 1 inch = 2 mm

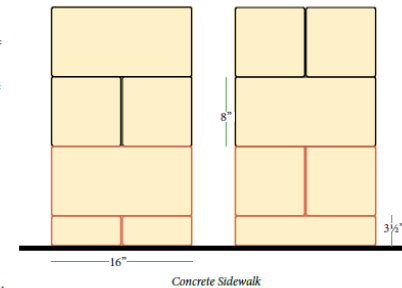
Each existing course =  
16" x 16" x 8"

Replacement course =  
16" x 16" x 8"

Lower most  
replacement course =  
16" x 16" x ~3 1/2"

Rock-face pattern  
featured on 3 sides  
of each block

2 courses to be  
repaired and replaced  
at bottom of column



3-sided rock-face pattern results in visible pattern on all parts and sides of the column (see more on pg 7)

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## BLOCK DETAIL

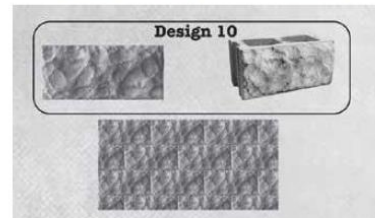
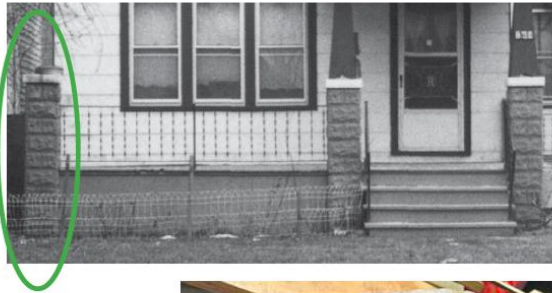
Historic photos of the home show that there was once three columns with porch extended across the front of the home. While the once Northern-most column is no longer there, ~10 of its blocks have been living quietly under the main porch for many years and are in still good condition. We will utilize them to repair the column that's currently in disrepair, making sure to salvage one on the off chance it needs to be reproduced for future needs.

In the unexpected case that many more of the bricks will be unable to be salvaged as the contractor begins taking the middle of the column down to build it back up, a historic brick provider has been identified. Classic Rock Face Block specializes in historic blocks has identified the exact style in order to reproduce the brick to be stylistically accurate on all 3 sides. They are located in Indiana and run approx. \$30 per block not including transportation, taxes, or fees.

Removal of the existing blocks will first require porch reinforcement. 4"x4"s have been set at each corner of the porch for roof support. From there, the upper column will be carefully removed in one or if necessary, many pieces in order to salvage as many potential blocks before building the column back up.

While classically historic mortar mixes are no longer in use, the relative thickness and consistency found upon the removal of the damaged blocks will be matched to the best of the contractors ability.

Paint for the project will simply match the existing green color the home is currently painted in the style of with an oil-based acrylic for longevity.



BLOCK HAS BEEN IDENTIFIED AS DESIGN 10  
PER THE TEAM AT CLASSIC ROCK FACE BLOCK  
1623 S Indiana Ave, Auburn, IN 46706, 260.755.1056 classicrockfaceblock.com

### City permitting requirements, cont.:

- Written description/notes should be included to accurately describe the removal and repair. The "amount & quantity" isn't as important as specifying the sizes of the stone, a pattern name (if available), if it is to match existing, etc.

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Block details