



PETITION FOR A SPECIAL PRIVILEGE

ccl-246 (12/13)

SP 2694

CCF _____

- New application \$250.00 Fee**
- Amendment to add items to Special Privilege # _____ (\$125.00 Fee)**
- Amendment to remove items from Special Privilege # _____ (No fee)**
- Amendment for change of ownership for Special Privilege # _____ (No fee)**

- File petition with the Department of Public Works, Attention: Special Privileges, 841 North Broadway, Room 919, Milwaukee, WI 53202.
- Fee must be submitted with petition. Checks should be made payable to the City of Milwaukee.
- Questions? Call 414-286-2454

To the Honorable, The Common Council of the City of Milwaukee:

The Licensee Florida Lofts, LLC
(Name of Individual, Partners, Corporation or LLC)

being the owners of the following property known by street address as 408-430 W. Florida St., Milwaukee 53204
(Street Address and Zip Code)

in the _____ Aldermanic District respectfully petition the Common Council of the City of Milwaukee according to the provisions of Section 66.0425 of the Wisconsin Statutes, that the following privilege be granted:


Description of Special Privilege: Encroachment of building awnings into the municipal right of way.

Of which a plan or sketch is herewith submitted. Petitioner agrees to comply with all laws and all ordinances of the City of Milwaukee, to abide by any order or resolution of the Common Council affecting this privilege, to be primarily liable for damages to person or property by reason of the granting of such privilege, pay annual compensation as provided by law in the sum to be fixed by the proper city officers, and to file and keep current throughout the existence of the privilege, a certificate of insurance indicating applicant holds a public liability policy in at least the sums of \$25,000.00/\$50,000.00 bodily injury, and \$10,000.00 property damage, insuring the city against any liability that might arise by reason of the privilege.

Petitioner further agrees to remove said privilege whenever public necessity so requires when so ordered upon resolution adopted by the Common Council or other legislative body.

Should this special privilege be discontinued for any reason whatsoever, petitioner agrees to remove all construction work executed pursuant to this special privilege, to restore to its former condition and to the approval of the Commissioner of Public Works, any curb, pavement, or other public improvement which was removed, changed or disturbed by reason of the granting of this special privilege. Petitioner further agrees not to contest the validity of Section 66.0425 of the Wisconsin Statutes, or the legality of this special privilege in any way.

Name (Please Print): Michael Slavish, Authorized Representative
(Individual, Partner, or Agent if corporation or LLC as shown above)

Signature: 
(Individual, Partner, or Agent if corporation or LLC)

Corporation or LLC Name: Florida Lofts, LLC
(If applicable, as shown above)

Mailing Address (If different than property address above): 122 W. Washington Avenue. #350

(OVER)

City: Madison State: WI Zip: 53703

Telephone: 608-255-5175 E-Mail: rpalmer@hovdeproperties.com

Architect/Engineer/Contractor (If Applicable)

Name: _____

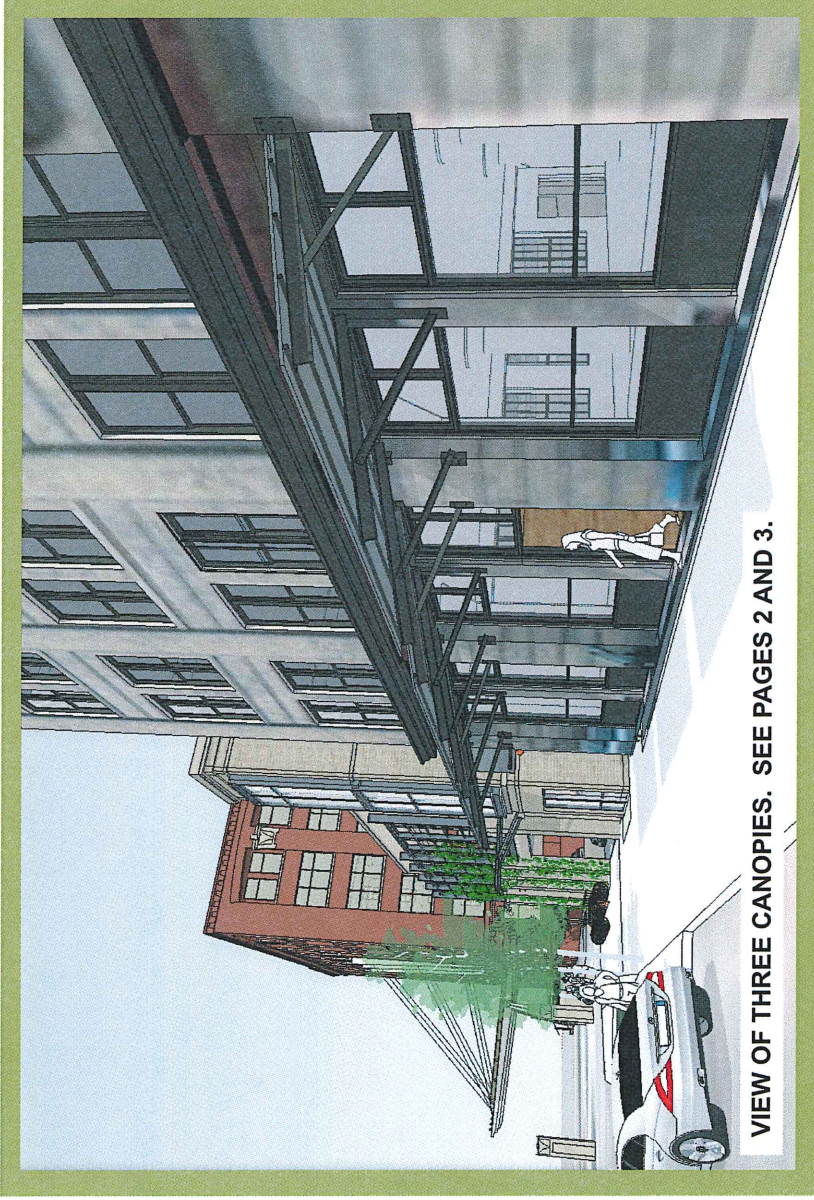
Address: _____

City: _____ State: _____ Zip: _____

Telephone: _____ E-Mail: _____

IMPORTANT NOTICE FOR CUSTOMERS PAYING BY CHECK

When you provide a check as payment, you authorize us either to use information from your check to make a one-time electronic fund transfer from your account or to process the payment as a check transaction.



VIEW OF THREE CANOPIES. SEE PAGES 2 AND 3.

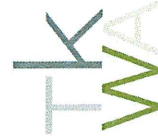


VIEW OF MARQUEE. SEE PAGES 4 AND 5.

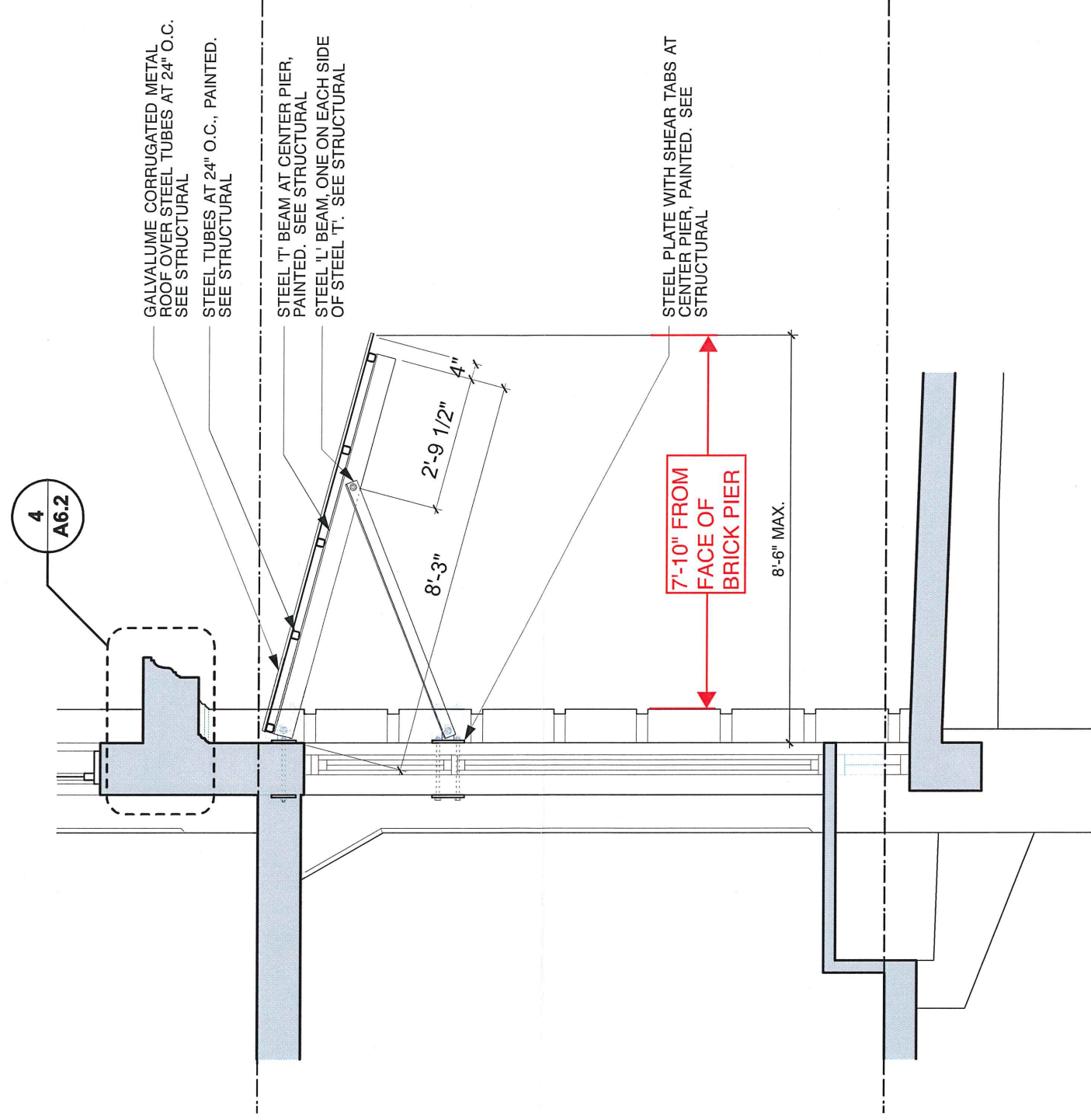


FLORIDA STREET ELEVATION

**BRIX APARTMENT LOFTS
408 W. FLORIDA STREET | MILWAUKEE, WI**



The Kubala Washatko Architects, Inc.
W61 N617 Mequon Ave, Cedarburg, WI 53012
p 262.377.6039 | f 262.377.2954
www.tkwa.com

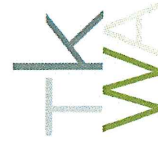


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A6.2

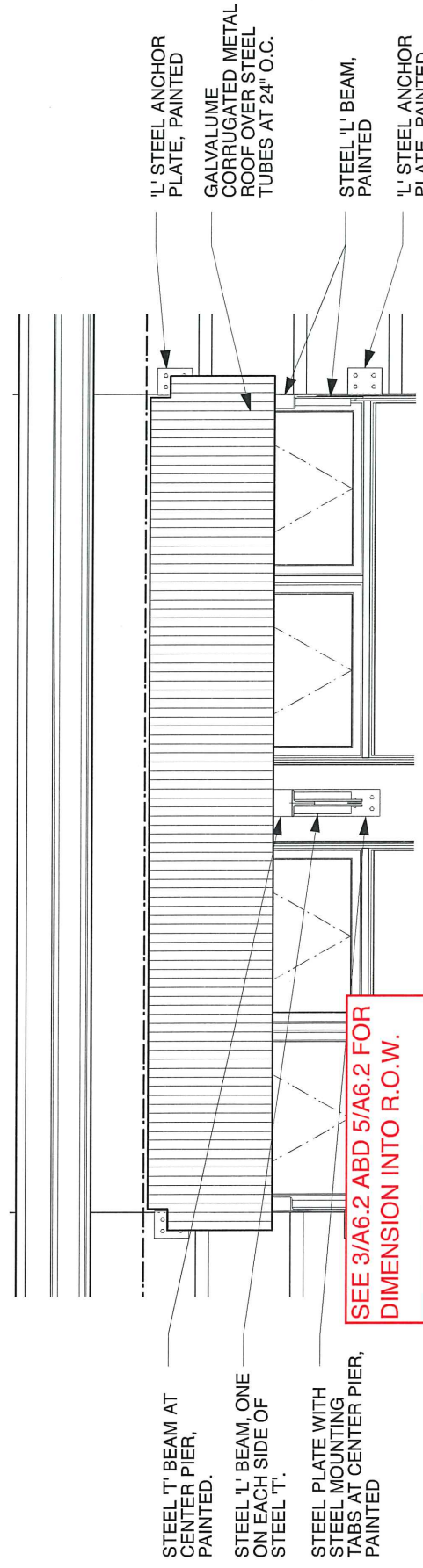
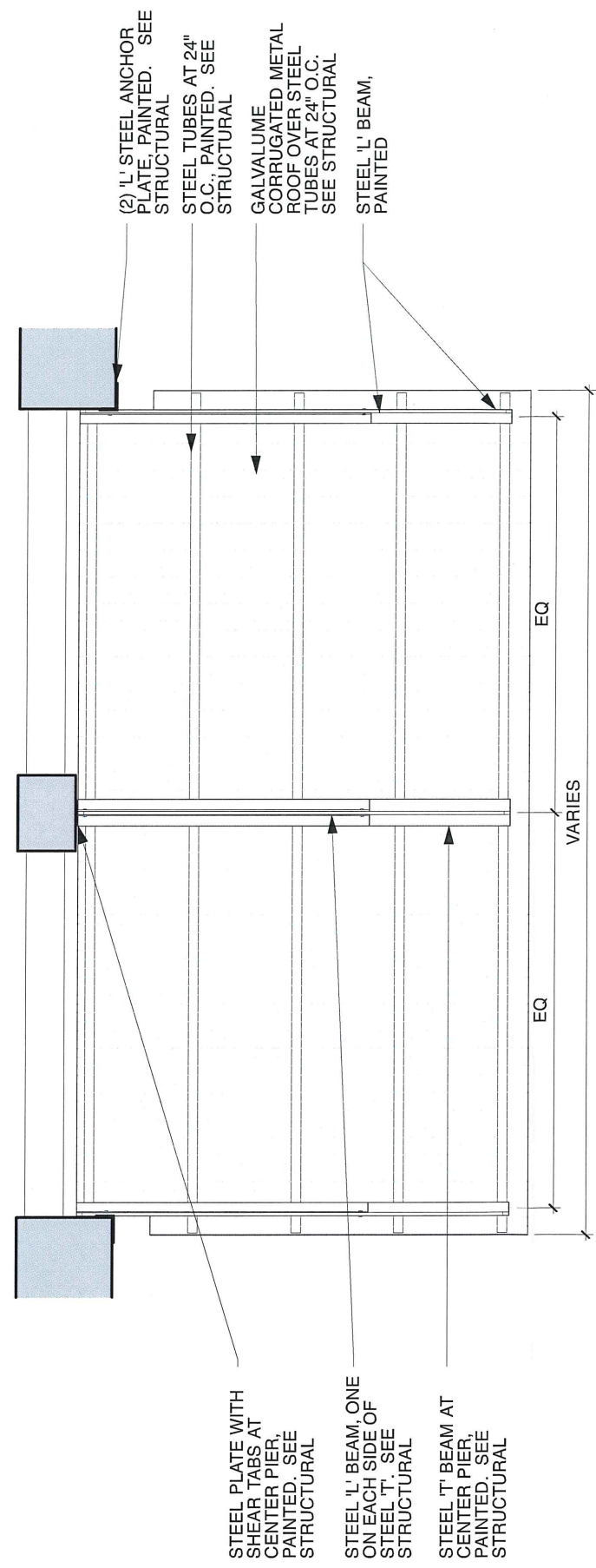
TYPICAL CANOPY @ CENTER

Scale 3/8" = 1'-0"

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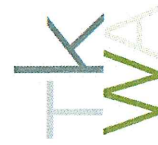


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A6.2

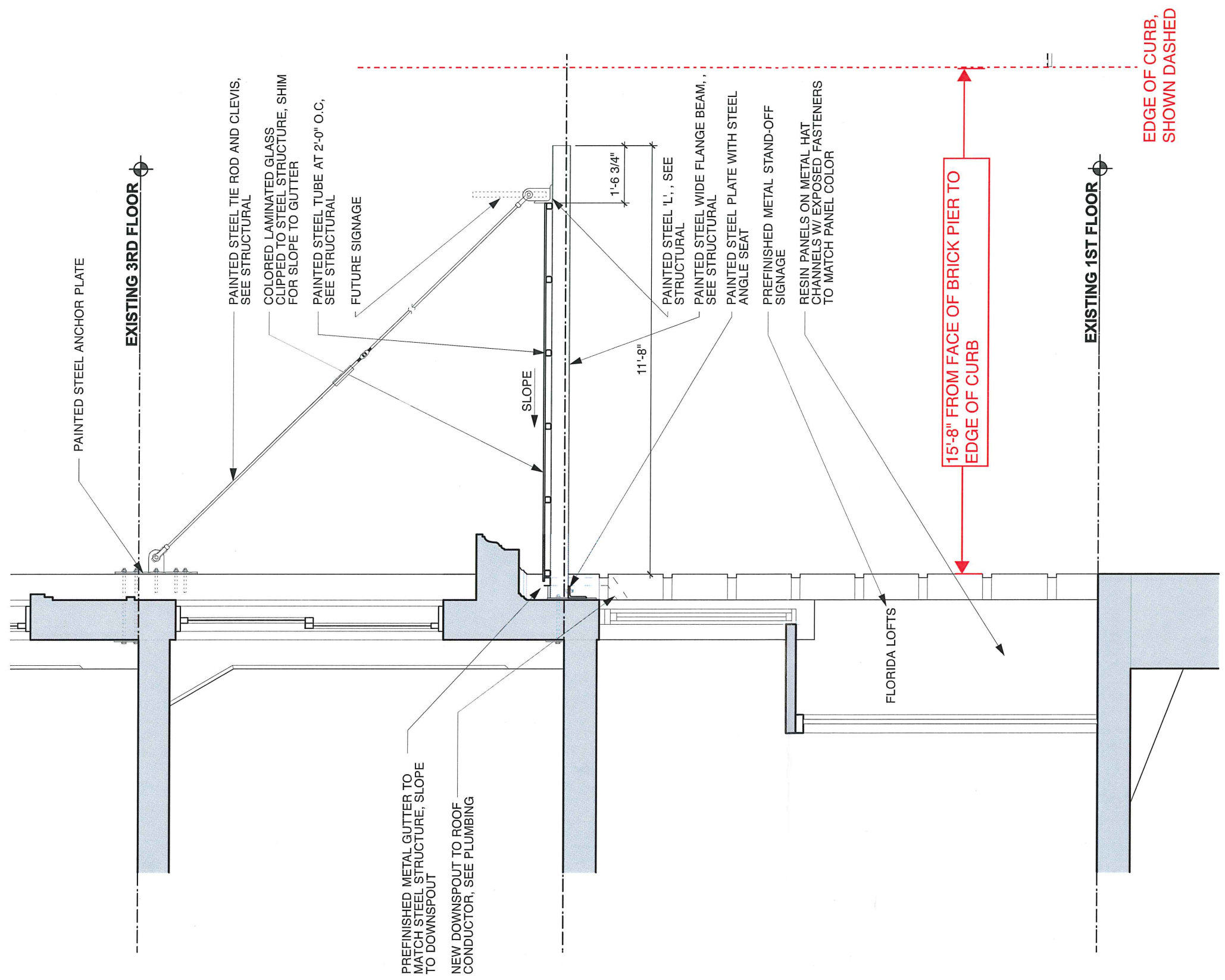
TYPICAL CANOPY - ELEVATION AND REFLECTED CEILING PLAN

Scale 3/8" = 1'-0"

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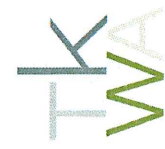
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1 MAIN ENTRY MARQUEE

A6.2 Scale 3/8" = 1'-0"

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