



| Summit Credit Union  
1288 S. 1<sup>st</sup> Street  
Phase 2 Freshwater Plaza  
Milwaukee, WI

| Plan Commission



To: Milwaukee Plan Commission

Project: Summit Credit Union Branch Office  
1288 S. 1<sup>st</sup> Street  
Phase 2 Freshwater Plaza  
Milwaukee, WI

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## File number 180435

### Third Amendment to the DPD known as 1<sup>st</sup> and Greenfield (Freshwater Plaza) to permit the second part of Phase 2 development on the south outlot.

#### Statement of Intent

In accordance with the approved General Plan Development (GPD) file number 141111, the applicant is seeking approval for a Freshwater Plaza Detailed Planned Development (DPD) amendment for the property located at 1288 S. 1<sup>st</sup> Street.

Freshwater Plaza was rezoned from GPD to a Detailed Planned Development (DPD) known as 1<sup>st</sup> and Greenfield Phase 1 on December 16, 2014 per file number 141113. This permitted the first phase of the development which consisted of the Cermak grocery store and a mixed-use building.

The DPD was further amended in file 170499 to permit the development of the Phase 2 Lot 2 north outlot for a standalone Sherwin Williams Paint Store. The applicant is requesting that the DPD be further amended to permit the Phase 2 development of the Lot 2 south outlot for a standalone Summit Credit Union branch office with drive-thru.

This statement of intent and the accompanying drawings identified below constitute and support the DPD:

Sheet	Title
A001	Location Map and Site Photos
CSM	Certified Survey Map
C002	Erosion Control Plan
C001	Site Survey
C100	Site Plan
C200	Grading Plan
C300	Utility Plan
C400	Civil Details
C402	Civil Details
C500	Civil Specifications
C501	Civil Specifications
L100	Landscape Plan
L101	Landscape Details
LC100	Lighting Plan
PA209	Floor Plan
PC409A	North and South Elevations
PC409B	East and West Elevations
MA001	Exterior Building Materials
PA809	Exterior Signage

#### Phase 2 Lot 2 Site Information Summary

Phase 2 of Freshwater Plaza includes the development of Lot 2. The north outlot has already been permitted for a standalone retail building per file 170499. This requested amendment to the DPD is to permit the development of the Lot 2 south outlot. The development will consist of a single-story financial institution with drive-thru and adjacent accessory surface parking. The building is orientated with its long axis along the S. 1<sup>st</sup> street frontage to maximize the reinforcement of the street edge. See attached sheet C100 for site plan.

## **Parking**

Per the approved GPD, the Lot 2 maximum parking ratio is 8.05 / 1000 square feet. The proposed parking ratio for the Lot 2 south outlot is 5.69 as shown below. Access to the parking lot is provided via a new curb cut along S. 1<sup>st</sup> Street. The site can also be accessed from the adjacent parking lot located to the east of the site which was constructed as part of phase 1 of Freshwater Plaza.

Use	Gross SF	Max Parking Ratio	Max Parking	Actual Parking	Actual Parking Ratio
Retail	3,693	8.05	29	21	5.69

## **Design Narrative**

The site and building are designed in response to Summit Credit Union's desire for a highly visible facility that reaches out to the community, while being responsive to the integrity of its contextual fabric. The massing and design composition of the building is such that it presents a pleasing face to the public realm on all four sides of the site. The design of the drive-up canopy is inextricably linked to the rest of the building in terms of design character and materials.

The building is orientated with its longest axis of 94' positioned parallel to the S. 1<sup>st</sup> street frontage to maximize the reinforcement of the street edge. The building is set back 8' from the property line versus 5' in the GPD standards to provide better sightlines to the development-wide monument signage that was included as part of file 180044 (2<sup>nd</sup> Amendment to GPD). Building height to the top of the highest point is 24'.

Operational characteristics will be those of a typical financial institution. Two drive-through teller aisles and one drive-through ATM aisle will serve credit union members from their autos. The building will have a walk-in lobby for credit union members who wish to conduct business with a teller or financial adviser, and for people wishing to become members of the credit union. The "back of house" area will contain storage, a staff break room, and other support spaces.

## **Project Statistics**

Gross Land Area	23,464 SF
Principal Building Land Coverage	3,693 gross square feet (GSF); 15.7% of site
Pervious Land Surface	3,258 SF; 13.9%
Impervious Land Surface	20,206 SF; 86.1%
Non-residential Square Footage	3,693 GSF; 15.7%
Number of Buildings	1
Maximum Dwelling Units	N/A
Bedrooms per Unit	N/A
Parking Spaces	21 stalls (including 1 handicapped accessible stall) 5.69 parking ratio

## **GPD District Standards Compliance**

- 1) Uses: The proposed use is a financial institution. Per the GPD, this is an allowed use on the phase 2 Lot 2 outlots.
- 2) Design Standards:
  - a. Building setback: The GPD states that a building setback should be within 5' of the property line. The proposed building is 8' from the property line along S 1<sup>st</sup> Street and 3' from the sidewalk

running along the development's access drive. The intent with the additional setback along S. 1<sup>st</sup> Street is to provide better visibility to the development-wide signage located to the north of the site.

- b. Minimum street frontage: The proposed building's footprint has an irregular shape. The building frontage within 10' of the property line constitutes a 32% street frontage percentage along S. 1<sup>st</sup> Street which complies with the minimum 30% street frontage required. That said, when all building frontage along S 1<sup>st</sup> Street is taken into consideration, the street frontage increases to 54%.
- c. Building Design Standards:
  - i. Building Height: "*Minimum building height is 22 feet, measured to the top of parapet. This does not include taller limited special features.*"  
Proposed building complies with a 24' height to top of highest coping.
  - ii. Building Orientation: "*Buildings shall face the public streets and access drive, having main entrances and windows along the front building façade. Blank walls and lack of, or locked doors, are not permitted*"  
Proposed building is designed to be pleasing from all four side. The main entry is along S. 1<sup>st</sup> Street.
  - iii. Façade Materials: "*High quality building materials, such as masonry, metal, glass, and stone should be utilized. Exterior finish systems such as EIFS shall not exceed 30% of the exterior wall area and shall not be used on the base of the building (from the ground to the first 6ft). Vinyl siding is prohibited*"  
The proposed building uses high quality materials: Endicott Mangeses Ironspot brick, silver metallic ribbed metal panel, and aluminum storefront systems in a clear anodized aluminum finish. The only EIFS on the building is the underside of the eaves. There is no vinyl siding.  
See attached sheet MA001 for photographs of exterior materials.
  - iv. Special Features at S. 1<sup>st</sup> Street and Access Drive: "*Buildings located at the intersection to the development area shall have the most significant corner treatments, articulate the corner or visual termination on a building at the identified special corner or street end visual termination through use of elements such as larger windows, extruded elements, or additional pre-cast stone lines*"  
The proposed building thoughtfully addresses the S. 1<sup>st</sup> Street and access drive intersection. The roof line of the building slopes up to the intersection to visually open up towards the intersection and to reinforce the edge of the intersection. This corner of the building is detailed using floor to ceiling glazing with three fabric decorative exterior shades to add visual interest. The intent is to have either images of happy people or geometric shapes printed on the fabric. See attached sheet MA001 for photos of an existing branch office in Monona, WI that had similar fabric elements.
  - v. Glazing along S 1<sup>st</sup> Street: "*Glazing along S 1<sup>st</sup> Street frontages: Minimum glazed area, public street frontage 60%, Minimum glazed area, access drive frontage 15%, Minimum glazing zone height 6', Maximum height of glazing zone sill 2'-6", Glazing quality visible transmittance >= .65, Glazing alternative Available, see 295-605.2.i.3*"

The proposed building façade along S. 1<sup>st</sup> St. is 59.65% glazing, with a typical glazing zone sill of 2' – 8". The additional 2" in sill height is so that the brick can properly course out.

The access drive (north) façade is 83.4% glazing. Most of the façade is floor to ceiling glazing. Areas that do have brick below the glazing has a sill height of 2' – 8". The additional 2" in sill height is so that the brick can properly course out.

The Summit Credit Union brand typically uses glazing with 35% visible transmittance on their buildings for building performance and privacy reasons. Applicant is willing to reduce tinting along the S. 1<sup>st</sup> Street and the access drive façade to meet the GPD's 65% visible transmittance requirement.

- vi. Entrance Location: *"Every new building shall have a primary entrance door on the front façade. A primary door shall not be required on the front façade if there is a primary entrance door on a side façade and that door is within 20 feet of the front façade."*

The proposed building's main entry is located on the front façade along S. 1<sup>st</sup> Street.

- vii. Public Sidewalk Access: *"Were a lot is adjacent to a public sidewalk, each principal building on the lot shall be served by a clearly identifiable walkway leading from the public sidewalk to the entrance to the building. The presence of an access drive does not fulfill this requirement. All required pedestrian walkways shall be paved with non-asphalt materials. All required pedestrian access ways shall be at least 5 feet in width."*

Proposed site plan complies with these requirements. A walkway will connect the building entrance to the sidewalk along S. 1<sup>st</sup> Street. The pedestrian walkways will be clearly marked where they cross drive-thru entry and exit lanes. See attached sheet C100.

- viii. Safe Walkways: *"Provide direct, continuous, safe and accessible pedestrian walkways between public sidewalks, bike trails and public transportation stops and building entrances."*

Proposed site plan complies with these requirements. See attached sheet C100.

- 3) Density: N/A – Commercial Use.
- 4) Space Between Structures: N/A – Proposed lot development contains only one building.
- 5) Setbacks: The proposed building has the following setbacks relative to the property lines of the Lot 2 south outlot as described in the attached sheet CSM.
  - a. North (access drive) – 30' from property line, 3' from edge of sidewalk. (Access drive crosses outlot. See sheet CSM)
  - b. East – 62' - 6"
  - c. South – 57' - 6"
  - d. West (S 1<sup>st</sup> St.) – 8'
- 6) Screening: Trash enclosure, which will be located on the northeast side of the site, will be clad in the same brick as the building. A 36" tall masonry wall will be located to the west of the parking and will be clad in the same brick as the building.
- 7) Open Spaces: Phase 2 of Freshwater Plaza does not have a public open space.

8) Circulation, Parking, Loading: Access to the 22-space parking lot is provided via a new curb cut along South 1<sup>st</sup> Street. The site can also be accessed from the adjacent parking lot located to the east of the site which was constructed as part of phase 1 of Freshwater Plaza. Drive-thru circulation enters from the east side of the site and exits at the north side of the site onto the access drive. There are no loading areas.

The main pedestrian entrance will be on the S 1<sup>st</sup> Street façade and will be connected via sidewalks to S 1<sup>st</sup> Street and the adjacent parking..

The dumpster will be located on the northeast side of the site.

Four bicycle parking spaces will be provided on the site near the adjacent parking. See site plan C100

9) Landscape: All vegetation will be of a quality consistent with the standards of the American association of nurserymen (ANSI 260.1) and will be maintained on an ongoing basis. See sheets L100 and L101 for landscaping plans and details.

The existing turf and landscaping will be maintained in an orderly fashion consistent with the zoning standards in place prior to this DPD amendment until the subject DPD is constructed.

10) Lighting: Proposed site lighting will comply with City of Milwaukee Ordinances. See attached lighting plan LC100.

11) Utilities: The use of above ground utility infrastructure will be limited to the degree that it is not possible or practical to place this infrastructure below grade. Utility connections to the building are anticipated to be located on the west and south side of the building. See sheet C300 for utility locations.

12) Signs: Proposed building signage will comply with Milwaukee Code of Ordinances table 295-605-5 LB2 Type A. The building will have the below listed signage. See sheet PA809 for signage elevations.

- a. Roof sign of 91 SF. 1 roof sign up to 150 SF is permitted under LB2 Type A.
- b. Wall signs: 1 wall sign per 25 lineal feet is allowed up to 50 SF in size for each sign.
  - i. West façade (S 1<sup>st</sup> St) – 94 linear feet. One wall sign of 16 SF.
  - ii. East façade – 88' - 7" linear feet. Two wall signs located 42 feet apart. Each 56 SF in size. Per 295-605(5)(b), signs are combining adjacent linear segments for increased allowable signage area.

Time Limit on Zoning: Per s. 295-907-2-c-11, for new and amended DPDs, the DPD zoning designation shall be null and void within 5 years from the effective date of the ordinance and the property shall be changed to GPD unless the criteria identified in 295-907-c-11-a and –b are met. The time period specified pursuant to subd. 11 may be extended only by ordinance amending the DPD, pursuant to s. 205-307.

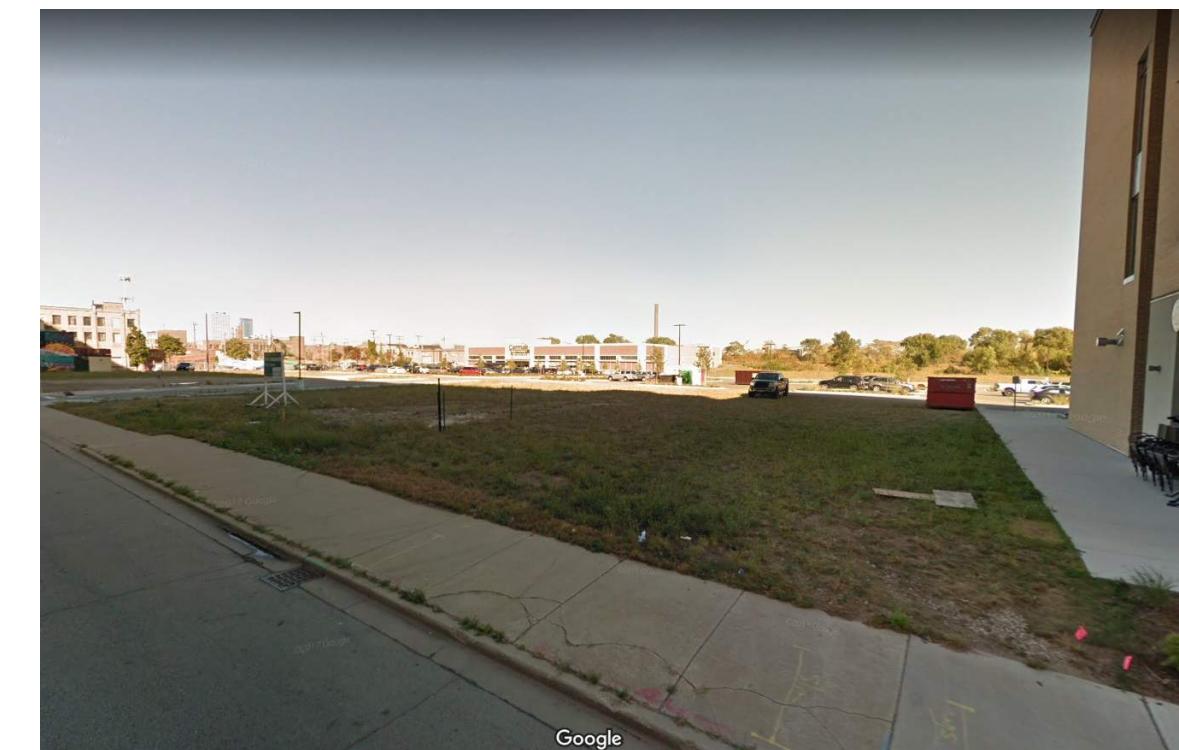
# A001 - Location Map and Site Photos



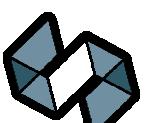
Location Map



Northwest corner of site



Southwest corner of site



STRANG



# SITE SURVEY

SUMMIT CREDIT UNION  
S FIRST ST & GREENFIELD AVE  
MILWAUKEE, WISCONSIN

This architectural site plan illustrates a building footprint with internal room layouts and surrounding utility infrastructure. Key features include:

- Building Footprint:** The main structure is defined by a thick black line, with a smaller rectangular extension on the right side.
- Rooms:** Internal rooms are represented by rectangles with labels: "11" (top left), "12" (top right), "13" (bottom left), and "14" (bottom right).
- Walls:** Internal walls are marked with "W" labels.
- Utility Lines:** A network of lines represents steam, water, and storm sewer systems.
  - Steam Lines:** Labeled "STEAM" on the left side, these lines run horizontally along the building's footprint.
  - Water Lines:** Labeled "W" on the right side, these lines are shown as a series of connected segments.
  - Storm Sewer:** Labeled "ST" on the top and right sides, this system includes a "EX. STORM CB" structure with dimensions RIM:11.50 and 12" N INV:4.0.
- Monitored Wells:** Two monitoring wells are indicated with the label "MON. WELL" and a symbol.
- Abandoned Water Main:** A line labeled "EX. ABANDONED WATER MAIN" is shown, with a note stating "PER MILWAUKEE WATER WORKS PLAN NO. 2015169".
- Annotations:** Various numbers (11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22) and symbols (asterisks, stars) are used to label specific points and features.
- Orientation:** A north arrow is located in the top right corner.

The diagram illustrates a U-shaped tube assembly. The main vertical tube is labeled 'W' at its top. A horizontal tube labeled 'G' enters the U-shaped tube from the left. The horizontal tube is labeled '11' at its entry point. The U-shaped tube has two curved sections. The left curved section is labeled '12'. The right curved section has a small star symbol (\*) near its top. A diagonal line extends from the top of the right curved section towards the right side of the page.

## **GENERAL NOTES:**

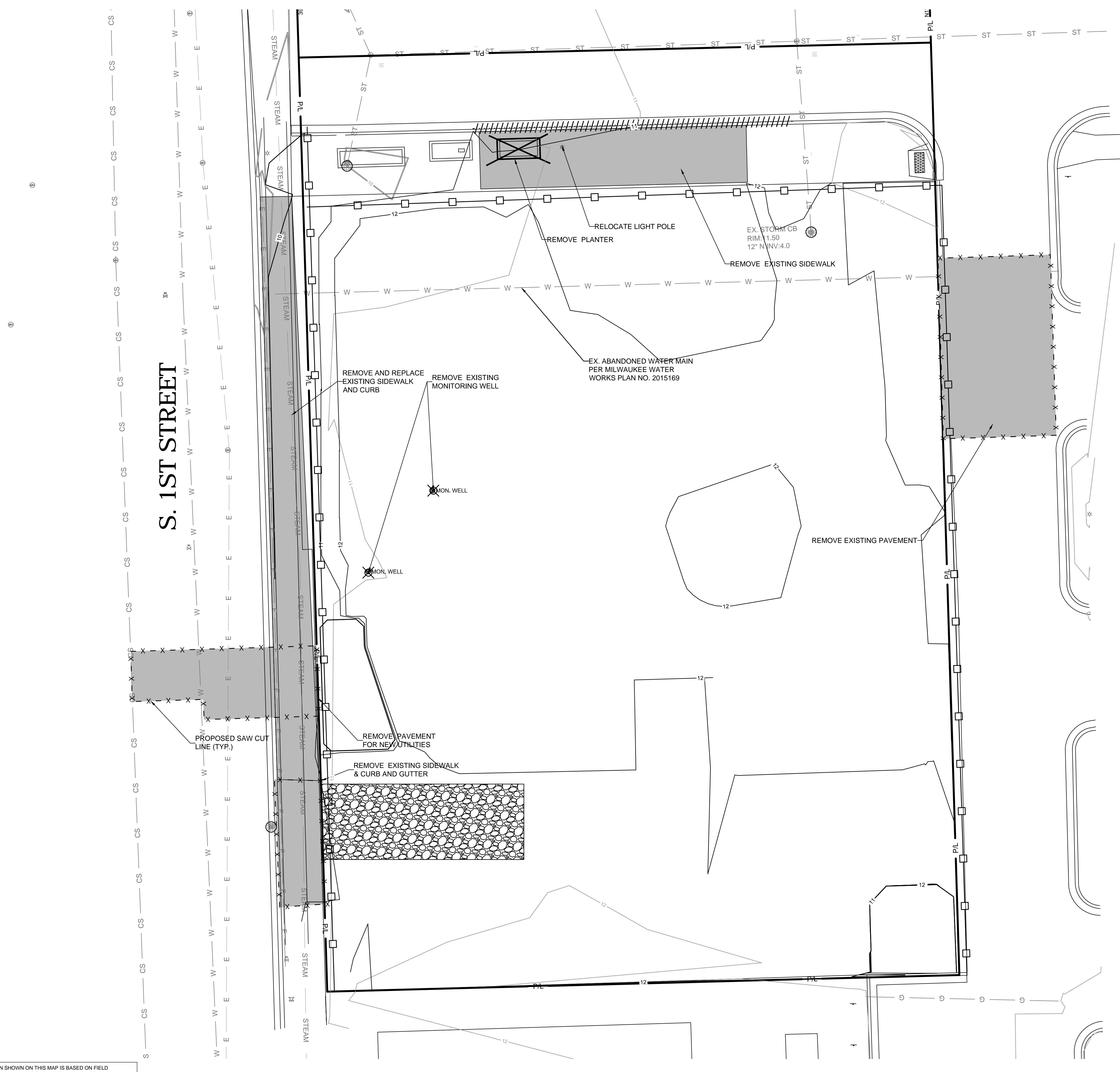
1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. DRAWING IS BASED ON FIELD SURVEY COMPLETED BY THE SIGMA GROUP ON DECEMBER 31, 2018 .
4. THE VERTICAL DATUM FOR THE PROJECT SURVEY IS CITY OF MILWAUKEE DATUM. BENCHMARK FOR THE PROJECT SURVEY IS THE CITY STANDARD BENCHMARK 503 AT S. BARCLAY & E. WASHINGTON ST AT ELEVATION 8.574.

NO. REVISION	DATE BY
DRAWING NO. 18079-SURVEY.DWG	
DRAWN BY:	ARF
DATE:	1/04/19
PROJECT NO.:	18079
CHECKED BY:	TPM
APPROVED BY:	CTC
SHEET NO.:	

C001

## EROSION CONTROL PLAN

SUMMIT CREDIT UNION  
 S FIRST ST & GREENFIELD AVE  
 MILWAUKEE, WISCONSIN



### GENERAL NOTES:

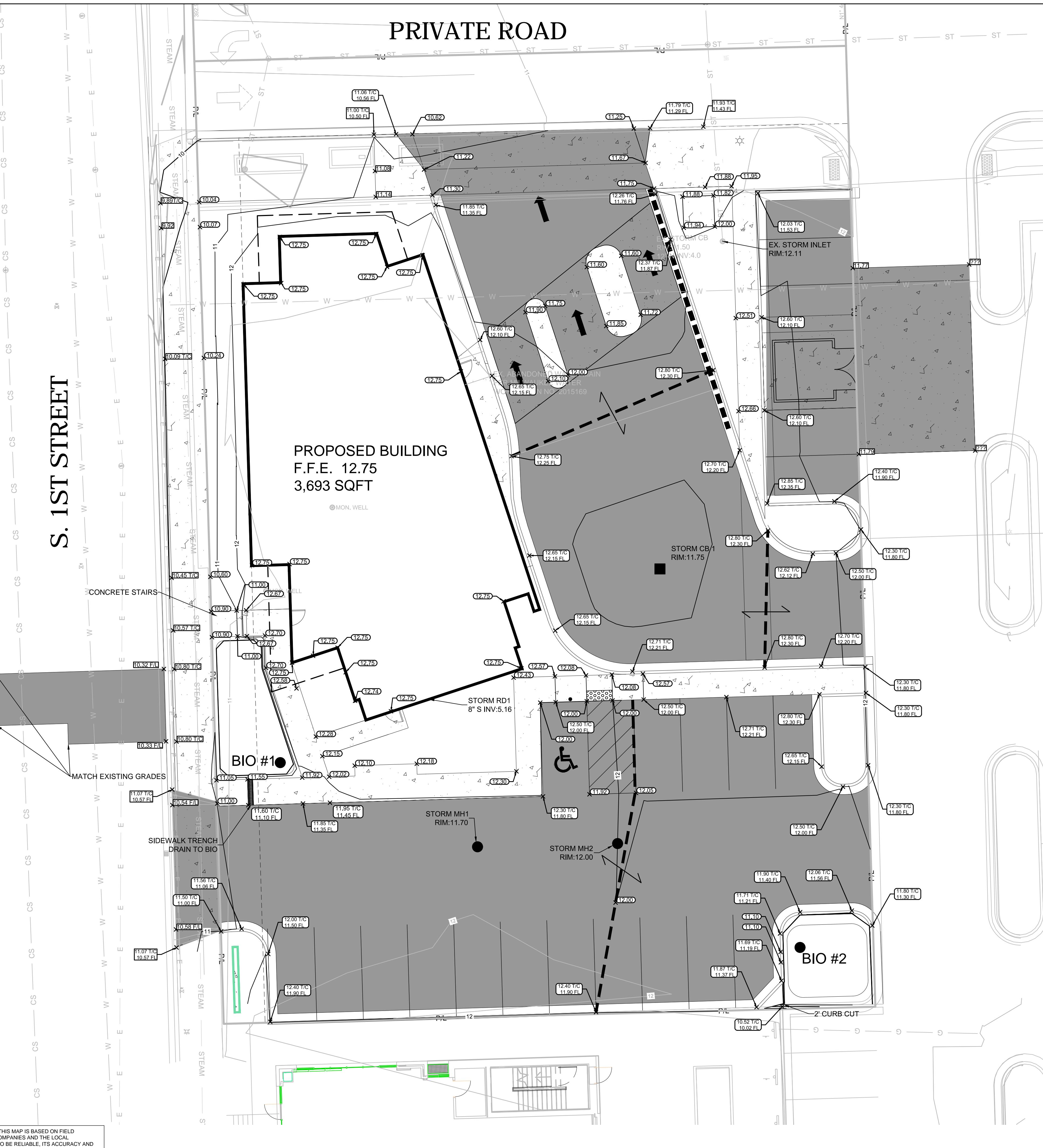
1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
2. VERIFY ACTUAL LOCATIONS AND INVERTS IN THE FIELD. ANY POTENTIAL ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. WORK TO BE COMPLETED IS INDICATED IN BOLD TYPE LINES AND EXISTING CONDITIONS ARE INDICATED BY LIGHT TYPE LINES.
4. ELECTRONIC CIVIL FILES ARE AVAILABLE UPON WRITTEN REQUEST. DO NOT USE ELECTRONIC CIVIL FILES TO LAYOUT FOUNDATIONS, COLUMN LINES, LIGHT POLES, OR OTHER NON CIVIL SITE WORK. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF BUILDING AND ARCHITECTURAL FEATURES.
5. SEE SHEET C400 FOR A COMPLETE LIST OF EROSION CONTROL NOTES AND DETAILS. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO START OF LAND DISTURBING ACTIVITIES.
6. DO NOT BEGIN LAND DISTURBING ACTIVITIES UNTIL AN EROSION CONTROL PERMIT IS OBTAINED FROM LOCAL JURISDICTION.

NO. REVISION	DATE BY
DRAWING NO.	18079-DEMO&EROSION.DWG
DRAWN BY:	ARF
DATE:	1/04/19
PROJECT NO.:	18079
CHECKED BY:	TPM
APPROVED BY:	CTC
SHEET NO.:	C002

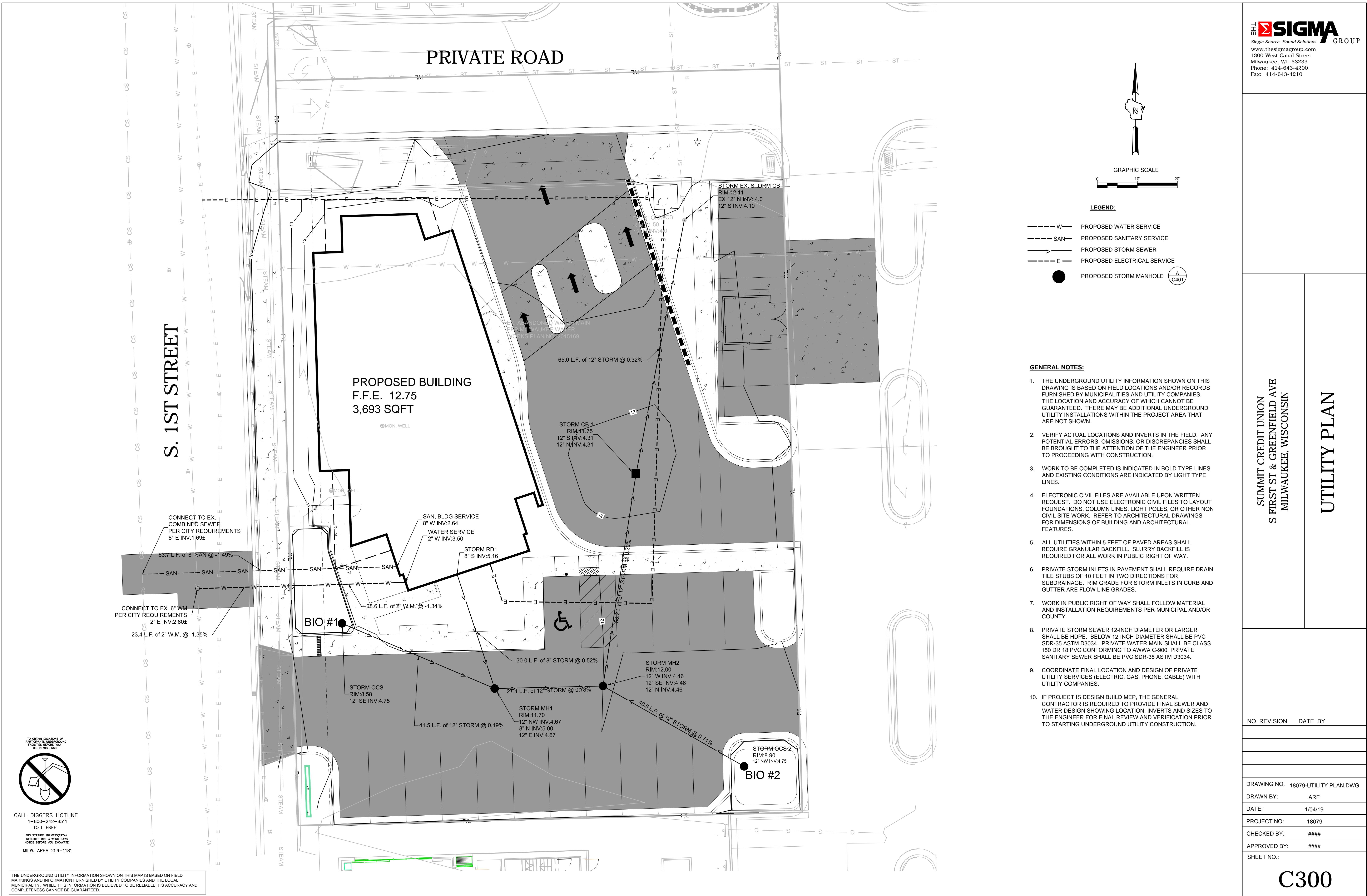


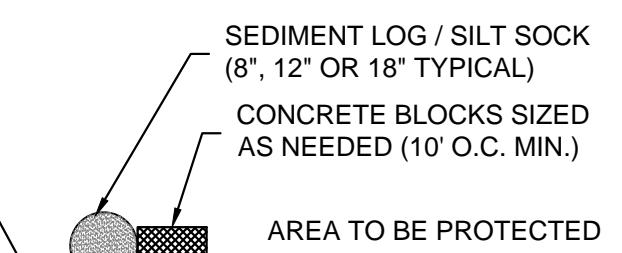
## GRADING PLAN

SUMMIT CREDIT UNION  
S FIRST ST & GREENFIELD AVE  
MILWAUKEE, WISCONSIN

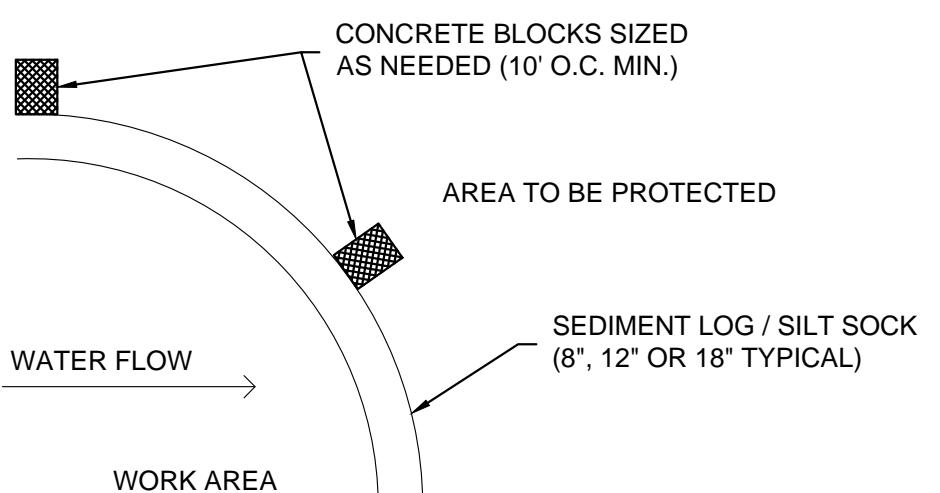


S FIRST ST & GREENFIELD AVE  
MILWAUKEE, WISCONSIN





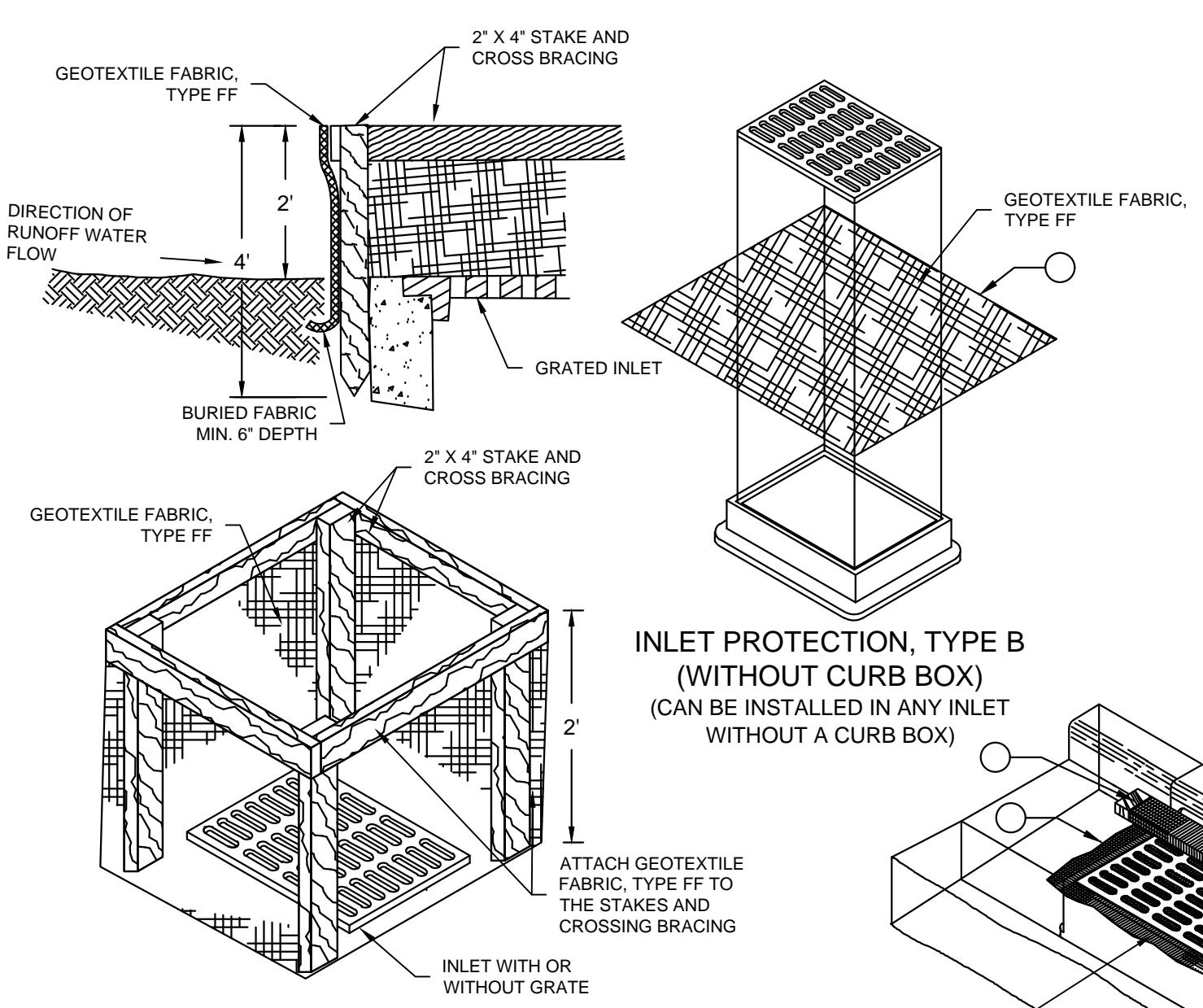
### SECTION NTS



### PLAN

#### SEDIMENT LOG / SILT SOCK ON PAVEMENT DETAIL

(A) NOT TO SCALE



#### INLET PROTECTION, TYPE A

##### GENERAL NOTES

- MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18' OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2X4.

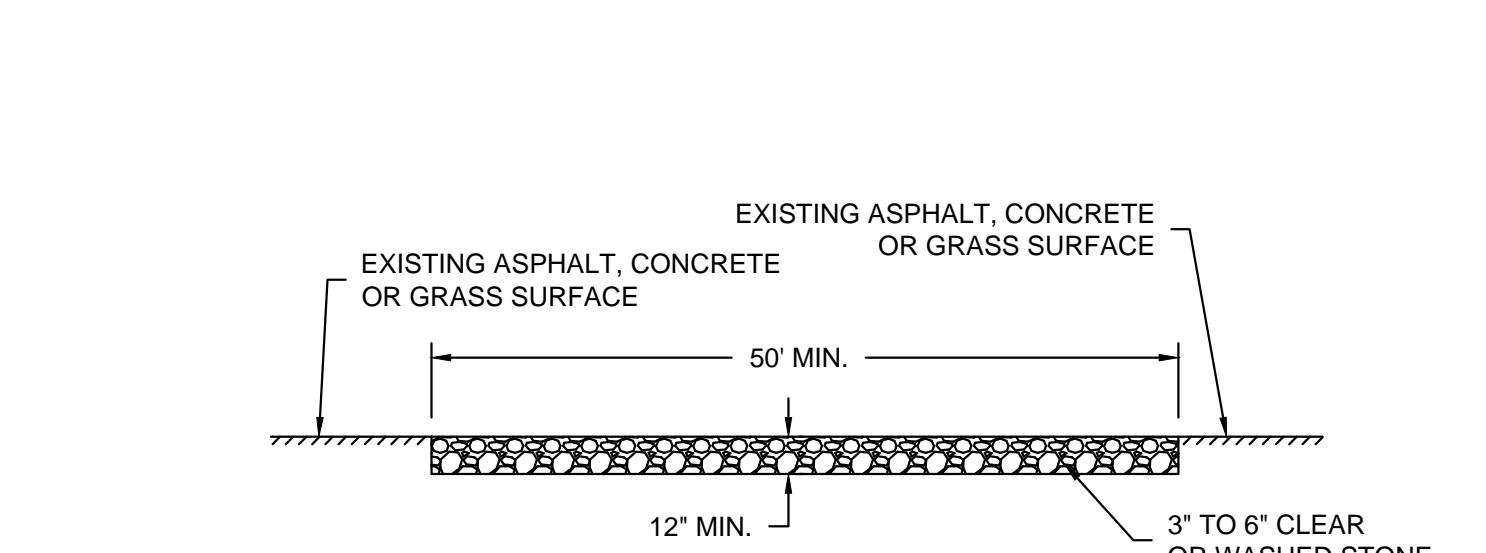
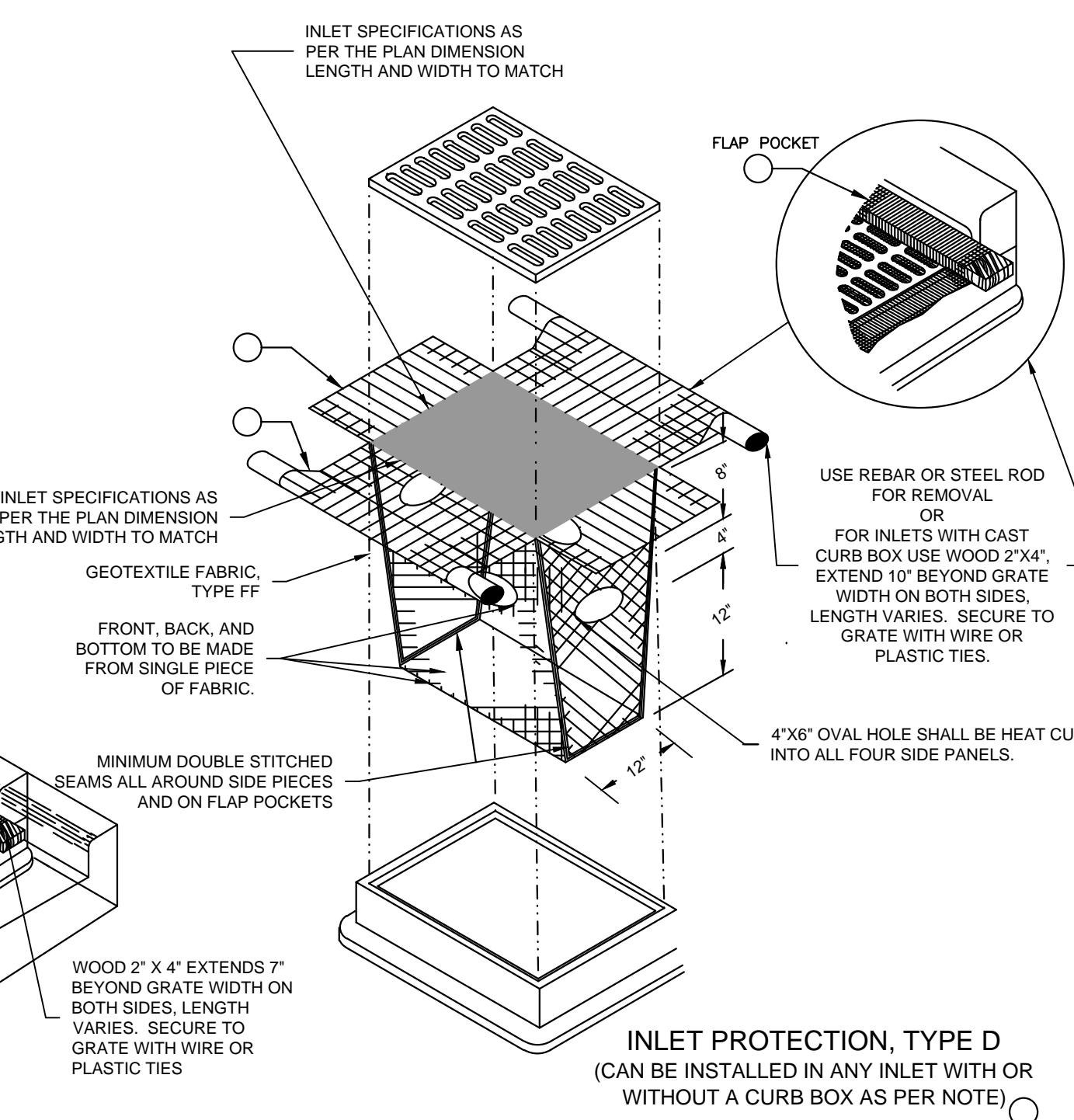
##### INSTALLATION NOTES

###### TYPE B & C

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

###### TYPE D

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4' FROM THE BOTTOM OF THE BAG.



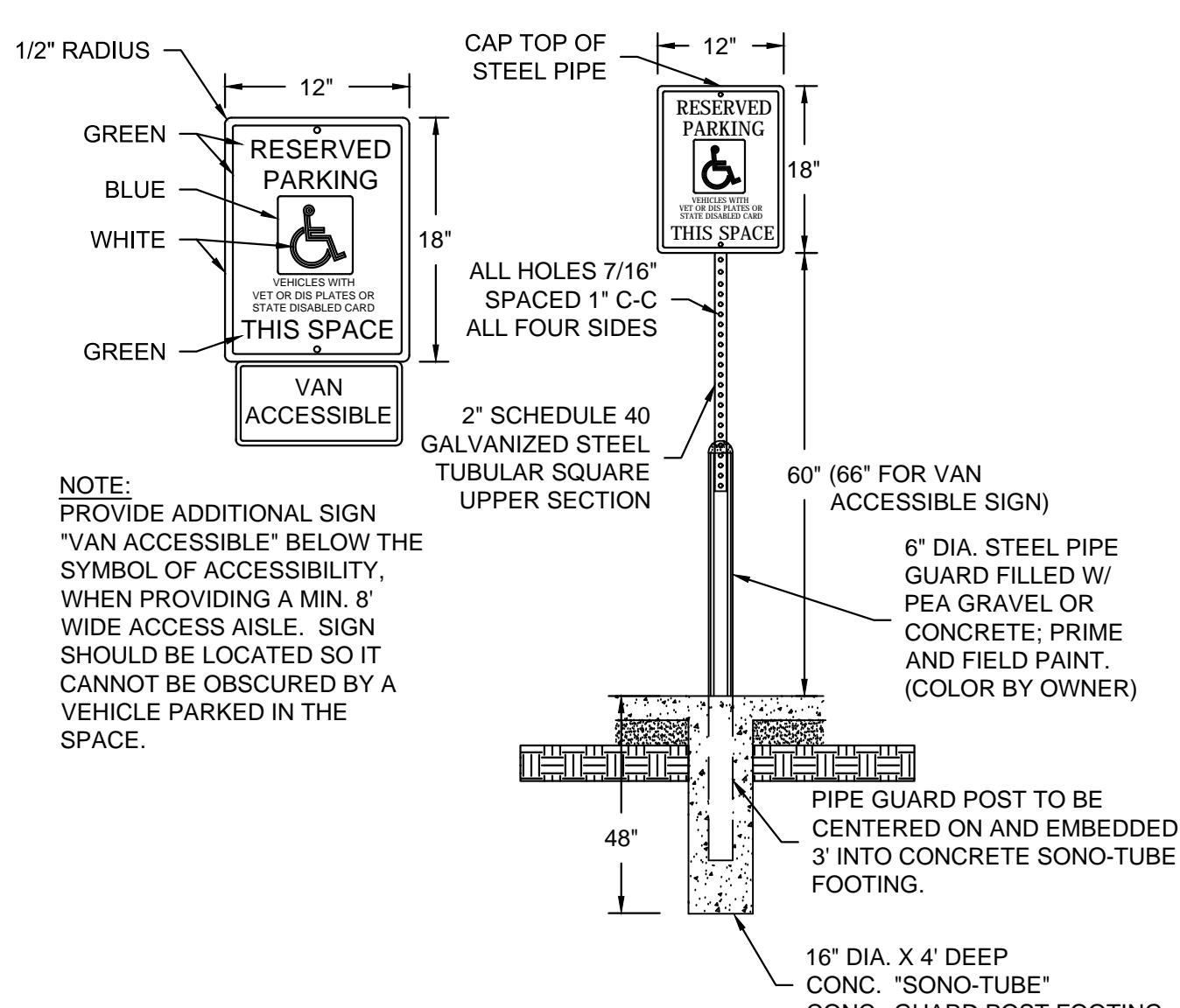
GENERAL NOTE:  
STONE TRACKING PAD SHALL CONFORM TO WDNR CONSERVATION PRACTICE STANDARD #1057

### CONSTRUCTION ENTRANCE/ EXIT DETAIL: WDNR TS-1057

(C) NOT TO SCALE

### B INLET PROTECTION TYPE A, B, C, AND D: WDNR TS-1060

(B) NOT TO SCALE



### D HANDICAP SIGN & BOLLARD POST

(D) NOT TO SCALE

##### EROSION CONTROL NOTES:

- CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND SHALL EMPLOY EROSION CONTROL METHODS AS SHOWN AND SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION AFTER A RAINFALL OF 0.5 INCHES OR MORE, BUT NO LESS THAN ONCE EVERY WEEK. MAINTENANCE OF ALL EROSION CONTROL STRUCTURES SHALL BE PROVIDED TO INSURE INTENDED PURPOSE IS ACCOMPLISHED. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AND REMOVAL OF ALL SEDIMENT WHEN LEAVING PROPERTY. EROSION CONTROL MEASURES MUST BE IN WORKING CONDITION AT END OF EACH WORK DAY. DOCUMENT AND MAINTAIN RECORDS OF INSPECTIONS IN ACCORDANCE WITH WDNR NR216 REQUIREMENTS.
- SILT FENCE SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS. SEDIMENT DEPOSITS SHALL BE REMOVED FROM BEHIND THE SILT FENCE WHEN DEPOSITS REACH A DEPTH OF 6 INCHES. THE SILT FENCE SHALL BE REPAIRED OR REPLACED AS NECESSARY TO MAINTAIN A BARRIER.
- FILTER FABRIC SHALL BE INSTALLED BEATHNE INLET COVERS TO TRAP SEDIMENT PER INLET PROTECTION DETAIL IN THE LOCATIONS SHOWN ON THE CONSTRUCTION PLANS.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED ON A CONTINUING BASIS UNTIL SITE IS FULLY STABILIZED.
- PERIODIC STREET SWEEPING SHALL BE COMPLETED TO MAINTAIN ADJACENT STREETS FREE OF DUST AND DIRT.
- SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ANY TOPSOIL AND FILL STOCKPILES.
- SITE DEWATERING. WATER PUMPED FROM THE SITE SHALL BE TREATED BY SEDIMENT BASINS OR OTHER APPROPRIATE MEASURES SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, ADJACENT SITES, OR RECEIVING CHANNELS.
- WASTE AND MATERIAL DISPOSAL. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- TRACKING. EACH SITE SHALL HAVE GRAVELED ROADS, ACCESS DRIVES AND PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH TO PREVENT SEDIMENT FROM BEING TRUCKED OUT TO PUBLIC OR PRIVATE ROADWAYS. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BY STREET CLEANING, TO THE SATISFACTION OF THE MUNICIPALITY, BEFORE THE END OF EACH WORKDAY. FLUSHING MAY NOT BE USED UNLESS SEDIMENT WILL BE CONTROLLED BY A SEDIMENT BASIN OR PRACTICE SPECIFIED IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. NOTIFY MUNICIPALITY OF ANY CHANGES IN STABILIZED CONSTRUCTION ENTRANCE LOCATION.
- SEDIMENT CLEANUP. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORKDAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORKDAY.
- ALL DISTURBED GROUND LEFT INACTIVE FOR SEVEN OR MORE DAYS SHALL BE STABILIZED BY TEMPORARY OR PERMANENT SEEDING, MULCHING, SODDING, COVERING WITH TARPS, OR EQUIVALENT PRACTICE FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARD. IF TEMPORARY SEEDING IS USED, A PERMANENT COVER SHALL ALSO BE REQUIRED AS PART OF THE FINAL SITE STABILIZATION.
- SOIL OR DIRT STORAGE PILES SHALL BE LOCATED A MINIMUM OF TWENTY-FIVE FEET FROM ANY DOWNSLOPE ROAD, LAKE, STREAM, WETLAND, OR DRAINAGE CHANNEL. STRAW BALES OR FILTER FABRIC FENCES SHALL BE PLACED ON THE DOWN SLOPE SIDE OF THE PILES. IF REMAINING FOR MORE THAN THIRTY DAYS, PILES SHALL BE STABILIZED BY MULCHING, VEGETATIVE COVER, TARPS OR OTHER MEANS.
- WHEN THE DISTURBED AREA HAS BEEN STABILIZED BY PERMANENT VEGETATION OR OTHER MEANS, TEMPORARY PRACTICES, SUCH AS FILTER FABRIC FENCES, STRAW BALES, SEDIMENT AND SEDIMENT TRAPS, FOUND IN THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS SHALL BE REMOVED.
- NOTIFY THE LOCAL MUNICIPALITY HAVING JURISDICTION WITHIN TWO WORKING DAYS OF COMMENCING ANY LAND DEVELOPMENT OR LAND DISTURBING ACTIVITY.
- OBTAI PERMISSION FROM THE LOCAL MUNICIPALITY HAVING JURISDICTION PRIOR TO MODIFYING THE EROSION CONTROL PLAN.
- REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPMENT OR LAND DISTURBING ACTIVITIES.
- KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE.
- CONTRACTOR SHALL, TO THE EXTENT POSSIBLE, MINIMIZE COMPACTION OF TOPSOIL AND PRESERVE TOPSOIL IN GREENSPACE AREAS.
- WASH WATER FROM VEHICLES AND WHEEL WASHING SHALL BE CONTAINED AND TREATED PRIOR TO DISCHARGE.
- CONTRACTOR SHALL MAINTAIN SPILL KITS ON-SITE.
- PERMANENT TURF SEEDING OF DISTURBED AREA MUST OCCUR PRIOR TO SEPTEMBER 15TH. IF ADEQUATE TIME IS NOT AVAILABLE TO APPLY PERMANENT SEEDING PRIOR TO SEPTEMBER 15TH, THEN DISTURBED AREAS SHALL BE TEMPORARILY SEEDED WITH AN ANNUAL RYE GRASS PER WDNR TECHNICAL STANDARD 1059, WHERE THE TEMPORARY SEEDING MUST OCCUR PRIOR TO OCTOBER 15TH.
- IF TEMPORARY SEEDING IS NOT COMPLETED BY OCTOBER 15TH, APPLY SOIL STABILIZERS AND DORMANT SEED TO DISTURBED AREA PER WDNR TECHNICAL STANDARD 1050. INSPECT ANIONIC PAM APPLICATION AT A MINIMUM FREQUENCY OF EVERY TWO MONTHS AND REAPPLY AS NECESSARY

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DETAILS

NO. REVISION DATE BY

DRAWING NO. 18079-DETAILS.DWG

DRAWN BY: ARF

DATE: 1/04/19

PROJECT NO: 18079

CHECKED BY: TPM

APPROVED BY: CTC

SHEET NO.:

C400



## **GENERAL:**

1. EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY, AND NO RESPONSIBILITY IS ASSUMED BY THE OWNER OR ENGINEER FOR THEIR ACCURACY OR COMPLETENESS. 19
2. CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR SHALL HAVE SITE MARKED BY DIGGER'S HOTLINE AND SHALL HAVE PRIVATE UTILITIES MARKED BY A PRIVATE UTILITY LOCATOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS, AND SIZES OF EXISTING UTILITIES AND SHALL CHECK ALL UTILITY CROSSINGS AND PROPOSED CONNECTIONS FOR CONFLICTS/DISCREPANCIES PRIOR TO INITIATING CONSTRUCTION. REPORT ANY CONFLICTS OR DISCREPANCIES TO THE ENGINEER SO REDESIGN MAY OCCUR IF NEEDED. 20
3. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLANS. LENGTHS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. 21
4. 22
5. 23

## **SITE CLEARING:**

1. EXCEPT FOR STRIPPED TOPSOIL OR OTHER MATERIALS INDICATED TO REMAIN ON OWNER'S PROPERTY, CLEARED MATERIALS SHALL BECOME CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM PROJECT SITE. 1. (C)
2. MINIMIZE INTERFERENCE WITH ADJOINING ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES DURING SITE-CLEARING OPERATIONS. 2. (C)
3. SALVABLE IMPROVEMENTS: CAREFULLY REMOVE ITEMS INDICATED TO BE SALVAGED AND STORE ON OWNER'S PREMISES WHERE INDICATED. 3. (F)
4. UTILITY LOCATOR SERVICE: NOTIFY UTILITY LOCATOR SERVICE FOR AREA WHERE PROJECT IS LOCATED BEFORE SITE CLEARING. 4. (M)
5. DO NOT COMMENCE SITE CLEARING OPERATIONS UNTIL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES ARE IN PLACE. 5. (S)
6. PROTECT AND MAINTAIN BENCHMARKS AND SURVEY CONTROL POINTS FROM DISTURBANCE DURING CONSTRUCTION. 5. (M)
7. LOCATE AND CLEARLY FLAG TREES AND VEGETATION TO REMAIN OR TO BE RELOCATED. 6. (S)
8. PROTECT EXISTING SITE IMPROVEMENTS TO REMAIN FROM DAMAGE DURING CONSTRUCTION; RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO OWNER. 6. (I)
9. LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF UTILITIES INDICATED TO BE REMOVED; ARRANGE WITH UTILITY COMPANIES TO SHUT OFF INDICATED UTILITIES. 7. (F)
10. EXISTING UTILITIES: DO NOT INTERRUPT UTILITIES SERVING FACILITIES OCCUPIED BY OWNER OR OTHERS UNLESS PERMITTED BY THE OWNER AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY UTILITY SERVICES. 7. (F)
11. FILL DEPRESSIONS CAUSED BY CLEARING AND GRUBBING OPERATIONS WITH SATISFACTORY SOIL MATERIAL UNLESS FURTHER EXCAVATION OR EARTHWORK IS INDICATED; PLACE FILL MATERIAL IN HORIZONTAL LAYERS NOT EXCEEDING A LOOSE DEPTH OF 8 INCHES, AND COMPACT EACH LAYER TO A DENSITY EQUAL TO ADJACENT ORIGINAL GROUND. 8. (S)
12. REMOVE SOD AND GRASS BEFORE STRIPPING TOPSOIL. 8. (G)
13. STRIP TOPSOIL TO WHATEVER DEPTHS ARE ENCOUNTERED IN A MANNER TO PREVENT INTERMINGLING WITH UNDERLYING SUBSOIL OR OTHER WASTE MATERIALS. 9. (S)
14. STOCKPILE TOPSOIL MATERIALS AWAY FROM EDGE OF EXCAVATIONS WITHOUT INTERMIXING WITH SUBSOIL. GRADE AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST. 10. (S)
15. REMOVE EXISTING ABOVE- AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO FACILITATE NEW CONSTRUCTION. 11. (E)
16. SAWCUT ALL PAVEMENTS FULL DEPTH PRIOR TO REMOVAL; SAWCUTS SHALL BE IN STRAIGHT LINES PERPENDICULAR AND/OR PARALLEL TO EXISTING PAVEMENT JOINTS AND PAVEMENT EDGES. 12. (S)
17. REMOVE SURPLUS SOIL MATERIAL, UNSUITABLE TOPSOIL, OBSTRUCTIONS, DEMOLISHED MATERIALS, AND WASTE MATERIALS INCLUDING TRASH AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY. 13. (S)
18. SEPARATE RECYCLABLE MATERIALS PRODUCED DURING SITE CLEARING FROM OTHER NONRECYCLABLE MATERIALS. STORE OR STOCKPILE WITHOUT INTERMINGLING WITH OTHER MATERIALS AND TRANSPORT THEM TO RECYCLING FACILITIES. 14. (S)

## SITE WATER SERVICE:

1. COMPLY WITH STANDARDS OF STATE PLUMBING CODE (SPS CH. 382, 384), LOCAL WATER UTILITY REQUIREMENTS AND STANDARDS OF AUTHORITIES HAVING JURISDICTION FOR FIRE-SUPPRESSION AND WATER SERVICE PIPING INCLUDING MATERIALS, FITTINGS, APPURTENNANCES, INSTALLATION, TESTING, SERVICE TAPS, ETC. IN CASE OF CONFLICT BETWEEN THESE SPECIFICATIONS AND STATE PLUMBING CODE OR LOCAL JURISDICTIONAL AUTHORITY, STATE PLUMBING CODE AND LOCAL JURISDICTIONAL AUTHORITY REQUIREMENTS GOVERN. 3.
2. DO NOT INTERRUPT SERVICE TO FACILITIES OCCUPIED BY OWNER OR OTHERS UNLESS PERMITTED BY OWNERS OF SUCH FACILITIES AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY WATER-DISTRIBUTION SERVICE. 4.
3. WATER SERVICE PIPING MAY BE EITHER DUCTILE IRON WATER PIPE OR PVC WATER PIPE AS ALLOWED BY THE LOCAL WATER UTILITY. 5.
4. DUCTILE IRON WATER PIPE CONFORMING TO THE REQUIREMENTS OF THE AMERICAN NATIONAL STANDARD FOR DUCTILE IRON PIPE, CENTRIFUGALLY CAST, AWWA C151/A21.51 - LATEST REVISION AND REQUIREMENTS OF CHAPTER 8.18.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION. 6.
  - a. CLASS 52
  - b. CEMENT MORTAR LINING AND INTERNAL AND EXTERNAL BITUMINOUS COATS IN ACCORDANCE WITH SECTION 51.8 OF AWWA C151.
  - c. PUSH-ON GASKET PIPE
  - d. PLAIN RUBBER GASKETS
  - e. BONDING STRAPS TO PROVIDE ELECTRICAL CONDUCTIVITY WITHOUT FIELD TESTING
5. JOINTS FOR DUCTILE IRON PIPE: JOINTS SHALL BE RUBBER GASKET JOINTS; CONFORM TO THE REQUIREMENTS OF AMERICAN NATIONAL STANDARD FOR RUBBER GASKET JOINTS FOR DUCTILE IRON PRESSURE PIPE AND FITTINGS (ANSI/AWWA C111/A21.11, LATEST EDITION) 8.
6. FITTINGS FOR DUCTILE IRON PIPE: CONFORM TO THE REQUIREMENTS OF AMERICAN NATIONAL STANDARD FOR DUCTILE IRON AND GRAY IRON FITTINGS, 3" THROUGH 48" FOR WATER ANSI/AWWA C110/A21.10, LATEST EDITION; CLASS 250 MECHANICAL JOINT PIPE FITTINGS; CEMENT LINED; ALL BELLS; ENTIRE FITTING TARRED; CONDUCTIVE MECHANICAL JOINT (NO LEAD) RUBBER GASKETS, FLANGES, AND BOLTS. 9.
7. PVC AWWA PIPE: AWWA C900, CLASS 200 WITH BELL END WITH GASKET AND WITH SPIGOT END AND MEETING REQUIREMENTS OF CHAPTER 8.20.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. FITTINGS SHALL BE IN ACCORDANCE WITH CHAPTER 8.22.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. PUSH-ON-JOINT, DUCTILE IRON FITTINGS : AWWA C110 AND C111. MECHANICAL -JOINT, DUCTILE IRON FITTINGS: AWWA C153, DUCTILE-IRON COMPACT PATTERN. GLANDS, GASKETS AND BOLTS: AWWA C111, DUCTILE IRON GLANDS, RUBBER GASKETS AND STEEL BOLTS. 10.
8. GATE VALVES: CONFORM TO AWWA C-500 AND STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN SUITABLE FOR DIRECT BURY. 11.
9. VALVE BOXES: CAST IRON CONFORMING TO ASTM DESIGNATION A-48, CLASS 20 AND STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. 12.
10. FIRE HYDRANTS: TO MEET LOCAL STANDARDS. 13.
11. WATER MAIN CONNECTION: TAP WATER MAIN WITH SIZE AND LOCATION INDICATED ON PLAN IN ACCORDANCE WITH LOCAL WATER UTILITY REQUIREMENTS. COORDINATE CONNECTION WITH LOCAL WATER UTILITY. 14.
12. GENERAL WATER PIPE INSTALLATION: IN ACCORDANCE WITH CHAPTER 4.3.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. 15.
13. INSTALL DUCTILE-IRON, WATER-SERVICE PIPING ACCORDING TO AWWA C600 AND CHAPTER 4.4.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. 16.
14. ALL DUCTILE IRON PIPE SHALL BE ENCASED IN POLYETHYLENE PER AWWA C105, LATEST EDITION AND IN ACCORDANCE WITH CHAPTER 4.4.4 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN. ALL JOINTS AND FITTINGS SHALL HAVE POLYETHYLENE ENCASEMENT INSTALLED PER MANUFACTURER'S REQUIREMENTS AND PROCEDURES.
15. INSTALL PVC AWWA PIPE ACCORDING TO ASTM F645 AND AWWA M23 AND CHAPTER 4.6.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
16. INSTALL THRUST RESTRAINT AT ALL OFFSET FITTINGS USING MECHANICAL JOINT RESTRAINTS. CONCRETE THRUST BLOCKS MAY ONLY BE USED IF ALLOWED BY LOCAL WATER UTILITY.
17. INSTALL WATER SERVICE PIPING SUCH THAT THERE IS A MINIMUM OF 6' OF COVER OVER THE TOP OF THE WATER SERVICE PIPING.
18. BEDDING AND COVER FOR WATER SERVICE PIPING SHALL BE IN ACCORDANCE WITH SECTION 4.3.3 AND FILE NO. 36 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION. TRENCH BACKFILL SHALL BE GRANULAR BACKFILL IN ACCORDANCE WITH SECTION 8.43.4 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION ON-SITE.

## WHITE WATER SERVICE CONT.:

- INSTALL TRACER WIRE FOR NON-METALLIC WATER SERVICES IN ACCORDANCE WITH SPS SECTION 382.40(8)(K). TRACER WIRE INSULATION COLOR SHALL BE BLUE FOR POTABLE WATER SERVICE PIPING.
- DUCTILE-IRON PIPING, RUBBER GASKETED JOINTS IN ACCORDANCE WITH SECTION 4.4.2 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
- PVC PIPING GASKETED JOINTS: USING JOINING MATERIALS ACCORDING TO AWWA C900. CONSTRUCT JOINTS WITH ELASTOMERIC SEALS AND LUBRICANTS ACCORDING TO ASTM D2774 OR ASTM D3139 AND PIPE MANUFACTURER'S WRITTEN INSTRUCTIONS.
- CONDUCT HYDROSTATIC TESTS IN ACCORDANCE WITH CHAPTER 4.15.0 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.

## ARTH MOVING:

ALL EARTH WORK SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND PROVIDED REPORTS. IN THE FIELD AND THESE SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN THESE SPECIFICATIONS AND THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER, THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER SHALL GOVERN.

CONTRACTOR SHALL PROVIDE MATERIAL TEST REPORTS FROM A QUALIFIED TESTING AGENCY INDICATING TEST RESULTS FOR CLASSIFICATION ACCORDING TO ASTM D2487 AND LABORATORY COMPACTION CURVES ACCORDING TO ASTM D 1557 FOR EACH ON-SITE AND OFF-SITE SOIL MATERIAL PROPOSED FOR FILL AND BACKFILL.

CONTRACTOR SHALL PROVIDE PREEXCAVATION PHOTOS OR VIDEOS SHOWING EXISTING CONDITIONS OF ADJOINING STRUCTURES AND SITE IMPROVEMENTS THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY EARTHWORK OPERATIONS.

THE SITE IS KNOWN TO CONTAIN ENVIRONMENTALLY CONTAMINATED SOILS INCLUDING FOUNDRY SANDS. REFER TO THE REMEDIAL ACTION PLAN PREPARED BY THE SIGMA GROUP, INC. AND DATED JUNE 2014 FOR DETAILS. ON-SITE SOILS SHALL BE MANAGED IN ACCORDANCE WITH THE SOIL MANAGEMENT PLAN. ANY SOILS OR MATERIAL HAULED OFF SITE SHALL BE DISPOSED OF IN A LEGAL FASHION.

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# SPECIFICATIONS

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**CONCRETE PAVING:**

- THE COMPOSITION, PLACING AND CONSTRUCTION OF CONCRETE PAVEMENTS SHALL BE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF SECTIONS 415, 416, 501, AND 602 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION (WISDOT STANDARD SPECIFICATIONS) AND LOCAL MUNICIPAL REQUIREMENTS AND SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE PRODUCT DATA FOR EACH TYPE OF PRODUCT INDICATED - INCLUDE TECHNICAL DATA AND TESTED PHYSICAL AND PERFORMANCE PROPERTIES; JOB-MIX DESIGNS; CERTIFICATION THAT MIX MEETS OR EXCEEDS WISDOT STANDARD SPECIFICATIONS; AND MATERIAL CERTIFICATES CERTIFYING COMPLIANCE WITH WISDOT STANDARD SPECIFICATIONS.
- MANUFACTURER QUALIFICATIONS: MANUFACTURER OF READY-MIXED CONCRETE PRODUCTS WHO COMPLIES WITH ASTM C 94/C 94M REQUIREMENTS FOR PRODUCTION FACILITIES AND EQUIPMENT AND APPROVED BY THE WISCONSIN DEPARTMENT OF TRANSPORTATION.
- CONCRETE GRADE: GRADE A OR GRADE A-2 CONFORMING TO SECTION 501.3.1.3 OF THE WISDOT STANDARD SPECIFICATIONS
- AGGREGATES: CONFORM TO SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS; PROVIDE AGGREGATES FROM A SINGLE SOURCE.
- WATER: ASTM C 94/C 94M AND SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
- AIR-ENTRAINING ADMIXTURE: ASTM C 260 AND SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
- CHEMICAL ADMIXTURES: PER SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
- CURING MATERIALS IN ACCORDANCE WITH SECTION 415.3.12 OF THE WISDOT STANDARD SPECIFICATIONS.
- EXPANSION JOINT MATERIAL: CONFORM TO SECTION 415.2.2 OF THE WISDOT STANDARD SPECIFICATIONS.
- MEASURE, BATCH, AND MIX CONCRETE MATERIALS AND CONCRETE IN ACCORDANCE WITH SECTION 501 OF THE WISDOT STANDARD SPECIFICATIONS.
- GENERAL EXECUTION: CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS.
- PROOFROLL SUBGRADE AND AGGREGATE BASE AS OUTLINED IN EARTH MOVING SPECIFICATION PRIOR TO PLACEMENT OF PAVEMENTS.
- SET, BRACE, AND SECURE EDGE FORMS, BULKHEADS, AND INTERMEDIATE SCREED GUIDES FOR PAVEMENT TO REQUIRED LINES, GRADES, AND ELEVATIONS. INSTALL FORMS TO ALLOW CONTINUOUS PROGRESS OF WORK AND SO FORMS CAN REMAIN IN PLACE AT LEAST 24 HOURS AFTER CONCRETE PLACEMENT.
- CLEAN FORMS AFTER EACH USE AND COAT WITH FORM-RELEASE AGENT TO ENSURE SEPARATION FROM CONCRETE WITHOUT DAMAGE.
- JOINTS GENERAL: FORM CONSTRUCTION, ISOLATION, AND CONTRACTION JOINTS AND TOOL EDGINGS TRUE TO LINE WITH FACES PERPENDICULAR TO SURFACE PLANE OF CONCRETE. CONSTRUCT TRANSVERSE JOINTS AT RIGHT ANGLES TO CENTERLINE, UNLESS OTHERWISE INDICATED. CONFORM TO SECTION 415 OF THE WISDOT STANDARD SPECIFICATIONS
- CONSTRUCTION JOINTS: SET CONSTRUCTION JOINTS AT SIDE AND END TERMINATIONS OF PAVEMENT AND AT LOCATIONS WHERE PAVEMENT OPERATIONS ARE STOPPED FOR MORE THAN ONE-HALF HOUR UNLESS PAVEMENT TERMINATES AT ISOLATION JOINTS.
- ISOLATION JOINTS: FORM ISOLATION JOINTS OF PREFORMED JOINT-FILLER STRIPS ABUTTING CONCRETE CURBS, CATCH BASINS, MANHOLES, INLETS, STRUCTURES, WALKS, OTHER FIXED OBJECTS, AND WHERE INDICATED.
- CONTRACTION JOINTS: FORM WEAKENED-PLANE CONTRACTION JOINTS, SECTIONING CONCRETE INTO AREAS AS INDICATED. CONSTRUCT CONTRACTION JOINTS FOR A DEPTH EQUAL TO AT LEAST ONE-FOURTH OF THE CONCRETE THICKNESS TO MATCH JOINTING OF EXISTING ADJACENT CONCRETE PAVEMENT.
- EDGING: TOOL EDGES OF PAVEMENT, GUTTERS, CURBS, AND JOINTS IN CONCRETE AFTER INITIAL FLOATING WITH AN EDGING TOOL TO A 1/4-INCH RADIUS. REPEAT TOOLING OF EDGES AFTER APPLYING SURFACE FINISHES. ELIMINATE TOOL MARKS ON CONCRETE SURFACES.
- CURBING: COMPLY WITH SECTION 601 OF THE WISDOT STANDARD SPECIFICATIONS.
- SIDEWALKS: COMPLY WITH SECTION 602 OF THE WISDOT STANDARD SPECIFICATIONS.
- MOISTEN AGGREGATE TO PROVIDE A UNIFORM DAMPENED CONDITION AT TIME CONCRETE IS PLACED.
- FINISH CURBING IN ACCORDANCE WITH SECTION 601.3.5 OF THE WISDOT STANDARD SPECIFICATIONS.
- FINISH SIDEWALK AND PATIO IN ACCORDANCE WITH SECTION 602.3.2.3 OF THE WISDOT STANDARD SPECIFICATIONS (LIGHT BROOM FINISH).
- FINISH CONCRETE VEHICULAR PAVEMENTS AND PADS IN ACCORDANCE WITH SECTION 415.3.8 OF THE WISDOT STANDARD SPECIFICATIONS (ARTIFICIAL TURF DRAG FINISH).
- PROTECT AND CURE SIDEWALK IN ACCORDANCE WITH SECTION 602.3.2.6 OF THE WISDOT STANDARD SPECIFICATIONS.
- PROTECT AND CURE CURBING IN ACCORDANCE WITH SECTION 601.3.7 OF THE WISDOT STANDARD SPECIFICATIONS.
- PROTECT AND CURE VEHICULAR CONCRETE PAVING IN ACCORDANCE WITH SECTION 415.3.12 OF THE WISDOT STANDARD SPECIFICATIONS.
- REMOVE AND REPLACE CONCRETE PAVEMENT THAT IS BROKEN, DAMAGED, OR DEFECTIVE OR THAT DOES NOT COMPLY WITH REQUIREMENTS IN THIS SECTION.
- PROTECT CONCRETE FROM DAMAGE. EXCLUDE TRAFFIC FROM PAVEMENT FOR AT LEAST 7 DAYS AFTER PLACEMENT.
- MAINTAIN CONCRETE PAVEMENT FREE OF STAINS, DISCOLORATION, DIRT, AND OTHER FOREIGN MATERIAL. SWEEP CONCRETE PAVEMENT NOT MORE THAN TWO DAYS BEFORE DATE SCHEDULED FOR SUBSTANTIAL COMPLETION INSPECTIONS.

**ASPHALTIC PAVING:**

- THE COMPOSITION, PLACING AND CONSTRUCTION OF ASPHALTIC PAVEMENTS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460, 465, AND 475 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION (WISDOT STANDARD SPECIFICATIONS).
- CONTRACTOR SHALL PROVIDE PRODUCT DATA FOR EACH TYPE OF PRODUCT INDICATED - INCLUDE TECHNICAL DATA AND TESTED PHYSICAL AND PERFORMANCE PROPERTIES; JOB-MIX DESIGNS; CERTIFICATION THAT MIX MEETS OR EXCEEDS WISDOT STANDARD SPECIFICATIONS; AND MATERIAL CERTIFICATES CERTIFYING COMPLIANCE WITH WISDOT STANDARD SPECIFICATIONS.
- MANUFACTURER QUALIFICATIONS: MANUFACTURER SHALL BE REGISTERED WITH AND APPROVED BY THE DOT OF THE STATE IN WHICH PROJECT IS LOCATED.
- ENVIRONMENTAL LIMITATIONS: DO NOT APPLY ASPHALT MATERIALS IF BASE COURSE IS WET OR EXCESSIVELY DAMP OR IF THE FOLLOWING CONDITIONS ARE NOT MET: APPLY TACK COAT WHEN AMBIENT TEMPERATURE IS ABOVE 50 DEGREES FAHRENHEIT AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35 DEGREES FAHRENHEIT FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. PLACE ASPHALTIC CONCRETE SURFACE COURSE WHEN TEMPERATURE IS ABOVE 40 DEGREES FAHRENHEIT; BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30 DEGREES FAHRENHEIT AND RISING. PROCEED WITH PAVEMENT MARKING ONLY ON CLEAN, DRY SURFACES. DO NOT APPLY BELOW THE MINIMUM PAVEMENT TEMPERATURE AS RECOMMENDED BY THE MANUFACTURER.
- AGGREGATES SHALL BE IN ACCORDANCE WITH SECTION 460.2.2 OF THE WISDOT STANDARD SPECIFICATIONS.
- ASPHALT MATERIALS SHALL BE IN ACCORDANCE WITH CHAPTER 455 OF THE WISDOT STANDARD SPECIFICATIONS.
- PAVEMENT MARKING PAINT: PROVIDE PAINT FROM THE WISCONSIN DEPARTMENT OF TRANSPORTATION'S APPROVED PRODUCTS LIST. COLOR SHALL BE WHITE UNLESS INDICATED OTHERWISE ON PLANS.
- HOT-MIX ASPHALT: ASPHALTIC BINDER COURSE AND SURFACE COURSE SHALL BE MIXTURE E-1 FOR REGULAR DUTY PAVEMENT AND E-1 FOR HEAVY DUTY PAVEMENT COMPLYING WITH THE WISDOT STANDARD SPECIFICATIONS.
- AGGREGATE BASE COURSE BEHIND PAVEMENTS: SHALL BE 1-1/4" DENSE GRADED BASE COURSE CONFORMING TO SECTION 305 OF THE WISDOT STANDARD SPECIFICATIONS.
- PAVEMENT PLACEMENT GENERAL: ASPHALT CONCRETE PAVING EQUIPMENT, WEATHER LIMITATIONS, JOB-MIX FORMULA, MIXING, CONSTRUCTION METHODS, COMPACTION, FINISHING, TOLERANCE AND PROTECTION SHALL CONFORM TO THE REQUIREMENTS OF THE APPROPRIATE SECTIONS OF THE WISDOT STANDARD SPECIFICATIONS.
- PREPARE AND PROOFROLL SUBGRADES AND AGGREGATE BASE COURSE AS OUTLINED IN EARTH MOVING SPECIFICATIONS PRIOR TO PLACEMENT OF ASPHALT PAVEMENTS.
- SWEEP LOOSE GRANULAR PARTICLES FROM SURFACE OF AGGREGATE BASE COURSE PRIOR TO PAVEMENT PLACEMENT. DO NOT DISLODGE OR DISTURB AGGREGATE EMBEDDED IN COMPACTED SURFACE OF BASE COURSE.
- SPREAD AND FINISH ASPHALTIC MIXTURE IN ACCORDANCE WITH SECTION 450.3.2.5 OF THE WISDOT STANDARD SPECIFICATIONS. PAVEMENT THICKNESSES SHALL BE AS INDICATED ON THE PLANS.
- PROMPTLY CORRECT SURFACE IRRREGULARITIES IN PAVING COURSE BEHIND PAVER. USE SUITABLE HAND TOOLS TO REMOVE EXCESS MATERIAL FORMING HIGH SPOTS. FILL DEPRESSIONS WITH HOT-MIX ASPHALT TO PREVENT SEGREGATION OF MIX; USE SUITABLE HAND TOOLS TO SMOOTH SURFACE.
- COMPACT ASPHALTIC PAVEMENT IN ACCORDANCE WITH SECTION 450.3.2.6 OF THE WISDOT STANDARD SPECIFICATIONS.
- PROTECTION: AFTER FINAL ROLLING, DO NOT PERMIT VEHICULAR TRAFFIC ON PAVEMENT UNTIL IT HAS COOLED AND HARDENED. ERECT BARRICADES TO PROTECT PAVING FROM TRAFFIC UNTIL MIXTURE HAS COOLED ENOUGH NOT TO BECOME MARKED.
- THICKNESS TOLERANCE: COMPACT EACH COURSE TO PRODUCE THE THICKNESS INDICATED WITHIN PLUS/MINUS 1/4 INCH FOR BINDER COURSE AND PLUS 1/4 INCH FOR SURFACE COURSE. NO MINUS.
- SURFACE SMOOTHNESS TOLERANCE: COMPACT EACH COURSE TO PRODUCE A SURFACE SMOOTHNESS WITHIN THE FOLLOWING TOLERANCES AS DETERMINED BY USING A 10-FOOT STRAIGHTEDGE APPLIED TRANSVERSELY OR LONGITUDINALLY TO PAVED AREAS: BINDER COURSE: 1/4 INCH; SURFACE COURSE: 1/8 INCH. REMOVE AND REPLACE ALL HUMPS OR DEPRESSIONS EXCEEDING THE SPECIFIED TOLERANCES.
- DO NOT APPLY PAVEMENT-MARKING PAINT UNTIL LAYOUT, COLORS, AND PLACEMENT HAVE BEEN VERIFIED WITH ENGINEER.
- APPLY MARKINGS TO A DRY SURFACE FREE FROM FROST. REMOVE DUST, DIRT, OIL, GREASE, GRAVEL, DEBRIS OR OTHER MATERIAL THAT MAY PREVENT BONDING TO THE PAVEMENT.
- APPLY PAINT AS THE MANUFACTURER SPECIFIES WITH MECHANICAL EQUIPMENT TO PRODUCE PAVEMENT MARKINGS, OF DIMENSIONS INDICATED, WITH UNIFORM, STRAIGHT EDGES. APPLY AT MANUFACTURER'S RECOMMENDED RATES AT A MINIMUM RATE OF 17.6 GALLONS/MILE FOR A CONTINUOUS 4' LINE.
- TESTING AGENCY: CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS AND TO PREPARE TEST REPORTS.

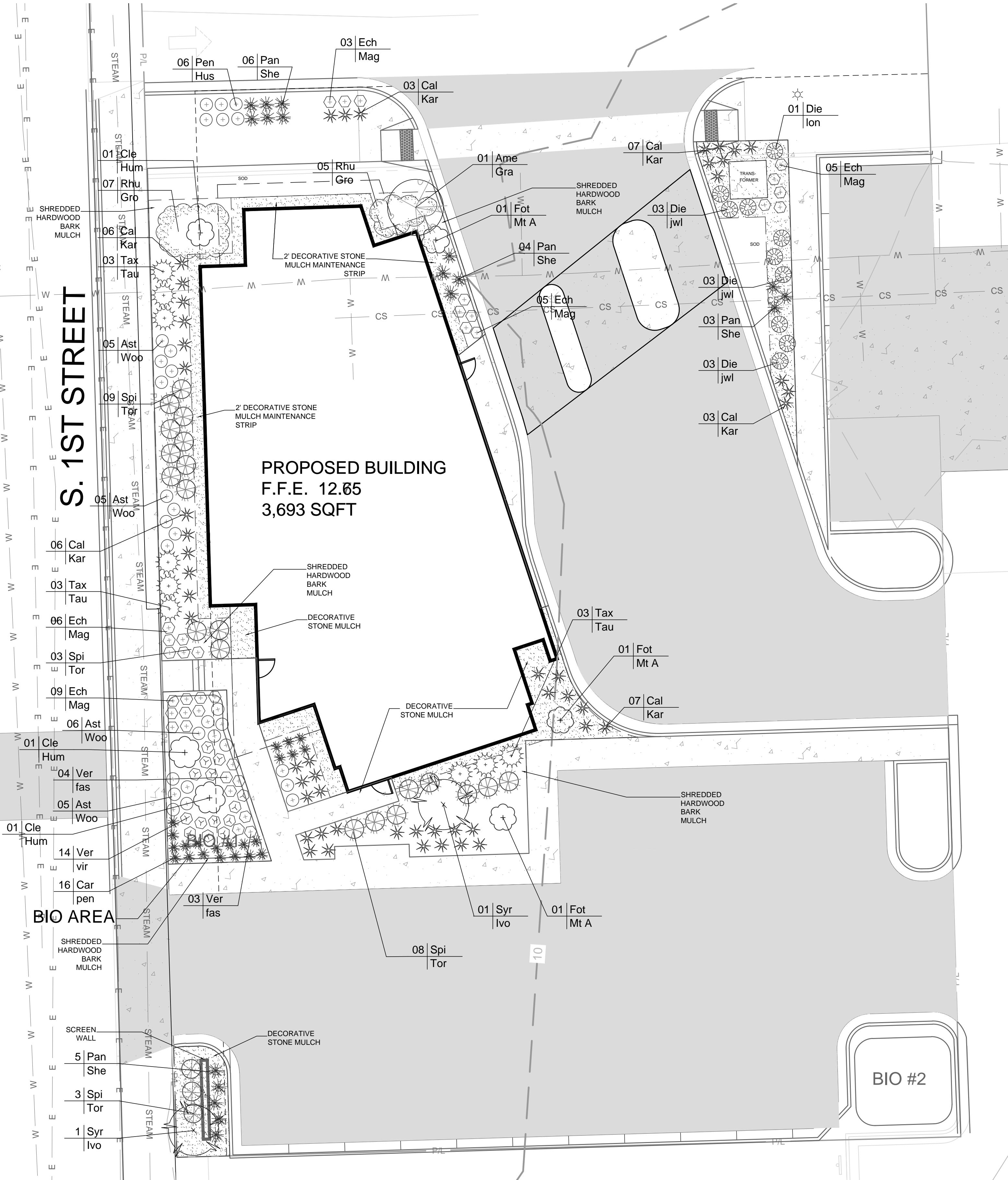
**BIOFILTRATION BASIN:**

- BIOFILTRATION BASIN SHALL BE CONSTRUCTED IN GENERAL ACCORDANCE WITH WDNR TECHNICAL STANDARD 1004: BIORETENTION FOR INFILTRATION AND THESE SPECIFICATIONS.
- ENGINEERED SOIL MIX SHALL CONSIST OF A MIX OF 70 TO 85% SAND AND 15 TO 30% COMPOST BASED ON VOLUME. SAND SHALL MEET THE REQUIREMENTS FOR FINE AGGREGATE SAND SPECIFIED SECTION 501.2.5.3.4 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION OR MEET ASTM C33 (FINE AGGREGATE CONCRETE SAND).
- PRIOR TO PLACEMENT IN THE BIOFILTRATION BASIN, THE ENGINEERED SOIL SHALL BE PREMIXED AND THE MOISTURE CONTENT SHALL BE LOW ENOUGH TO PREVENT CLUMPING AND COMPACTION DURING PLACEMENT.
- THE ENGINEERED SOIL SHALL BE PLACED IN MULTIPLE LIFTS, EACH APPROXIMATELY 12 INCHES IN DEPTH.
- ENGINEERED SOIL MIX SHALL BE FREE OF ROCKS, STUMPS, ROOTS, BRUSH OR OTHER MATERIAL OVER ONE INCH IN DIAMETER. NO OTHER MATERIALS SHALL BE MIXED WITH THE PLANTING SOIL THAT MAY BE HARMFUL TO PLANT GROWTH OR BE A HINDRANCE TO PLANTING OR MAINTENANCE.
- ENGINEERED SOIL AND GRAVEL SHALL BE IN ACCORDANCE WITH THE LATEST WDNR TECHNICAL STANDARD 1004.
- PEA GRAVEL SHALL BE GRADED SUCH THAT MINIMUM PARTICLE SIZE IS LARGE ENOUGH TO PREVENT FALLING THROUGH PERFORATIONS OF THE UNDERDRAIN PIPE.
- BIOFILTRATION BASIN DRAIN PIPE: 6-INCH SCHEDULE 40 PVC PIPE MEETING PERFORATION REQUIREMENTS OF AASHTO M278 HIGHWAY UNDERDRAIN SPECIFICATIONS WITH 3/8" PERFORATIONS ON 6" CENTERS WITH 4 HOLES PER ROW.
- BEEHIVE INLET: NEENAH R-256I, OR EQUAL
- RISER STRUCTURE: 36" DIAMETER PRECAST CATCH BASIN STRUCTURE WITH 24" TOP OPENING TO ACCOMMODATE BEEHIVE INLET. IN GENERAL ACCORDANCE WITH FILE NO. 26 OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
- GRAVEL STORAGE LAYER (IF INDICATED ON PLANS): COURSE AGGREGATE #2 IN ACCORDANCE WITH SECTION 501.2.5.4.4 OF THE WISCONSIN STANDARD SPECIFICATION FOR HIGHWAY AND STRUCTURE CONSTRUCTION.
- FILTER FABRIC: GEOTEXTILE FABRIC IN ACCORDANCE WITH SECTION 645.2.4 OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION
- EXCAVATE TO GRADES AS INDICATED ON PLANS.
- CONSTRUCT TEMPORARY DIVERSION SWALES OR PROVIDE OTHER MEANS AS NECESSARY TO PREVENT CONSTRUCTION SITE RUNOFF FROM DISTURBED AREAS, AND RUNOFF FROM PERVIOUS AREAS WHICH HAVE NOT YET BEEN STABILIZED, FROM ENTERING THE BIORETENTION AREA.
- CONSTRUCTION SHALL BE SUSPENDED DURING PERIODS OF RAINFALL OR SNOWMELT. CONSTRUCTION SHALL REMAIN SUSPENDED IF PONDED WATER IS PRESENT OR IF RESIDUAL SOIL MOISTURE CONTRIBUTES SIGNIFICANTLY TO THE POTENTIAL FOR SOIL SMEARING, CLUMPING OR OTHER FORMS OF COMPACTION.
- COMPACTATION AND SMEARING OF THE ENGINEERED SOIL AND TOP SOIL BENEATH THE FLOORS, IN THE SOIL PLANTING BED, AND THE SIDE SLOPES OF THE BASIN, AND COMPACTION OF THE ENGINEERED SOILS IN THE BASIN SHALL BE MINIMIZED. DURING SITE DEVELOPMENT, THE AREA DEDICATED TO THE BIOFILTRATION BASIN SHALL BE CORDONED OFF TO PREVENT ACCESS BY HEAVY EQUIPMENT. ACCEPTABLE EQUIPMENT FOR CONSTRUCTING THE BIOFILTRATION BASIN INCLUDES EXCAVATION HOES, LIGHT EQUIPMENT WITH TURF-TYPE TIRES, MARSH EQUIPMENT OR WIDE-TRACK LOADERS.
- IF COMPACTION OCCURS AT THE BASE OF THE BIOFILTRATION BASIN, THE SOIL SHALL BE REFRACTURED TO A DEPTH OF AT LEAST 12 INCHES. IF SMEARING OCCURS, THE SMEARED AREAS OF THE INTERFACE SHALL BE CORRECTED BY RAKING OR ROTO-TILLING.
- STEPS MAY BE TAKEN TO INDUCE MILD SETTLING OF THE ENGINEERED SOIL BED AS NEEDED TO PREPARE A STABLE PLANTING MEDIUM AND TO STABILIZE THE PONDING DEPTH. VIBRATING PLATE-STYLE COMPACTORS SHALL NOT BE UTILIZED.
- ANY SEDIMENT ACCUMULATED IN THE BASIN DUE TO CONSTRUCTION ACTIVITIES SHOULD BE REMOVED AND THE ENGINEERED SOIL SHALL BE DEEPLY TILLED PRIOR TO PLANTING.
- IMPERVIOUS LINER SHALL BE 45 MIL FIRESTONE EPDM (GSI PRODUCTS), OR 30 MIL PVC (GSI PRODUCTS), OR EQUAL.

NO. REVISION	DATE BY
DRAWING NO.	18079-DETAILS.DWG
DRAWN BY:	ARF
DATE:	1/04/19
PROJECT NO.:	18079
CHECKED BY:	TPM
APPROVED BY:	CTC
SHEET NO.:	

# LANDSCAPE PLAN

SUMMIT CREDIT UNION  
S FIRST ST & GREENFIELD AVE  
MILWAUKEE, WISCONSIN



## PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES	AVERAGE MATURE SIZE
<b>Deciduous Trees</b>							
Ame / Aut	1	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1 1/2"-2"	BB		25' ht x 25' spread
Syr / Ivo	2	Syringa reticulata var. 'Ivory Silk'	Ivory Silk Japanese Lilac Tree	2 1/2"-2"	BB		20' ht x 15' spread
<b>Evergreen Shrubs</b>							
Tax / Tau	9	Taxus x media 'Tauntoni'	Taunton Yew	18"- 24"	Cont.		4' ht x 8' spread
<b>Deciduous Shrubs</b>							
Fot / Mou	3	Fothergilla major 'Mount Airy'	Mount Airy Fothergilla	30"- 36"	Cont.		6' ht x 4' spread
Rhu / Gro	12	Rhus aromatica 'Gro-low'	Gro-low Sumac	2 gallon	Cont.		3' ht x 7' spread
Spi / Tor	23	Spirea betulifolia 'Tor'	Tor Birchleaf Spirea	18"- 24"	Cont.		3' ht x 3' spread
Cle / Hum	3	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet	36"	Cont.		4' ht x 3' spread
Die / Jwl	10	Diervilla lonicera 'Jewel'	Jewel Dwarf Bush Honeysuckle	24"	Cont.		3' ht x 3' spread
<b>Perennials</b>							
Ast / Woo	14	Aster dumosus 'Wood's Blue'	Wood's Blue Aster	1 gallon	Cont.		2' ht x 2' spread, 2' flower ht, WI native
Ast / Pur	10	Aster novae-angliae 'Purple Dome'	Purple Dome New England Aster	1 gallon	Cont.		1.5' ht x 2' spread, 2' flower ht
Ech / Mag	28	Echinacea purpurea 'Magnus'	Magnus Purple Coneflower	1 gallon	Cont.		1' ht x 2' spread, 2' flower ht
Pen / Hus	6	Penstemon digitalis 'Husker's Red'	Beardtongue	1 gallon	Cont.		2' ht x 2' spread
Ver / vir	14	Veronicastrum virginicum	Culver's Root	1 gallon	Cont.		2.5' ht x 2.5' spread, 4.5' flower ht
Ver / fas	7	Vernonia fasciculata	Iron weed	1 gallon	Cont.		3' ht x 3' spread, 3.5' flower ht, WI native
<b>Ornamental Grasses</b>							
Cal / Kar	52	Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 gallon	Cont.		2' ht x 2' spread, 5.5' flower ht
Pan / She	15	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	1 gallon	Cont.		4' ht x 2.5' spread, 5' flower ht
Car / pen	22	Carex pennsylvanica	Penn Sedge	1 gallon	Cont.		1' ht x 2' spread, 1.5' flower ht

## NOTE

ALL DECORATIVE STONE MULCH BEDS AND  
MAINTENANCE STRIPS TO BE 2-3" DEPTH MEDIUM  
MISSISSIPPI STONE OVER BARRIER FABRIC WITH  
ALUMINUM METAL EDGE BETWEEN ADJOINING MULCH  
BEDS.

NO. REVISION DATE BY  
DRAWING NO.  
DRAWN BY: NE/ MR  
DATE: 01-04-2018  
PROJECT NO.:  
CHECKED BY:  
APPROVED BY:  
SHEET NO.:  
L100

PRELIMINARY  
NOT FOR CONSTRUCTION

**SIGMA** GROUP  
Single Source. Sound Solutions.  
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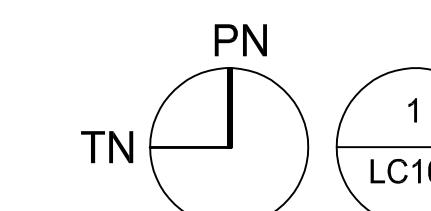
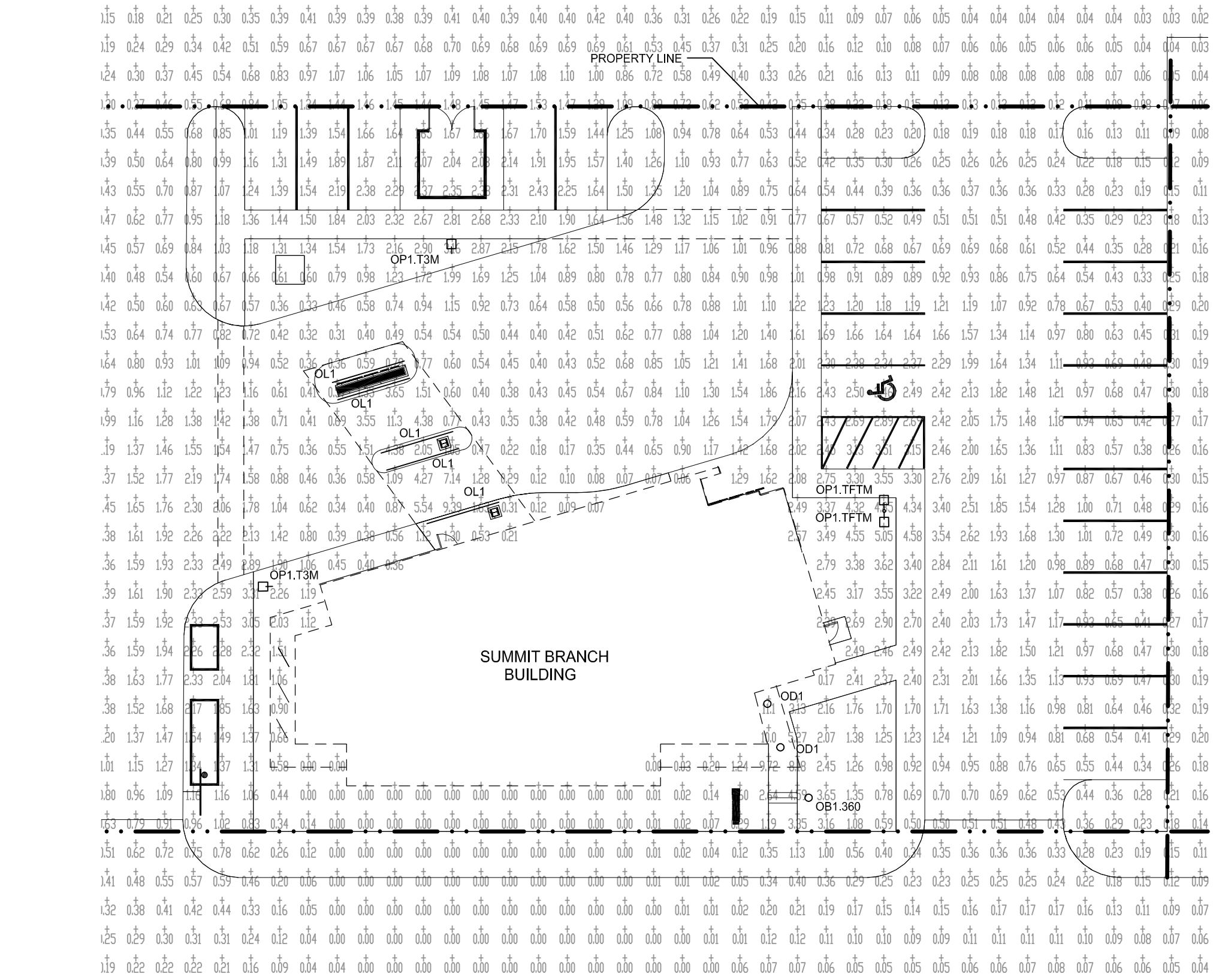


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**new eden**  
LANDSCAPE ARCHITECTURE  
Milwaukee, Wisconsin  
Phone (414) 530-1080 newedenlandscape.com



LUMINAIRE SCHEDULE		
SYMBOL	LABEL	DESCRIPTION
○	OB1.360	360 DEGREE DISTRIBUTION BOLLARD, 4000K
□	OP1.T3M	LED SITE LIGHT ON 18 FT POLE WITH A 6 INCH TALL CONCRETE BASE, 4000K
■	OP1.TFTM	LED SITE LIGHT ON 18 FT POLE WITH A 6 INCH TALL CONCRETE BASE, 4000K
—	OL1	LINEAR AIMABLE UP-LIGHT MOUNTED IN STRUCTURE OF CANOPY, 4000K
○	OD1	EXTERIOR DOWNLIGHT, 4000K



EXTERIOR LIGHTING CALCULATIONS  
SCALE 1" = 20'-0"

SCHEMATIC DESIGN SET   NOT FOR CONSTRUCTION		
REVISIONS		
NO.	DESCRIPTION	DATE

## LED Bollards with rotationally symmetrical distribution

**Post construction:** One piece extruded aluminum, with a one piece aluminum top housing and base, internally welded into an assembly. Die castings are marine grade, copper free ( $\leq 0.3\%$  copper content) A360.0 aluminum alloy.

**Enclosure:** Heavy walled, die-cast aluminum cap. Clear  $\frac{3}{16}$ " thick borosilicate glass with pure anodized aluminum cone reflector. Fully gasketed using high temperature silicone rubber O-ring gaskets.

**Electrical:** 14.4 W LED luminaire, 20 total system watts,  $-20^{\circ}\text{C}$  start temperature. Integral 120V through 277V electronic LED driver, 0-10V, TRIAC, and ELV dimmable. LED module(s) are available from factory for easy replacement.

Standard LED color temperature is 3000K with a  $>80$  CRI. Available in 4000K ( $>80$  CRI); add suffix K4 to order.

**Note:** Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to [www.bega-us.com](http://www.bega-us.com).

**Anchor base:** Heavy cast aluminum, slotted for precise alignment. Mounts to BEGA 79817 anchorage kit (supplied).

**Finish:** All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

**UL** listed for US and Canadian Standards, suitable for wet locations. Protection class IP65.

**Luminaire Lumens:** 746

Type:  
BEGA Product:  
Project:  
Voltage:  
Color:  
Options:  
Modified:



99 570      Lamp      A      B      Anchorage  
14.4 W LED      6 1/2      39 3/8      79 817



1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 FAX (805) 566-9474 [www.bega-us.com](http://www.bega-us.com)  
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**SUMMIT CREDIT UNION  
FIFTH WARD**

**TYPE: OB1.360**


Gotham Architectural Downlighting  
LED Downlights

**2" Incito®**  
**Adjustable, Lensed**

Solid-State Lighting  
(US and International Patents Pending)

**OPTICAL SYSTEM**

- Superior 100% virgin silicone refractive optic enables maximum dimensional stability and optical transmission with no discoloration over life.
- Primary control of distribution occurs in refractive optic allowing for aesthetic versatility with trim color and finish.
- Eleven preset distribution patterns allow designers to achieve various objectives.
- 3-Step MacAdam Ellipse.
- Self-flanged semi-specular or matte-diffuse lower trim utilized in combination with a highly transmissive softening lens.
- Field interchangeable optics.
- Wipe-down precision acrylic lens controls aperture brightness and enables consistent visual texture.

**MECHANICAL SYSTEM**

- Matte black enclosure ensures seamless integration into architecture.
- Post-installation vertical tilt and horizontal rotation adjustment possible from above or below ceiling.
- Accommodates 1/2" to 5/8" thick ceilings only.
- Full horizontal panning up to 365 degrees.
- 0-40° vertical tilt.
- Hot aiming below ceiling with indicator.
- Install from below architecture standard.
- Several additional mounting options available including new construction mounting pan, Chicago plenum, and Type IC.

- Standard ambient operating temperature: 25 °C. High ambient option available.
- Accommodates a wide range of applications including multiple plenum cross sections and ceiling thicknesses. Consult page 2.
- Light engine and driver are accessible from above or below ceiling.
- Flangeless trim option includes proprietary Gotham mud ring enabling seamless integration into drywall applications. Mud ring ships separately.

**ELECTRICAL SYSTEM**

- Solid-state LED light engine available in 2700 K, 3000 K, 3500 K or 4000 K color temperatures. Standard CRI: 80 typical. High CRI option available.
- Rated system life of >60,000 hours at 70% output.
- 120V TRIAC or ELV dimming and 0-10V dimming standard.
- Luminaire accepts parallel and branch circuit control wiring.

**LISTINGS**

- Fixtures are UL listed to meet US and Canadian standards; wet location listed.

**WARRANTY**

- 5-year limited warranty. Complete warranty terms located at: [www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx)

Note: Actual performance may differ as a result of end user environment and application.  
All values are design or typical values, measured under laboratory conditions at 25 °C.

**EXAMPLE: ICO ADJL 35/10 2AR LSS 20D MVOLT UGZ**

Series	Color temperature	Nominal lumen values <sup>1</sup>		Aperture/Trim color	Trim Style	Finish	Beam	
<b>ICO ADJL</b>	27/ 2700 K	<b>05</b>	500 lumens	<b>2AR</b> Clear	(blank) Self-flanged	<b>LSS</b> Semi-specular	<b>15D</b>	15° beam angle
	30/ 3000 K	<b>07</b>	750 lumens	<b>2PR</b> Pewter	<b>FL</b> Flangeless	<b>LD</b> Matte diffuse	<b>20D</b>	20° beam angle
	35/ 3500 K	<b>10</b>	1000 lumens	<b>2WTR</b> Wheat			<b>25D</b>	25° beam angle
	40/ 4000 K	<b>15<sup>2</sup></b>	1500 lumens	<b>2GR</b> Gold			<b>30D</b>	30° beam angle
				<b>2WR<sup>3</sup></b> White			<b>35D</b>	35° beam angle
				<b>2BR<sup>3</sup></b> Black			<b>40D</b>	40° beam angle
							<b>45D</b>	45° beam angle
							<b>3515D</b>	Elliptical 35° x 15° beam angle
							<b>5020D</b>	Elliptical 50° x 20° beam angle
							<b>5060D</b>	Elliptical 50° x 60° beam angle
							<b>6070D</b>	Elliptical 60° x 70° beam angle

Voltage	Driver	Options			
<b>MVOLT<sup>4</sup></b> 120 277	<b>UGZ<sup>5</sup></b>	Universal dimming to 1% (0-10V, 120V TRIAC or ELV)	<b>SF<sup>6,7</sup></b> <b>TRW<sup>8,9</sup></b> <b>TRBL<sup>9,10</sup></b> <b>CP<sup>11</sup></b> <b>NPP16D<sup>6,7</sup></b> <b>NPP16DER<sup>6,7</sup></b>	Single fuse White painted flange Black painted flange Chicago plenum nLight® network power/relay pack with 0-10V dimming. nLight® network power/relay pack with 0-10V dimming. ER control fixtures on emergency circuit.	<b>CRI90</b> High CRI (90+) <b>HAO<sup>2</sup></b> High ambient (40°C) <b>ICAT<sup>2</sup></b> IC/Airtight housing construction <b>NCH</b> New construction housing

**ACCESSORIES** order as separate catalog numbers (shipped separately)

**OPTC2<sup>12</sup>** Additional optics available for field installation  
**OPTC2 KIT** Kit including a field interchangeable optic for each of the 13 preset beam distribution patterns

**HS258** 2-5/8" Hole saw  
**HS234FL** 2-3/4" Hole saw for flangeless trim option  
**AW50** Allen wrench (.050") for adjusting tilt

DATE	PROJECT	FIRM	TYPE
------	---------	------	------

THE L50 INCLUDES PATENTED OPTICAL DESIGN THAT DELIVERS THE WIDEST RANGE OF BEAM ANGLE OPTIONS FOR PRECISE COVE, WALL GRAZING, WALL WASHING OR LINE OF LIGHT APPLICATIONS. EXCLUSIVE FLIP TO FLAT™ HINGE DESIGN PROVIDES FLEXIBILITY WHEN MANAGING SMALL COVE DETAILS. TROV OFFERS SMOOTH, FLICKER FREE DIMMING DOWN TO 0%.

**FEATURES :**

- DIM TO 0%, ELV REVERSE PHASE
- 24 BEAM ANGLES
- MULTI-VOLT
- FLIP TO FLAT™
- 6 CCT OPTIONS
- 80+ AND 90+ CRI OPTIONS
- IP54 INTERIOR AND IP66 EXTERIOR OPTIONS



MODEL/ SIZE	INTERIOR/ EXTERIOR	LENGTH	POWER	CCT	CRI	VOLTAGE	OPTICS	
L50	I E	12" 48"	02 04 06 08 10 12	WHITE CCT 22 27 30 35 40 50	MONO COLOR GR**** BL AM RD*** 80 90* Blank For Color	MULT (120-277V)	GRAZING 9 x 9 9 x 17 9 x 29 9 x 59 15 x 15 15 x 23 15 x 35 15 x 65 40 x 60 COVE 120°* Asym LINE OF LIGHT LOL	WASHING 25 x 25 25 x 33 25 x 45 25 x 75 39 x 9 55 x 25 40 x 40 40 x 48 40 x 60 40 x 90 45 x 15 70 x 40 70 x 70

**EXAMPLE:** L50-I-48-10-27-90-MULT-15x65

\*90 CRI not available in 2200K or 5000K

\*\*120 is only available with Exterior option. See L35 spec sheet for interior cove options.

\*\*\*Red is not available in 12W or 10W.

\*\*\*\*Green is not available in 12W.

ALL LUMEN DATA IS FROM 4000K 80CRI FIXTURES. PLEASE SEE PHOTOMETRY SPEC SHEET FOR ADDITIONAL LUMEN DATA.

**COLOR RENDERING INDEX**

80+, 90+

**COLOR CONSISTENCY**

2-STEP MACADAM ELLIPSE

**LUMEN DEPRECIATION / RATED LIFE**

WATTS | L70 @ 25C | L70 @ 50C | L90 @ 25C | L90 @ 50C

2W-12W | >150,000 | >70,000 | >50,000 | >25,000

\* CALCULATIONS FOR LED FIXTURES ARE BASED ON MEASUREMENTS THAT COMPLY WITH IES LM-80 TESTING PROCEDURES AND IES TM-21 CALCULATOR

ELECTRICAL	POWER CONSUMPTION	2W/LF (6.6W/M) ; 4W/LF (13.2W/M) ; 6W/LF (19.8W/M) ; 8W/LF (26.4W/M) ; 10W/LF (33W/M) ; 12W/LF (39.6W/M)											
		* 3W/LF (9.9W/M) at 220V - 277V											
		MAX FIXTURE RUN LENGTH											
		2W/LF	4W/LF	6W/LF	8W/LF	10W/LF	12W/LF						
Volts	Max Run all 1'	Max Run all 4'	Max Run all 1'	Max Run all 4'	Max Run all 1'	Max Run all 4'	Max Run all 1'	Max Run all 4'	Max Run all 1'	Max Run all 4'	Max Run all 1'	Max Run all 4'	Max Run all 1'
120	214	214	186	186	152	152	114	114	91	91	76	76	76
220	374	392	340	340	277	277	209	209	95	167	95	139	139
277	374	494	374	428	349	349	263	263	95	190	95	175	175

**POWER FACTOR**

4W, 6W, 8W, 10W, 12W >0.9, 2W<0.9

**OPERATING VOLTAGE**

MULTIVOLT: 110-277VAC, 50/60 Hz

**DRIVER**

INTEGRAL TO FIXTURE; DE-RATED POWER AND SYNCHRONOUS START-UP AT FULL BRIGHTNESS

**STARTUP TEMPERATURE**

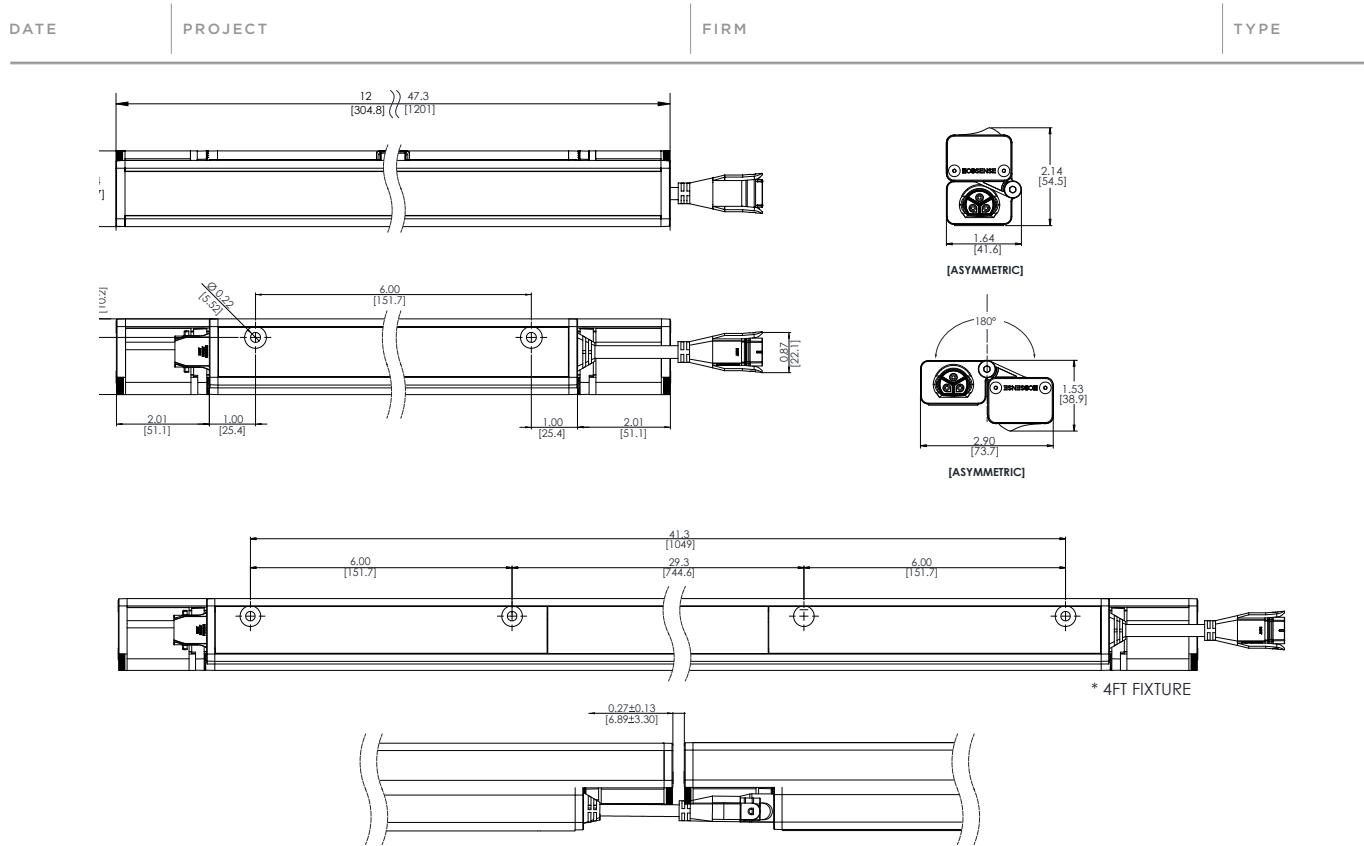
-40°F TO 122°F (-40°C TO 50°C)

**OPERATING TEMPERATURE**

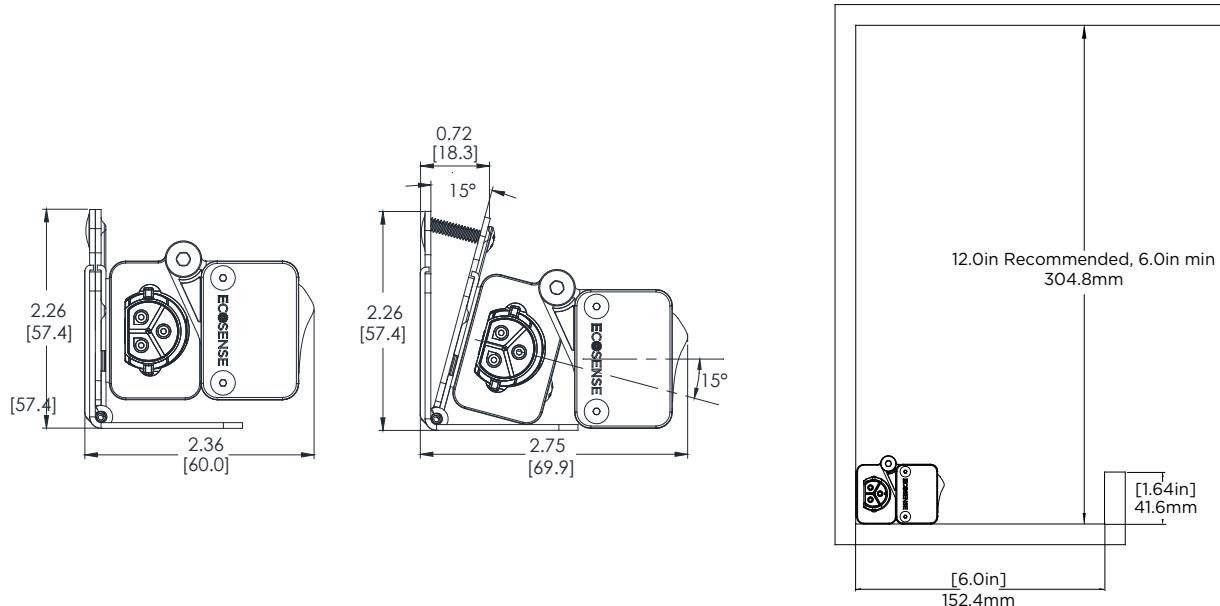
-40°F TO 122°F (-40°C TO 50°C)

**STORAGE TEMPERATURE**

-40°F TO 176°F (-40°C TO 80°C)



Fine Adjustable L-Bracket:





d<sup>2</sup>series

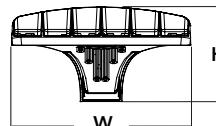
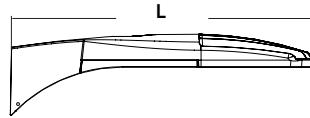
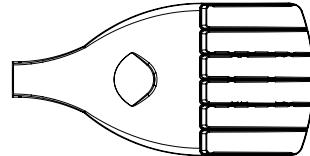
# D-Series Size 0

## LED Area Luminaire



### Specifications

EPA:	0.95 ft <sup>2</sup> (.09 m <sup>2</sup> )
Length:	26" (66.0 cm)
Width:	13" (33.0 cm)
Height:	7" (17.8 cm)
Weight (max):	16 lbs (7.25 kg)



A+ Capable options indicated by this color background.

Catalog Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

### C4+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL<sup>®</sup> controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability<sup>1</sup>
- This luminaire is part of an A+ Certified solution for ROAM<sup>®</sup> or XPoint<sup>™</sup> Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background<sup>1</sup>

To learn more about A+, visit [www.acuitybrands.com/aplus](http://www.acuitybrands.com/aplus).

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)

### Ordering Information

**EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA DDBXD**

DSX0 LED						
Series	LEDs	Color temperature	Distribution		Voltage	Mounting
DSX0 LED	<b>Forward optics</b>	30K 3000 K <b>40K 4000 K</b>	T1S Type I short T2S Type II short T2M Type II medium T3S Type III short <b>T3M Type III medium</b> T4M Type IV medium <b>TIFTM Forward throw medium</b>	TSS Type V short T5M Type V medium T5W Type V wide BLC Backlight control <sup>2,3</sup> LCC0 Left corner cutoff <sup>2,3</sup> RCC0 Right corner cutoff <sup>2,3</sup>	MVOLT <sup>4,5</sup> <b>120<sup>6</sup></b> 208 <sup>5,6</sup> 240 <sup>5,6</sup> 277 <sup>6</sup> 347 <sup>5,6,7</sup> 480 <sup>5,6,7</sup>	<b>Shipped included</b> <b>SPA</b> Square pole mounting RPA Round pole mounting WBA Wall bracket SPUMBA Square pole universal mounting adaptor <sup>8</sup> RPUMBA Round pole universal mounting adaptor <sup>8</sup> <b>Shipped separately</b> KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) <sup>9</sup>
P1	P4	P7	50K 5000 K			
P2	P5		AMBPC Amber phosphor converted <sup>2</sup>			
P3	P6					
<b>Rotated optics</b>						
P10 <sup>1</sup>	P12 <sup>1</sup>					
P11 <sup>1</sup>	P13 <sup>1</sup>					
			T5VS Type V very short			

Control options	Other options	Finish (required)
<b>Shipped installed</b>	<b>Shipped installed</b>	DDBXD Dark bronze
NLTAIR2 nLight AIR generation 2 enabled <sup>10</sup>	HS House-side shield <sup>20</sup>	DBLXD Black
PER NEMA twist-lock receptacle only (control ordered separate) <sup>11</sup>	SF Single fuse (120, 277, 347V) <sup>6</sup>	<b>DNAXD</b> Natural aluminum
PER5 Five-wire receptacle only (control ordered separate) <sup>11,12</sup>	DF Double fuse (208, 240, 480V) <sup>6</sup>	DWHDX White
PER7 Seven-wire receptacle only (control ordered separate) <sup>11,12</sup>	L90 Left rotated optics <sup>1</sup>	DBDBXD Textured dark bronze
DMG 0-10V dimming extend out back of housing for external control (control ordered separate)	R90 Right rotated optics <sup>1</sup>	DBLBXD Textured black
PIR Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc <sup>5,13,14</sup>	DDL Diffused drop lens <sup>20</sup>	DNATXD Textured natural aluminum
PIRH Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc <sup>5,13,14</sup>	<b>Shipped separately</b>	DWHGXD Textured white
PIRHN Network, Bi-Level motion/ambient sensor <sup>15</sup>	BS Bird spikes <sup>21</sup>	
PIR1FC3V Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc <sup>5,13,14</sup>	EGS External glare shield <sup>21</sup>	

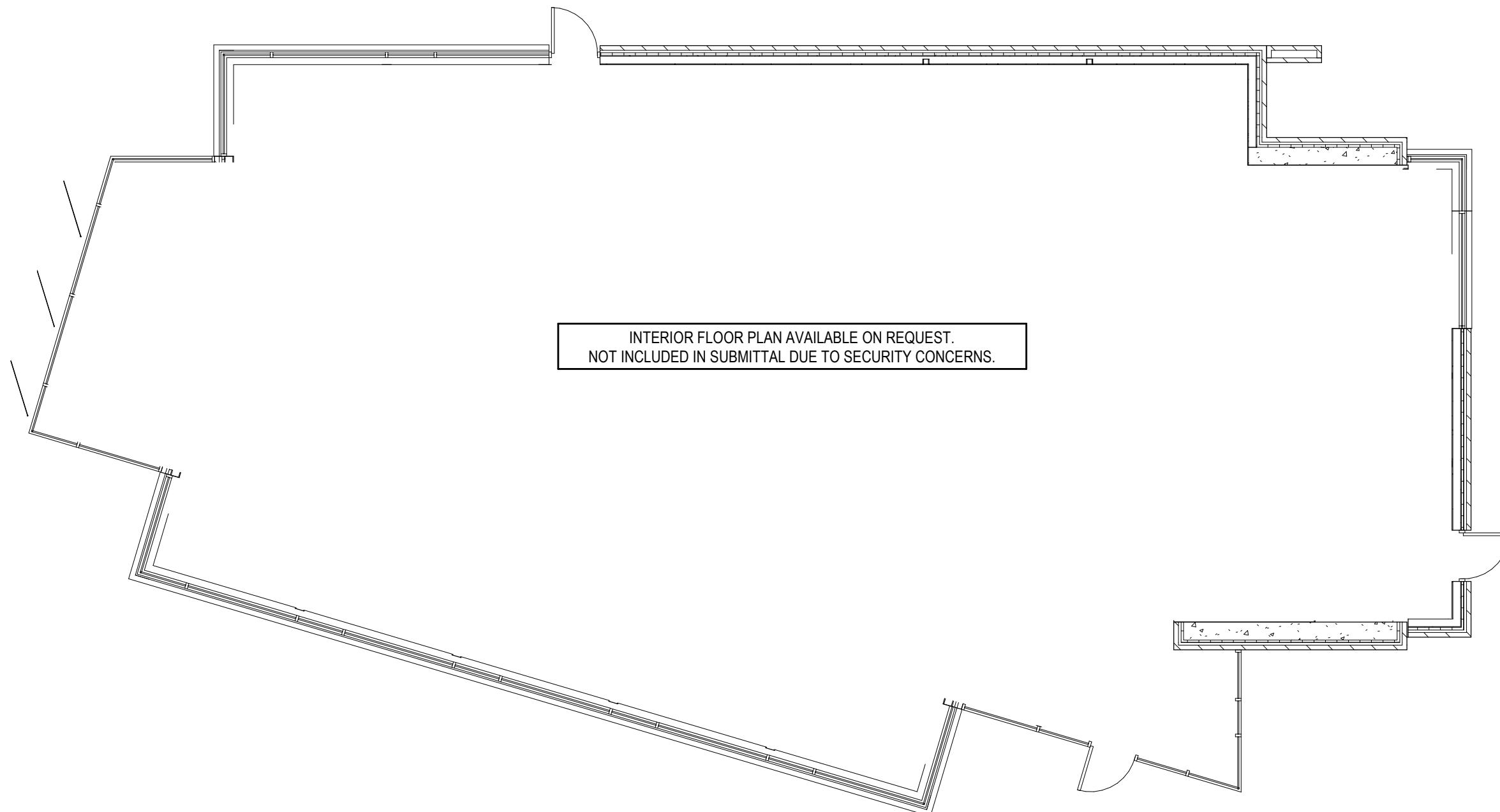


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DSX0-LED  
Rev. 03/21/18  
Page 1 of 7

SUMMIT CREDIT UNION  
FIFTH WARD

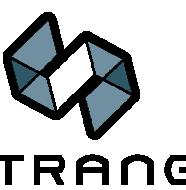
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18' POLE



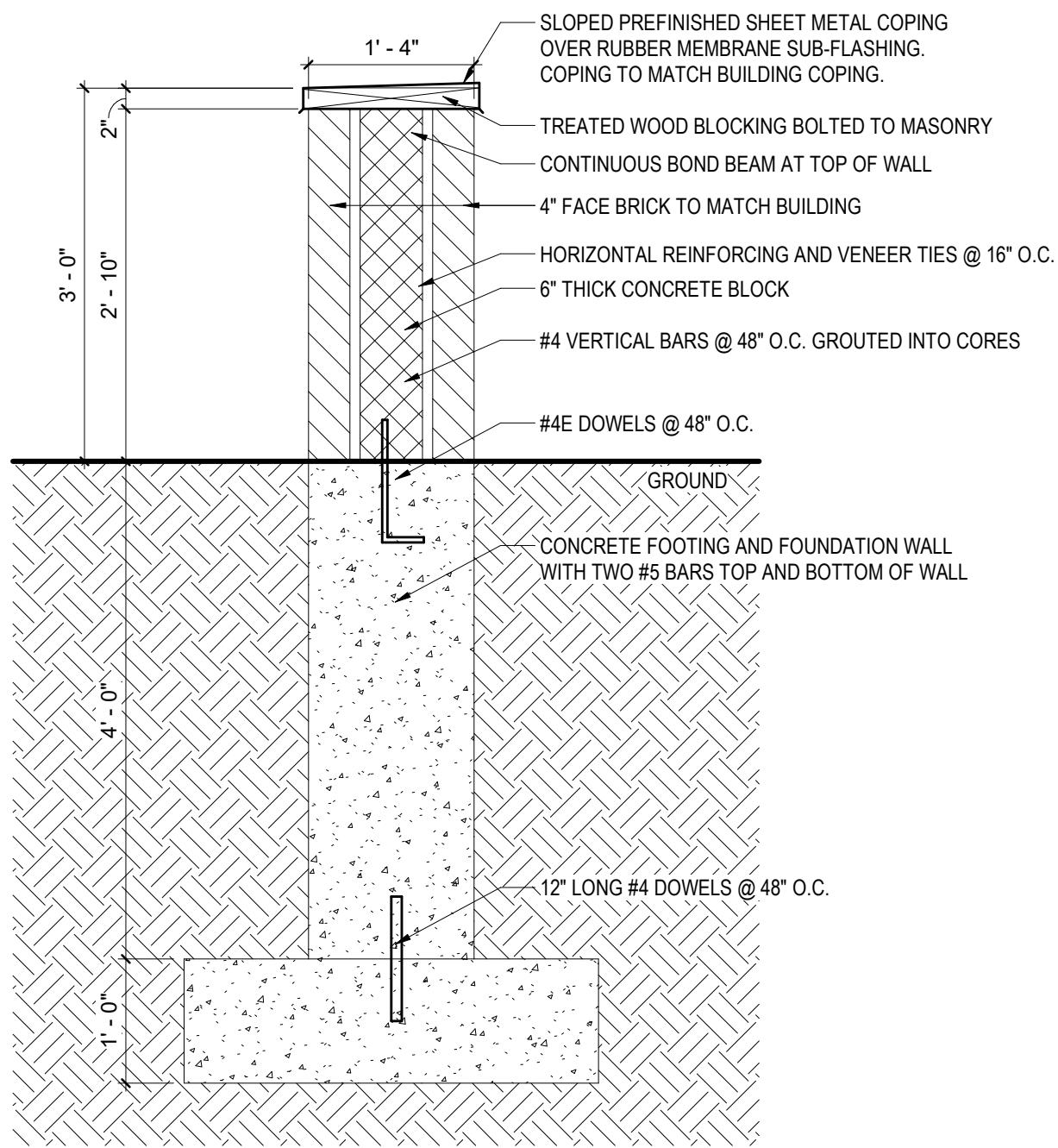
PN  
1  
PA209

## FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



STRANG



### Screen Wall Section

1  
A1

SCALE: 3/4" = 1'-0"



SCU 5th Ward

Screen wall Details

DO NOT USE FOR  
CONSTRUCTION

PROJECT NO.

2018132

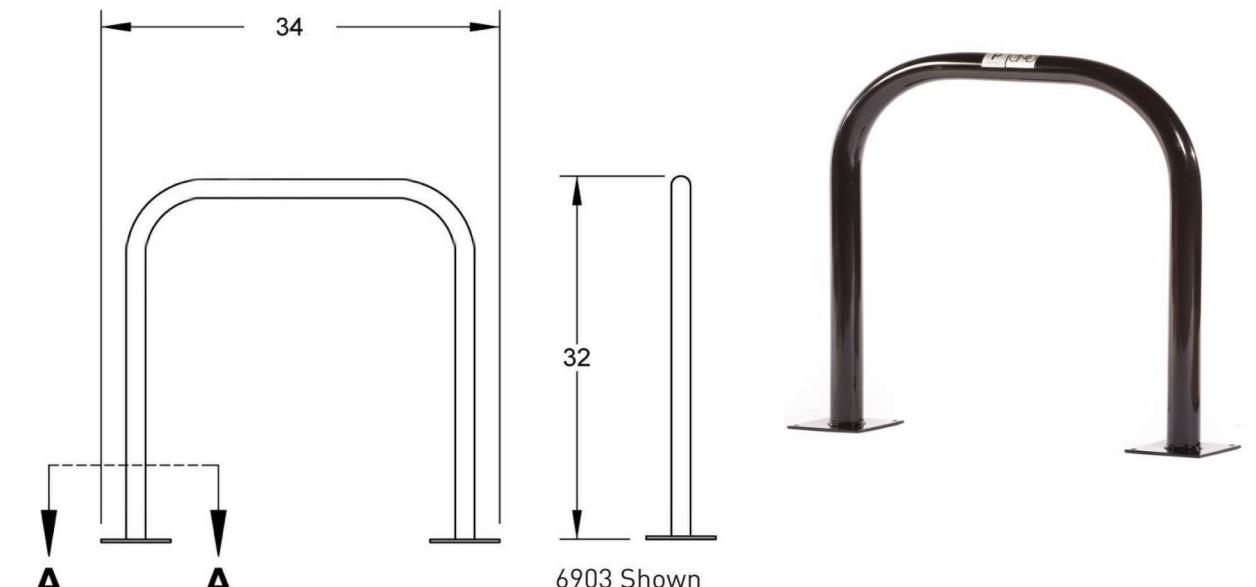
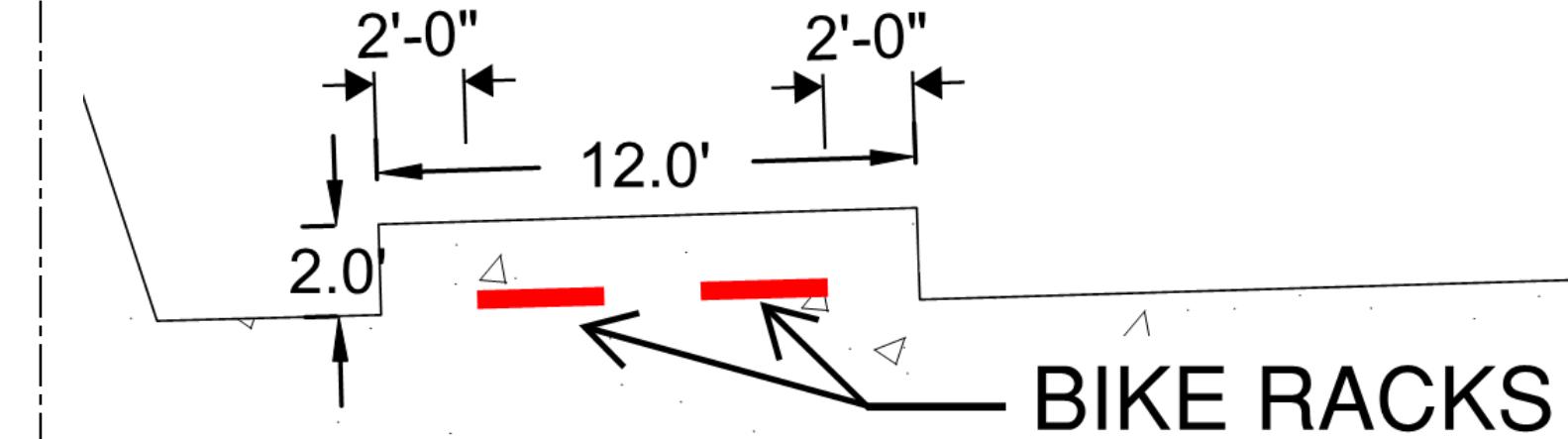
DATE

A1

SCALE

3/4" = 1'-0"

2/8/2019 12:03:31 PM

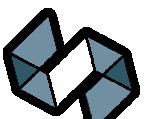
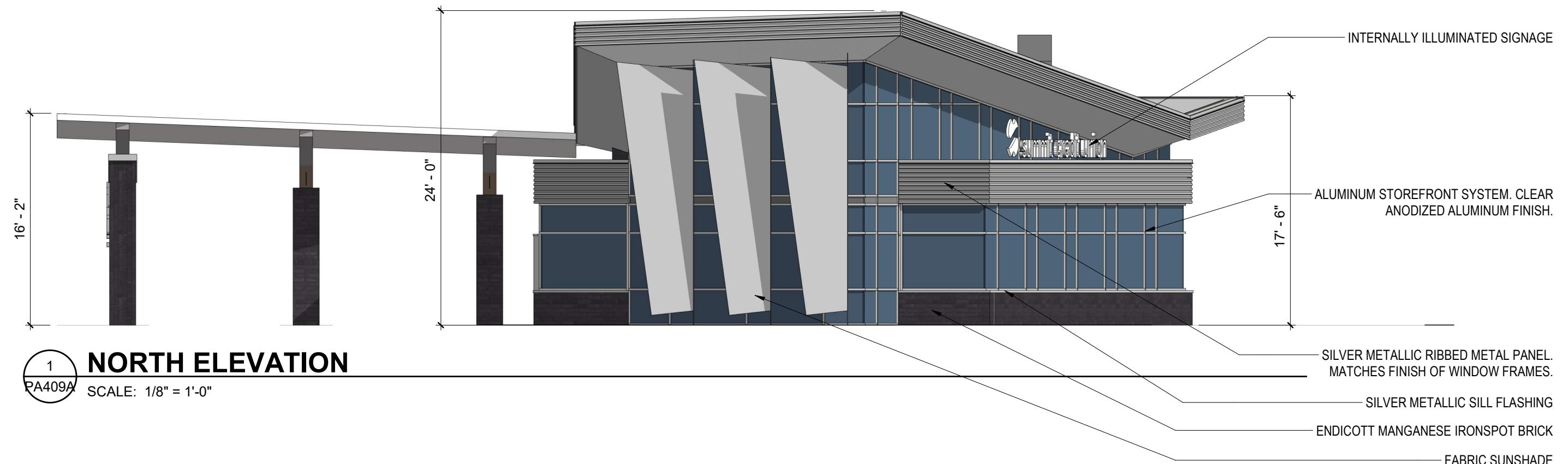


SARIS PARKING - BIKE DOCK  
FINISH: BLACK POWDER COAT

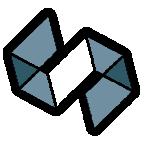
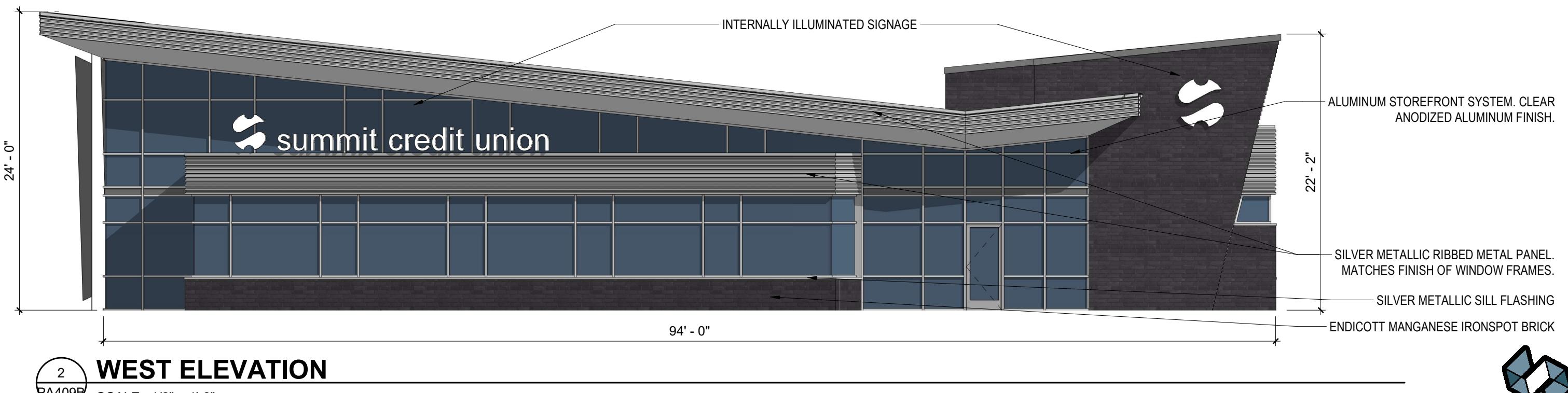
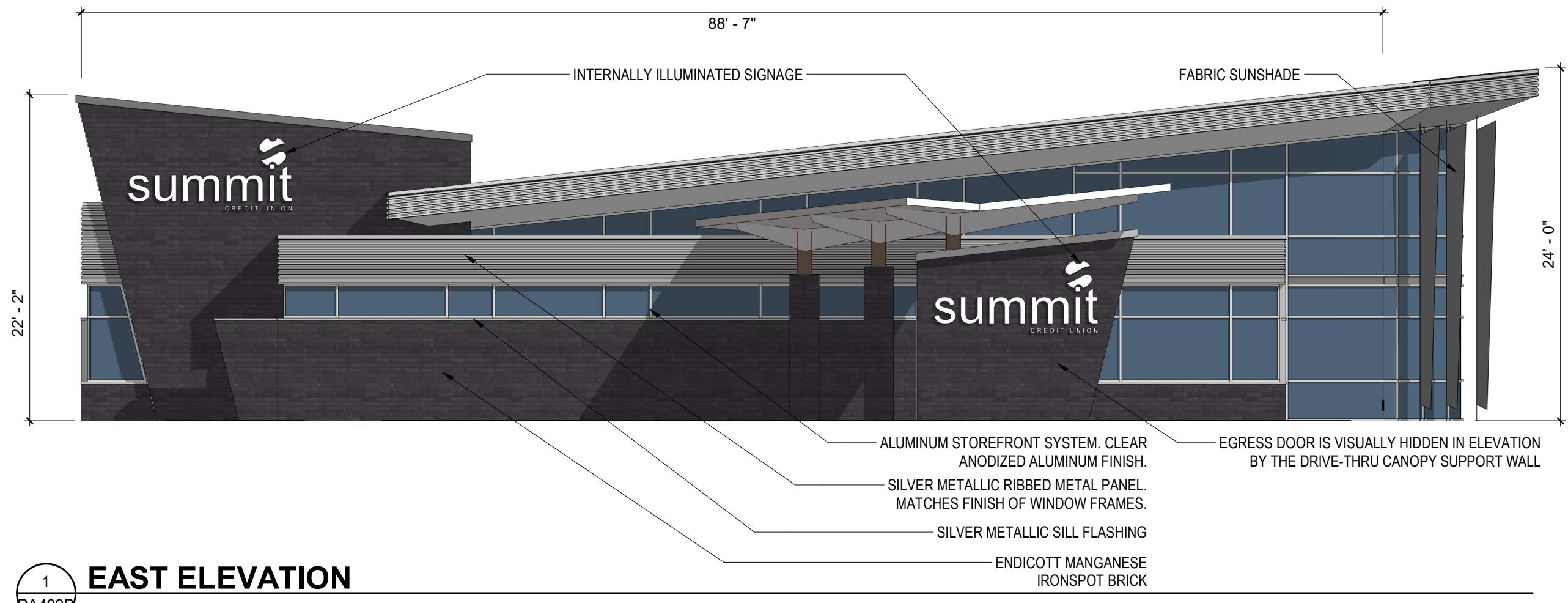
### BICYCLE PARKING



STRANG

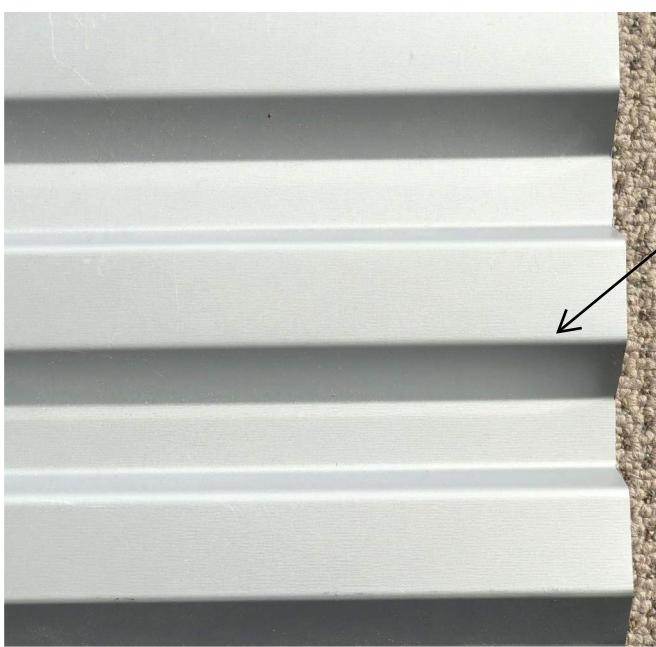


**STRANG**



**STRANG**

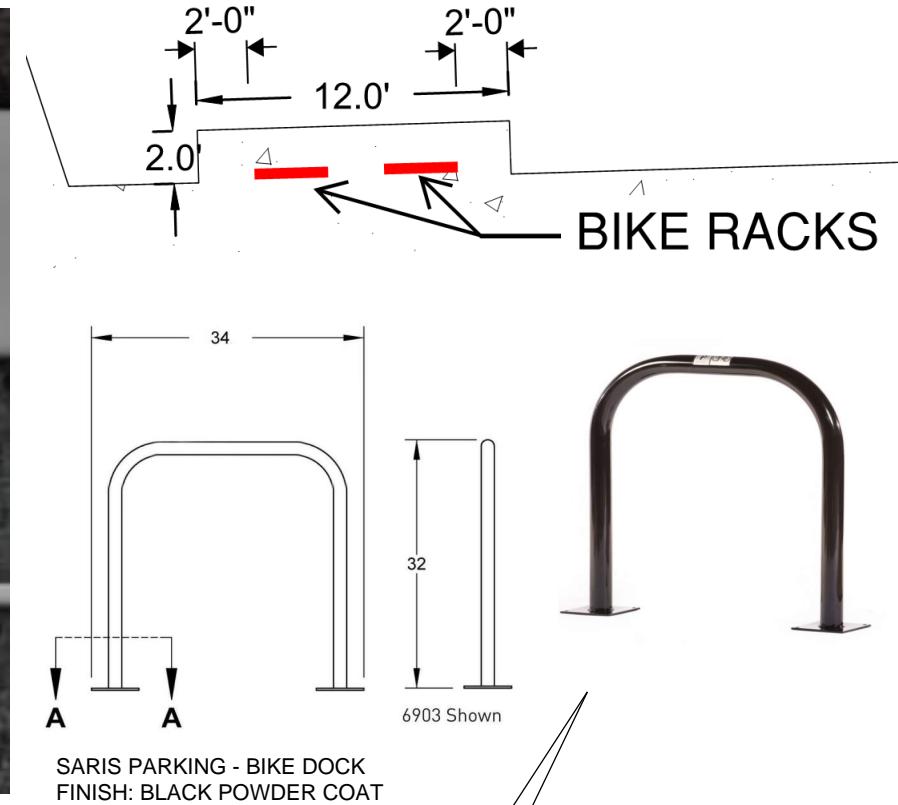
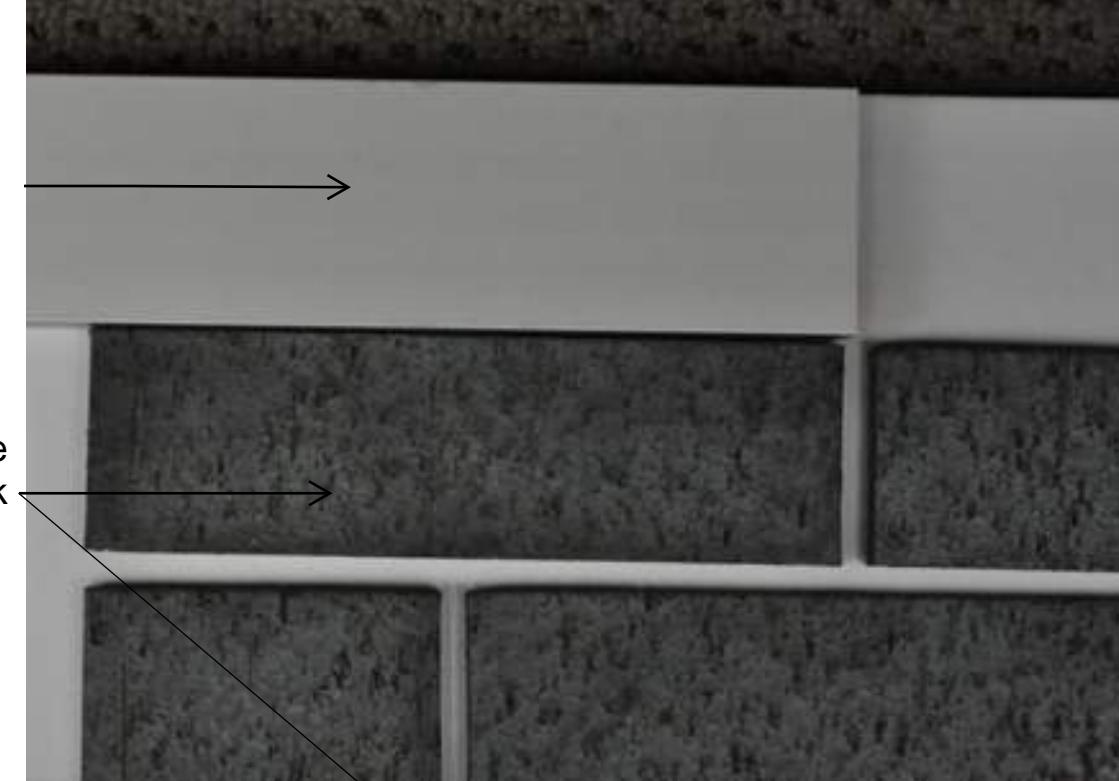
# MA001 - Exterior Building Materials



Clear Anodized Aluminum

Silver Metallic Ribbed Metal Panel

Endicott Manganese Ironspot Brick

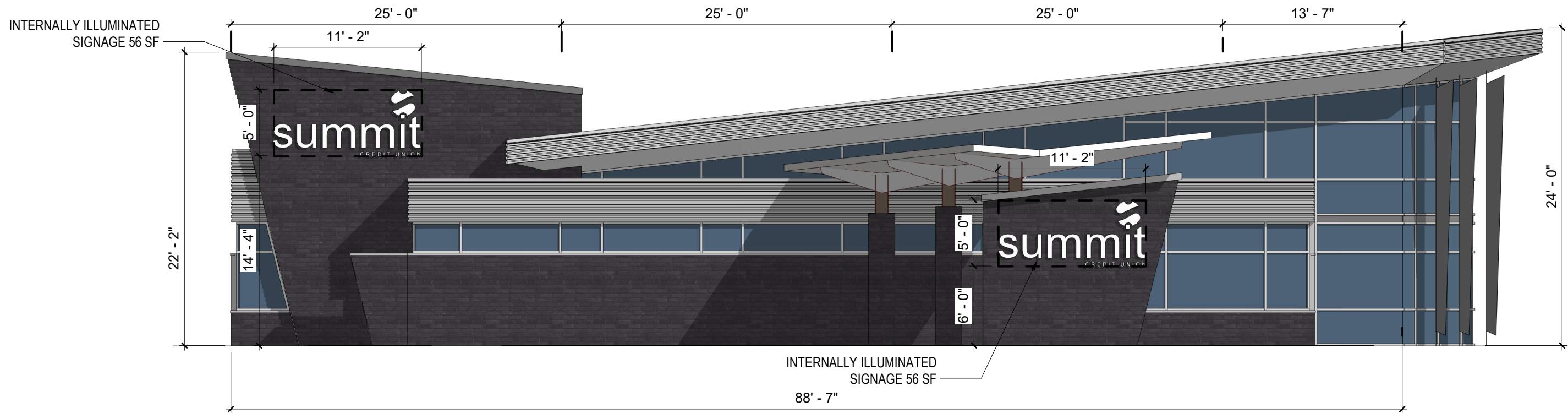


SARIS PARKING - BIKE DOCK  
FINISH: BLACK POWDER COAT



Similar Branch Office Located in Monona, WI

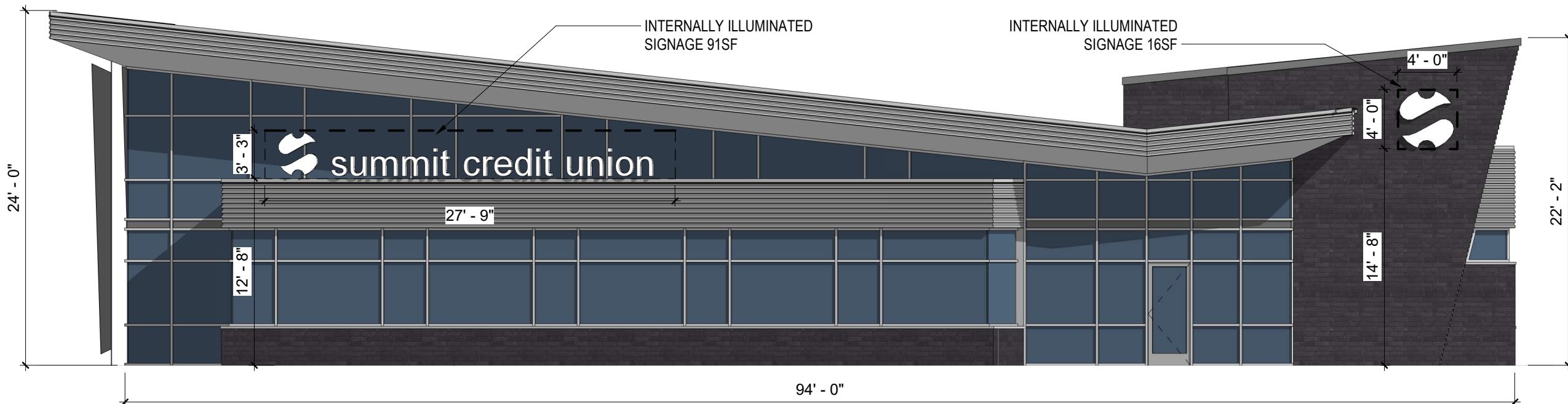




1 EAST ELEVATION

PA809

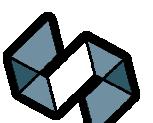
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION

PA809

SCALE: 1/8" = 1'-0"



STRANG