

STORM FOSTER GARAGE & ADU

1911 NORTH 2ND STREET | MILWAUKEE, WI, 53212

NEW CONSTRUCTION - GARAGE & ACCESSORY DWELLING UNIT CONSTRUCTION DOCUMENTS NOVEMBER 20, 2020

AMY
CARMAN
DESIGN

RENOVATION FOR
**STORM
FOSTER**

1911 NORTH 2ND ST
MILWAUKEE, WI 53212

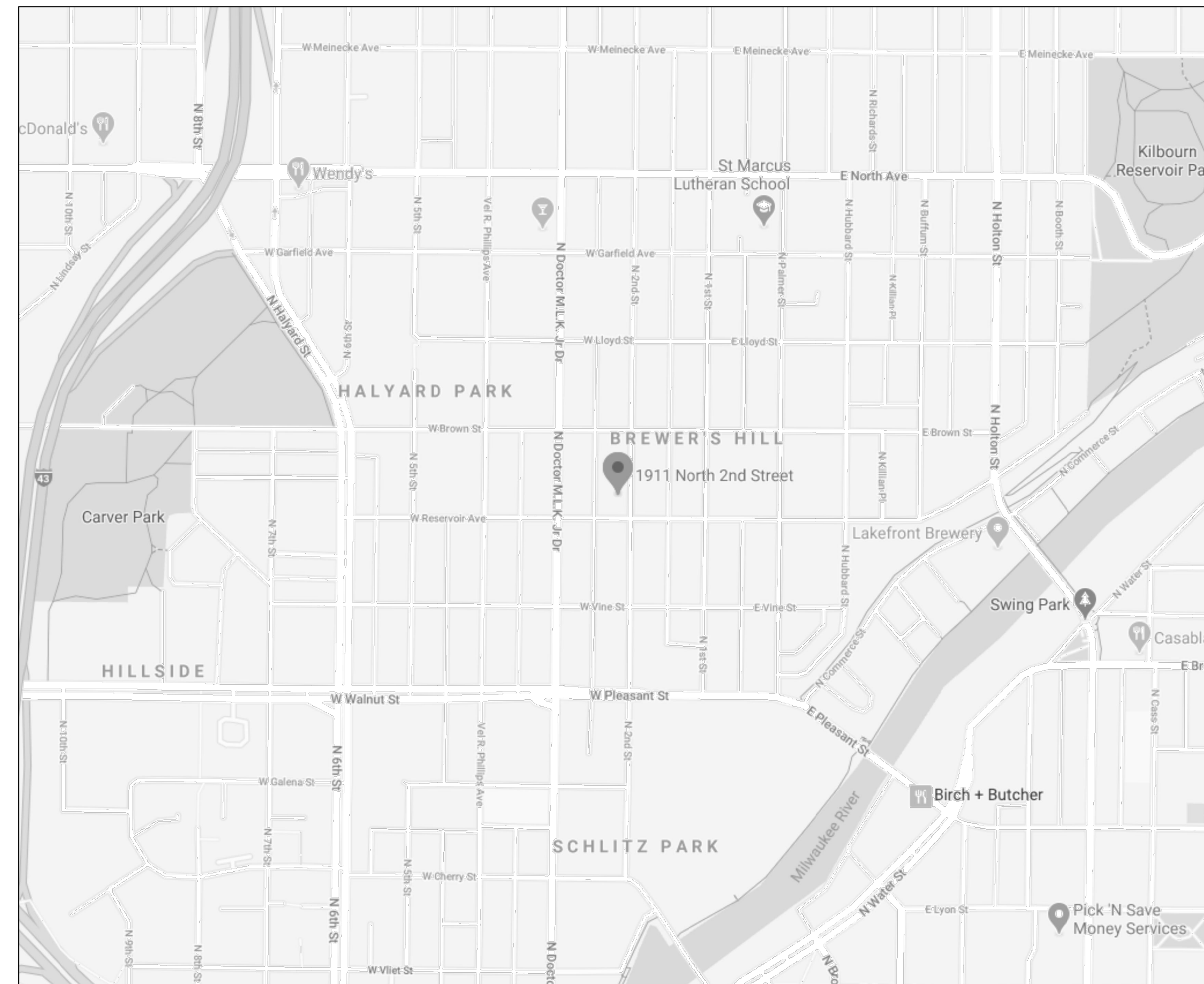
GENERAL CONTRACTOR
TED STORM

Storm DBR, LLC
414.400.1951

STRUCTURAL ENGINEER

CORE 4 ENGINEERING

12388 Corporate Pkwy
Mequon, WI 53092
262.236.8372



PROJECT SITE

PROJECT INFORMATION:

This project is a two car garage and attached accessory dwelling unit at the west end of the property. All exterior facade materials and detail will be derived from the existing house to be complimentary to the existing historic fabric.

SHEET INDEX:

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- A 1.1 REFLECTED CEILING PLAN (RCP) & LIGHTING

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- A 2.2 DOOR SCHEDULE & DETAILS

- A 3.0 BUILDING SECTIONS
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- A 4.0 INTERIOR ELEVATIONS
- A 4.1 INTERIOR RENDERINGS (FOR REFERENCE ONLY)

- S1.0 STRUCTURAL

PROJECT DATA:

ZONING:	MILWAUKEE R-4
BUILDING CODE:	WISCONSIN UDC
TOTAL SF:	1,147 SF (GROSS)
GARAGE SF:	652 SF
ADU SF:	495 SF
NO. OF STORIES:	1

REVISIONS

CONSTRUCTION
DOCUMENTS
NOVEMBER 20, 2020

TITLE PAGE
T1.0

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IMAGES ARE FOR REFERENCE. REFER TO ELEVATIONS FOR INFORMATION

1 | EAST ELEVATION



IMAGES ARE FOR REFERENCE. REFER TO ELEVATIONS FOR INFORMATION

2 | EAST ELEVATION



IMAGES ARE FOR REFERENCE. REFER TO ELEVATIONS FOR INFORMATION

3 | WEST ELEVATION



IMAGES ARE FOR REFERENCE. REFER TO ELEVATIONS FOR INFORMATION

4 | EAST ELEVATION

REVISIONS

**CONSTRUCTION
DOCUMENTS**
NOVEMBER 20, 2020

EXTERIOR IMAGES

T1.1

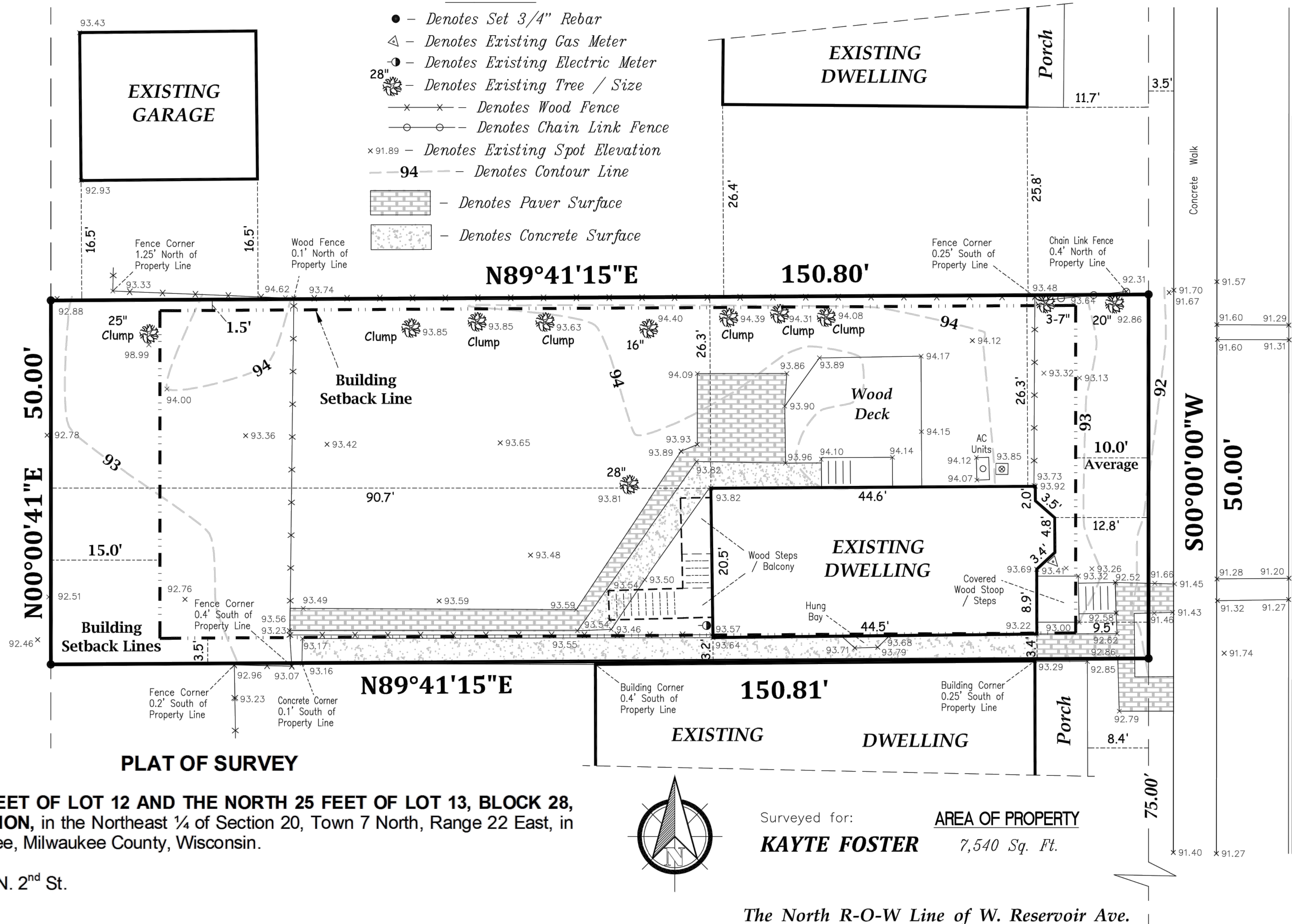
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"This survey is made for the exclusive use of the present owners of the property, and also those who purchase, mortgage, or guarantee the title thereto within one (1) year from date hereof; and as to them I warrant the accuracy of said survey map.

"I have surveyed the above described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all structures thereon, fences, apparent easements and roadways and visible encroachments, if any.

LEGEND

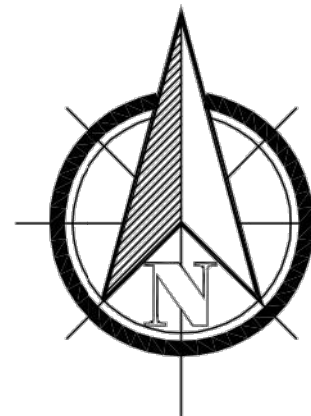
- - Denotes Set 3/4" Rebar
- △ - Denotes Existing Gas Meter
- - Denotes Existing Electric Meter
- 28" - Denotes Existing Tree / Size
- × - × - Denotes Wood Fence
- - ○ - Denotes Chain Link Fence
- × 91.89 - Denotes Existing Spot Elevation
- 94 - - - Denotes Contour Line
- [Brick Pattern] - Denotes Paver Surface
- [Stippled Pattern] - Denotes Concrete Surface



PLAT OF SURVEY

THE SOUTH 25 FEET OF LOT 12 AND THE NORTH 25 FEET OF LOT 13, BLOCK 28, SHERMN'S ADDITION, in the Northeast 1/4 of Section 20, Town 7 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin.

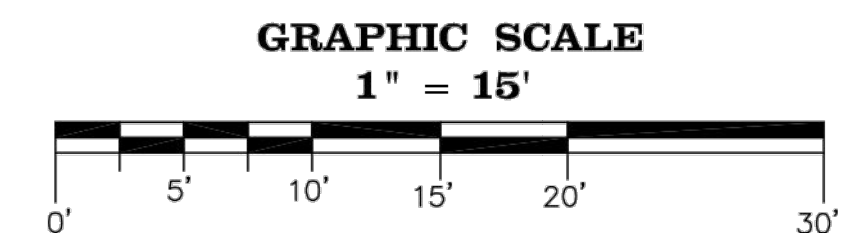
Address: 1911 N. 2nd St.



Surveyed for: **AREA OF PROPERTY**
KAYTE FOSTER 7,540 Sq. Ft.

The North R-O-W Line of W. Reservoir Ave.

NOTE: THIS IS NOT AN ORIGINAL SURVEY UNLESS THIS SEAL IS RED.



**SURVEYING
ASSOCIATES, INC.**

sai@wi.rr.com
2554 N. 100TH STREET
P.O. BOX 26596
WAUWATOSA, WISCONSIN 53226
(414) 257-2212 FAX: (414) 257-2443

MARC C. PASSARELLI P.L.S.

WISCONSIN REGISTERED LAND SURVEYOR

06/12/2020
FIELD WORK DATE

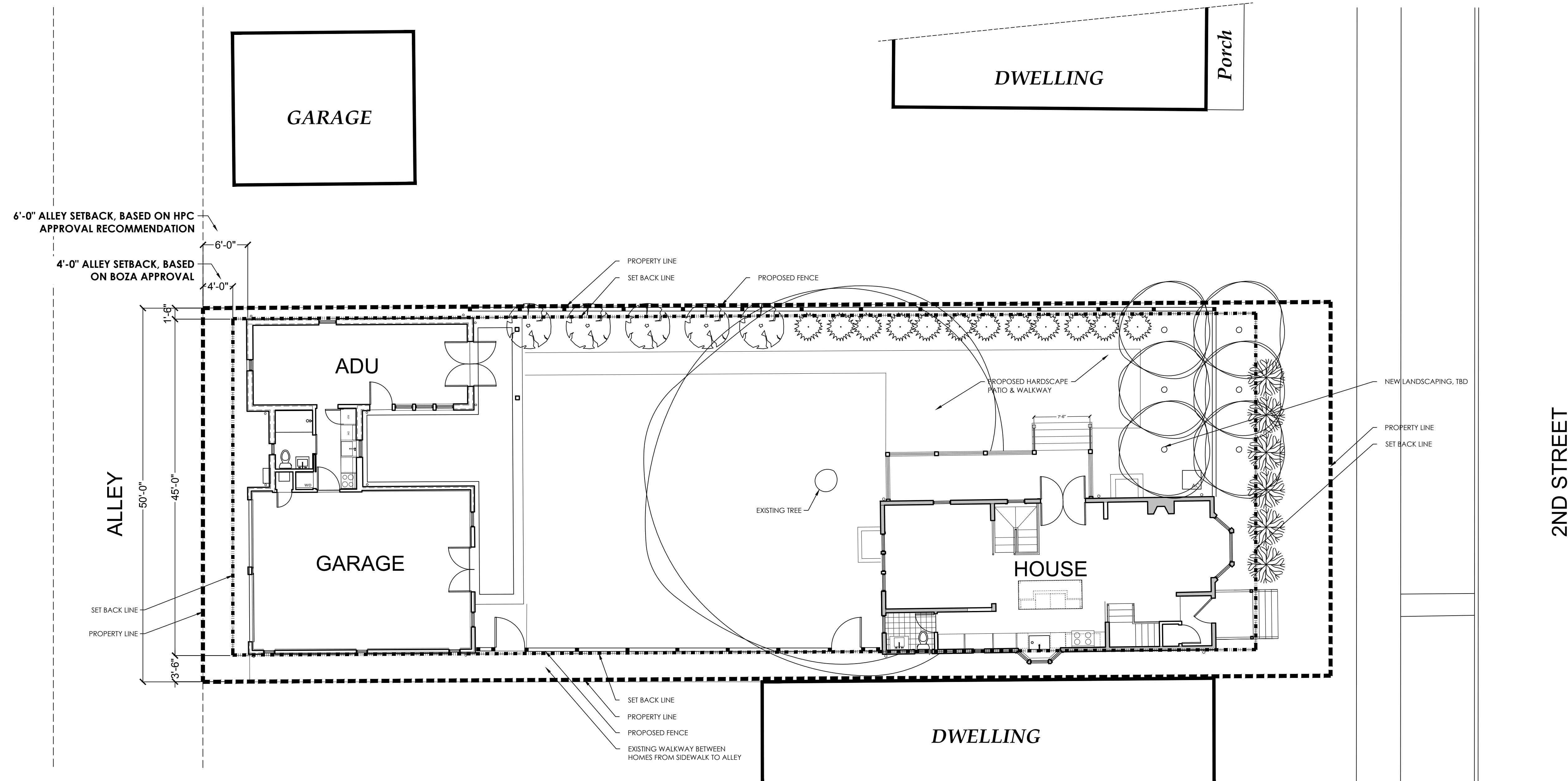
NAS / MWW
FIELD WORK BY

06/23/2020
DATE DRAFTED

MCP
DRAFTED BY

35765
JOB NUMBER

*ENLARGED (DOUBLED IN SIZE, NOT TO SCALE

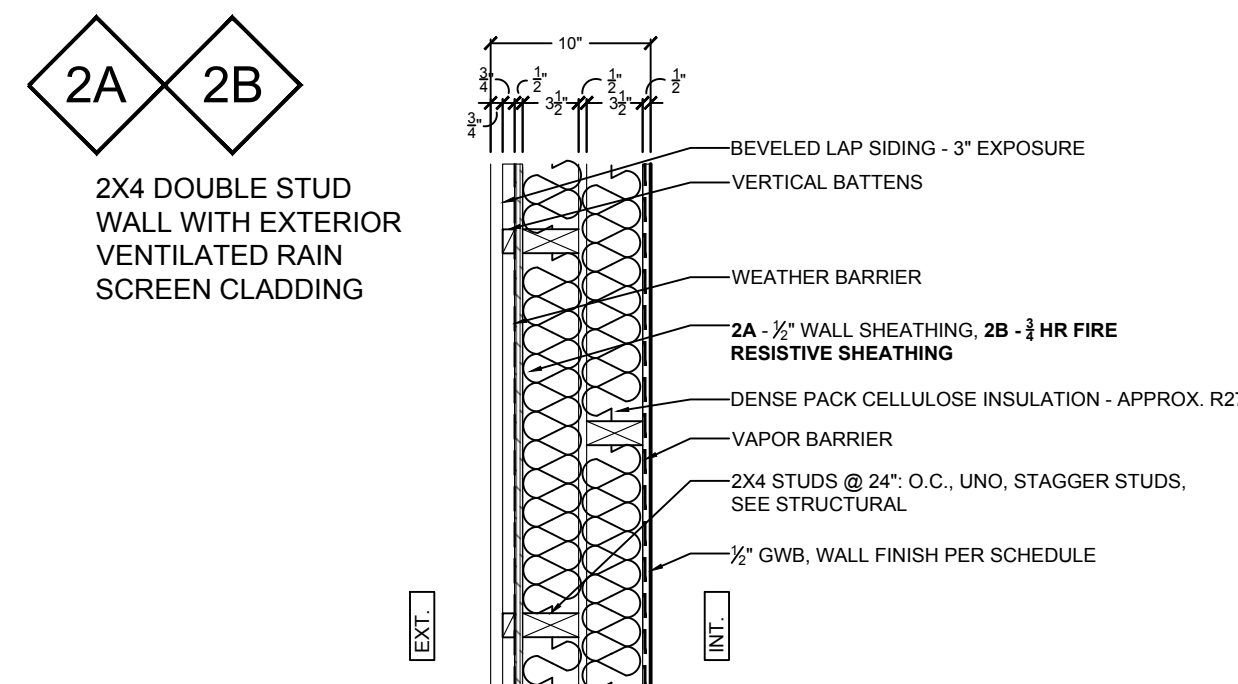
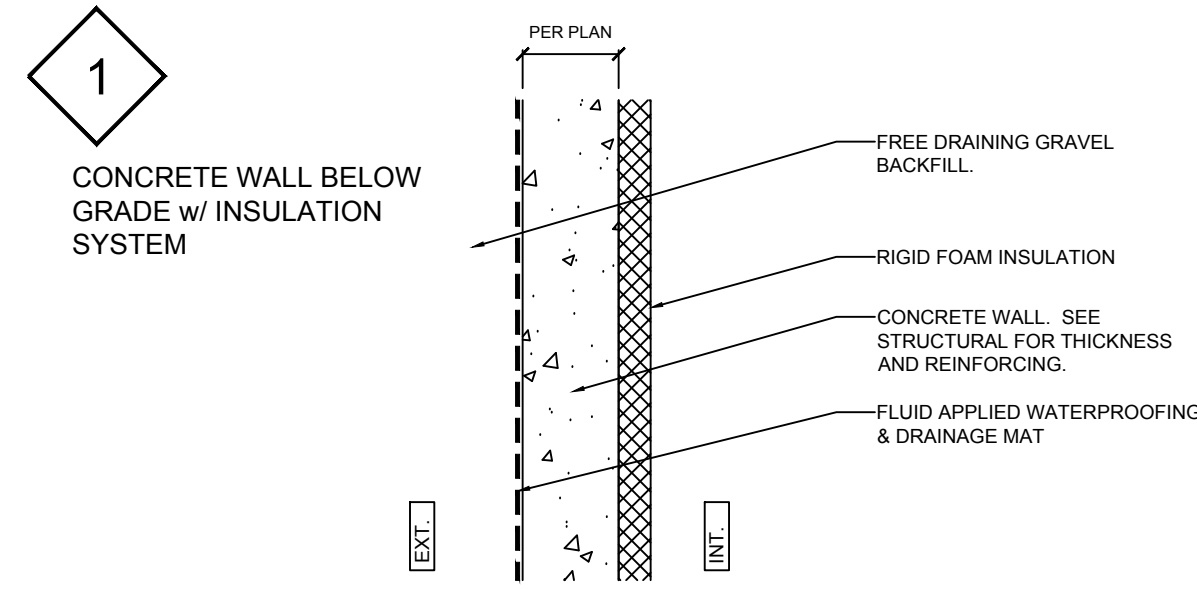


1 | ARCHITECTURAL SITE PLAN
1/8" = 1'

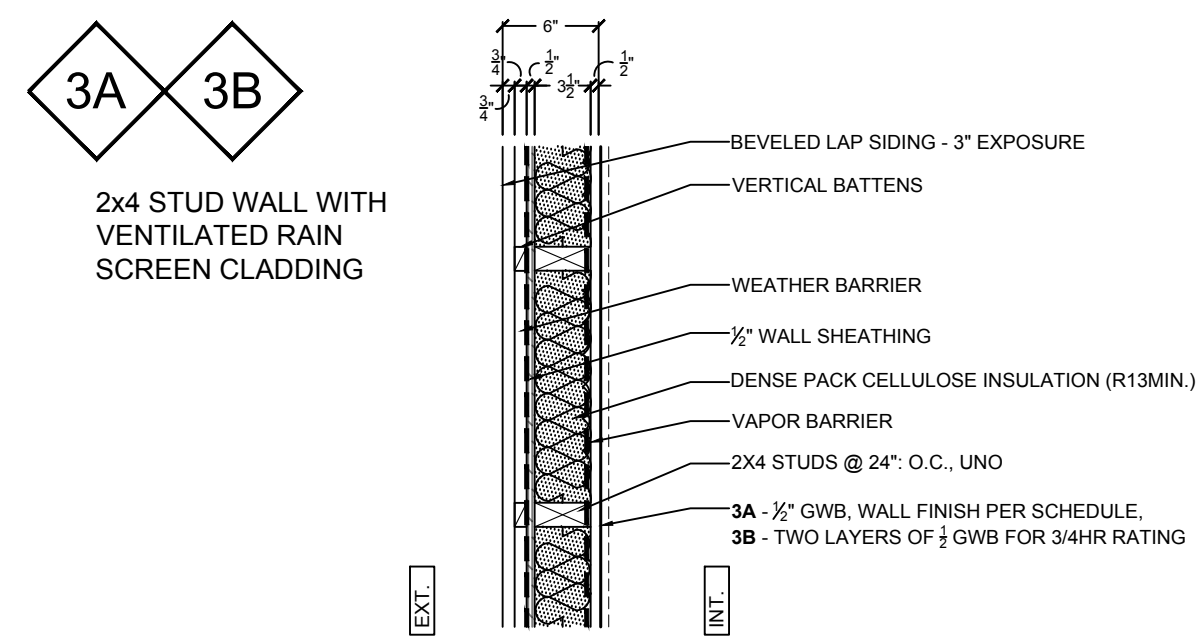
*LANDSCAPE PLANTING
SHOWN FOR REFERENCE

REVISIONS

EXTERIOR WALL TYPES

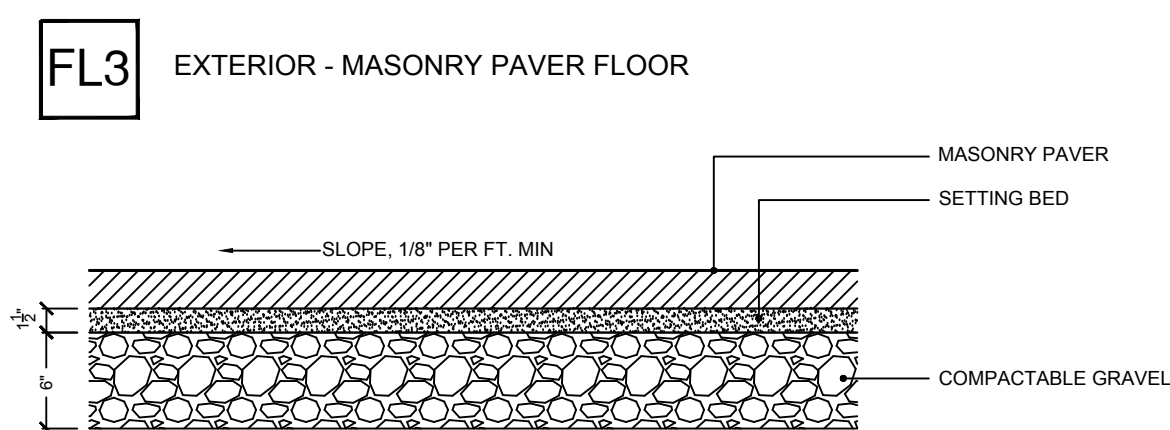
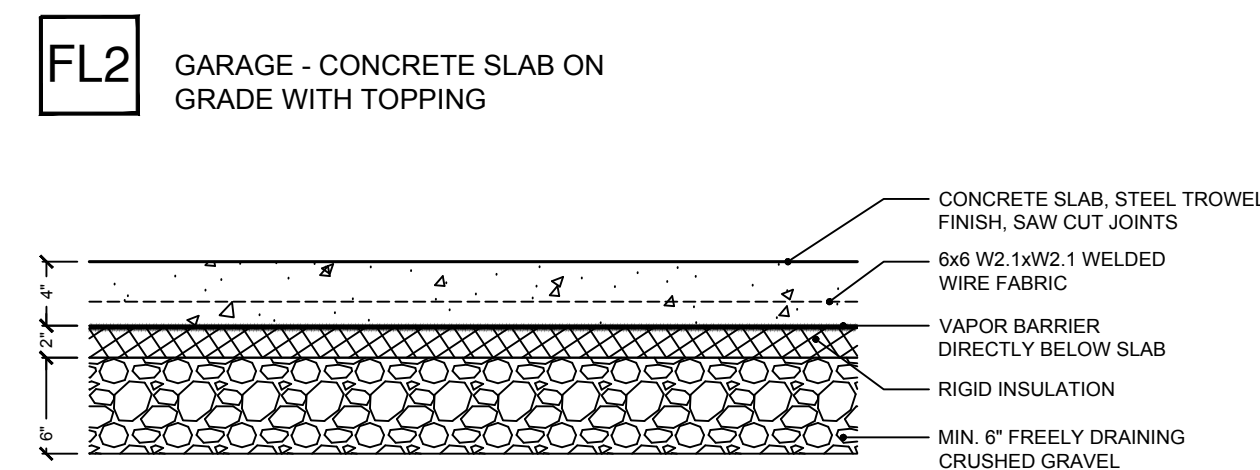
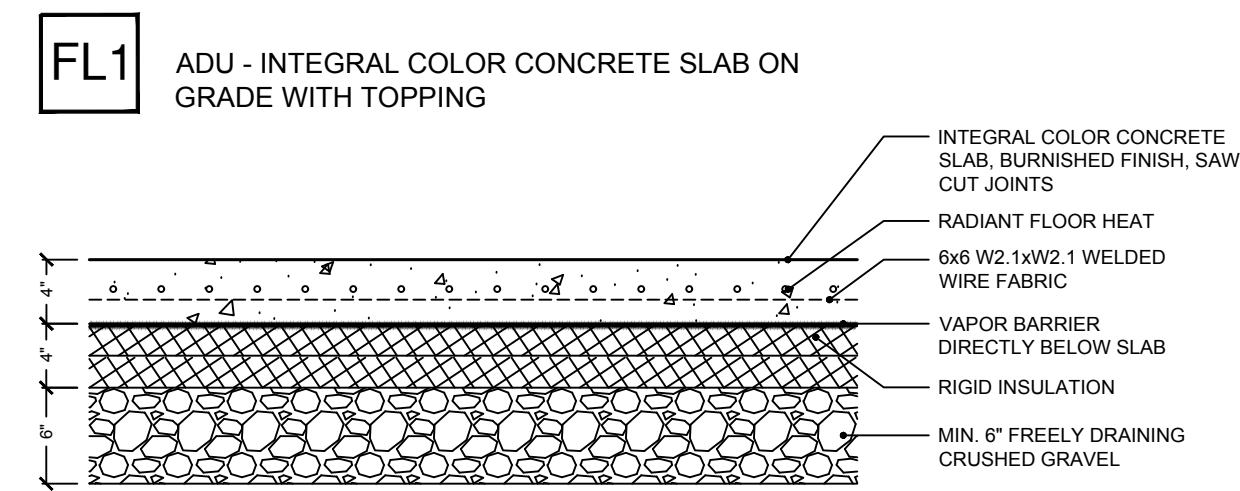


2B - RATED WALL PER Wis. Admin. Code SPS § SPS 321.08

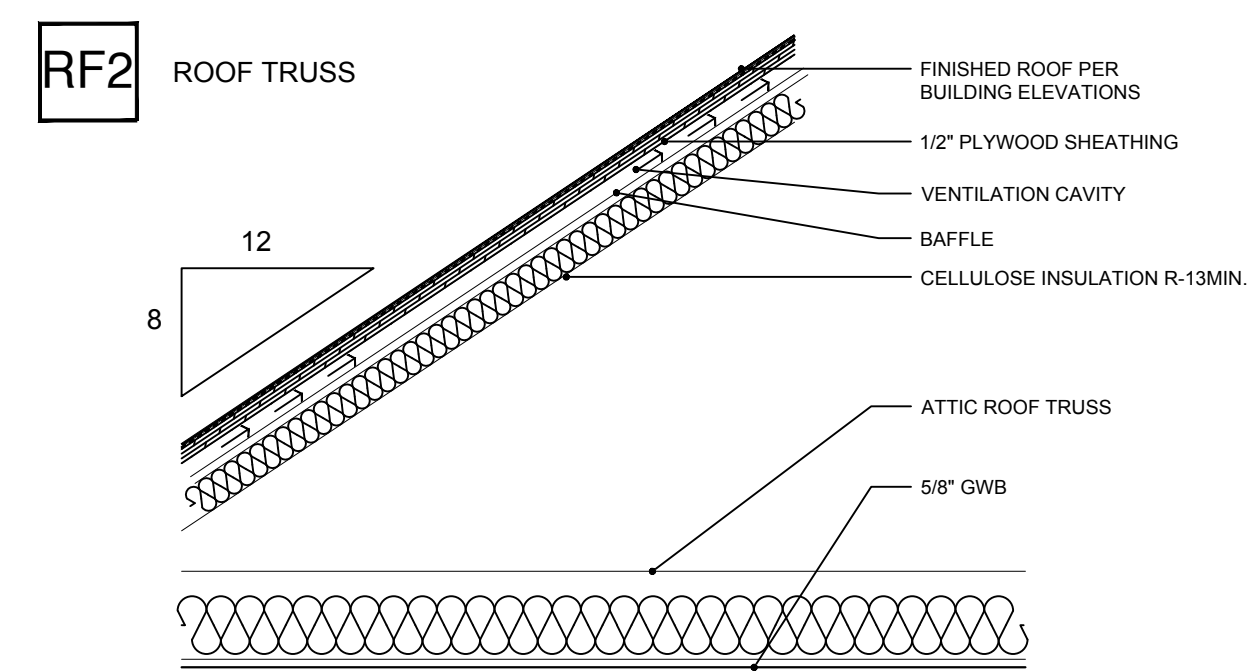
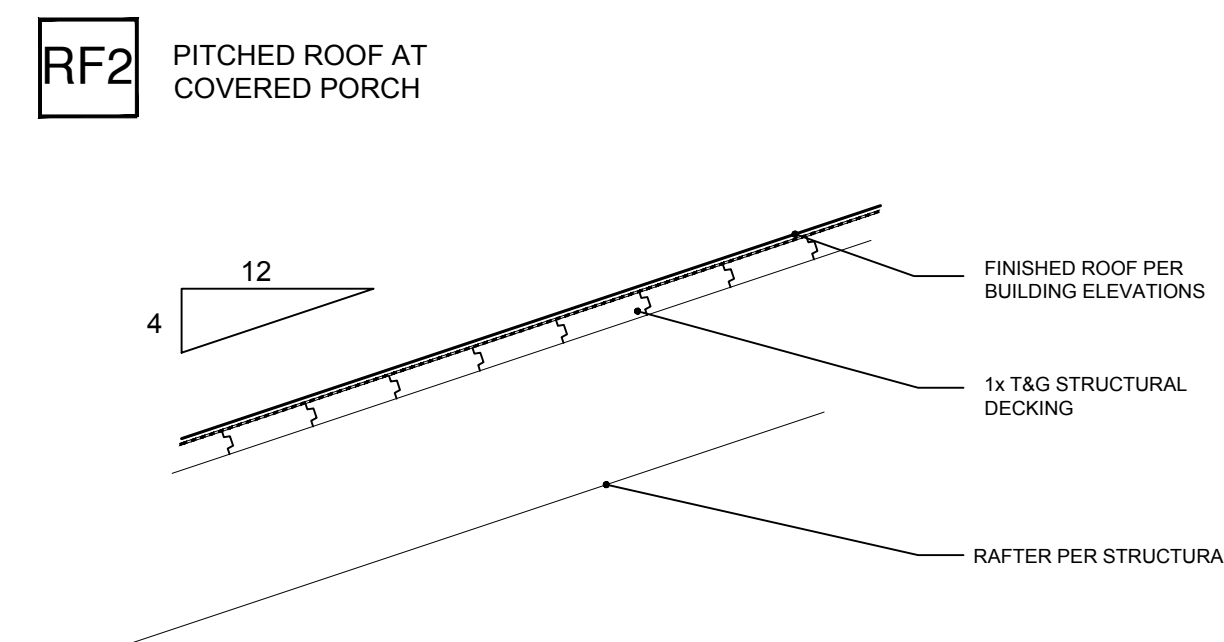
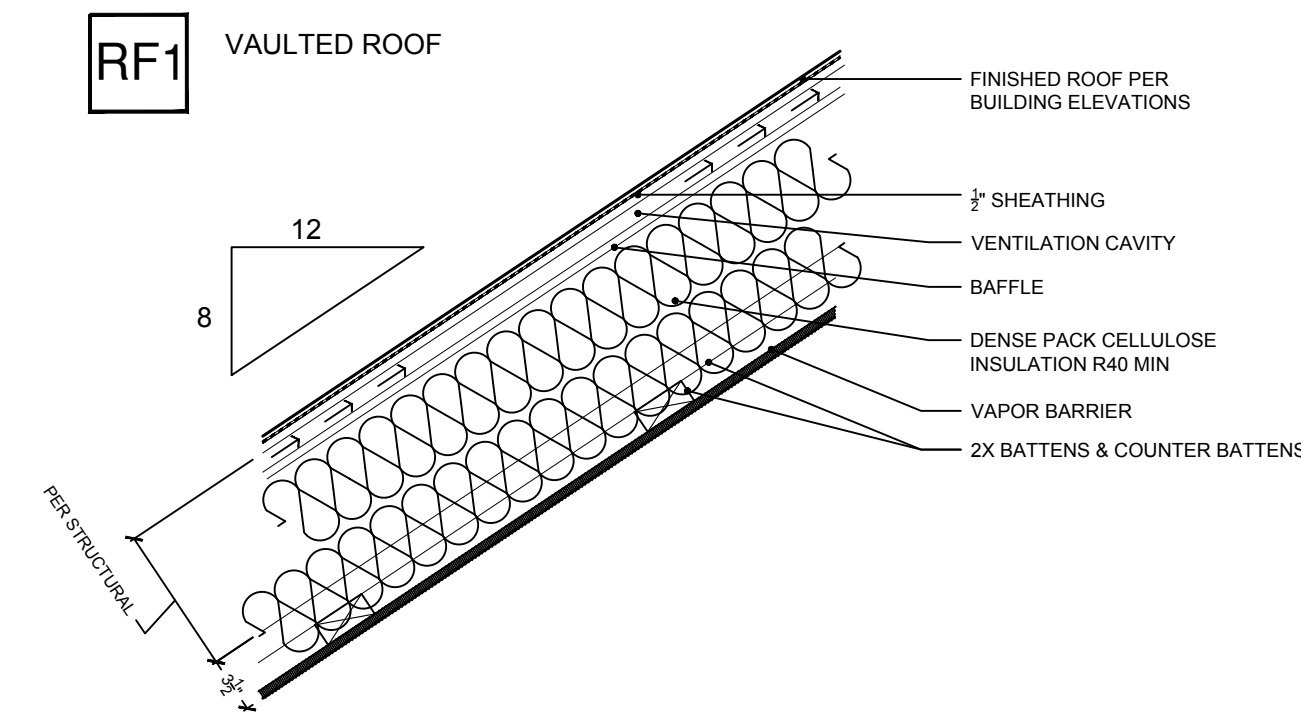


3B - RATED WALL PER Wis. Admin. Code SPS § SPS 321.08 (a)(c)

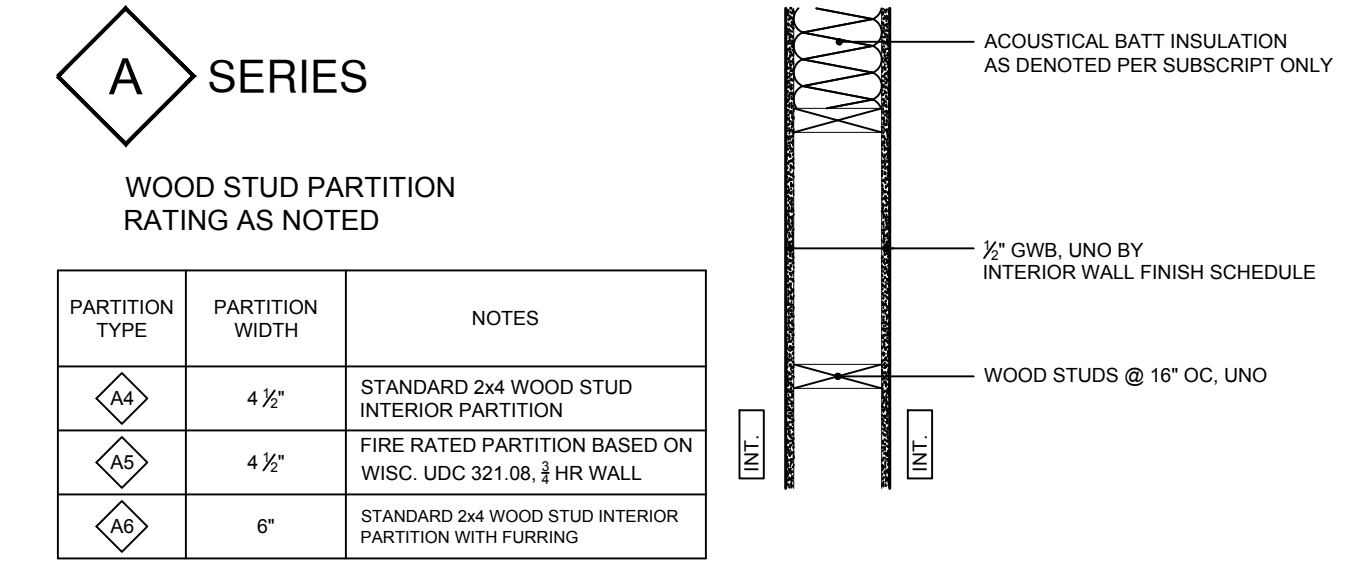
FLOOR ASSEMBLIES



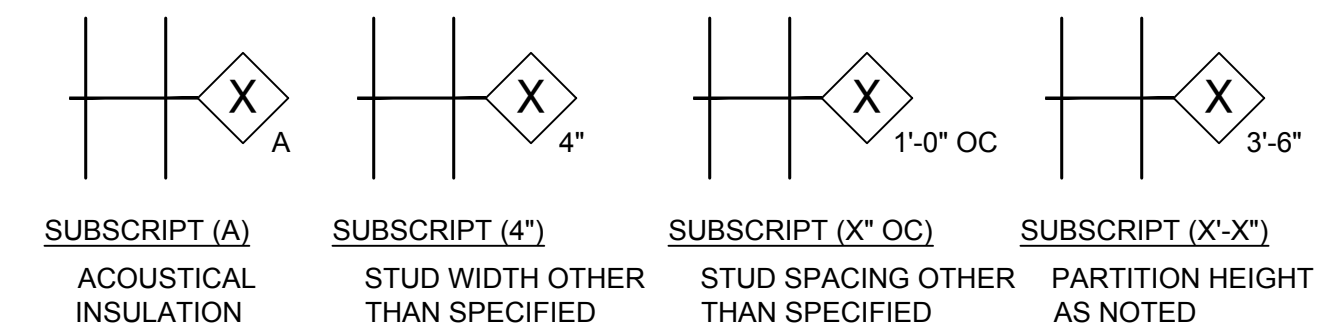
ROOF ASSEMBLIES



INTERIOR WALL TYPES



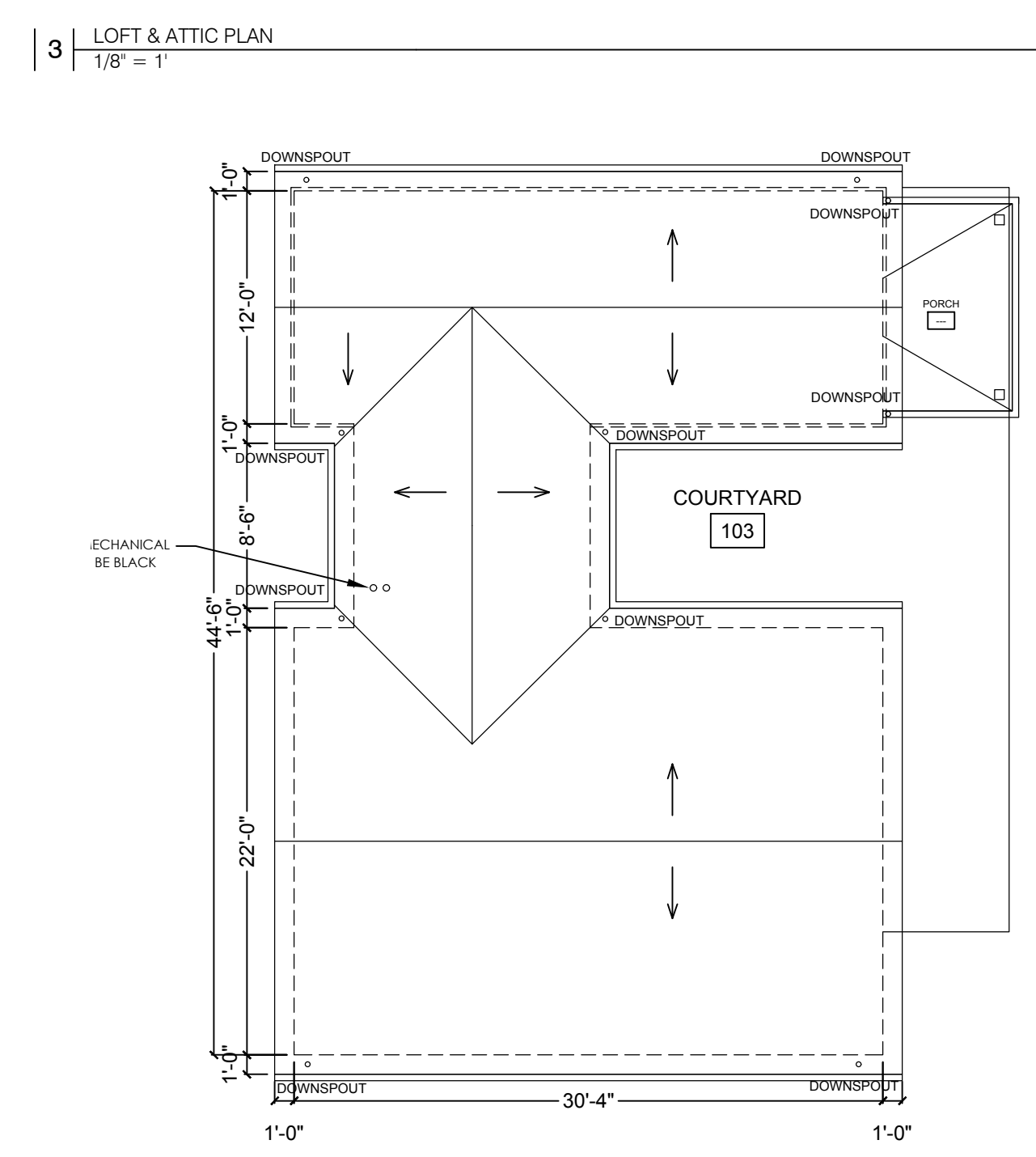
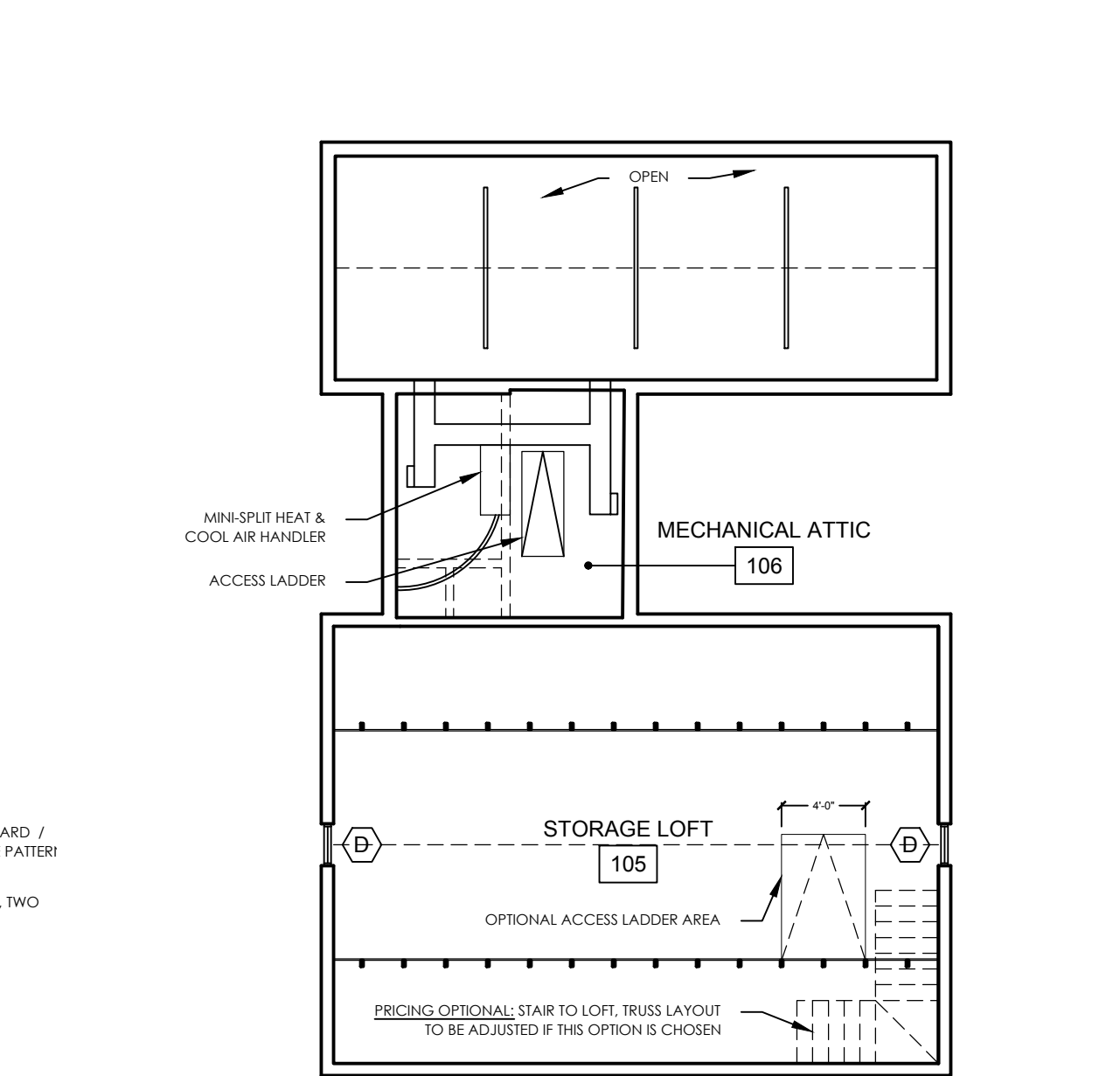
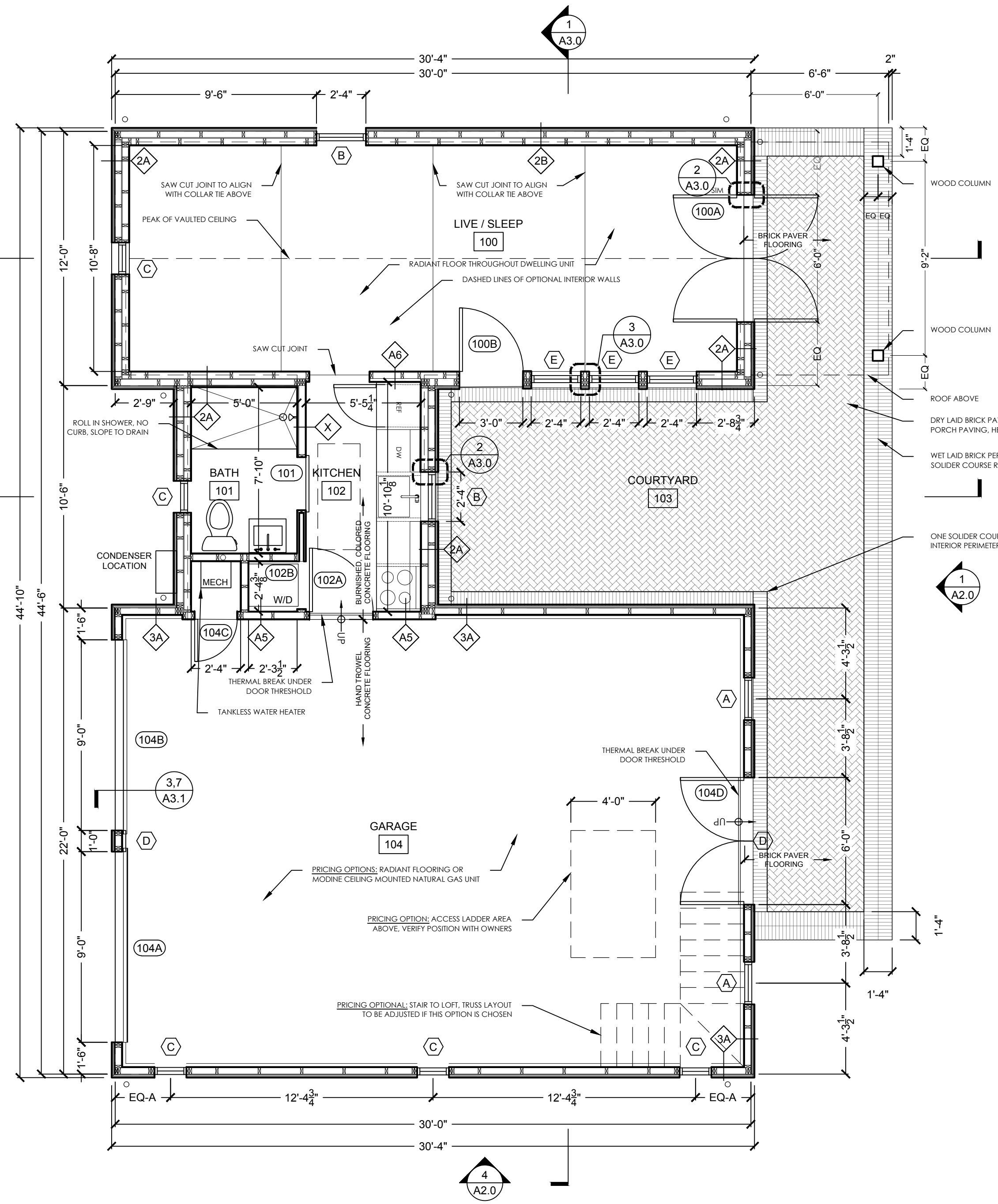
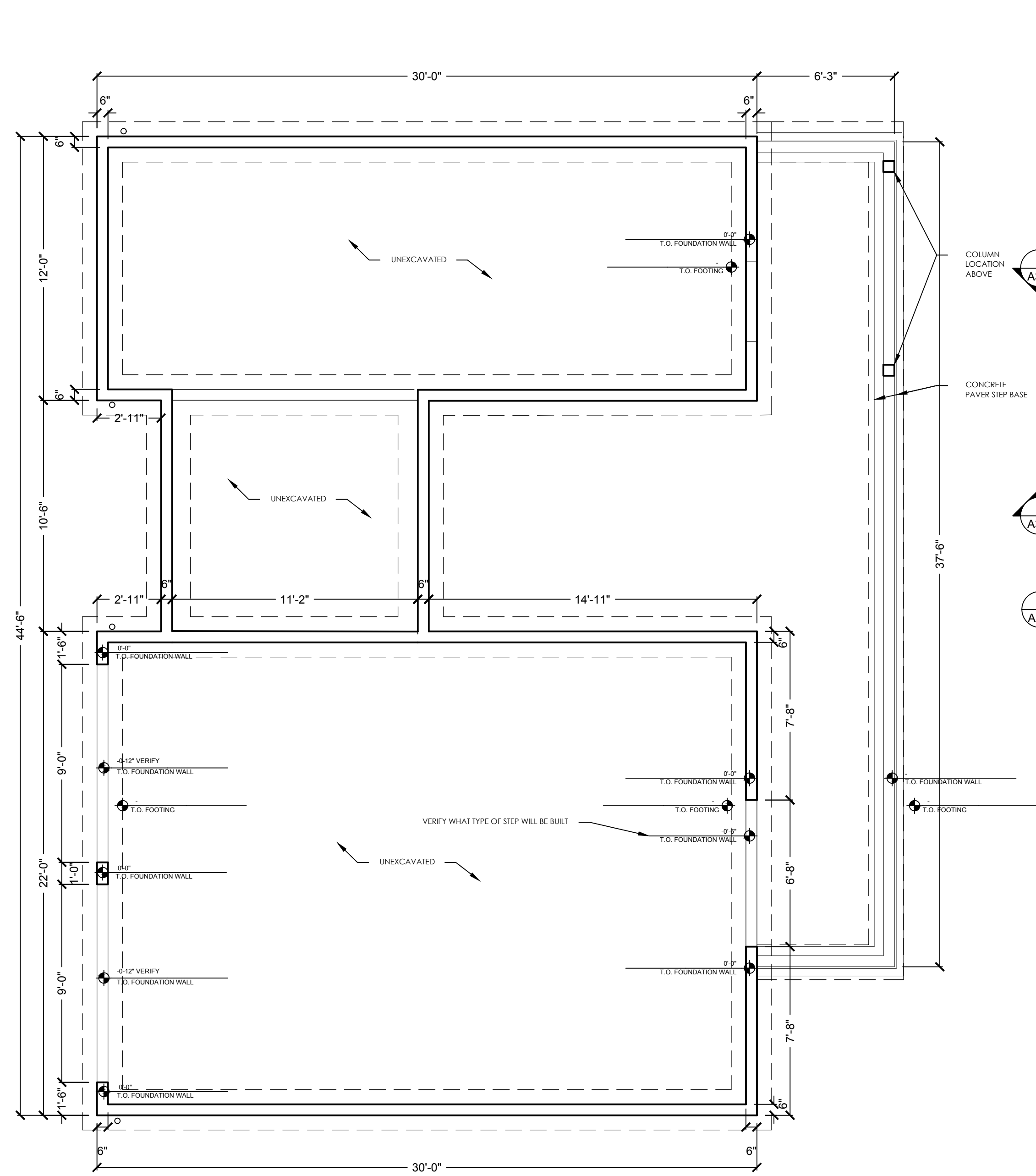
INTERIOR PARTITION SUBSCRIPT KEY



INTERIOR PARTITION NOTES

- ALL INTERIOR PARTITIONS SHALL BE TYPE "A4" UNLESS NOTED OTHERWISE.
- ALL ELEMENTS OF ACOUSTIC RATED PARTITIONS SHALL EXTEND TO ROOF OR FLOOR DECK ABOVE AND ALL JOINTS AND PENETRATIONS OF ACOUSTIC RATED PARTITIONS SHALL BE FILLED AND SEALED.
- REFER TO "INTERIOR PARTITION TYPE SUBSCRIPT KEY" FOR SYMBOLS USED TO IDENTIFY ADDITIONAL REQUIREMENTS OR MODIFICATIONS TO BASIC PARTITION TYPES.
- PARTITION REQUIREMENTS SHOWN ARE CONSIDERED MINIMUM STANDARDS. WHERE CONDITIONS OF THE WORK CAUSE PARTITION(S) TO EXCEED LIMITS RECOMMENDED BY MANUFACTURER, REINFORCE PARTITION(S).
- PENETRATIONS IN RATED PARTITIONS AND CONNECTIONS OF THE PARTITIONS TO OTHER PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDED DETAILS AND IN COMPLIANCE WITH APPLICABLE TESTING AGENCY REQUIREMENTS.
- WHERE A CLEAR DIMENSION OR OPENING IS REQUIRED OR NOTED, MEASURE DIMENSION TO FACE OF PARTITION FINISH.
- INSTALL BLOCKING OR BACKER MATERIAL FOR ATTACHMENT/MOUNTING OF WALL HUNG ITEMS OR EQUIPMENT DESCRIBED IN THE DOCUMENTS.
- PROVIDE WATER RESISTANT TYPE GYPSUM BOARD AT AREAS THAT ARE SCHEDULED TO RECEIVE CERAMIC TILE FINISH AND AT AREAS SO REQUIRED BY CODE TO RECEIVE IT (EXCEPT AS NOTED IN NOTE "I" BELOW).
- PROVIDE TILE BACKER BOARD AT SHOWER AREAS AND AT OTHER WET AREAS THAT ARE SCHEDULED IN ROOM FINISH SCHEDULE TO RECEIVE CERAMIC TILE FINISH.
- INSTALLATION OF GYPSUM BOARD, BACKER BOARD AND BASE BOARD SHALL CONFORM TO REQUIREMENTS FOR FIRE RATINGS AND ACOUSTICAL RATINGS.
- WHERE PARTITIONS AND/OR FURRING MEET, MAINTAIN A FLUSH SURFACE ON THE SIDE WHERE THE FINISH IS STRAIGHT OR CONTINUOUS UNLESS NOTED OTHERWISE.

REVISIONS



PROJECT GENERAL NOTES

- A. THESE GENERAL NOTES APPLY TO THE CONSTRUCTION DOCUMENTS AND SHALL GOVERN UNLESS NOTED OTHERWISE BY GENERAL NOTES OR KEYNOTES ON SPECIFIC SHEETS.
- B. NOTIFY DESIGNER PROMPTLY IF INFORMATION SHOWN IN ONE CONSTRUCTION DOCUMENT CONFLICTS WITH INFORMATION SHOWN ON ANOTHER.
- C. NOTIFY DESIGNER PROMPTLY IF CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH THE CURRENT APPLICABLE CODES AND REGULATIONS.
- D. COORDINATE EXACT LOCATIONS OF LIGHT FIXTURES, SPEAKERS, SMOKE DETECTORS, ACCESS PANEL, HVAC DUCTS, DIFFUSERS, REGISTERS, AND OTHER SUCH CEILING ITEMS WITH MECHANICAL, ELECTRICAL AND OTHER TRADES. NOTIFY ARCHITECT PROMPTLY IF ANY LOCATIONS CONFLICT WITH ARCHITECTURAL REFLECTED CEILING PLANS.
- F. TYPICAL FLOOR PLAN DIMENSIONS ARE SHOWN TO THE FINISH FACE OF WALLS, CABINETS AND TRIM UNLESS NOTED OTHERWISE. WHERE A CLEAR DIMENSION OR OPENING IS REQUIRED OR NOTED, MEASURE DIMENSION TO FACE OF PARTITION FINISH.
- G. PROVIDE WATER RESISTANT TYPE GYPSUM BOARD AT AREAS THAT ARE SCHEDULED TO RECEIVE CERAMIC TILE FINISH AND AT AREAS SO REQUIRED BY CODE TO RECEIVE IT.
- H. PROVIDE TILE BACKER BOARD AT WET AREAS THAT ARE SCHEDULED IN ROOM FINISH SCHEDULE TO RECEIVE CERAMIC TILE FINISH.
- I. INSTALL BLOCKING OR BACKER MATERIAL FOR ATTACHMENT/MOUNTING OF WALL HUNG ITEMS OR EQUIPMENT DESCRIBED IN THE DOCUMENTS.
- J. PROVIDE ACOUSTIC INSULATION BETWEEN ALL BEDROOMS AND BATHROOMS AND POWDER ROOMS. ALL ELEMENTS OF ACOUSTIC RATED PARTITIONS SHALL EXTEND TO ROOF OR FLOOR DECK ABOVE AND ALL JOINTS AND PENETRATIONS OF ACOUSTIC RATED PARTITIONS SHALL BE FILLED AND SEALED.
- K. ALL ROOF & WALL PENETRATIONS & VENTS, SUCH AS STACK VENT PIPES, DRYER VENT TO MATCH THE FINISH COLOR OF ADJACENT SURFACE. VERIFY COLOR WITH ARCHITECT.
- L. PENETRATIONS IN RATED PARTITIONS AND CONNECTIONS OF THE PARTITIONS TO OTHER PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDED DETAILS AND IN COMPLIANCE WITH APPLICABLE TESTING AGENCY REQUIREMENTS.
- M. CONTAIN ALL DUST & DEBRIS TO CONSTRUCTION AREA.
- N. HVAC: COORDINATE POSITION OF GRILLES WITH DESIGNER FOR PLACEMENT IN RELATION TO WALL CLADDING, FURNITURE ARRANGEMENTS, CABINETS, ETC. EVALUATE FURNACE. PROVIDE PRICING OPTION FOR NEW HIGH EFFICIENCY UNITS IF NEEDED.
- O. WINDOWS: ALL NEW WINDOWS TO BE WOOD WINDOWS TO COMPLY WITH CITY OF MILWAUKEE HISTORIC APPROVALS.
- P. SALVAGE REMOVED WINDOWS, CABINET DOORS AND ANY OTHER MATERIAL FOR REPURPOSING OR TAKEN TO SECOND HAND STORE.

REVISIONS

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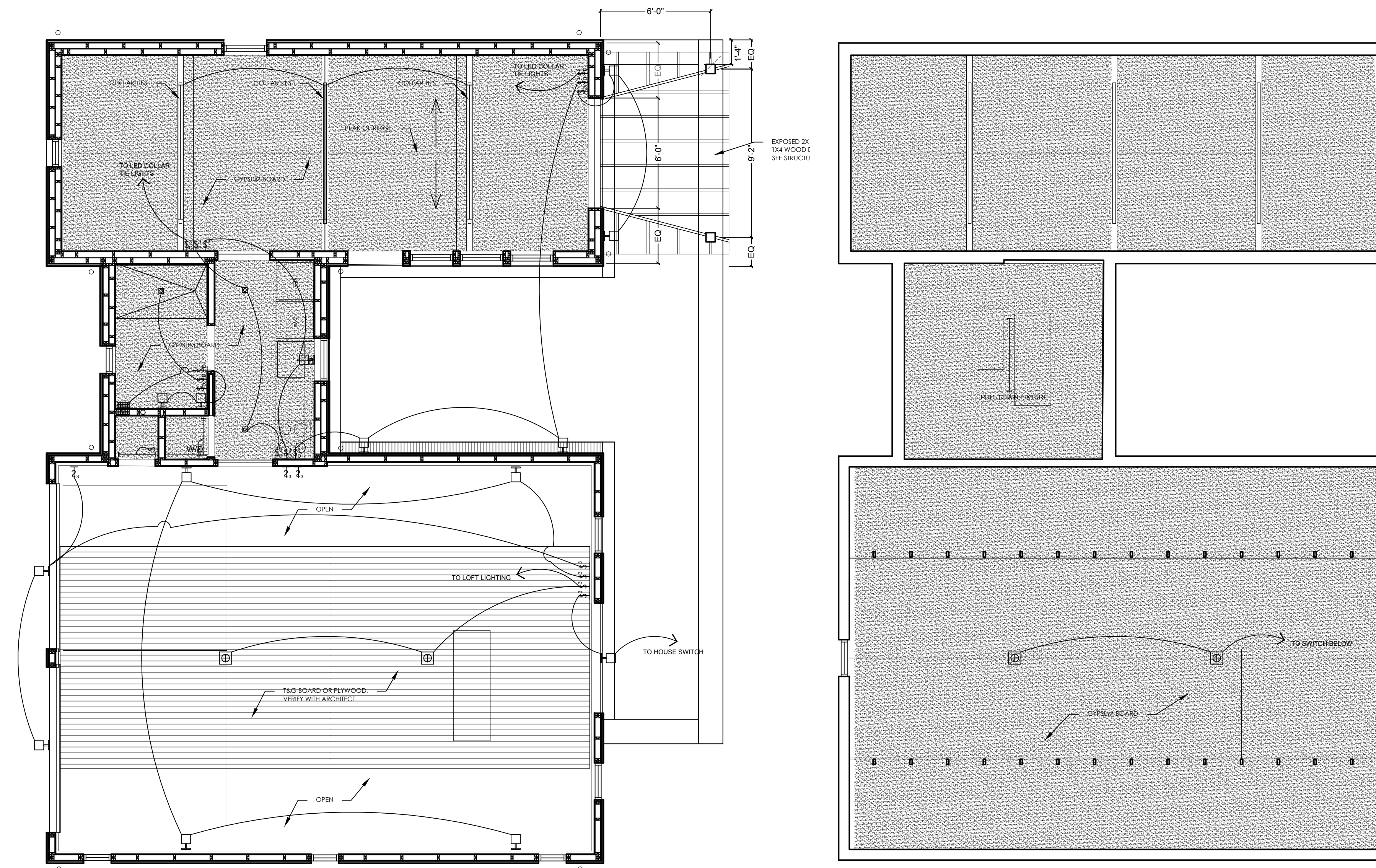
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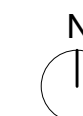
CORE 4 ENGINEERING

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Madison, WI 53705
262.236.9372



1 | MAIN LEVEL RCP & LIGHTING PLAN
1/4" = 1'

2 | LOFT & ATTIC LEVEL RCP & LIGHTING PLAN
1/4" = 1'



GENERAL NOTES		LIGHTING KEY	
A.	OUTLETS SHOWN ON PLAN INDICATE PLACEMENT OF PARTICULAR OUTLETS TO WORK WITH INTERIOR ELEVATION DESIGN.	L1	RECESSED 3" CAN LIGHT, TRIM AND BAFFLE TO BE WHITE.
B.	REVIEW INTERIOR ELEVATIONS FOR PLACEMENT AND ARRANGEMENT OF PARTICULAR SWITCHES AND OUTLETS.	L2	CEILING FAN
C.	ALL OUTLETS LOCATED ON TILE BACKSLASHES TO BE HORIZONTAL. HAVE WHITE RECEPTACLE AND BRUSHED STAINLESS STEEL COVER PLATE.	L3	WALL SCONCE
D.	ALL OUTLETS AND SWITCHES ON GYPSUM BOARD WALL TO BE VERTICAL. HAVE WHITE RECEPTACLE AND COVER PLATE.	L4	PENDANT
		L5	UNDER COUNTER LED / FLOURESCENT LIGHTING STRIP
		L11	CEILING MOUNTED LIGHTING FIXTURE
		L7	EXHAUST FAN
		L8	FIRE ALARM LOCATION. VERIFY LOCATION WITH ARCHITECT
		L9	OUTLET, REQUESTED LOCATION

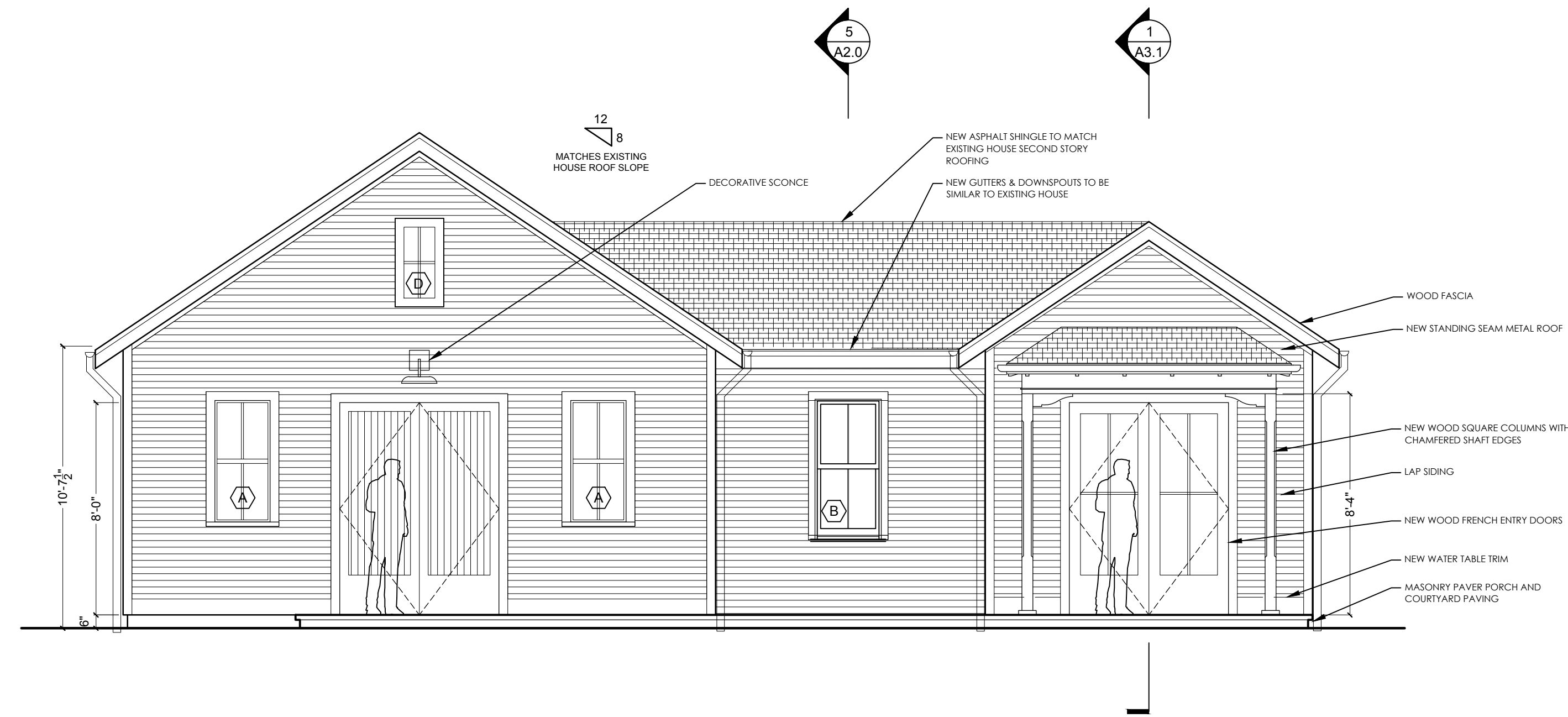
REVISIONS

**CONSTRUCTION
DOCUMENTS**

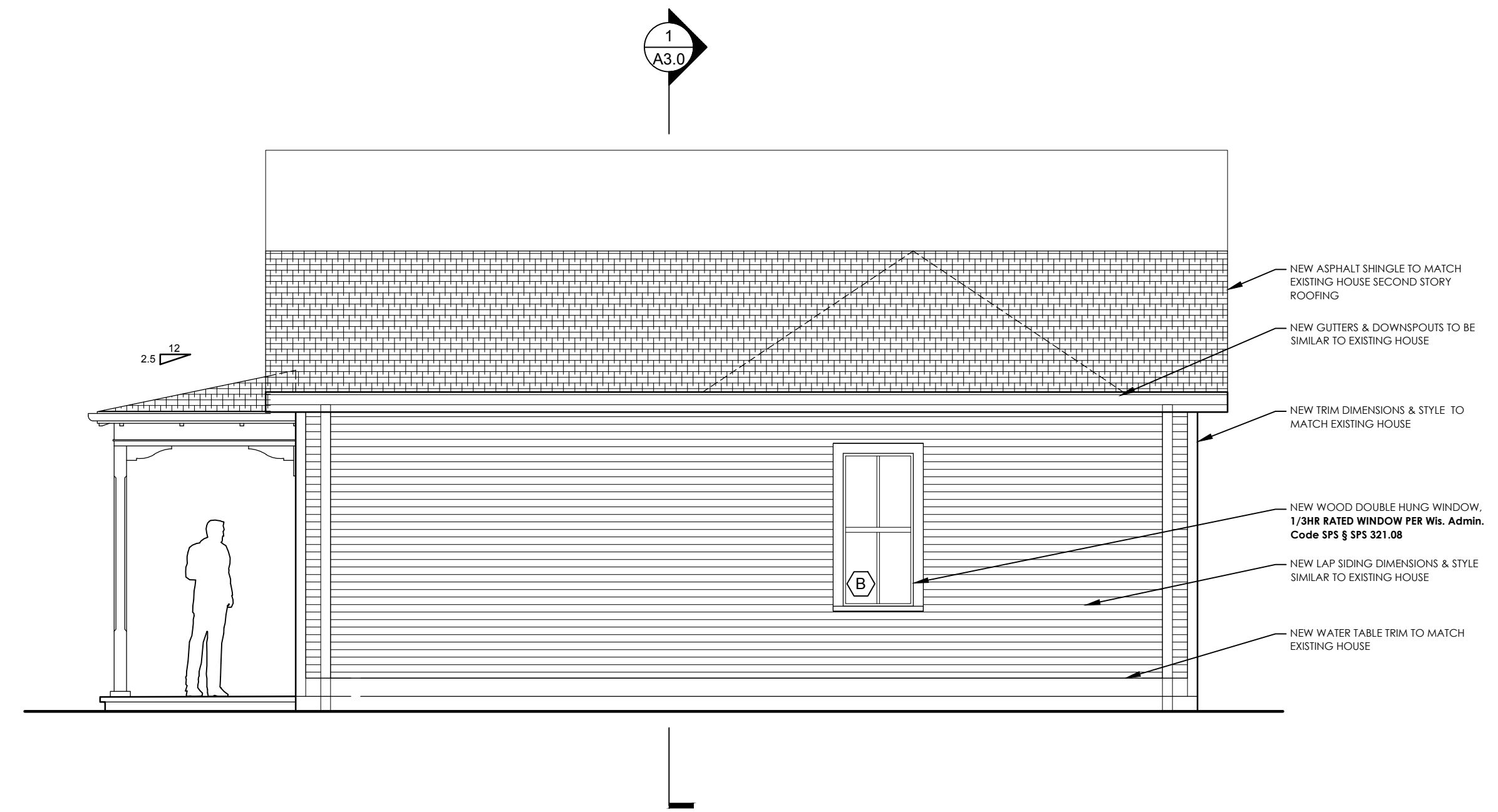
NOVEMBER 20, 2020

GARAGE & ADU
RCP & LIGHTING

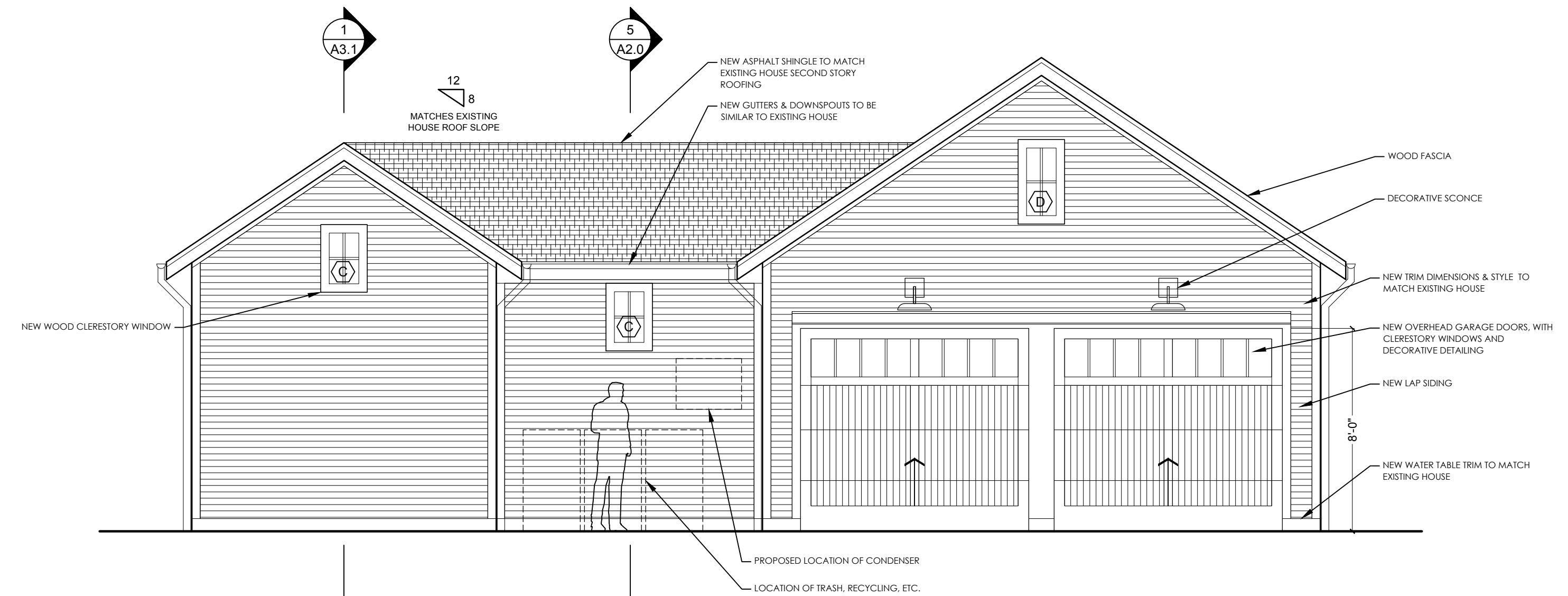
A1.1



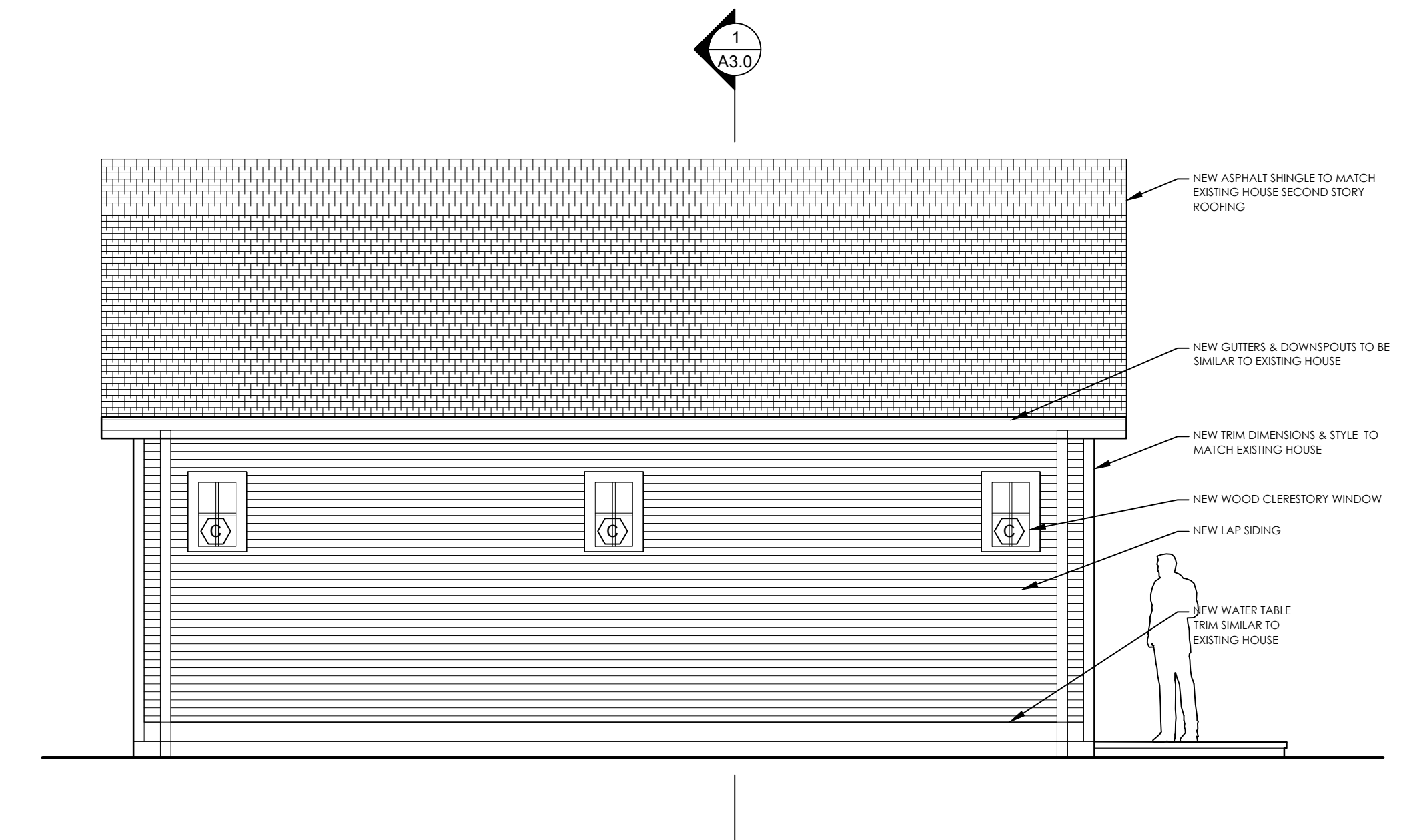
1 | EAST ELEVATION
1/4" = 1'



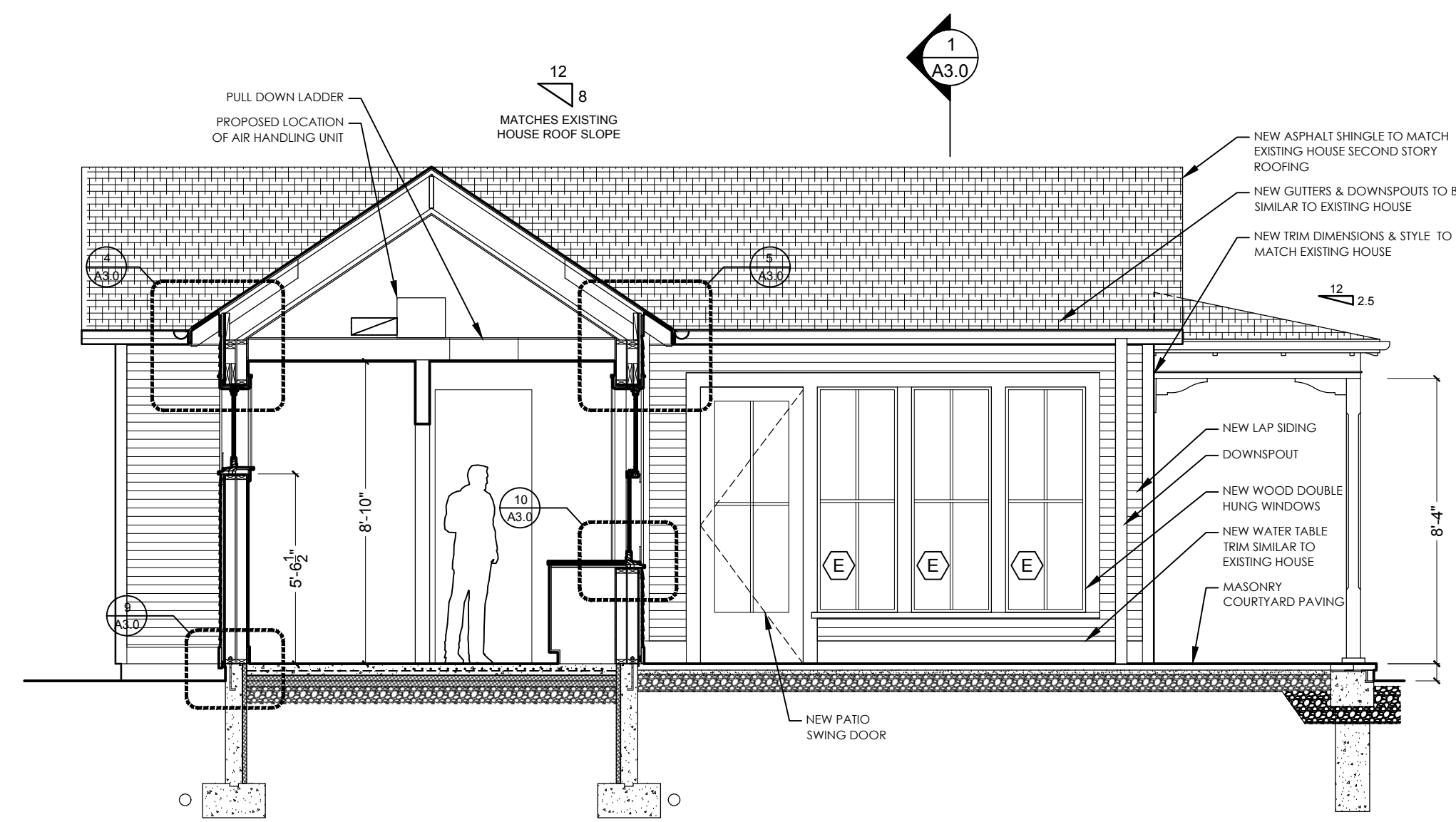
2 | NORTH ELEVATION
1/4" = 1'



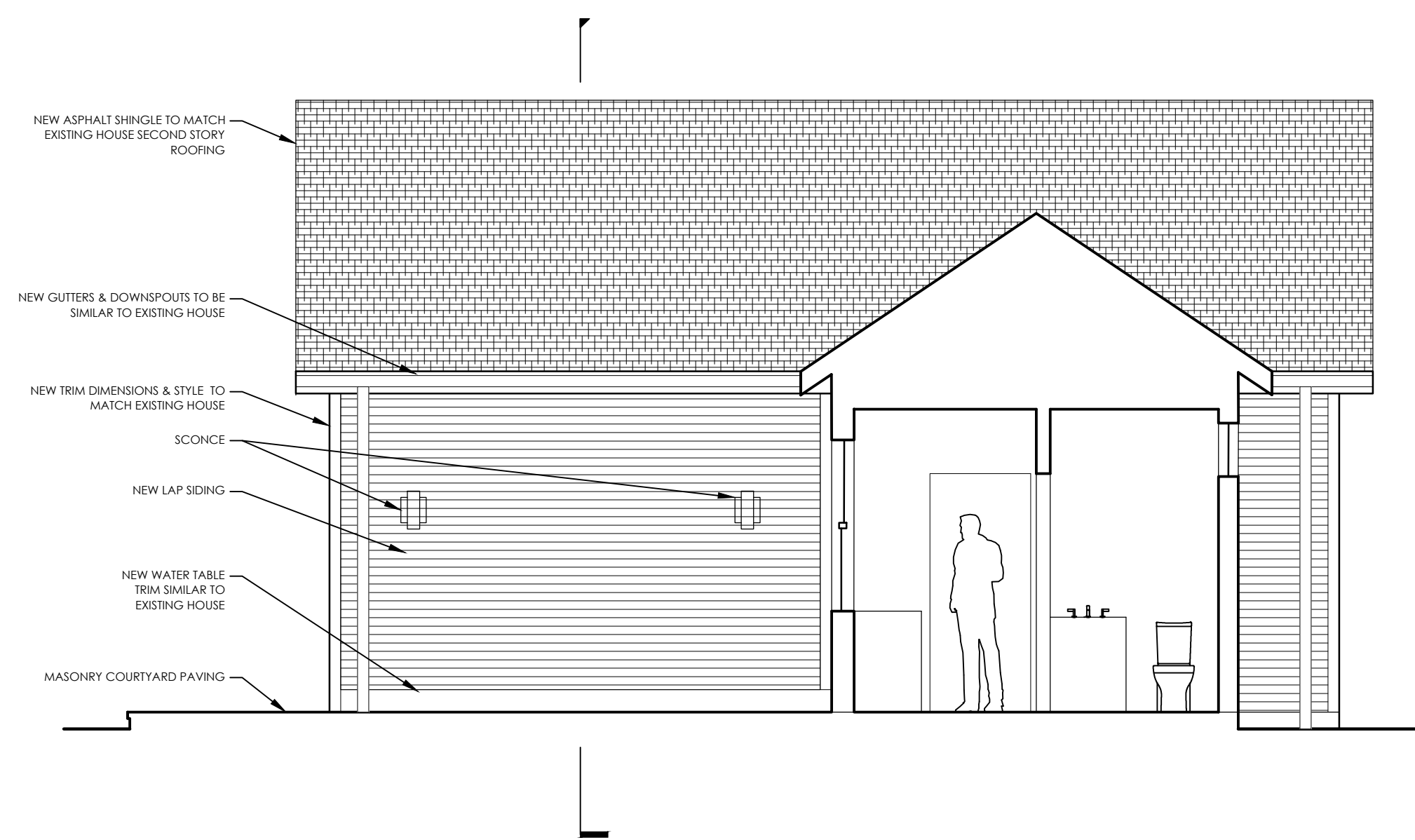
3 | WEST ELEVATION
1/4" = 1'



4 | SOUTH ELEVATION
1/4" = 1'



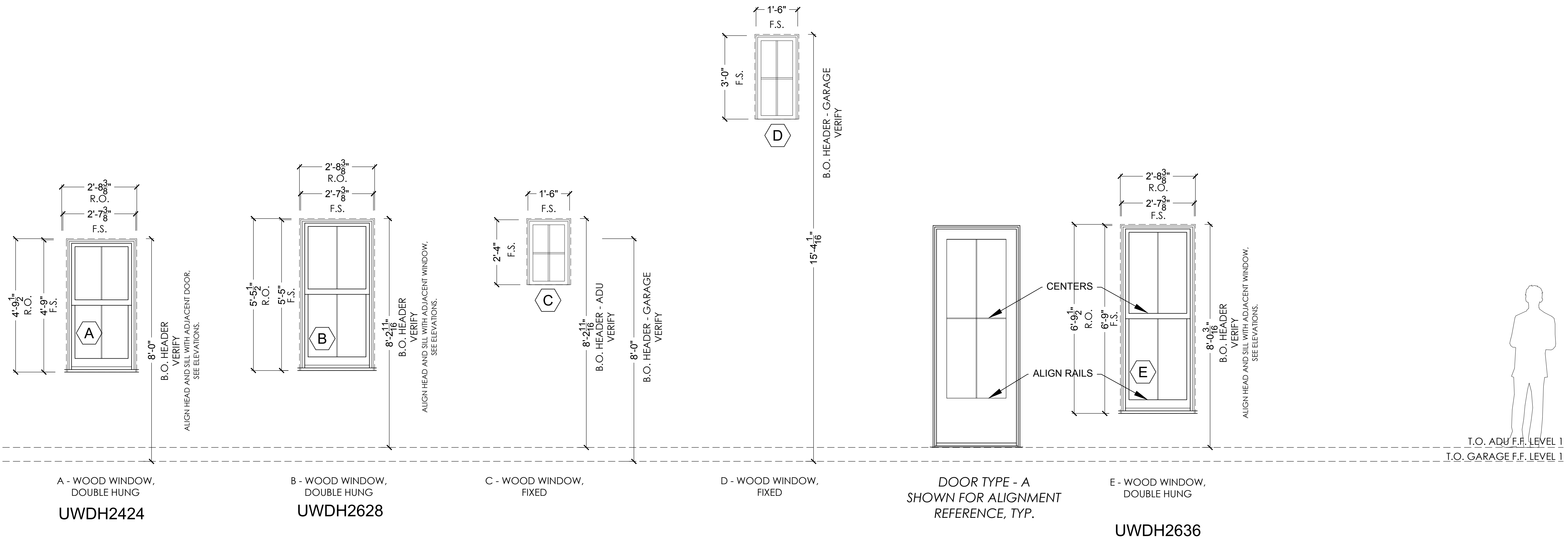
5 | SOUTH COURTYARD ELEVATION / SECTION
1/4" = 1'



6 | NORTH COURTYARD ELEVATION / SECTION
1/4" = 1'

REVISIONS

WINDOW TYPES



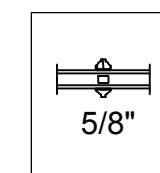
*WINDOW DESIGN BASED ON MARVIN ULTIMATE WOOD SERIES WINDOWS. NUMBERS SHOWN BELOW WINDOW TYPES INDICATE MODEL SELECTED. ALTERNATE WINDOW MANUFACTURER SELECTION IS ACCEPTABLE, AND SHOULD BE REVIEWED BY ARCHITECT

WINDOW SCHEDULE

WINDOW TYPE	MANUFACTURER	SERIES/TYPE	GLAZING	UNIT SIZE (WxH)	R.O. (WxH)	DETAILS			NOTES
						HEAD	JAMB	SILL	
A	MARVIN	WOOD ULTIMATE DOUBLE HUNG	INSULATED, LOW E	2'-7-3/8" X 4'-9"	2'-8-3/8" X 4'-9-1/2"	8/A3.0	2/A3.0	12/A3.0	1, 3
B	MARVIN	WOOD ULTIMATE DOUBLE HUNG	INSULATED, LOW E	2'-7-3/8" X 5'-5"	2'-8-3/8" X 5'-5-1/2"	8/A3.0	2/A3.0	12/A3.0	1, 2, 3
C	MARVIN	WOOD ULTIMATE DOUBLE HUNG	INSULATED, LOW E	1'-6" X 2'4"		8/A3.0 SIMILAR	2/A3.0 SIMILAR	12/A3.0	3
D	MARVIN	WOOD ULTIMATE DOUBLE HUNG	INSULATED, LOW E	1'-6" X 3'-0"		8/A3.0 SIMILAR	2/A3.0 SIMILAR	12/A3.0	3
E	MARVIN	ULTIMATE WOOD CASEMENT	INSULATED, LOW E	2'-7-3/8" X 6'-9"	2'-8-3/8" X 6'-9-1/2"	8/A3.0	3/A3.0	12/A3.0 SIMILAR	1, 3

NOTES

- PROVIDE HIGHEST TRANSPARENCY SCREEN. VERIFY WITH DESIGNER / ARCHITECT
- NORTH ELEVATION 2/A2.0 WINDOW NEEDS TO BE FIRE RATED PER Wis. Admin. Code SPS § SPS 321.08 - 1/2 HR RATING
- ALL WINDOWS TO HAVE 1/8" STANDARD SIMULATED DIVIDED LITES WITH SPACER BAR



WINDOW GENERAL NOTES

- IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS IS UNCLEAR, INCOMPLETE IN ITS DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK, PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK.
- NOTIFY ARCHITECT PROMPTLY IF THE INFORMATION SHOWN IN ONE PORTION OF THE CONSTRUCTION DOCUMENTS CONFLICTS WITH THAT SHOWN IN ANOTHER.
- NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS.
- ATTENTION:** CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK. DIMENSIONS SHOWN ON FRAME ELEVATIONS MAY NOT ACCURATELY REFLECT FIELD CONDITIONS.
- WINDOW/DOOR MANUFACTURER TO PROVIDE SHOP DRAWINGS FOR REVIEW. CONTRACTOR TO REVIEW DRAWINGS FOR COMPLIANCE WITH CONTRACT DOCUMENTS AND FIELD CONDITIONS PRIOR TO SUBMITTING TO ARCHITECT.
- GLASS TO BE 1" CLEAR, LOW E COATING, WITH ARGON FILL.
- PROVIDE TEMPERED SAFETY GLASS IN ALL LOCATIONS NOTED ON DRAWINGS AND PER WISCONSIN SPS-21.05.3
- *DIMENSIONS SHOWN ARE INTERIOR TRIMMED OPENING FRAME SIZES TO MATCH WITH EXISTING. VERIFY ALL ROUGH OPENINGS AND SHIM SPACES DIMENSIONS WITH MANUFACTURER'S RECOMMENDED INSTALLATION TOLERANCES.
- OPERATORS AND OPERATING DIRECTION AS SHOWN IN ELEVATIONS
- DIMENSIONS TO INTERMEDIATE MULLIONS WITHIN FRAME ARE TO C.L.'S.
- SEE ELEVATIONS FOR ASSEMBLIES AND OPERATIONS.

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NOVEMBER 20, 2020

GARAGE & ADU
WINDOW TYPES &
SCHEDULE

A2.1

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DOOR TYPES

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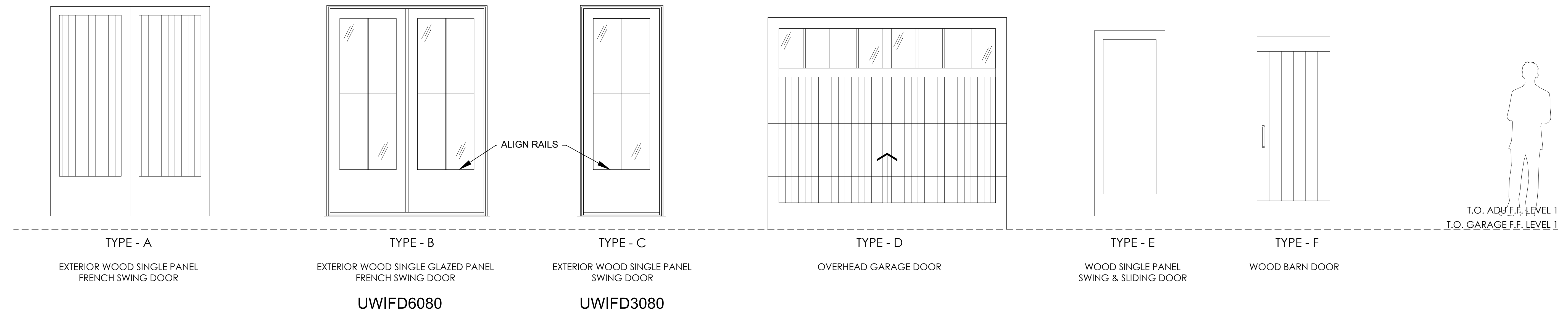
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DOOR SCHEDULE

LOCATION			DOOR							FRAME			INFORMATION					
DOOR No.	ROOM NAME OR DESCRIPTION	ROOM No.	SIZE			DOOR U.N.O.	TYPE	MATERIAL	FINISH	GLAZING	TYPE	MAT.	DETAIL NO.			LABEL	HDWR GROUP NOTES	SCHEDULE NOTES
			WIDTH	HEIGHT	1 3/4" THICK								HEAD	JAMB	SILL			
FIRST FLOOR																		
100	LIVE / SLEEP	100A	(2) 3'-0"	8'-0"	--	B	WD	PAINTED	INSUL	--	WD	5/A3.1	SEE WINDOWS DETAIL FOR SIMILAR	9/A3.1	3	1, 2		
100	LIVE / SLEEP	100B	3'-0"	8'-0"	--	C	WD	PAINTED	INSUL	--	WD	5/A3.1		9/A3.1	3	1, 2		
101	BATH	101	3'-0"	7'-0"	--	F	WD	PAINTED		--	WD				3	1, 2		
102	KITCHEN	102A	3'-0"	7'-0"	--	E	WD	PAINTED			WD				3	1, 2, 4		
102	KITCHEN	102B	2'-3"	7'-0"	--	E	WD	PAINTED	INSUL		WD			3	1, 2			
104	GARAGE	104A	9'-0"	8'-0"		D	FIBERGLASS	PAINTED	INSUL		MTL	3/A3.1		7/A3.1	3	1, 2		
104	GARAGE	104B	9'-0"	8'-0"		D	FIBERGLASS	PAINTED			MTL	3/A3.1		7/A3.1	3	1, 2		
104	GARAGE	104C	2'-0"	7'-0"		E	FIBERGLASS	PAINTED			FIBERGLASS				3	1, 2, 4		
104	GARAGE	104D	(2) 3'-0"	8'-0"		A	WD	PAINTED			WD	5/A3.1, SIM		9/A3.1, SIM	3	1, 2		

NOTES

- SEE SPECIFICATIONS FOR SERIES & MODEL NUMBER
- SEE SPECIFICATIONS FOR WOOD SPECIES & DETAILED DESCRIPTION
- SEE SPECIFICATIONS HARDWARE SELECTIONS
- 20 MINUTE RATING PER WISCONSIN SPS 321.08 (C)

DOOR GENERAL NOTES

- IF ANY PORTION OF THE CONSTRUCTION DOCUMENTS IS UNCLEAR, INCOMPLETE IN ITS DIRECTION, OR CONFLICTS WITH OTHER PORTIONS OF THE WORK, PLEASE NOTIFY THE ARCHITECT PRIOR TO EXECUTING THAT WORK.
- NOTIFY ARCHITECT PROMPTLY IF THE INFORMATION SHOWN IN ONE PORTION OF THE CONSTRUCTION DOCUMENTS CONFLICTS WITH THAT SHOWN IN ANOTHER.
- NOTIFY ARCHITECT PROMPTLY IF THE CONSTRUCTION DOCUMENTS ARE INCONSISTENT WITH ANY APPLICABLE CODES OR REGULATIONS.
- ATTENTION:** CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO EXECUTION OF WORK. DIMENSIONS SHOWN ON FRAME ELEVATIONS MAY NOT ACCURATELY REFLECT FIELD CONDITIONS.
- DOOR MANUFACTURER TO PROVIDE SHOP DRAWINGS FOR REVIEW. CONTRACTOR TO REVIEW DRAWINGS FOR COMPLIANCE WITH CONTRACT DOCUMENTS AND FIELD CONDITIONS PRIOR TO SUBMITTING TO ARCHITECT.
- GLASS TO BE 1" CLEAR, LOW E COATING, WITH ARGON FILL.
- PROVIDE TEMPERED SAFETY GLASS IN ALL LOCATIONS NOTED ON DRAWINGS AND PER WISCONSIN SPS-21.05.3
- VERIFY ALL ROUGH OPENINGS AND SHIM SPACES DIMENSIONS WITH MANUFACTURER'S RECOMMENDED INSTALLATION TOLERANCES.
- OPERATORS AND OPERATING DIRECTION AS SHOWN IN ELEVATIONS & PLANS
- SEE ELEVATIONS FOR ASSEMBLIES AND OPERATIONS.

REVISIONS

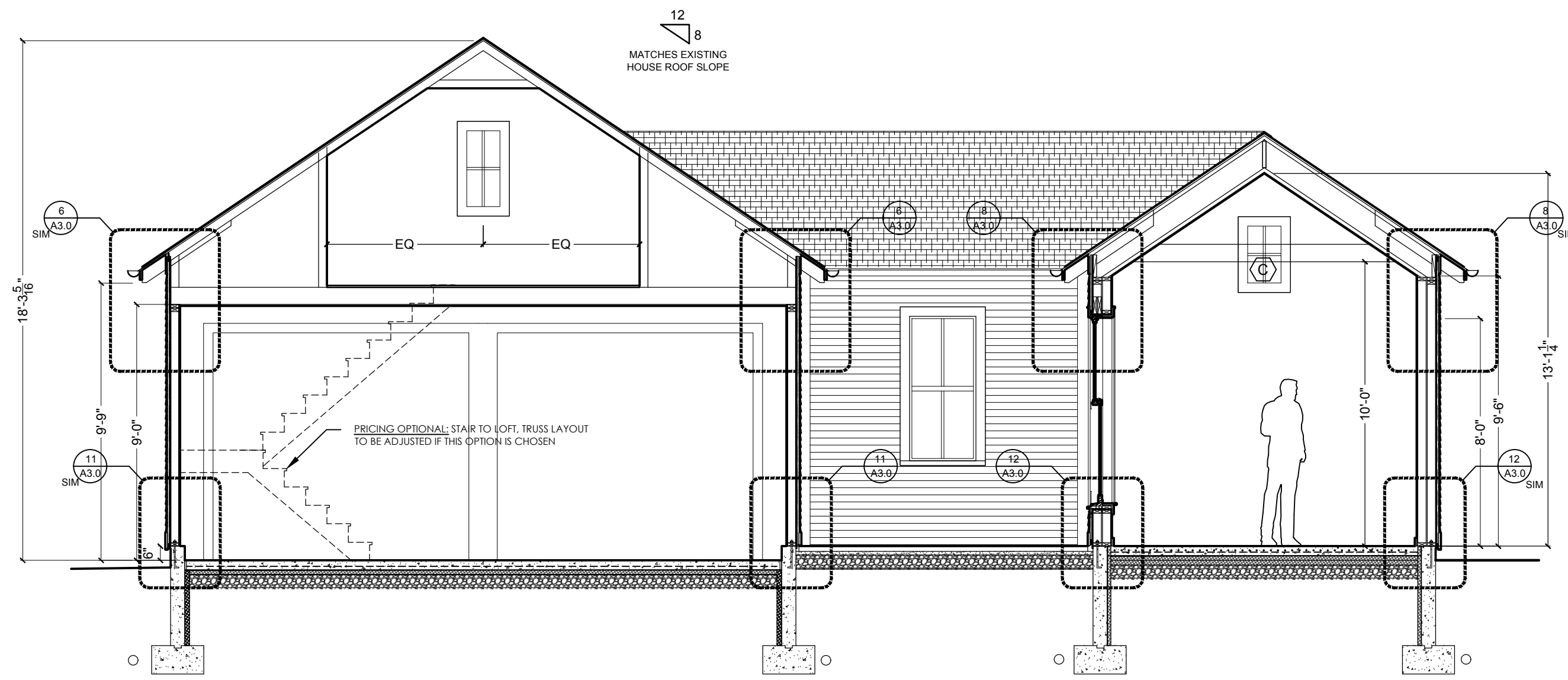
**CONSTRUCTION
DOCUMENTS**

NOVEMBER 20, 2020

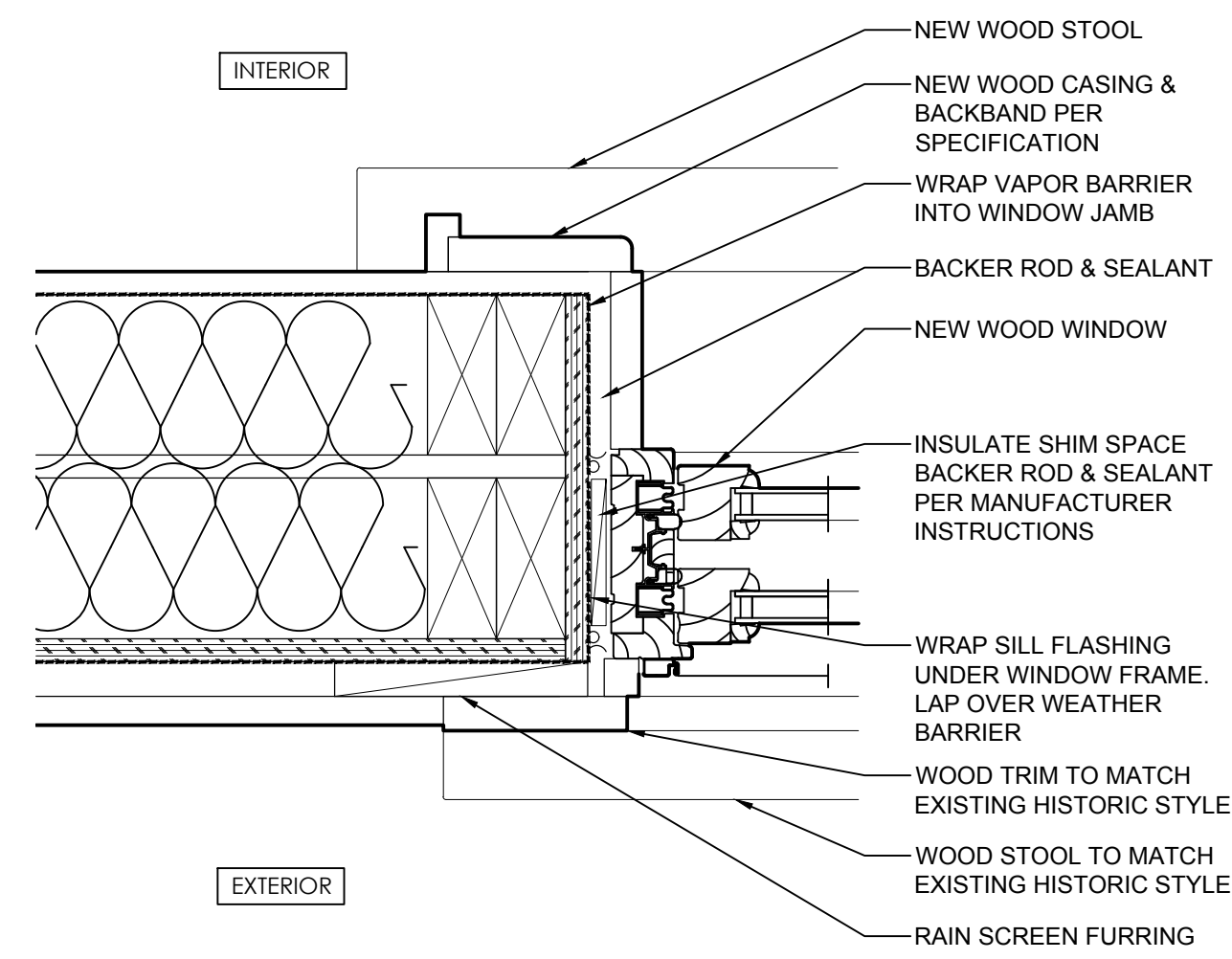
GARAGE & ADU
DOOR TYPES & SCHEDULE

A2.2

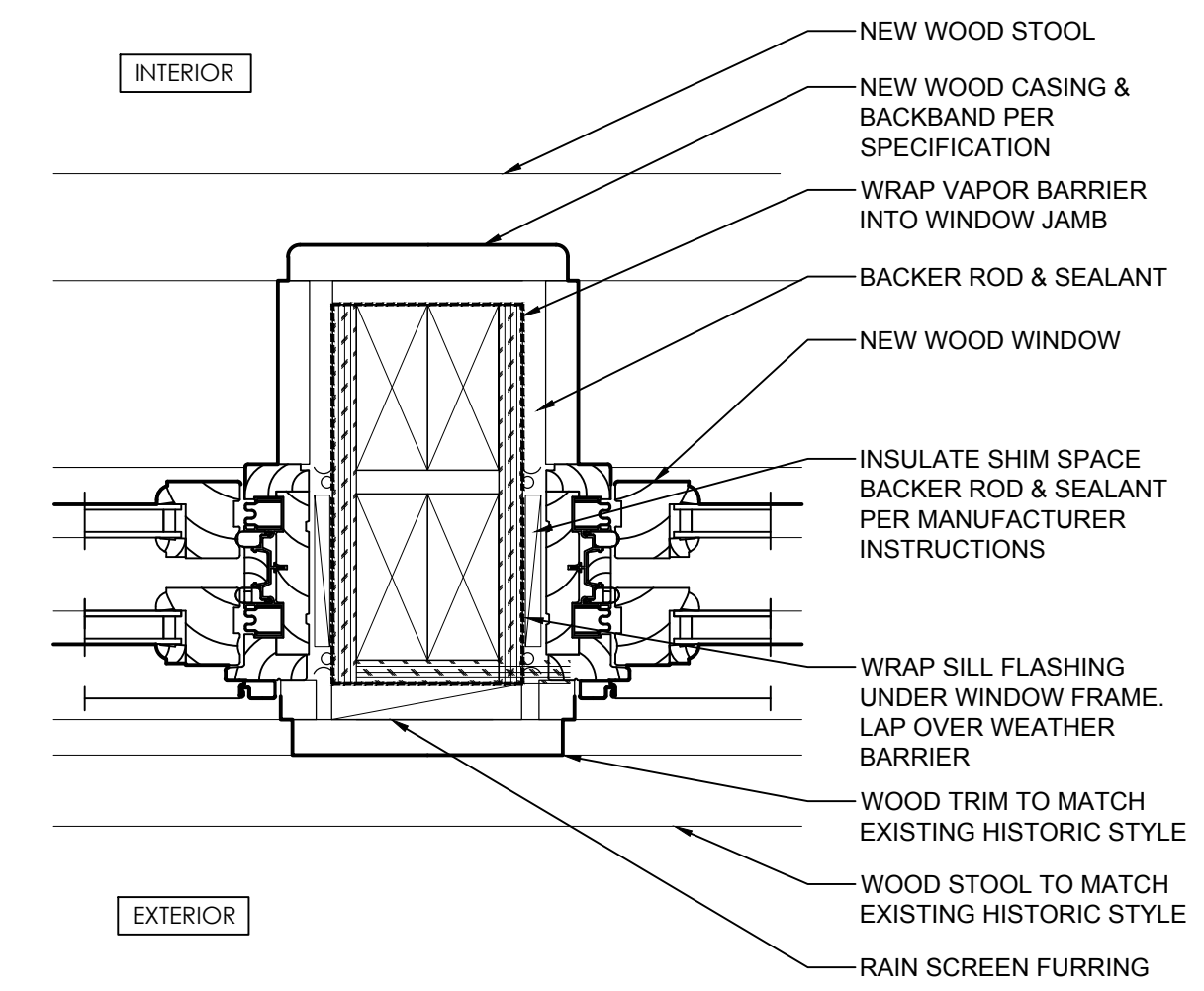
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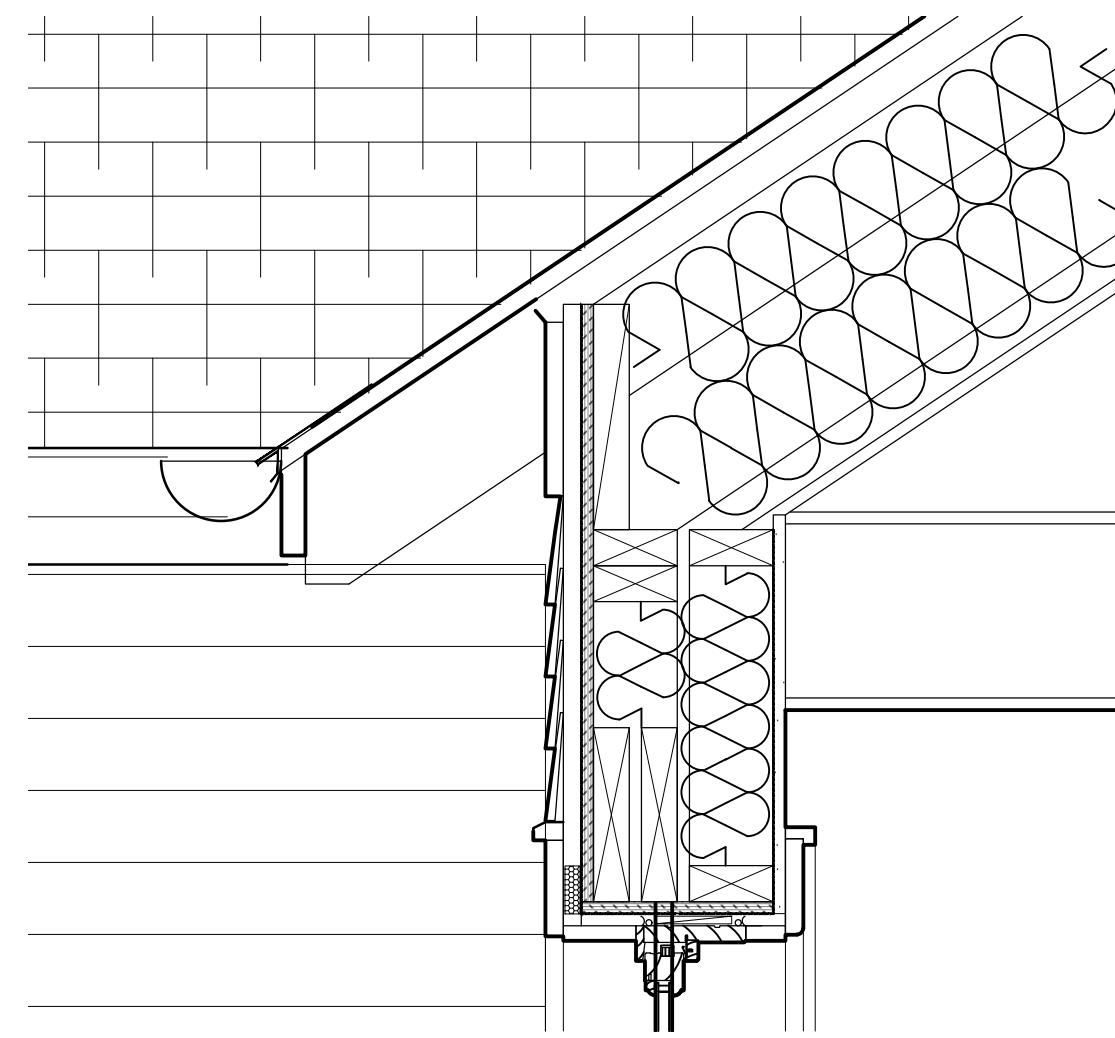
1 | BUILDING SECTION
1/4" = 1'



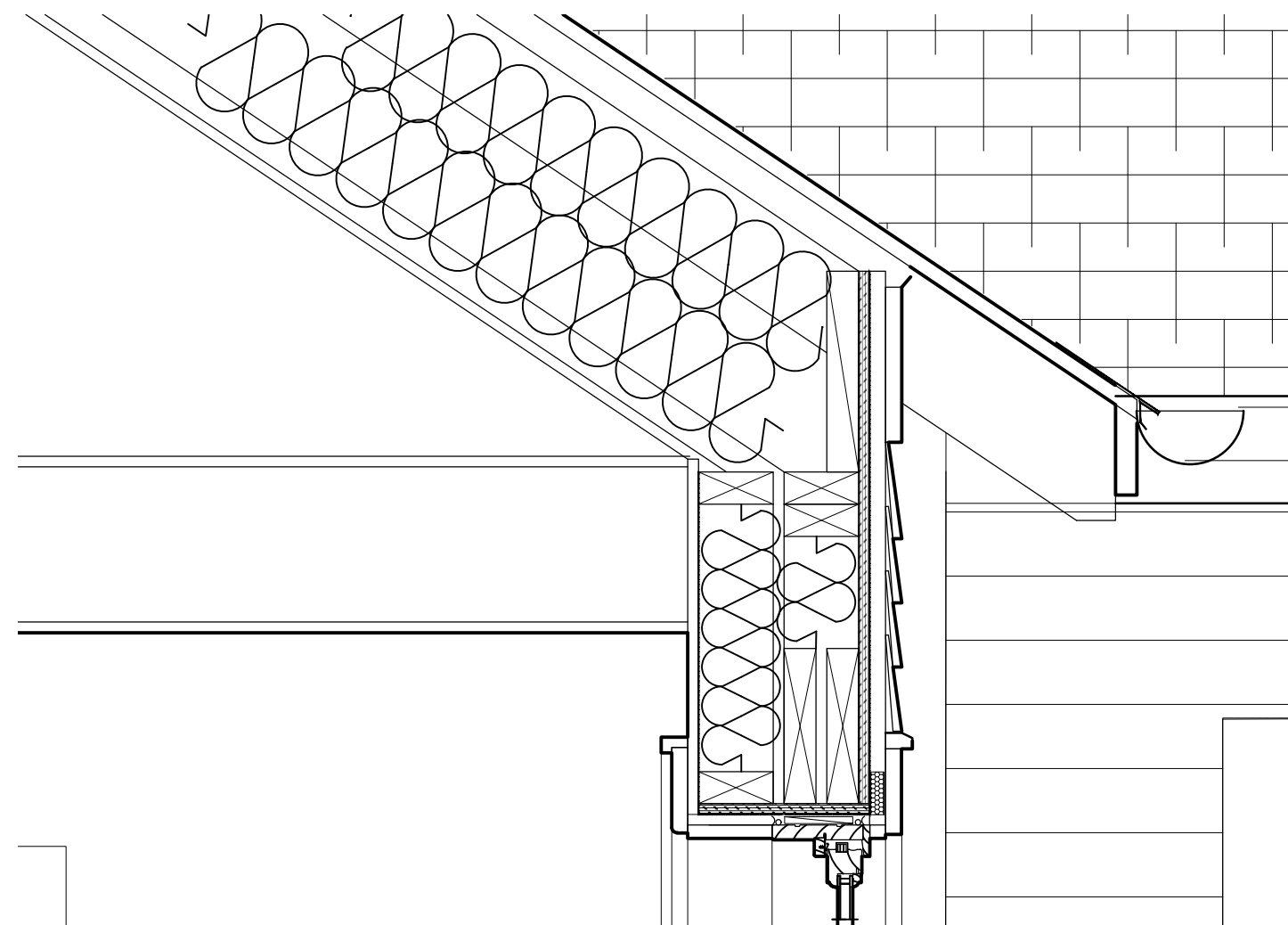
2 | DETAIL
3" = 1'



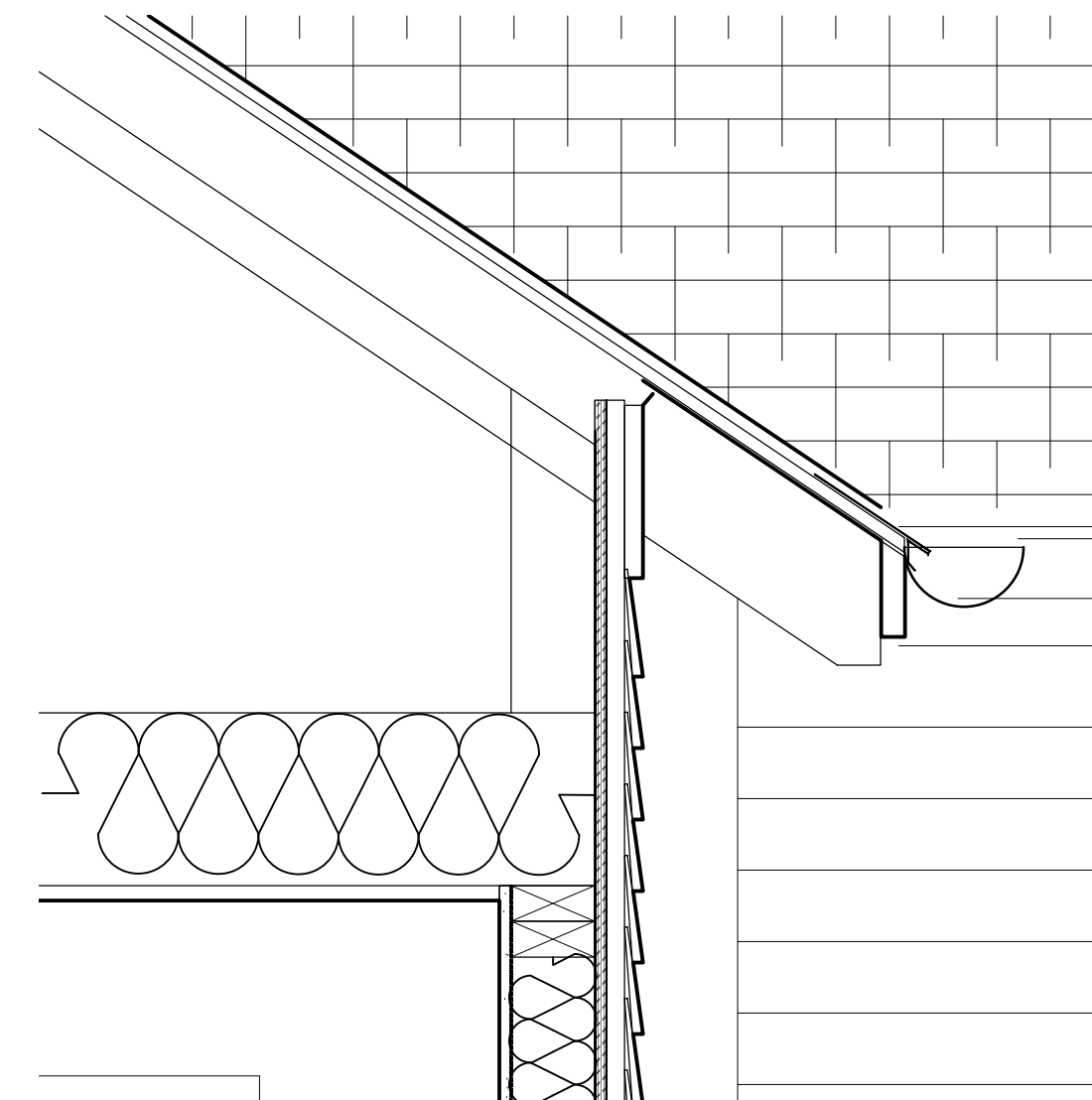
3 | DETAIL
3" = 1'



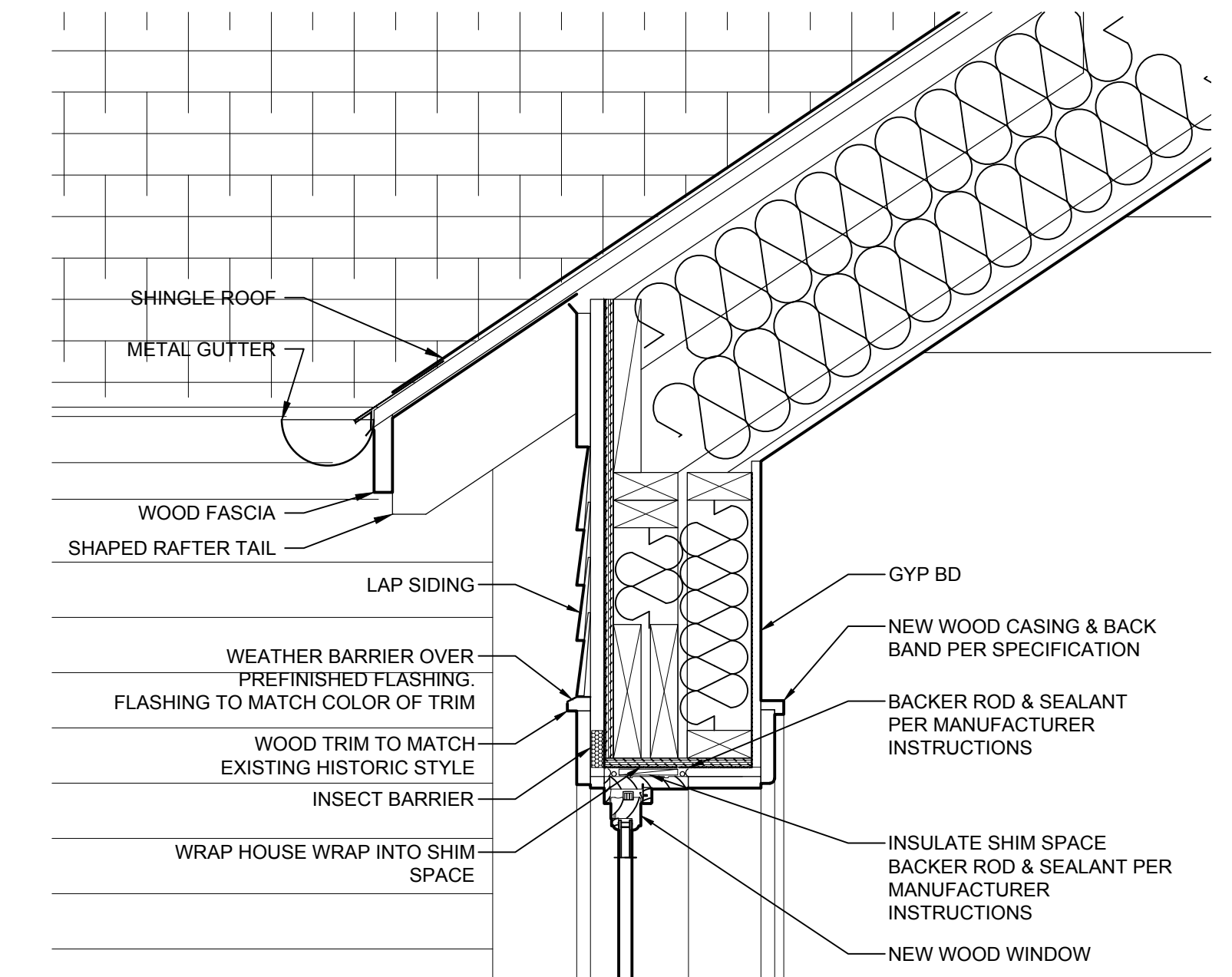
4 | DETAIL
1-1/2" = 1'



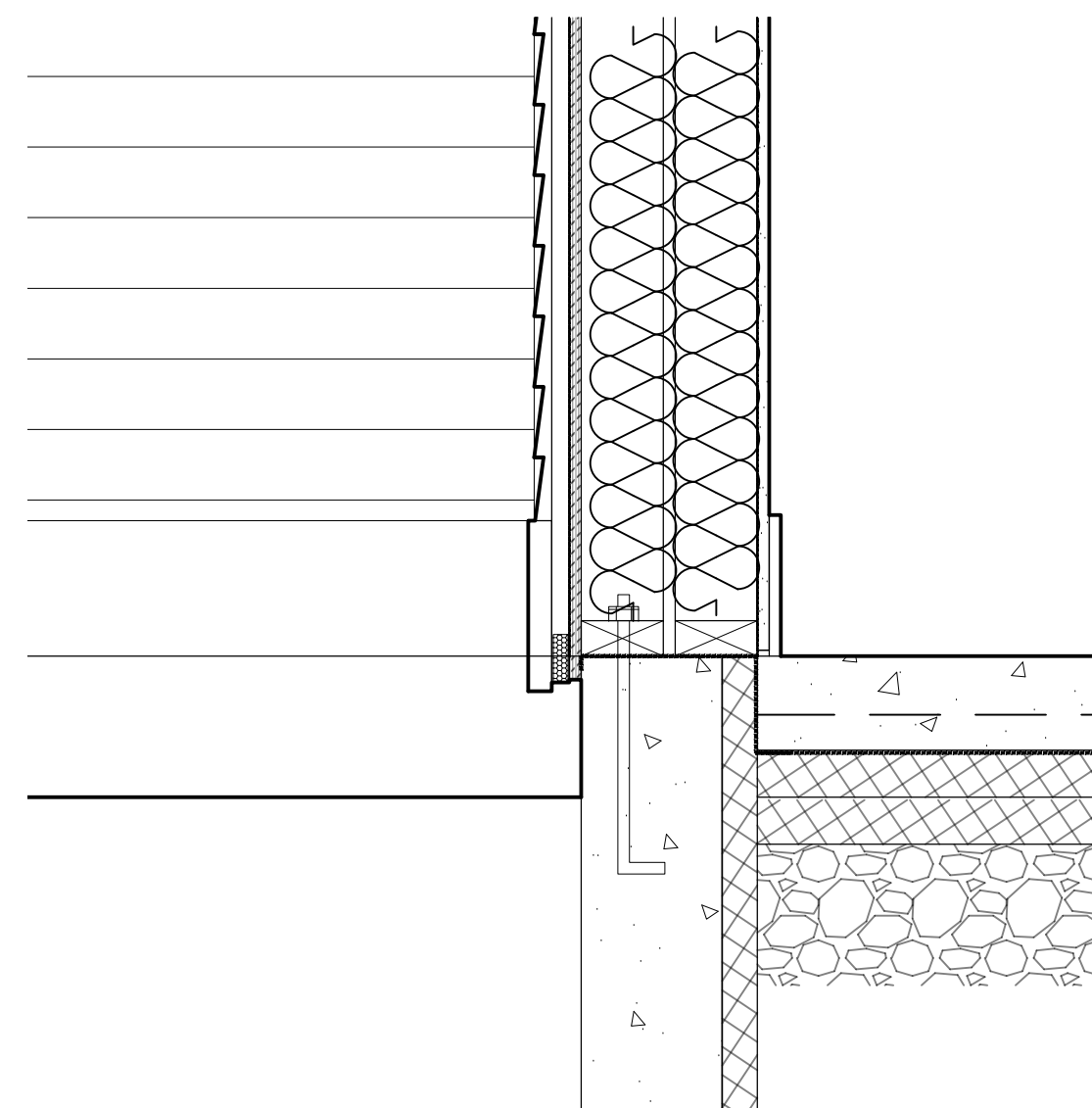
5 | DETAIL
1-1/2" = 1'



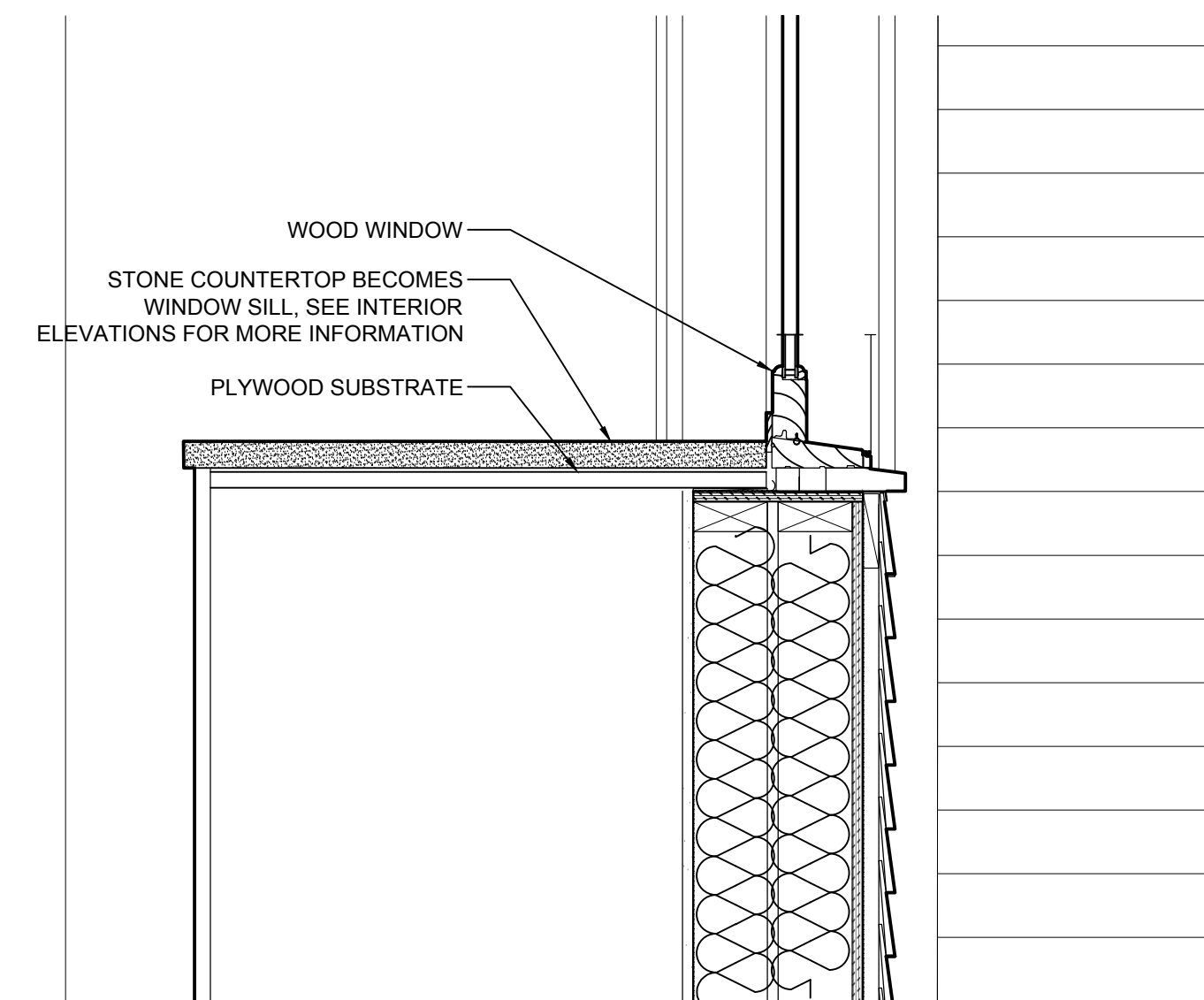
6 | DETAIL
1-1/2" = 1'



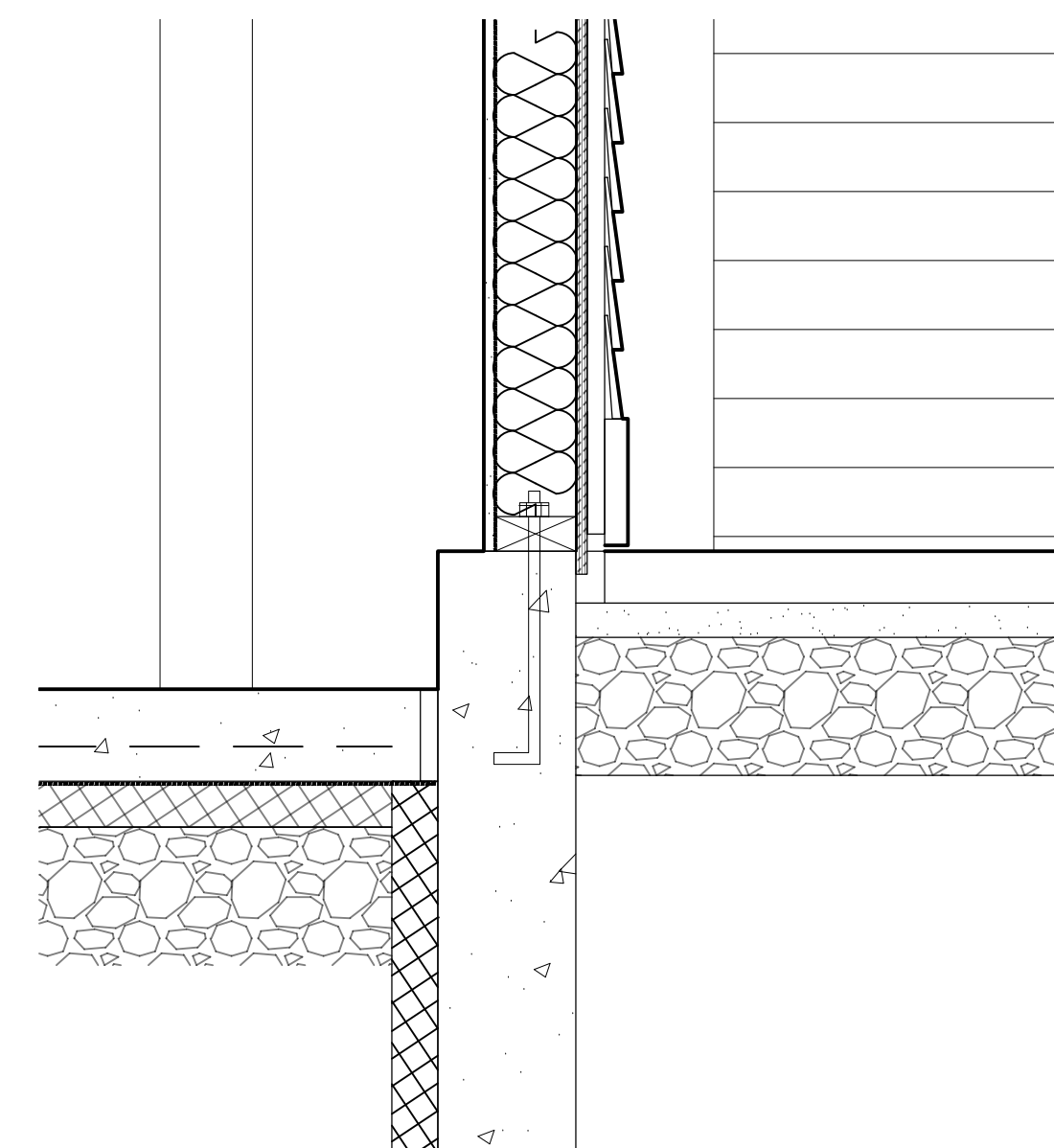
8 | DETAIL
1-1/2" = 1'



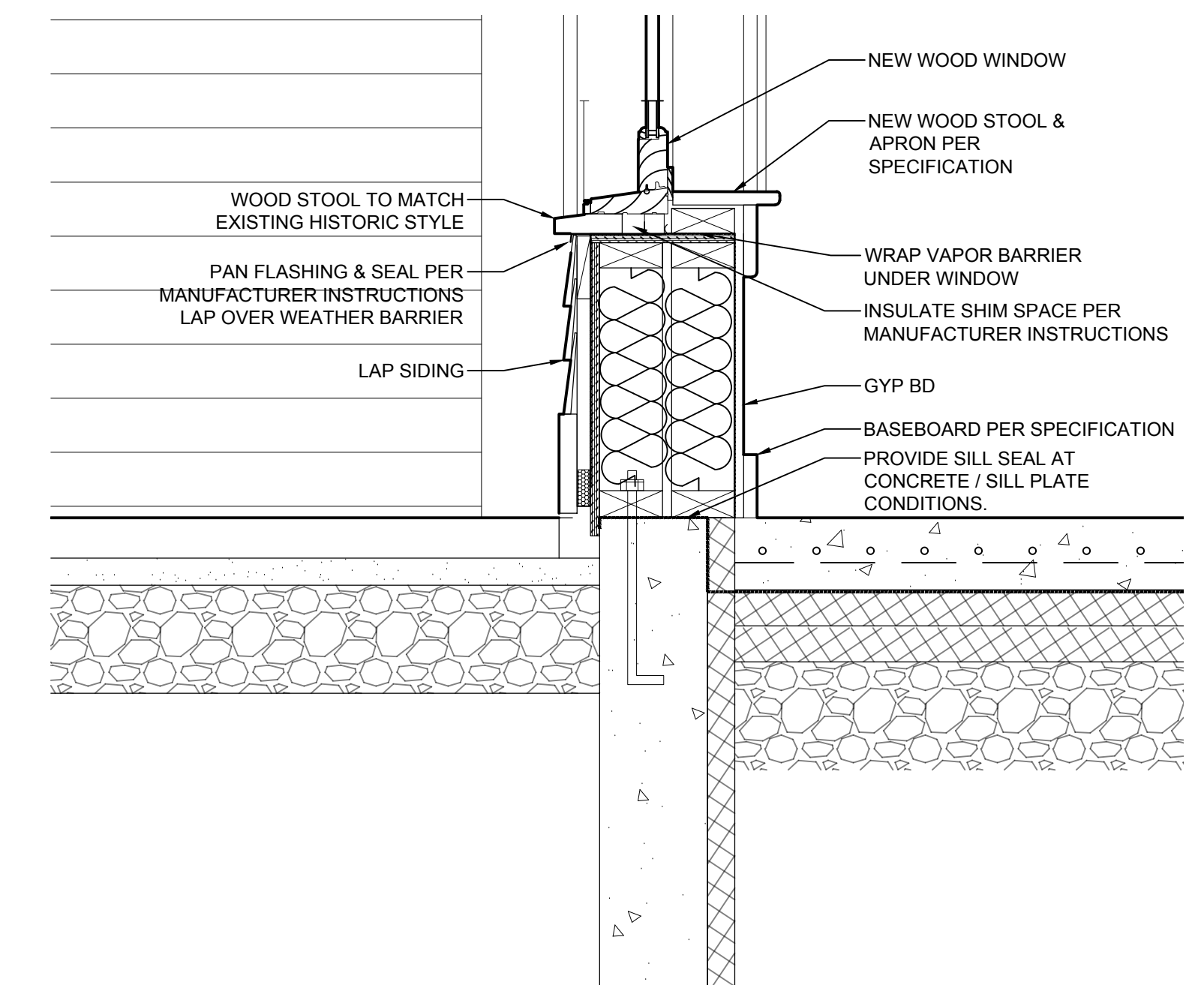
9 | DETAIL
1-1/2" = 1'



10 | DETAIL
1-1/2" = 1'

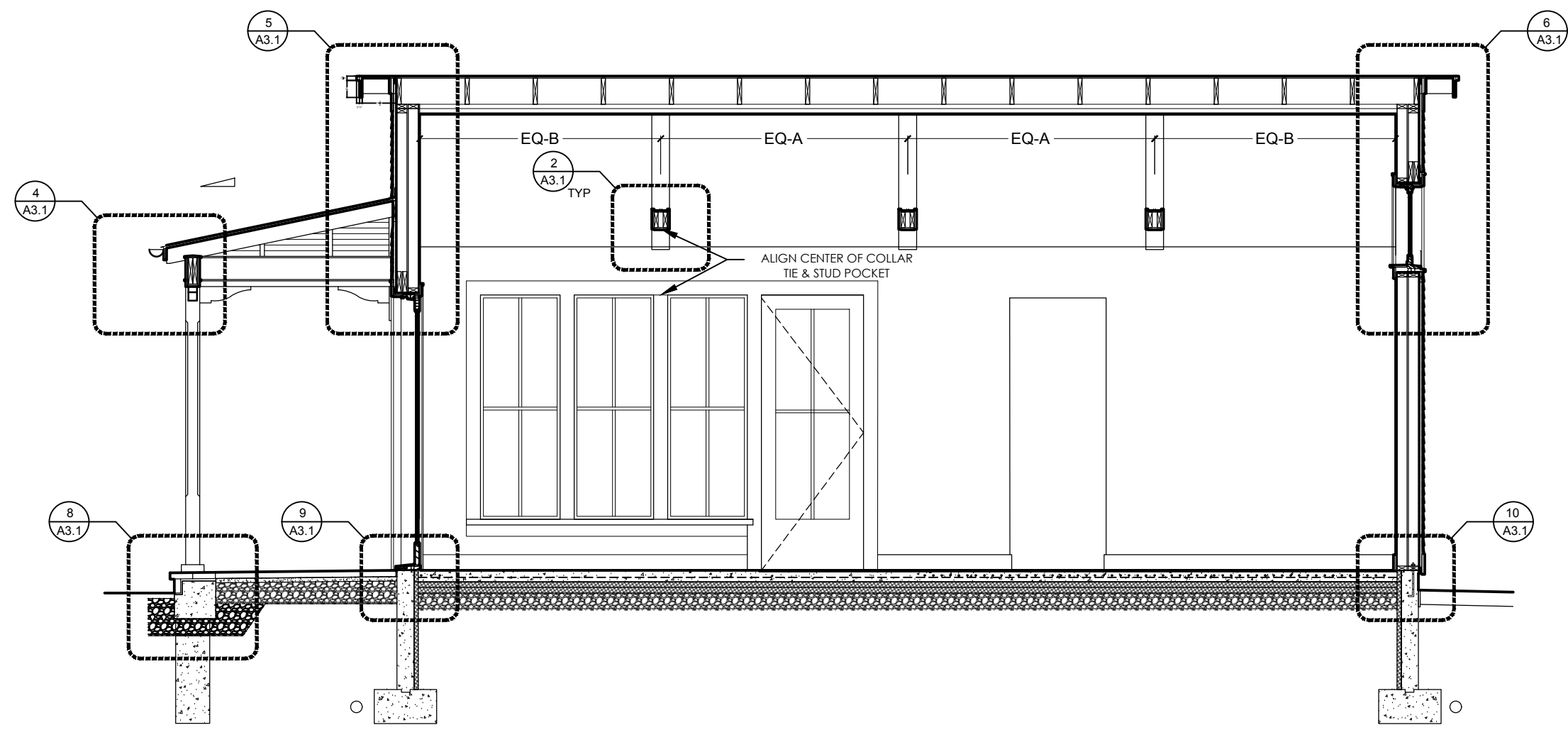


11 | DETAIL
1-1/2" = 1'

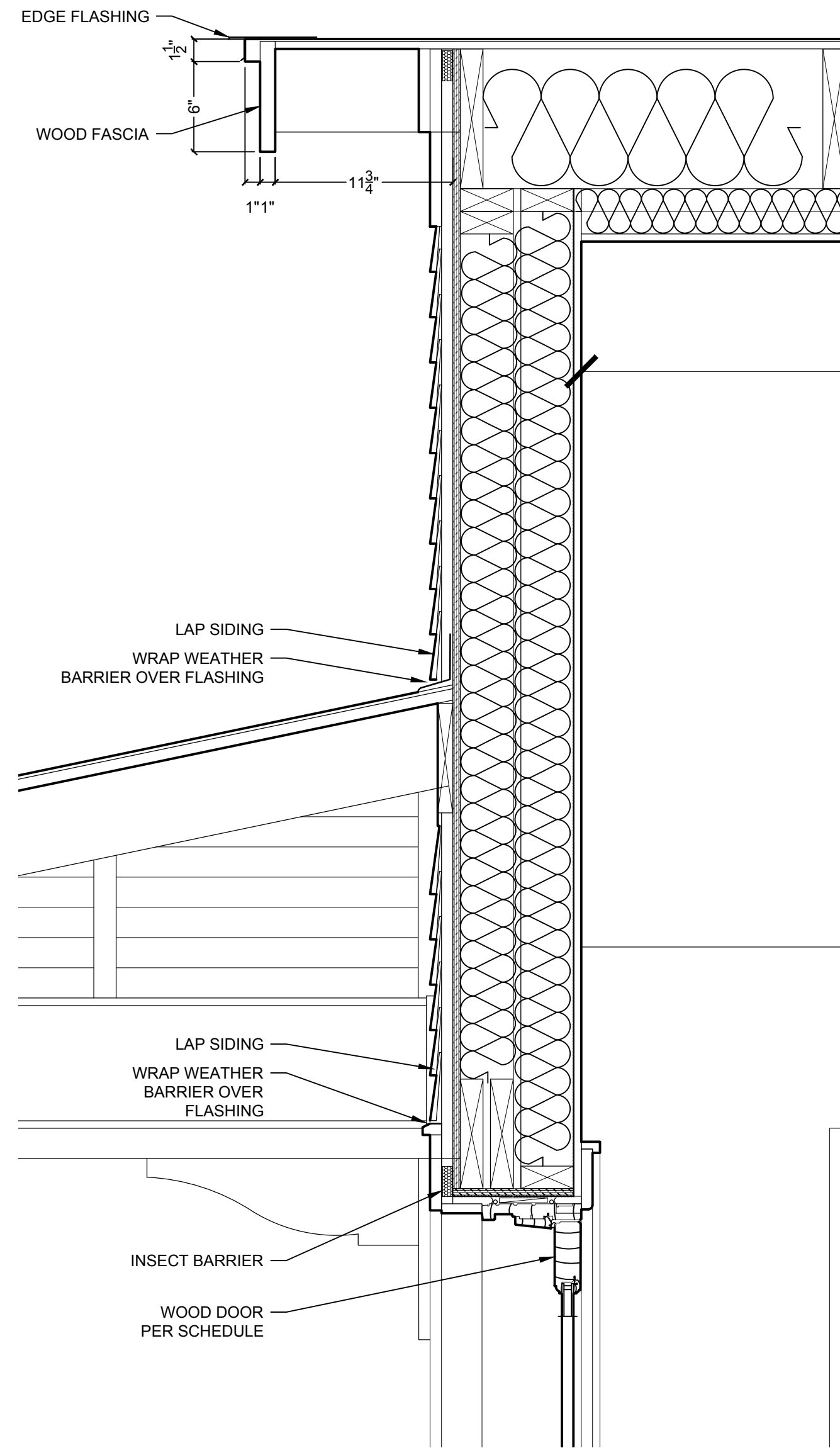


12 | DETAIL
1-1/2" = 1'

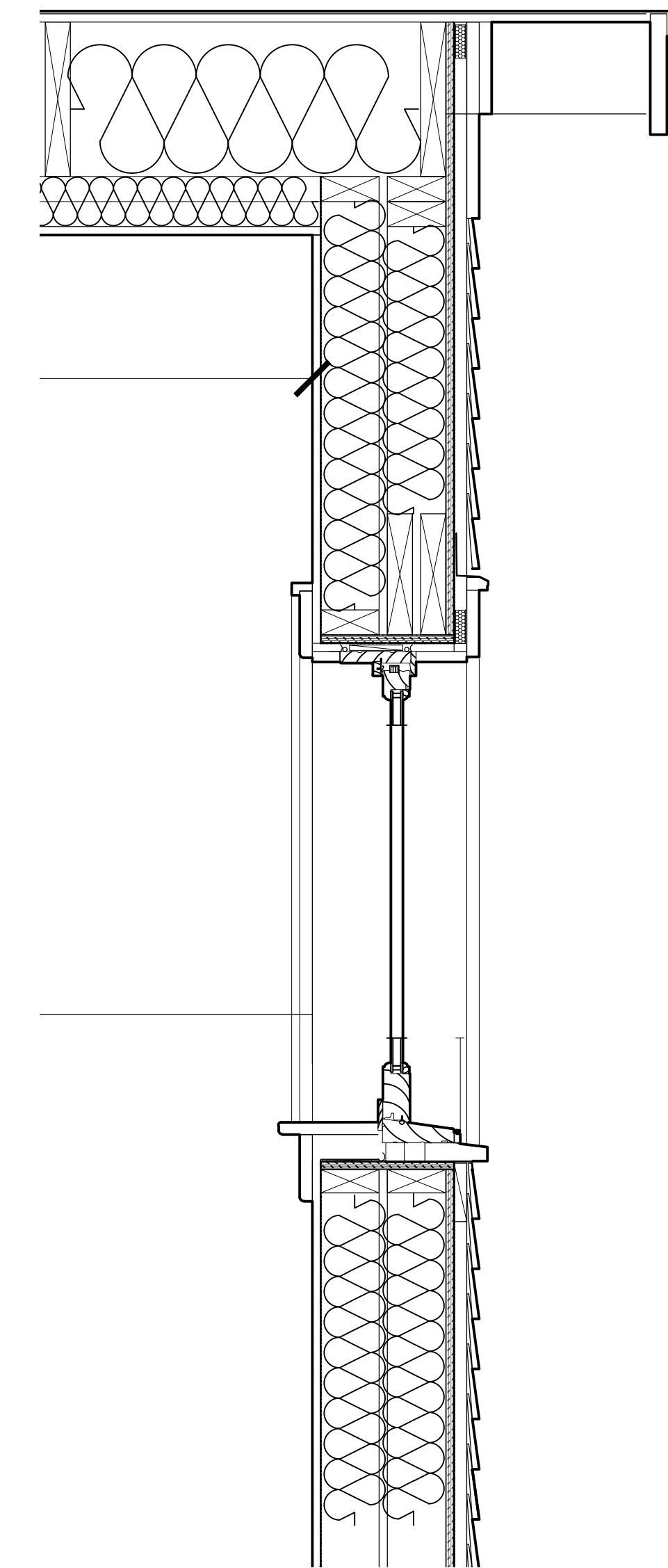
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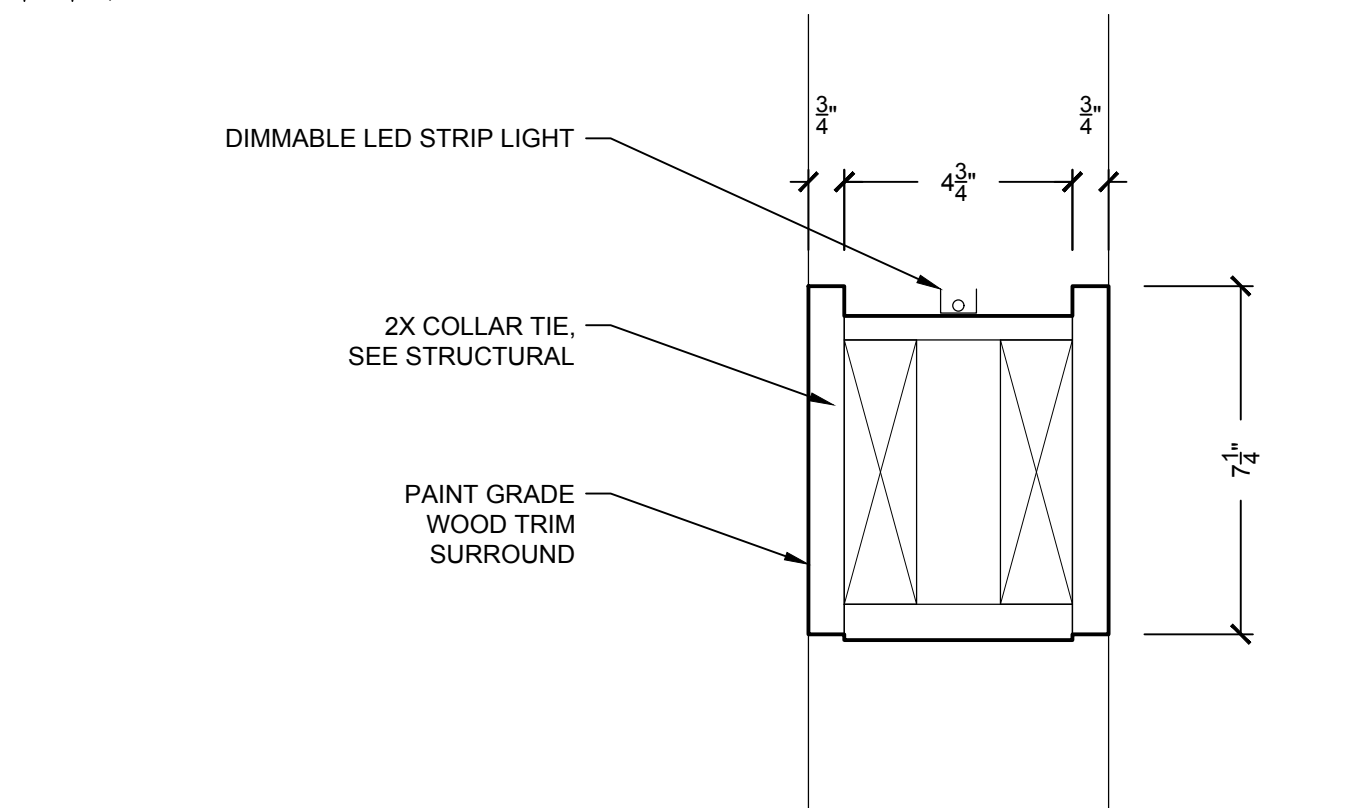
1 | BUILDING SECTION
1/4" = 1'



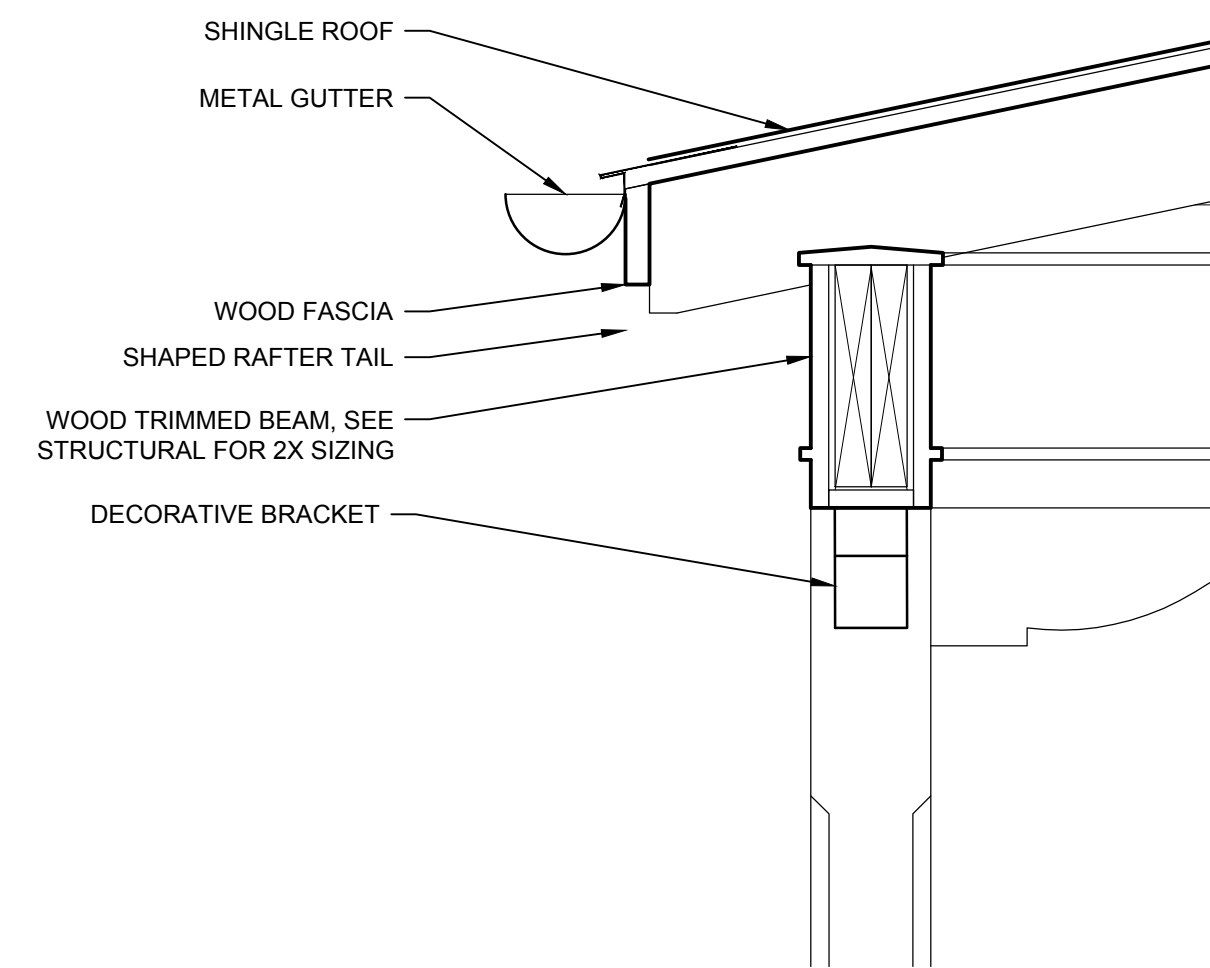
5 | DETAIL
1-1/2" = 1'



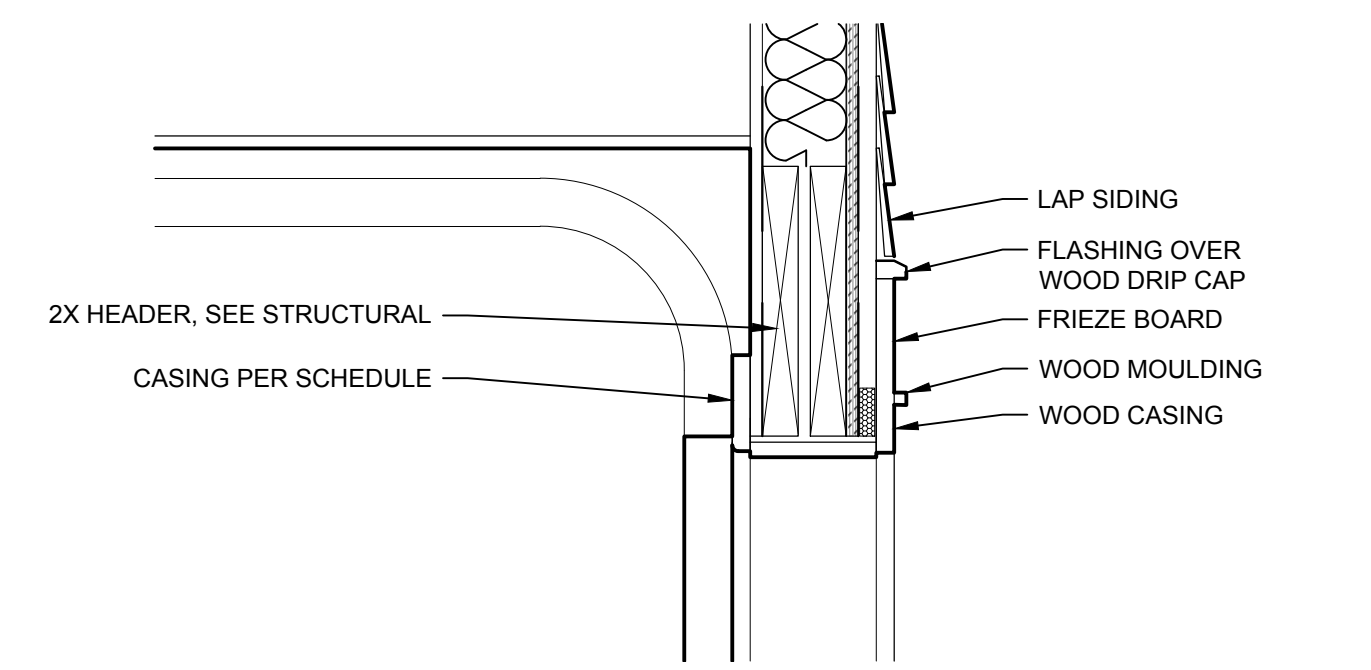
6 | DETAIL
1-1/2" = 1'



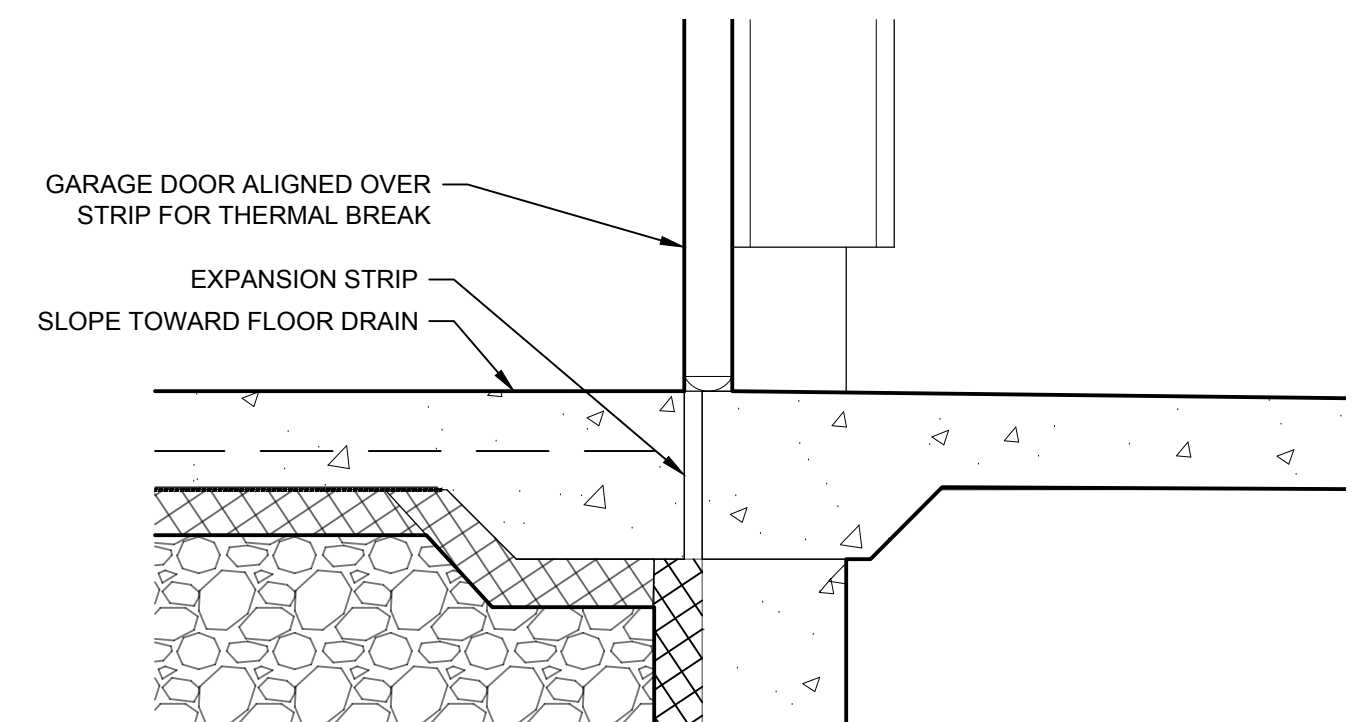
2 | DETAIL
3" = 1'



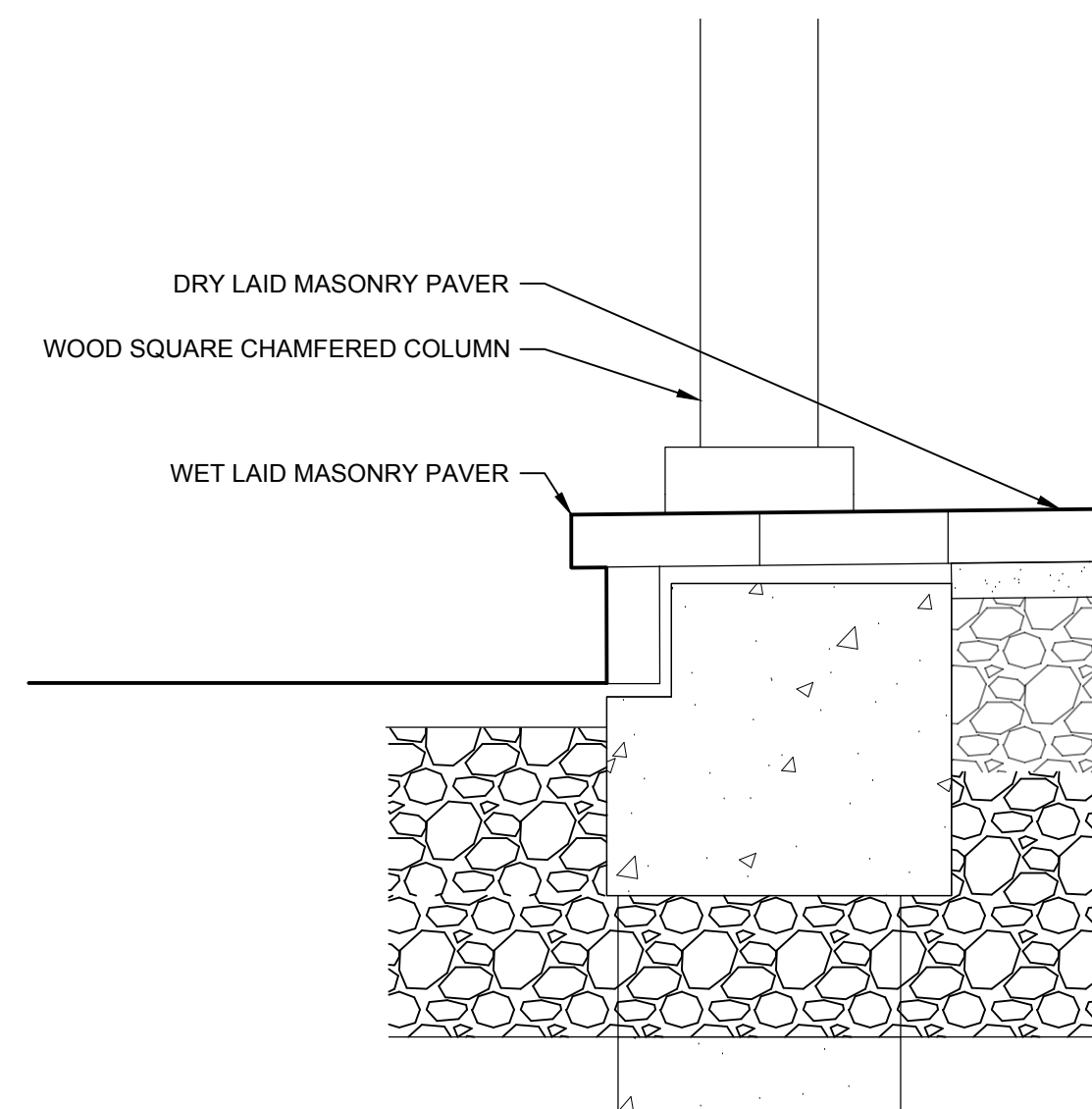
4 | DETAIL
1-1/2" = 1'



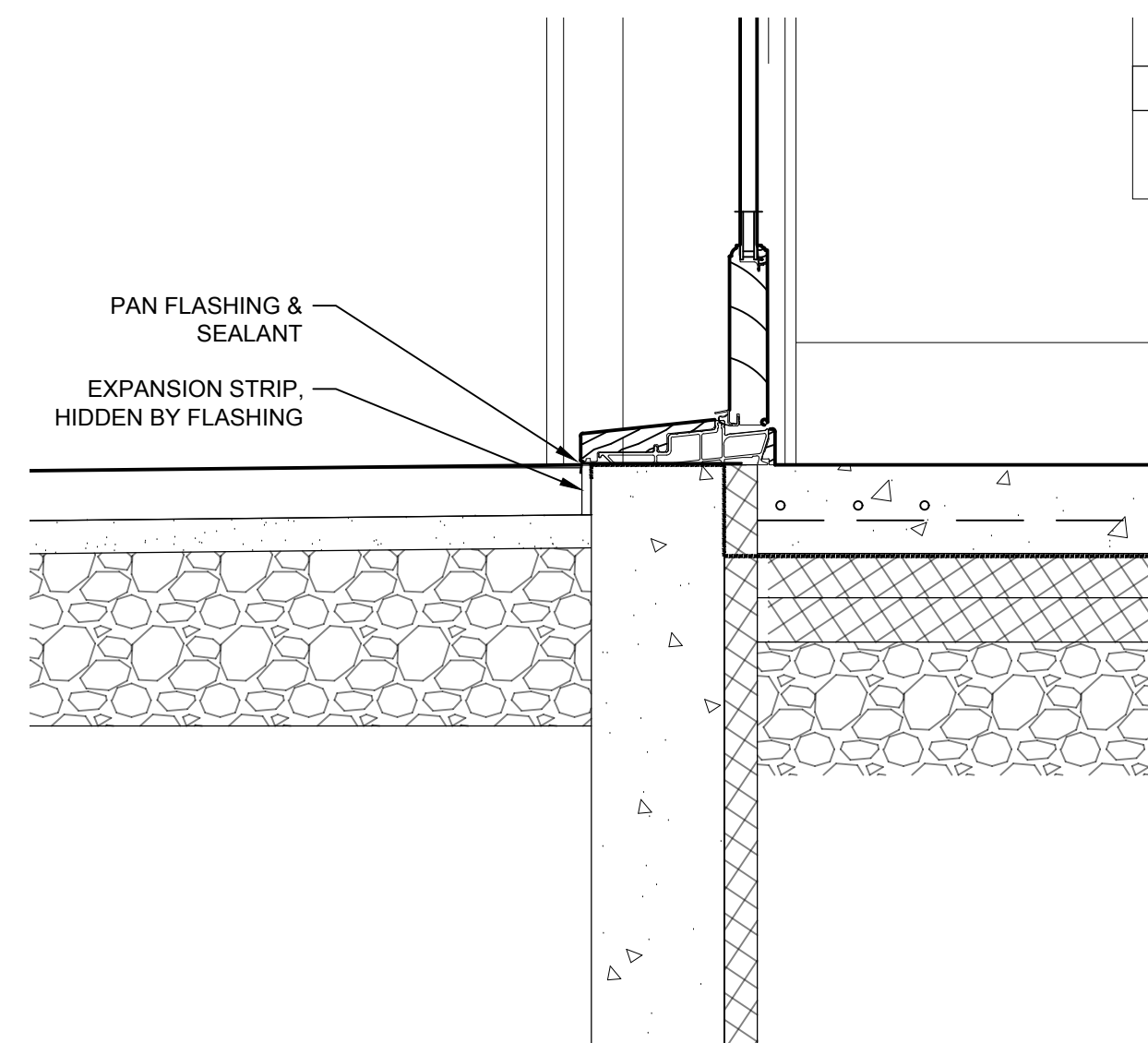
3 | DETAIL
1-1/2" = 1'



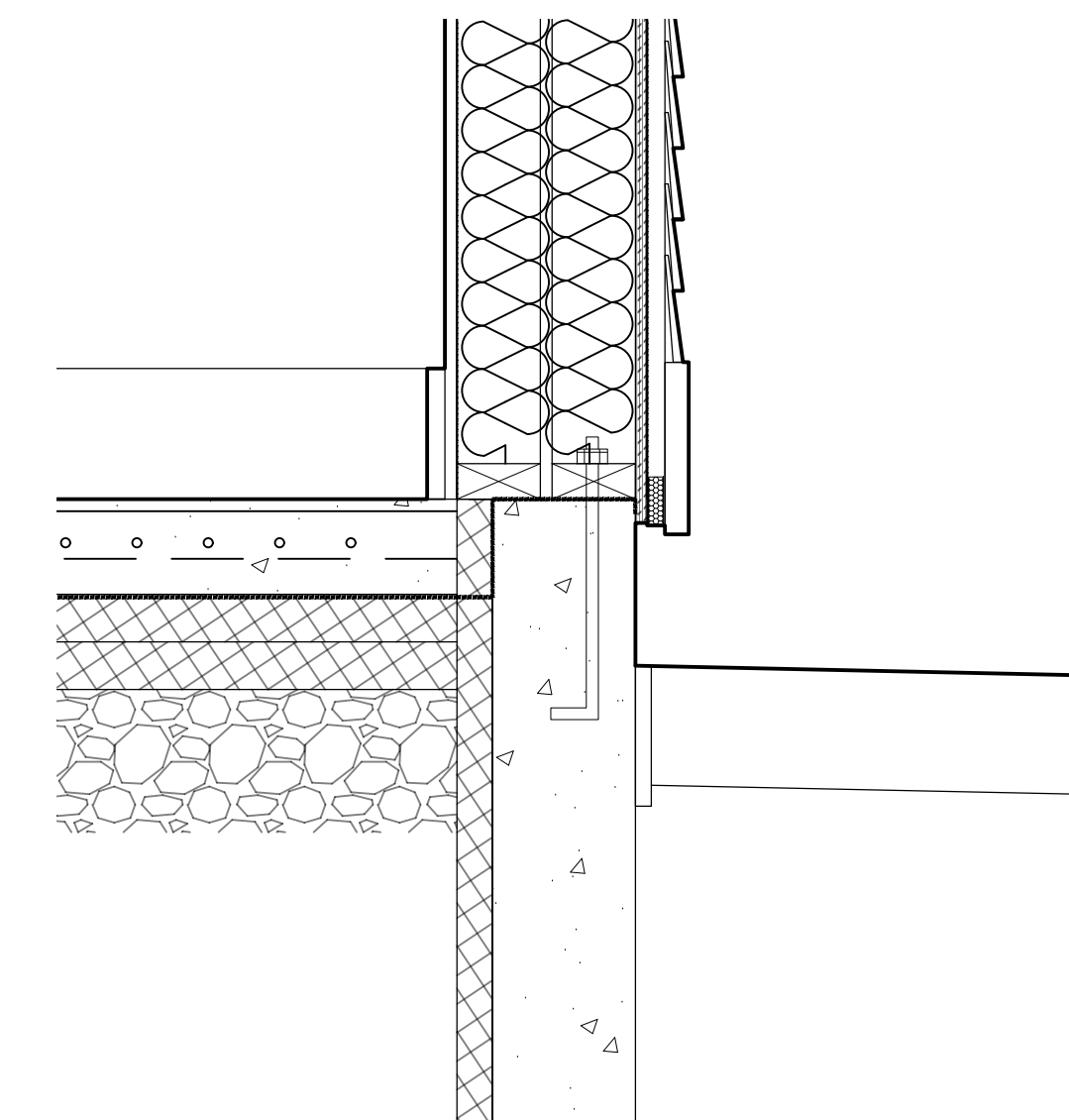
7 | DETAIL
1-1/2" = 1'



8 | DETAIL
1-1/2" = 1'

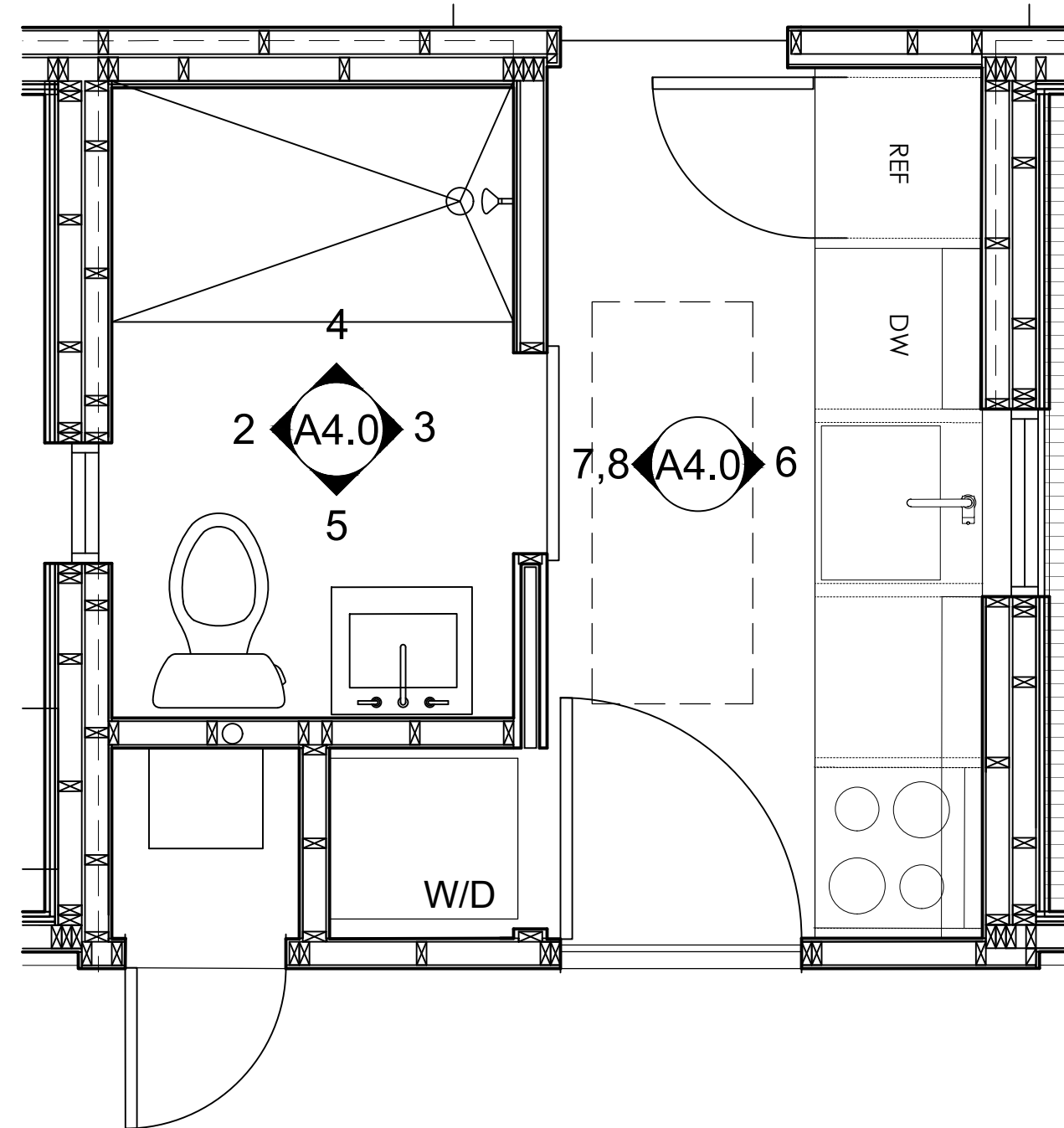


9 | DETAIL
1-1/2" = 1'

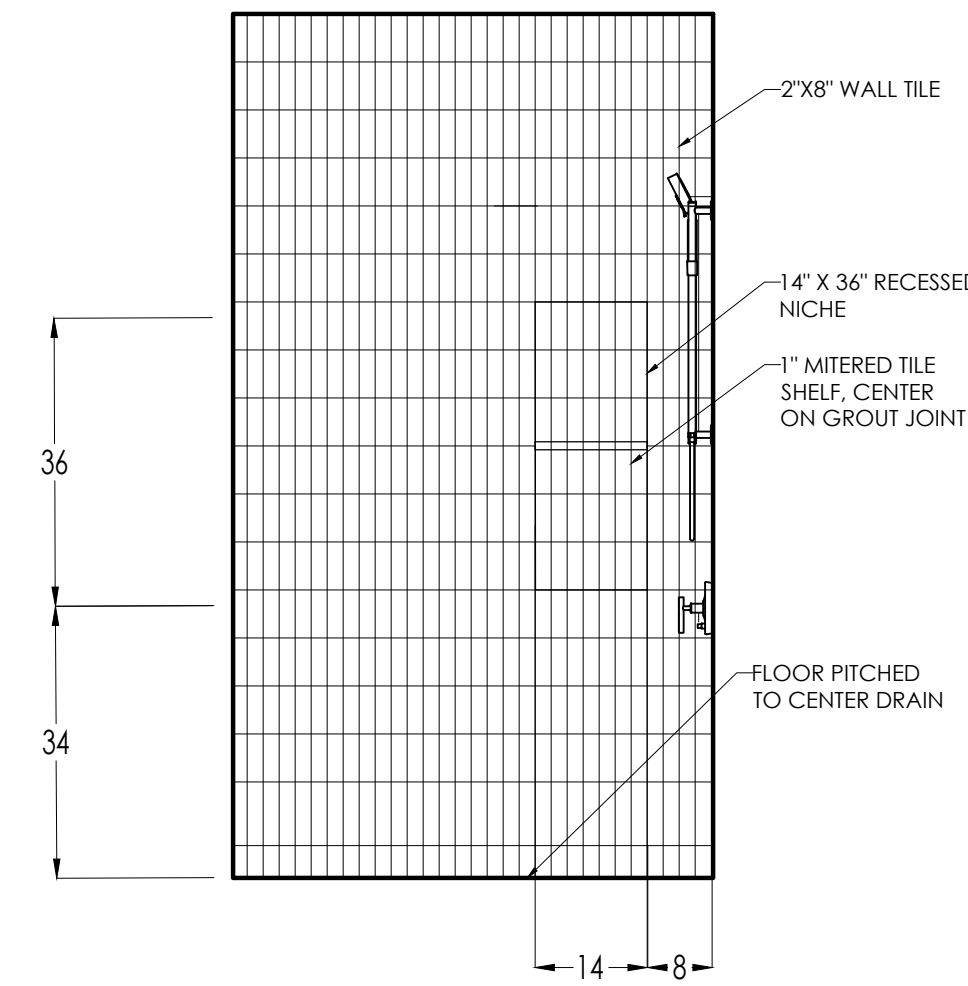


10 | DETAIL
1-1/2" = 1'

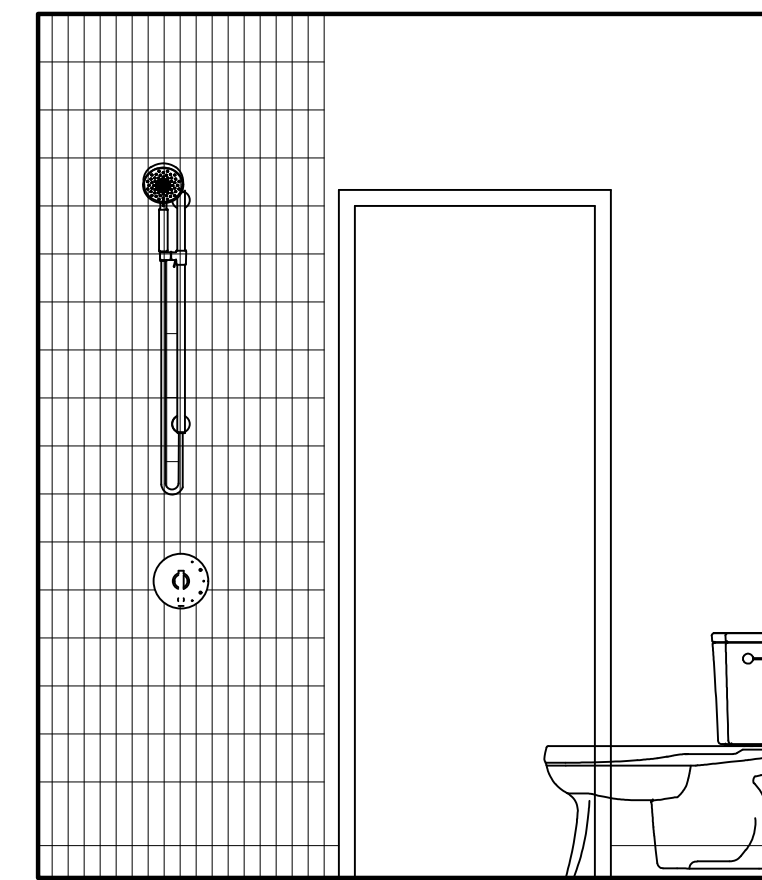
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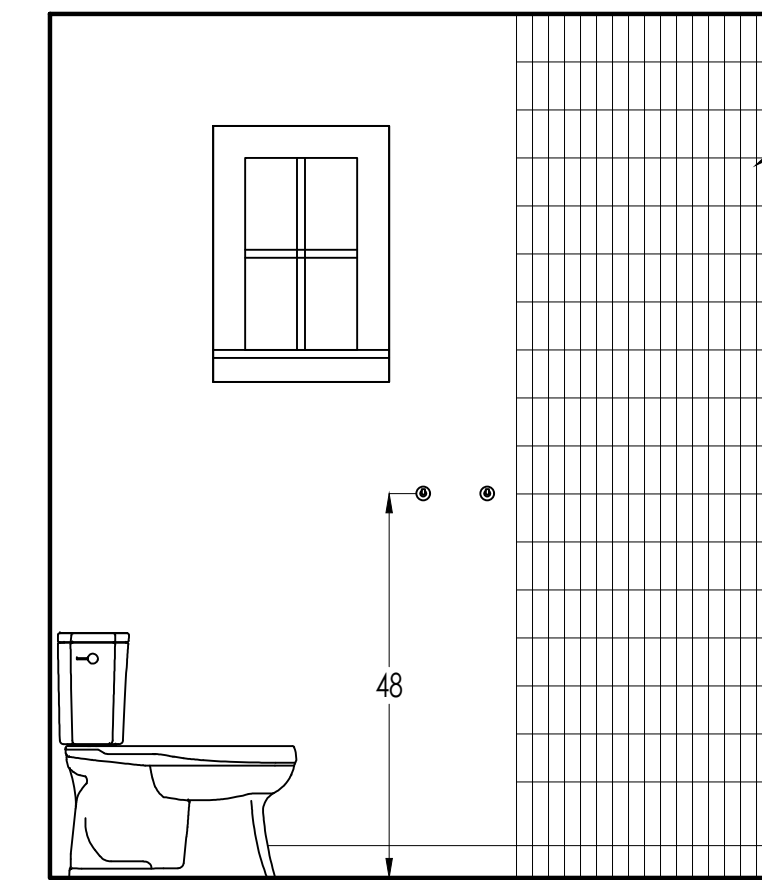
1 | ENLARGED FLOOR PLAN
1/2" = 1'-0"



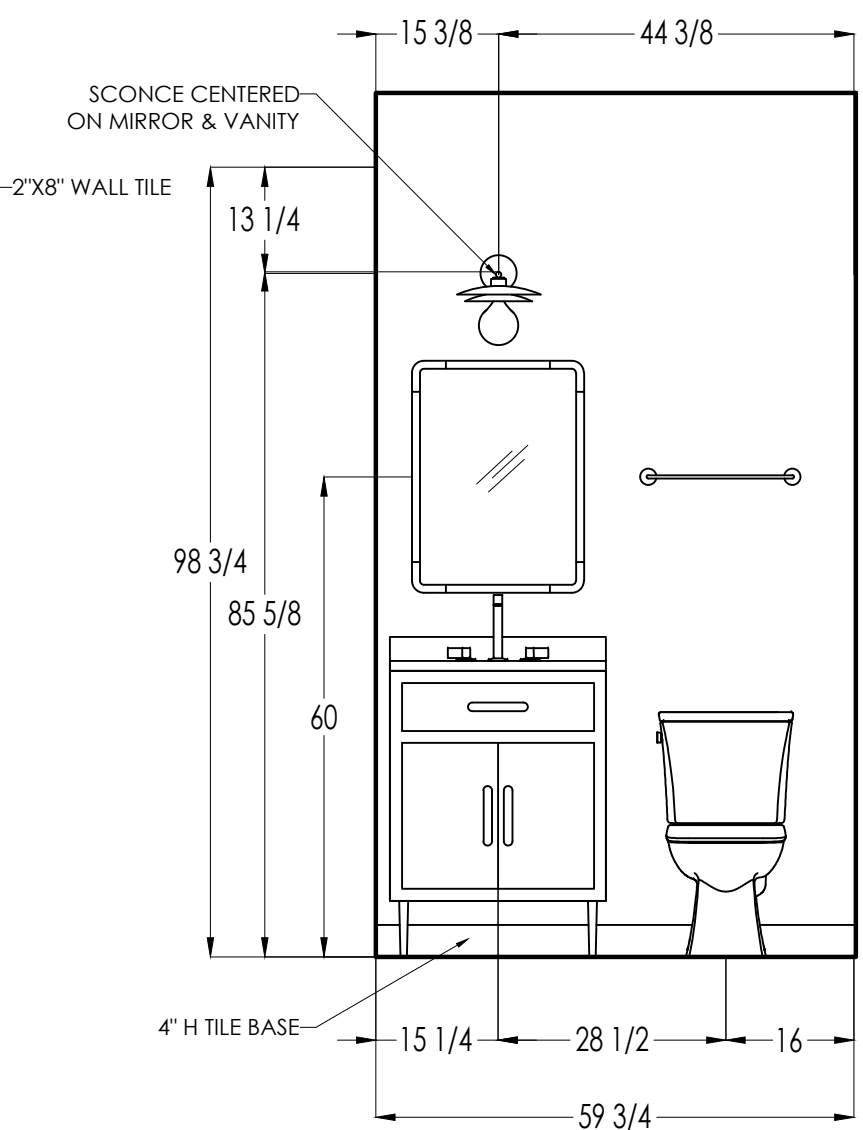
2 | INTERIOR ELEVATION - BATHROOM
1/2" = 1'-0"



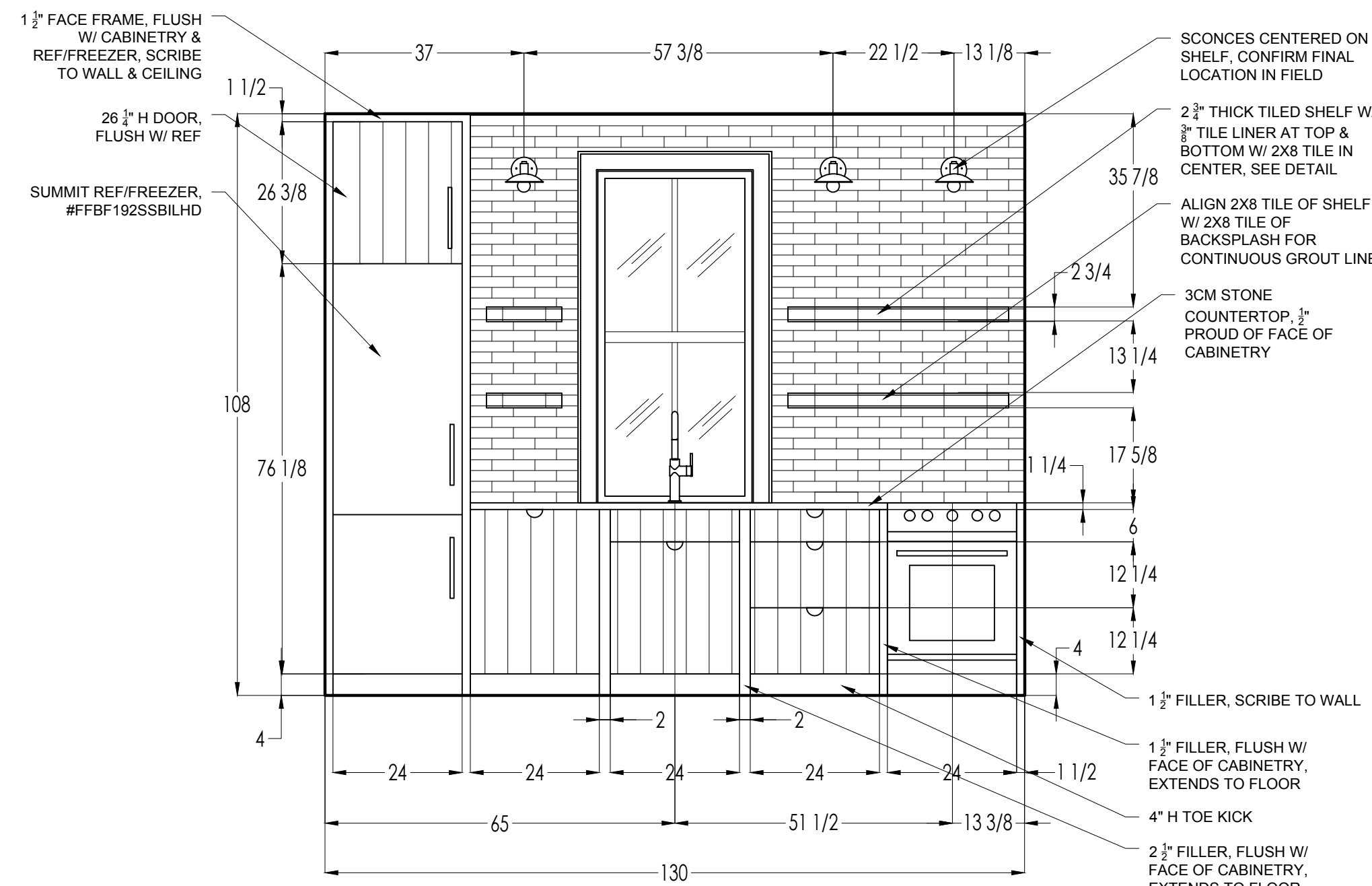
3 | INTERIOR ELEVATION - BATHROOM
1/2" = 1'-0"



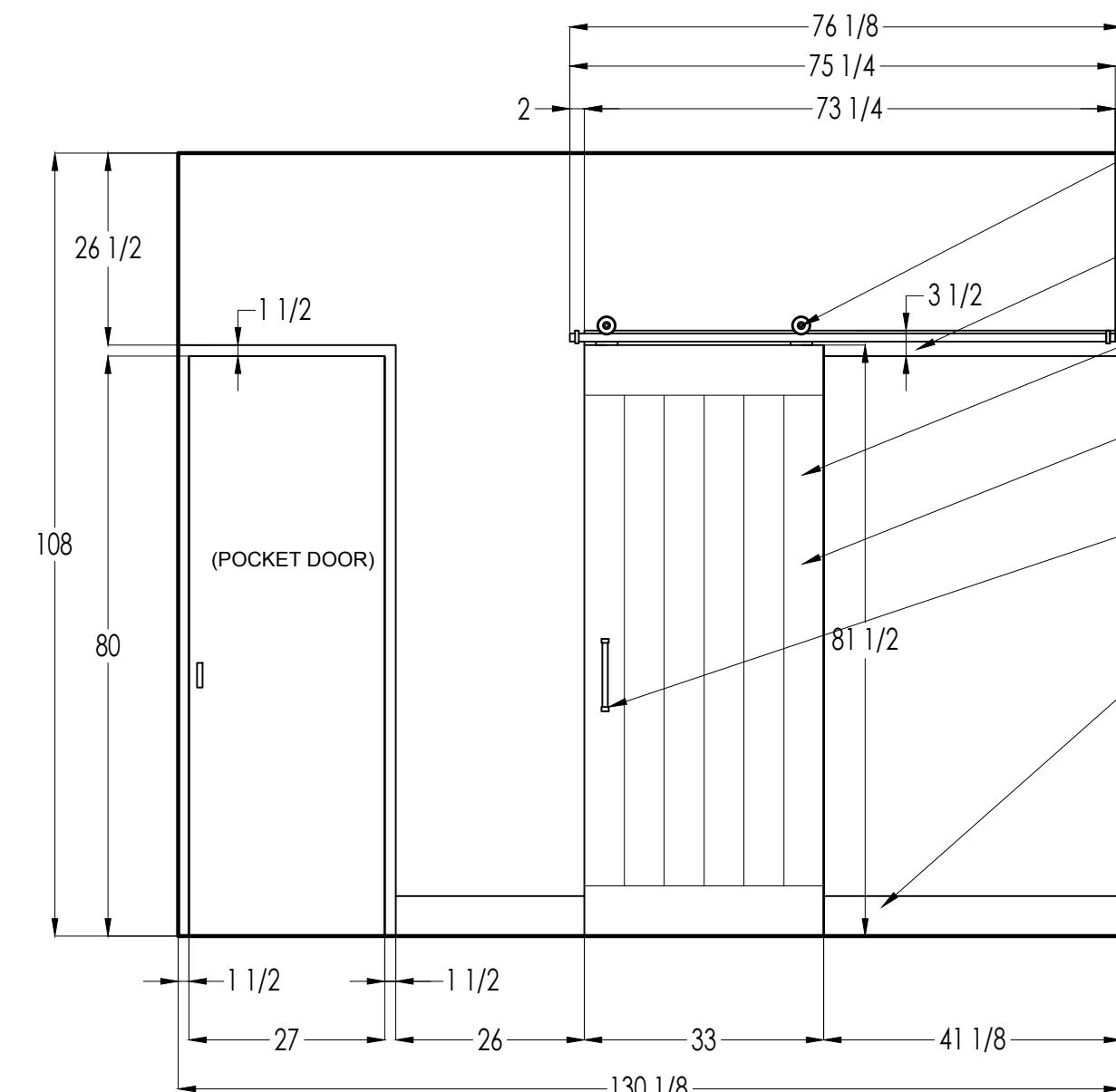
4 | INTERIOR ELEVATION - BATHROOM
1/2" = 1'-0"



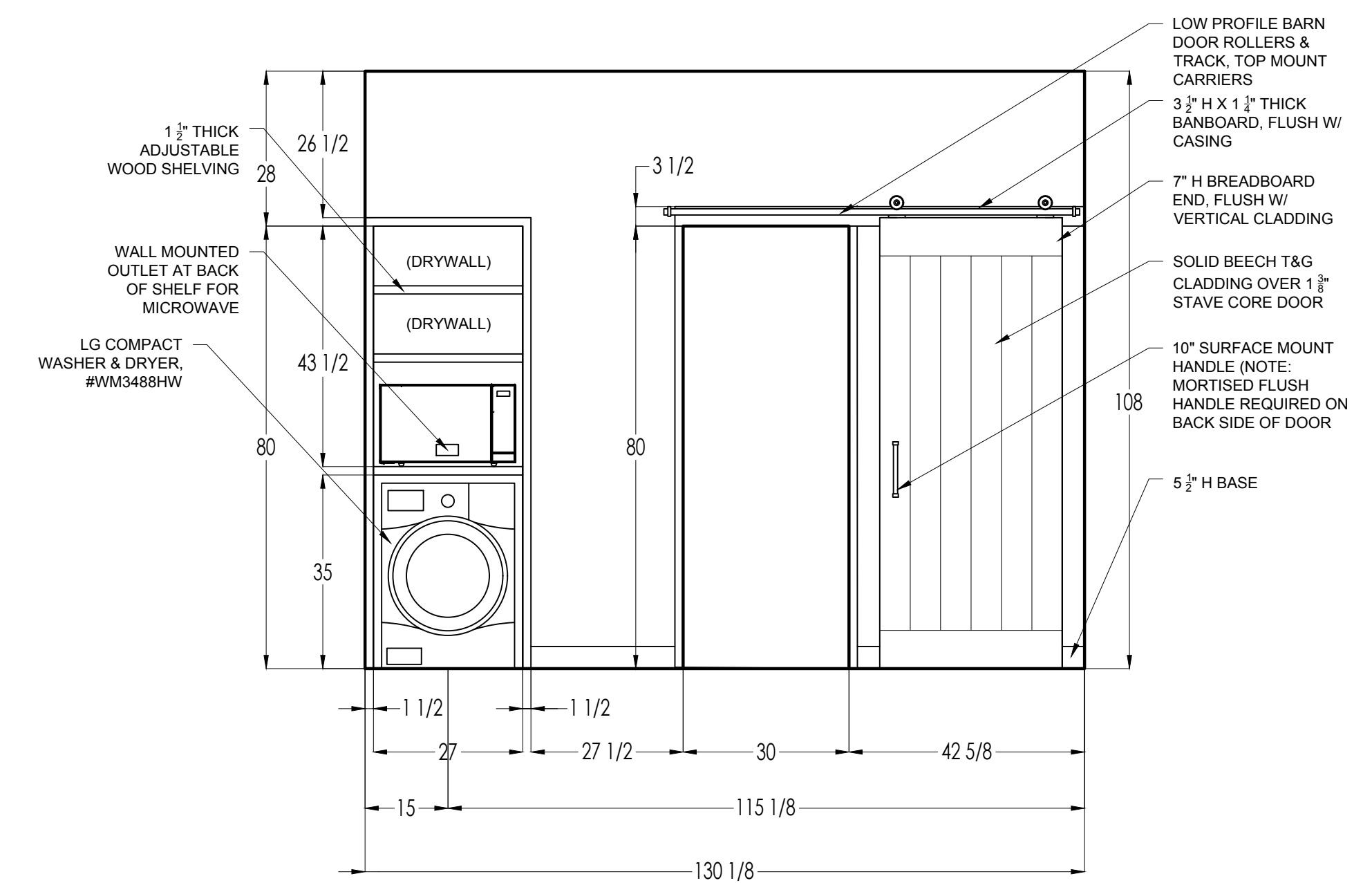
5 | INTERIOR ELEVATION - BATHROOM
1/2" = 1'-0"



6 | INTERIOR ELEVATION - KITCHEN
1/2" = 1'-0"



7 | INTERIOR ELEVATION - KITCHEN WITH DOORS OPEN
1/2" = 1'-0"



8 | INTERIOR ELEVATION - KITCHEN
1/2" = 1'-0"



IMAGES ARE FOR REFERENCE. REFER TO ELEVATIONS FOR INFORMATION

9 | INTERIOR RENDERING



IMAGES ARE FOR REFERENCE. REFER TO ELEVATIONS FOR INFORMATION

10 | INTERIOR RENDERING



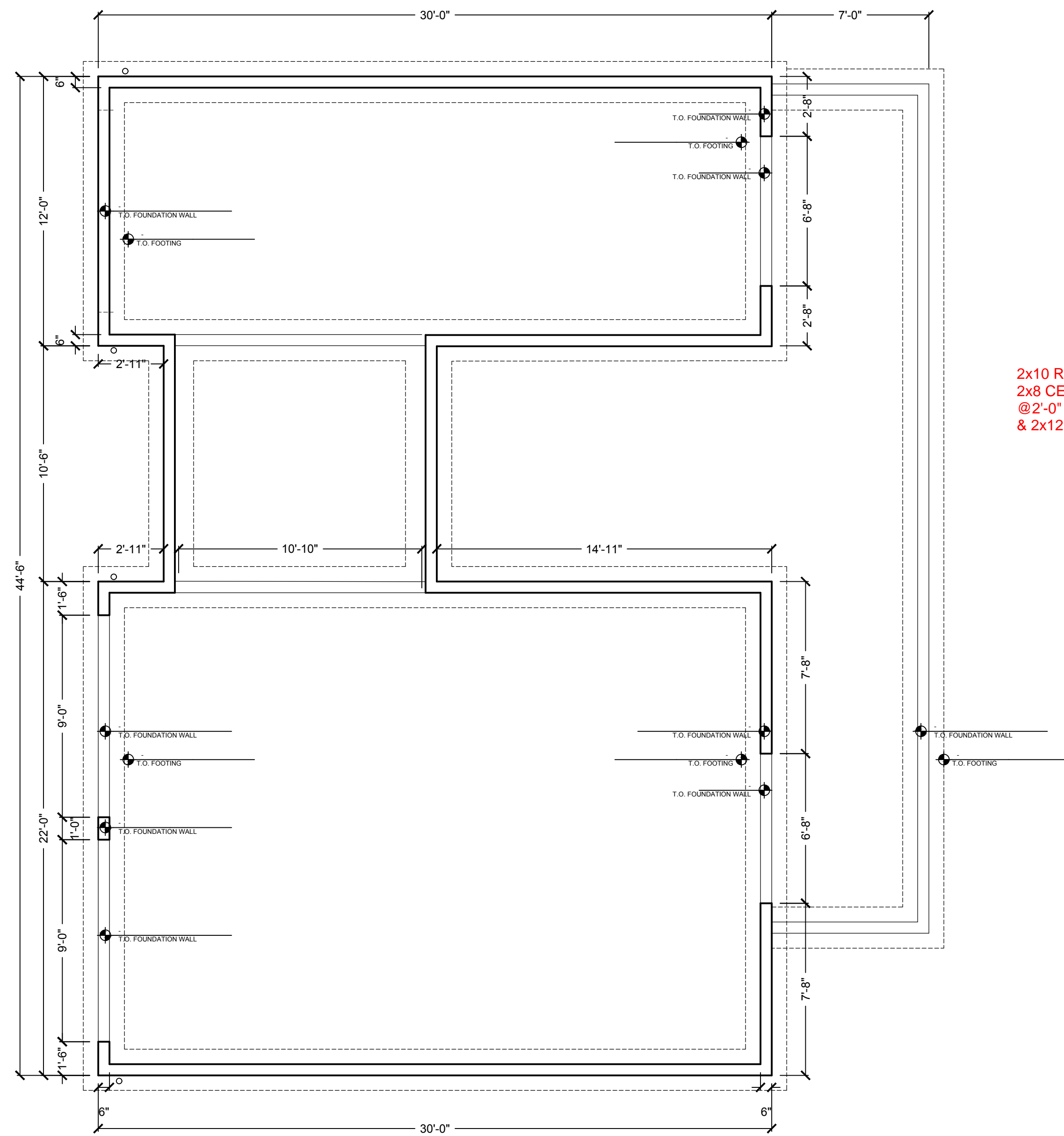
IMAGES ARE FOR REFERENCE. REFER TO ELEVATIONS FOR INFORMATION

11 | INTERIOR RENDERING

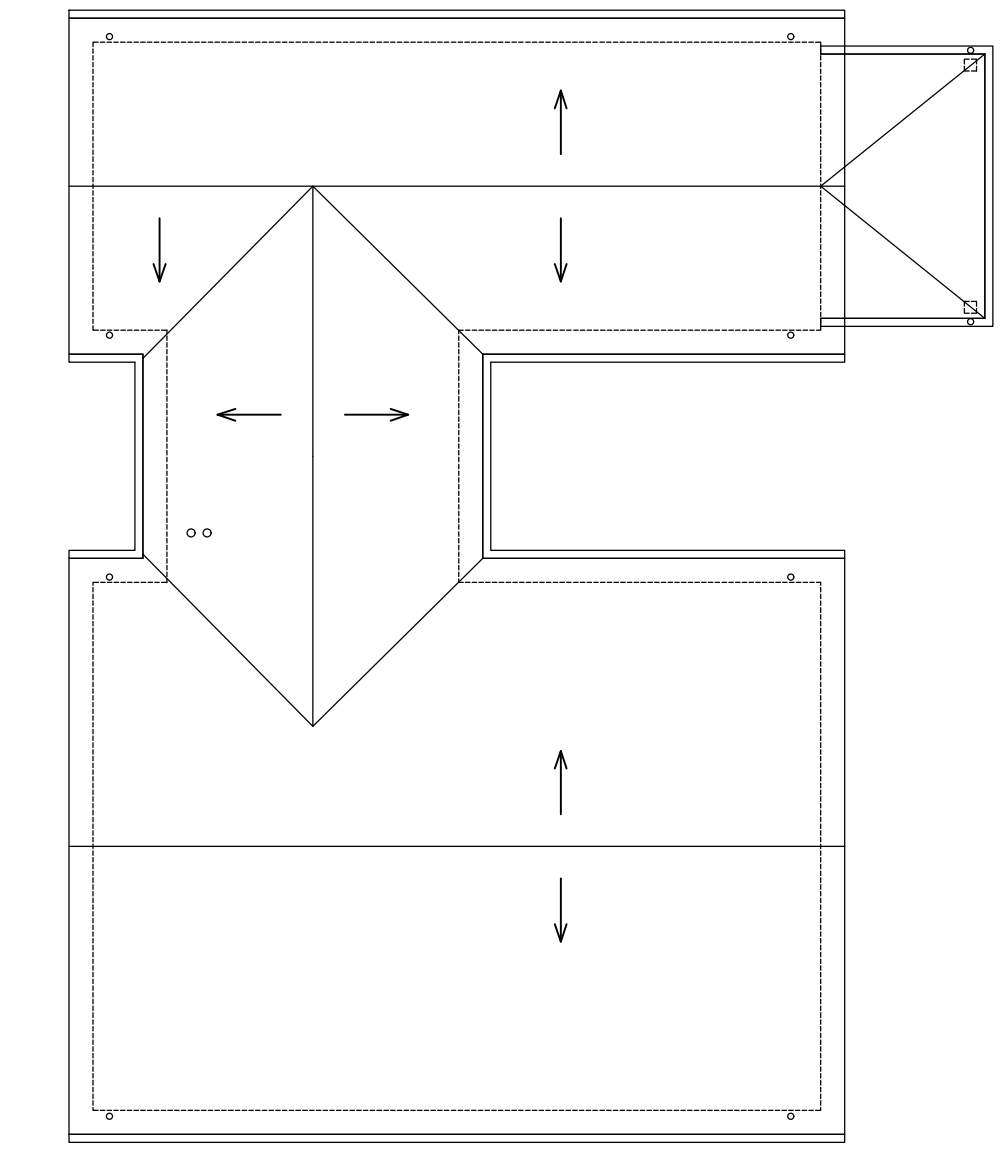
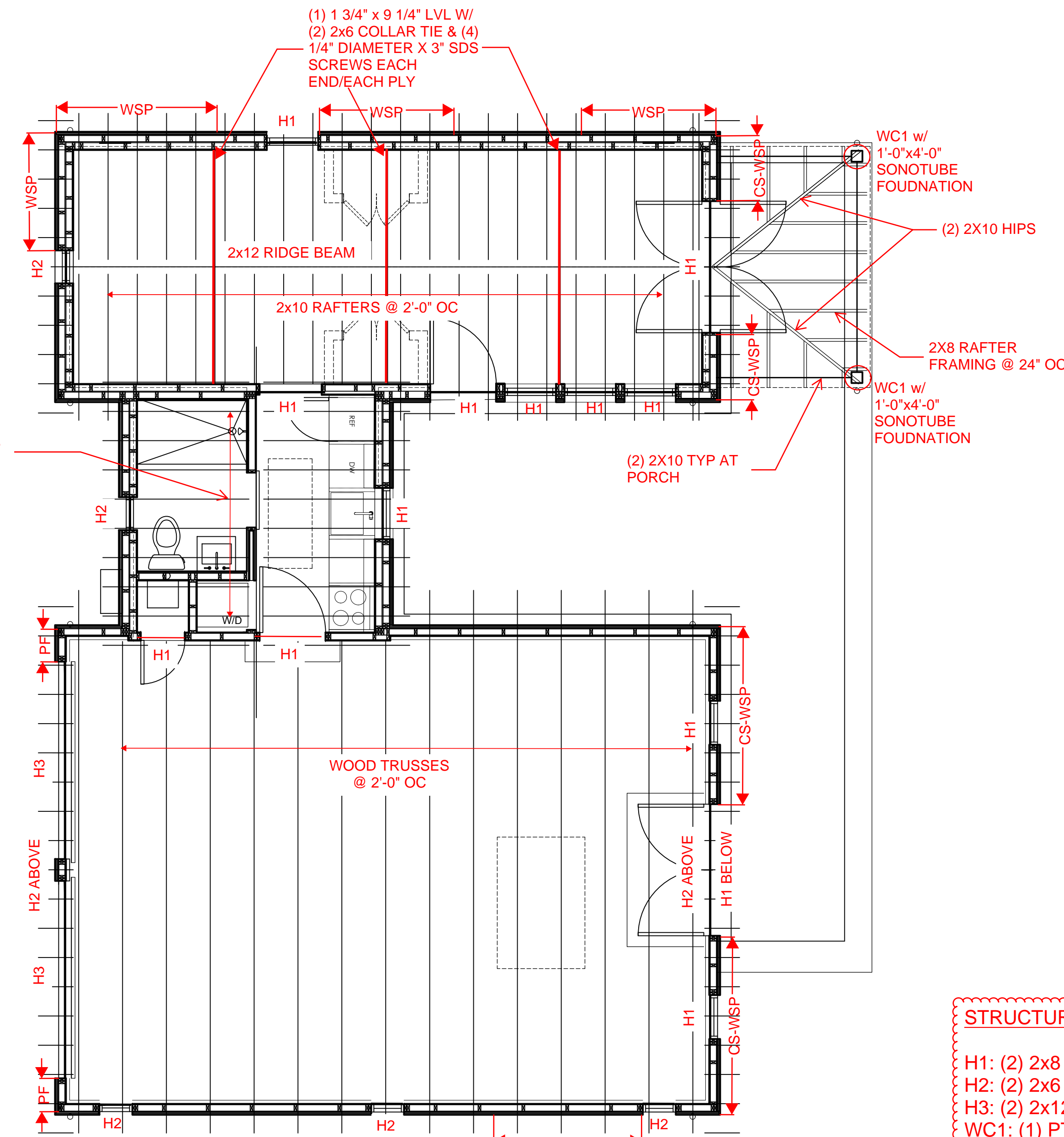
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**CONSTRUCTION
DOCUMENTS**
NOVEMBER 20, 2020

INTERIOR ELEVATIONS
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2x10 RAFTERS W/
2x8 CEILING JOISTS
@ 2'-0" OC
& 2x12 RIDGE BEAM



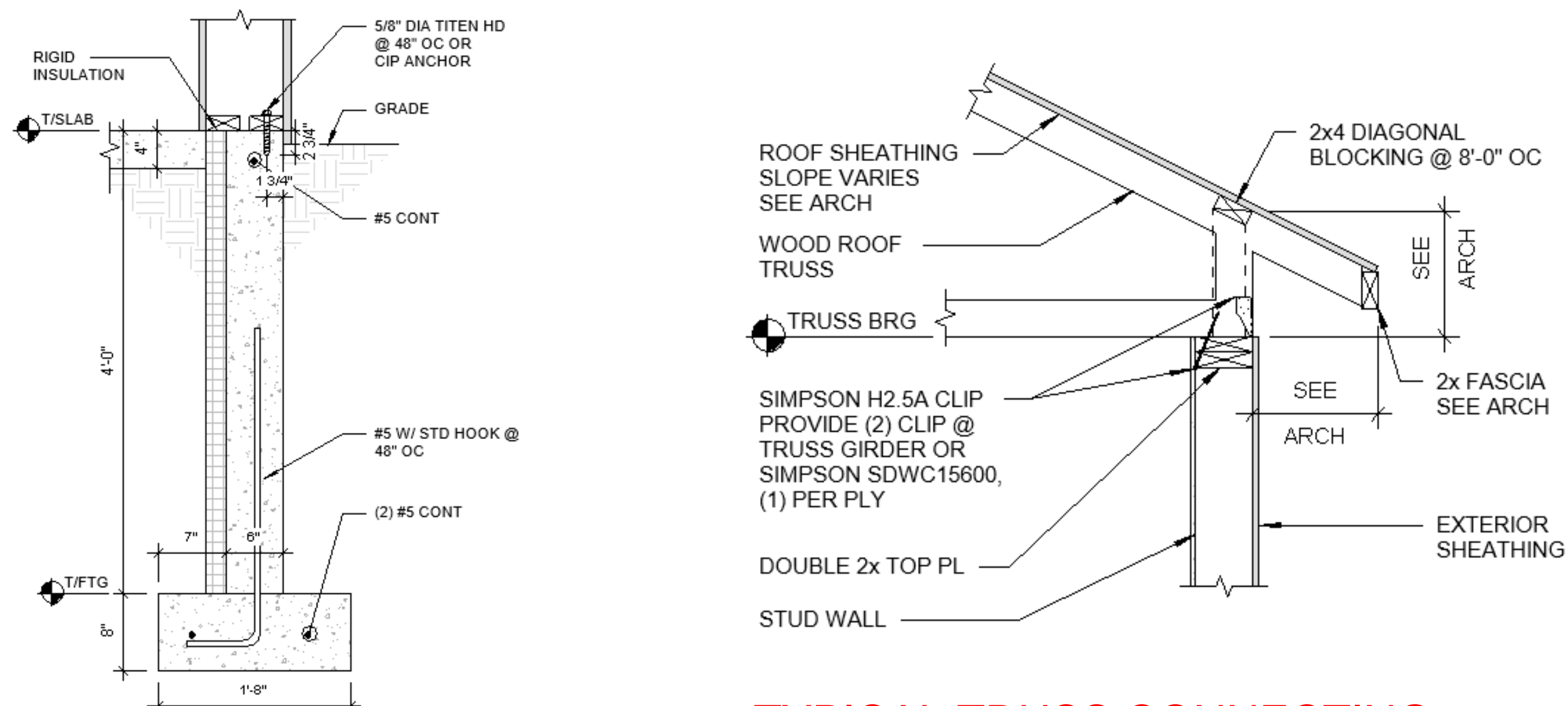
STRUCTURAL KEY

H1: (2) 2x8 W/ (1) 2X JAMB & (1) 2X KING STUD EA END
H2: (2) 2x6 W/ (1) 2X JAMB & (1) 2X KING STUD EA END
H3: (2) 2x12 W/ (2) 2X JAMB & (2) 2X KING STUDS EA END
WC1: (1) PT 4x4 (OR MIN 3-1/2" X 3-1/2" NET TURNED WOOD POST) W/
SIMPSON CPTZ CONCEALED POST BASE

1 FOUNDATION PLAN
1/4" = 1'

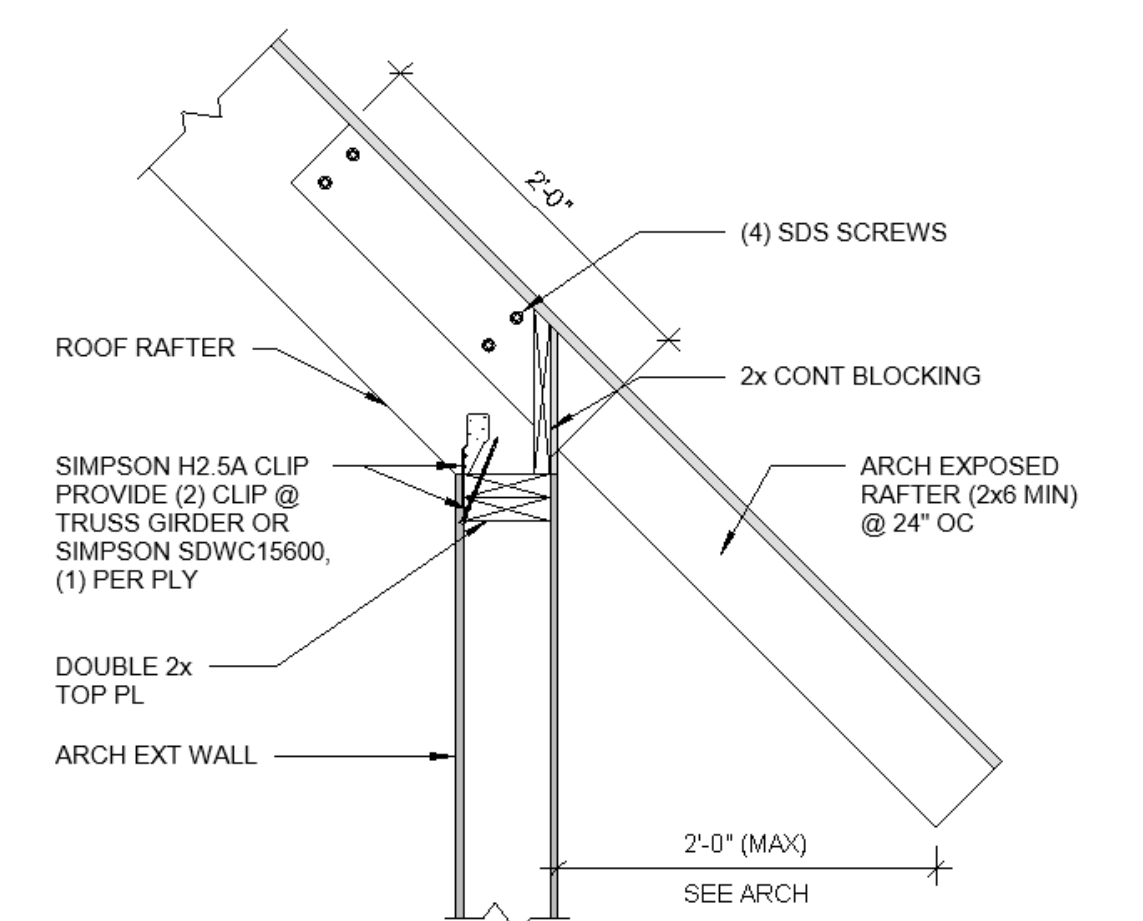
2 FRAMING PLAN
1/4" = 1'

3 ROOF PLAN
1/8" = 1'

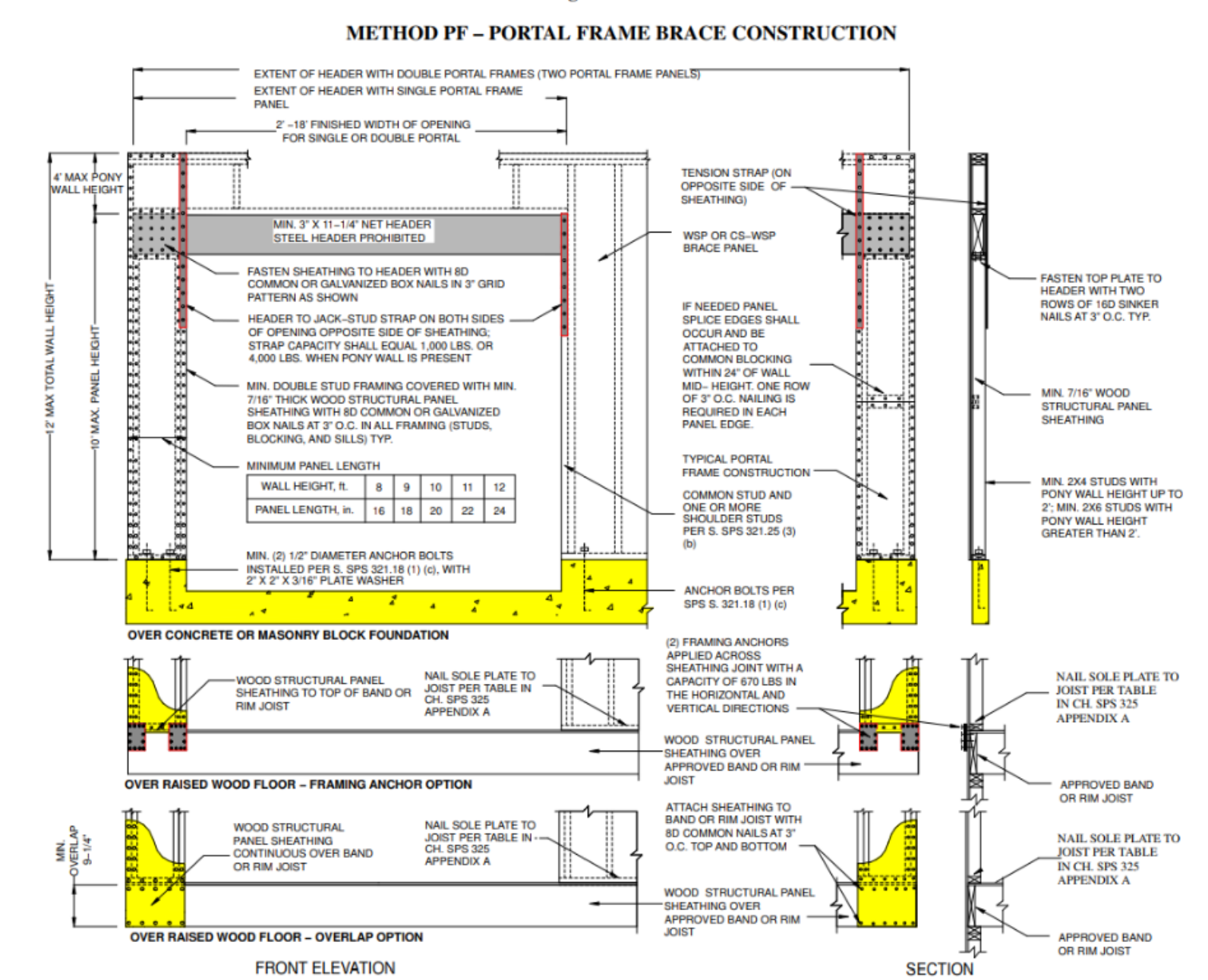
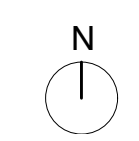


TYPICAL FOUNDATION DETAIL

TYPICAL TRUSS CONNECTING
DETAIL AT GARAGE



TYPICAL RAFTER CONNECTING
DETAIL AT ADU



TYPICAL PORTAL FRAME
CONSTRUCTION DETAIL

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