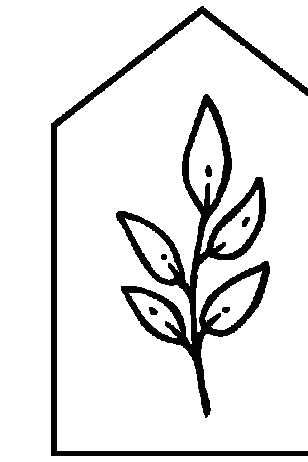


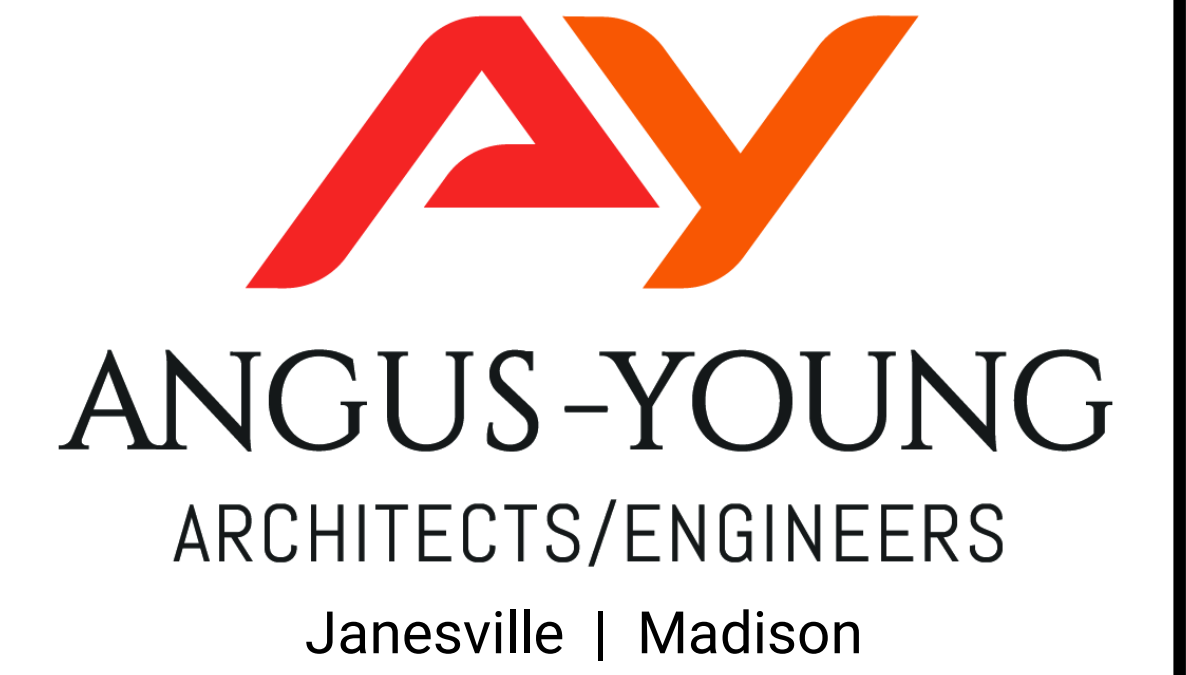
# THE EDISON DEVELOPMENT

## THE NEUTRAL PROJECT

1005 N EDISON ST  
MILWAUKEE, WI 53202



THE  
NEUTRAL  
PROJECT



THE EDISON DEVELOPMENT

AY PROJECT NUMBER: 67720

### CONCEPTUAL RENDERING:



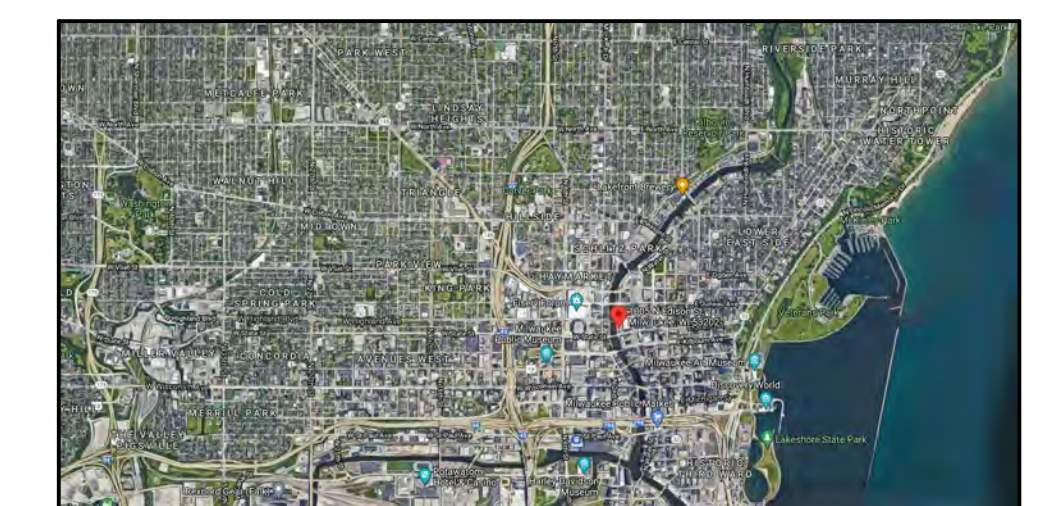
### SHEET INDEX:

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G001		
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C000		
C100	EXISTING AND SITE DEMOLITION PLAN	
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C201	SITE GRADING PLAN	(RIVERWALK SPROZ)
C302	EROSION CONTROL PLAN	(RIVERWALK SPROZ)
C401	SITE UTILITY PLAN	(RIVERWALK SPROZ)
C801	1ST LEVEL LANDSCAPE PLAN	(RIVERWALK SPROZ)
C802	3RD LEVEL LANDSCAPE PLAN	(RIVERWALK SPROZ)
C804	4TH LEVEL LANDSCAPE PLAN	(RIVERWALK SPROZ)
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ARCHITECTURAL		
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A202	WEST ELEVATION	(RIVERWALK SPROZ)
A203	EAST ELEVATION	(RIVERWALK SPROZ)

### REGULATORY DATA:

<b>BUILDING CODES:</b>	2021 INTERNATIONAL BUILDING CODE
<b>OVERALL BUILDING:</b>	2021 INTERNATIONAL FIRE CODE
	2021 INTERNATIONAL PLUMBING CODE
	2021 INTERNATIONAL MECHANICAL CODE
	2021 INTERNATIONAL ENERGY CONSERVATION CODE
	2021 INTERNATIONAL FUEL GAS CODE
<b>ACCESSIBILITY:</b>	2017 ANSI A117.1
<b>USE AND OCCUPANCY CLASSIFICATION:</b>	S-2 OCCUPANCY / A OCCUPANCY
1ST LEVEL THROUGH 3RD:	S-2 OCCUPANCY / A OCCUPANCY
4TH LEVEL THROUGH 15TH:	R-2 OCCUPANCY
<b>TYPE OF CONSTRUCTION:</b>	TYPE IA, IV-B & VB
<b>FIRE PROTECTION SYSTEM:</b>	AUTOMATIC SPRINKLER SYSTEM - NFPA 13
<b>PROJECT FLOOR AREAS:</b>	
1ST LEVEL:	22,117 SF
2ND LEVEL:	15,411 SF
3RD LEVEL:	7,184 SF
4TH - 13TH LEVEL:	14,220 SF x 10 - 142,200 SF
14TH LEVEL:	9,515 SF
15TH LEVEL:	9,515 SF
15TH LEVEL (MEZZANINE):	3,916 SF

### LOCATION MAP:



ISSUANCES / REVISIONS		
NO.	DESCRIPTION:	DATE:
1	SD PRICING SET	06/14/2021
2	DCD SUBMITTAL SET	06/18/2021
3	DCD SUBMITTAL UPDATES	06/29/2021
4	HP SUBMITTAL UPDATES	07/19/2021
5	SPROZ SUBMITTAL SET	07/30/2021

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### PROJECT TEAM

<b>OWNER:</b> THE NEUTRAL PROJECT 1005 N EDISON ST MILWAUKEE, WI 53202	<b>ARCHITECT:</b> ANGUS-YOUNG 655 SOUTH RIVER STREET JANESVILLE, WI 53548	<b>DESIGN ARCHITECT:</b> MICHAEL GREEN ARCHITECTURE 1535 WEST 3RD AVE VANCOUVER, BC V6J 1J8	<b>STRUCTURAL ENGINEER:</b> ANGUS-YOUNG 655 SOUTH RIVER STREET JANESVILLE, WI 53548	<b>LANDSCAPE ARCHITECT / CIVIL ENGINEER:</b> ANGUS-YOUNG 655 SOUTH RIVER STREET JANESVILLE, WI 53548	<b>MECHANICAL ENGINEER:</b> ANGUS-YOUNG 655 SOUTH RIVER STREET JANESVILLE, WI 53548	<b>PLUMBING ENGINEER:</b> ANGUS-YOUNG 655 SOUTH RIVER STREET JANESVILLE, WI 53548	<b>ELECTRICAL ENGINEER:</b> ANGUS-YOUNG 655 SOUTH RIVER STREET JANESVILLE, WI 53548
<b>CONTACT:</b> NATE HELBACH NATE@THENEUTRALPROJECT.COM 608-677-6108 PHONE:	<b>CONTACT:</b> JEFF DAVIS JEFF@ANGUSYOUNG.COM 608-756-2326 PHONE:	<b>CONTACT:</b> CANDICE NICHOL CANDICE@MG-ARCHITECTURE.CA 604-336-4170 PHONE:	<b>CONTACT:</b> ZACHARY GOSWICK ZGOSWICK@ANGUSYOUNG.COM 608-756-2326 PHONE:	<b>CONTACT:</b> KATIE IDELL KIDELL@ANGUSYOUNG.COM 608-756-2326 PHONE:	<b>CONTACT:</b> STEVEN GENIN SGENIN@ANGUSYOUNG.COM 608-756-2326 PHONE:	<b>CONTACT:</b> STEVEN GENIN SGENIN@ANGUSYOUNG.COM 608-756-2326 PHONE:	<b>CONTACT:</b> KEITH SCHNEIDER KSCHNEIDER@ANGUSYOUNG.COM 608-756-2326 PHONE:

### SCHEMATIC DESIGN SIGN-OFF

THESE DRAWINGS HAVE BEEN REVIEWED BY THE OWNER AND ARE ACCEPTED WITH THE CORRECTIONS INDICATED. THE DESIGN CONCEPTS, SITE IMPROVEMENTS, LAYOUT OF WALLS, DOORS AND WINDOWS ON THE FLOOR PLANS, BUILDING SCALE, APPEARANCE AND EXTERIOR MATERIALS WERE REVIEWED. THE CONSTRUCTION BUDGET HAS BEEN REVIEWED AND IS ACCEPTABLE. WITH THIS APPROVAL, THE OWNER ACKNOWLEDGES THE COMPLETION OF THE SCHEMATIC DESIGN PHASE OF THE PROJECT AND DIRECTS THE ARCHITECT TO PROCEED WITH THE DESIGN DEVELOPMENT PHASE.

TITLE BLOCK					
35	30	25	20	15	10
34	29	24	19	14	09
33	28	23	18	13	08
32	27	22	17	12	07
31	26	21	16	11	06

608.756.2326  
www.angusyoung.com

COVER SHEET

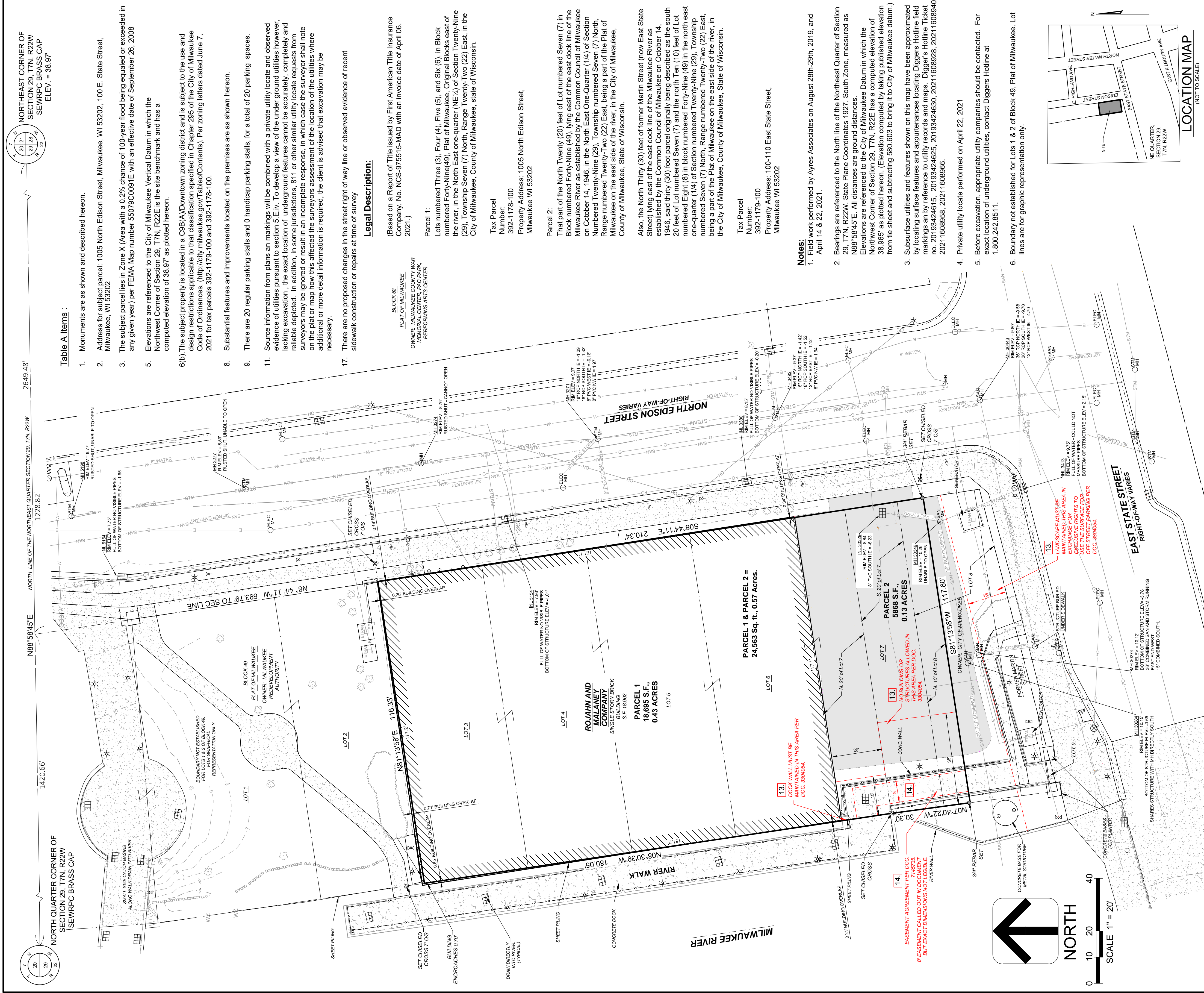
**G001**

BIM 360://Edison/67720/A-2020.rvt

Sheet Size: 30" x 42" (Arch E1)

Date





**LEGEND**

○ SANITARY MANHOLE	○ FIBER OPTICS MANHOLE
○ STORMWATER/SANITARY MANHOLE	○ ELECTRIC MANHOLE
○ INLET	○ GENERAL MANHOLE
○ CATCH BASIN	○ UTILITY POLE
○ WATER VALVE	○ ELECTRIC PEDESTAL
○ GAS VALVE	○ TELEPHONE PED
○ FIRE HYDRANT	○ CABLE TV PED
○ FLAG POLE	○ ELECTRIC METER/GAS METER
○ GUY WIRE	○ ELECTRIC PULLBOX
○ BOLLARD	○ LIGHT POLE
○ RECORDED AS (100.00')	○ SIGN
○ YARD LIGHT	
— PROPERTY LINE	
— R/W CENTERLINE	
— CHAINLINK FENCE	
— UNDERGROUND TELEPHONE	
— UNDERGROUND ELECTRIC	
— UNDERGROUND SANITARY	
— UNDERGROUND GAS	
— UNDERGROUND STORM SEWER	
— WATERMAIN	
— LANDSCAPED AREA	
— CONCRETE	
— ASPHALT	
■ FOUND MONUMENT (TYPE/SIZE NOTED)	
○ SET MONUMENT (TYPE/SIZE NOTED)	
✕ SET CHISELED CROSS (OFFSET NOTED)	

**Surveyor's Certificate:**

To: i) Rojahn and Malaney Company  
 ii) First American Title Insurance Company  
 iii) North Edison, LLC  
 iv) The Neutral Project, LLC

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes items 1, 2, 3, 5, 6, 11, 17, and 21 of Table A hereof. The field work was completed August 28th & 29th, 2019, and April 14th & 22nd, 2021.

Dated this 7th day of June, 2021.

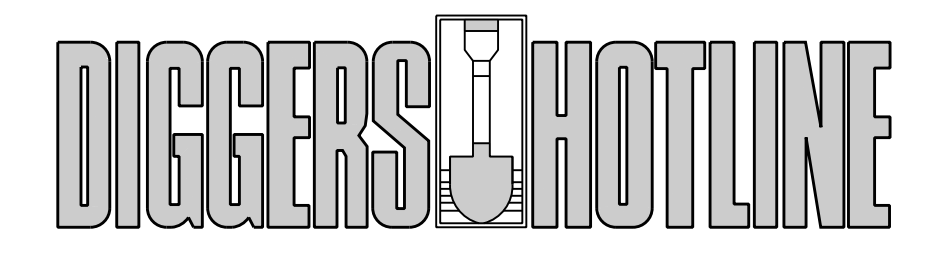
Nathan A. Vaughn, S-2986  
 Professional Land Surveyor  
 Vaughn@AyresAssociates.com  
 (262) 523-4488

**Title Report Records:**  
 The following were disclosed as exceptions in the Commitment for Title Insurance issued by First American Title Insurance Company, Commitment No. NCS-975015-MAD, effective date April 06, 2021.  
 Items 1-3, 10-12, visible evidence shown on map, if any.  
 Items 4-9 are not survey related and therefore are intentionally omitted.

- Terms, conditions, reservations and provisions set forth in Warranty Deed dated June 14, 1954 and recorded on June 18, 1954, in Volume 3303 of Deeds, Page 199, as Document No. 3304054. THIS ITEM DOES AFFECT THE PROPERTY AND IS PLOTTED HEREON
- Terms, provisions and conditions set forth in Grant of Easement Agreement dated April 20, 1995 and recorded on November 02, 1995, in Reel 3663, Image 1404, as Document No. 7145735. THIS ITEM DOES AFFECT THE PROPERTY, DIMENSIONS OF EASEMENT AREA ON EXHIBIT OF DOCUMENT NO. 7145735 ARE UNREADABLE.
- Assessment provisions as set forth in attachments to Affidavit of Harry A. Stein recorded on June 22, 1998, in Reel 4334, Image 1366, as Document No. 7551859. THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND THEREFORE IS NOT PLOTTED
- Terms, provisions and conditions set forth in Riverwalk License Agreement dated March 01, 2005 and recorded on October 06, 2006, as Document No. 09315832. THIS ITEM DOES AFFECT SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.

SURVEY BY	BOOK NO	1	6-07-2021	Storm and sanitary invert elevation info, additional logo, and zoning report added
DR BY	B.JLNS	76-0136-00		
CHK BY	NV	09/07/2019	NO	REVISION





CALL TOLL FREE 1-800-242-8511  
 MILWAUKEE AREA 414-259-1181  
 FAX A LOCATE 1-800-338-3860  
 TDD (HEARING IMPAIRED) 1-800-542-2289  
 ONLINE: www.DiggersHotline.com

WISCONSIN STATUTE 192.0175 (1974) REQUIRES A MINIMUM OF THREE (3) WORKING COPIES TO BE PROVIDED TO THE CONTRACTOR.

**SITE SYMBOL LEGEND**

	SIGN
	BOLLARD
	FIRE HYDRANT
	MANHOLE/CATCH BASIN/INLET
	CURB INLET
	NEW FLARED END SECTION WITH RIPRAP AND GUARD
	NEW SPOT ELEVATION (FEET)
	NEW TOP OF CURB ELEVATION (FEET)
	NEW BOTTOM OF CURB ELEVATION (FEET)
	NEW TOP OF STEP (FEET)
	NEW BOTTOM OF STEP (FEET)
	RIM OR INVERT ELEVATION (FEET)
	WATER VALVE OR GAS VALVE
	GAS METER
	LIGHT POLE
	UTILITY POLE
	GUY WIRE
	TRANSFORMER
	ELECTRIC METER AND CT CABINET
	NEW STRUCTURE OR ADDITION
	EXISTING STRUCTURE

ALL SYMBOLS MAY NOT BE USED IN THIS SET.

- SITE GENERAL NOTES**
- TRUE NORTH MAY VARY FROM PROJECT NORTH.
  - CONSTRUCTION PRACTICES, MEANS AND METHODS, AND JOB SITE SAFETY, SHALL REMAIN THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  - ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH THE FEDERAL OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA) AND ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES AS THEY PERTAIN TO THIS PROJECT.
  - FIELD VERIFY ALL EXISTING AND PROPOSED UTILITIES, ELEVATIONS AND DIMENSIONS.
  - COORDINATE WITH THE AUTHORITY HAVING JURISDICTION AND UTILITY COMPANIES AS NECESSARY.
  - BUILDING SHALL BE ORIENTED PARALLEL AND PERPENDICULAR TO EXISTING BUILDING AND/OR PROPERTY LINES AS SHOWN ON DRAWING.
  - ALL EXTERIOR CONCRETE SIDEWALKS AND YARD SLABS SHALL BE 4,000 PSI ALL CONCRETE PAVEMENT SHALL BE 4,000 PSI UNLESS NOTED OTHERWISE.

- KEYNOTES**
- REMOVE EXISTING BUILDING, DISCONNECT UTILITIES, MAINTAIN SHEET PILING ALONG BUILDING EDGE ALONG RIVER.
  - REMOVE PAVEMENT
  - REMOVE EXISTING CURB OPENING, PROVIDE NEW CURB & GUTTER TO MATCH EXISTING PROFILE.
  - NEW PAVEMENT PATCH FOR UTILITY WORK AND CURB AND GUTTER REPLACEMENT. SEE DETAIL ON SHEET C01.
  - REMOVE EXISTING STORM STRUCTURE AND LATERAL, PLUG AT MANHOLE TO REMAIN.
  - EXISTING RETAINING WALL ALONG RIVER TO REMAIN UNDER NEW RIVERWALK CONNECTION.
  - EXISTING RIVERWALK AT ELEVATION -6.95, TO BE ELEVATED TO -9.00 (SEE GRADING PLAN SHEET C301) WITH SLOPE AND TOPPED WITH NEW CONCRETE SIDEWALK, CONNECT NEW STORM DRAIN FROM NEW SURFACE TO EXISTING STORM DRAIN (REMOVE GRATES).
  - EXISTING RIVERWALK HARP STREET LIGHT AND POLE TO BE RELOCATED TO NEW RIVERWALK ELEVATION. SEE SITE LIGHTING PLAN FOR ADDITIONAL INFORMATION.
  - REMOVE EXISTING LIGHT POLE
  - REMOVE EXISTING RIVERWALK RAILING AND GUARD. SEE SHEET C101 FOR NEW RAILING AND GUARD LOCATION.
  - REMOVE EXISTING RETAINING WALL
  - REMOVE PORTION OF RIP RAP
  - CLEAR AND GRUB EXISTING VEGETATION
  - REMOVE EXISTING GAS METER, FIELD VERIFY GAS SERVICE SIZE AND PROVIDE NEW SERVICE AND EXTERIOR GAS METER, SEE SITE UTILITY PLAN FOR NEW LOCATION.
  - REMOVE EXISTING BOLLARDS
  - EXISTING ART SCULPTURE TO BE RELOCATED BY CITY, CONTRACTOR TO REMOVE CONCRETE BASE FOLLOWING RELOCATION, COORDINATE WITH CITY ON SCHEDULE.
  - EXISTING MEMORIAL ART PIECE, BENCH AND PLAQUE TO BE RELOCATED, CITY TO RELOCATE OFF-SITE.
  - EXISTING ROUND PRECAST CONCRETE BENCHES, TO BE RELOCATED BY CITY, COORDINATE WITH CITY ON SCHEDULE. (8 TOTAL)
  - REMOVE EXISTING CONCRETE COLUMNS
  - RELOCATE TRANSFORMER OR REMOVE AND REFEED POWER FOR BRIDGE SERVICE, TO BE DETERMINED, COORDINATE WITH WE ENERGS.

**ISSUANCES / REVISIONS**

NO.	DESCRIPTION	DATE
1	SD PRICING SET	06/14/2021
2	DCD SUBMITTAL SET	06/18/2021
3	DCD SUBMITTAL UPDATES	06/29/2021
4	HP SUBMITTAL UPDATES	07/19/2021
5	SPPROZ SUBMITTAL SET	07/30/2021

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PROJECT NUMBER  
 67720

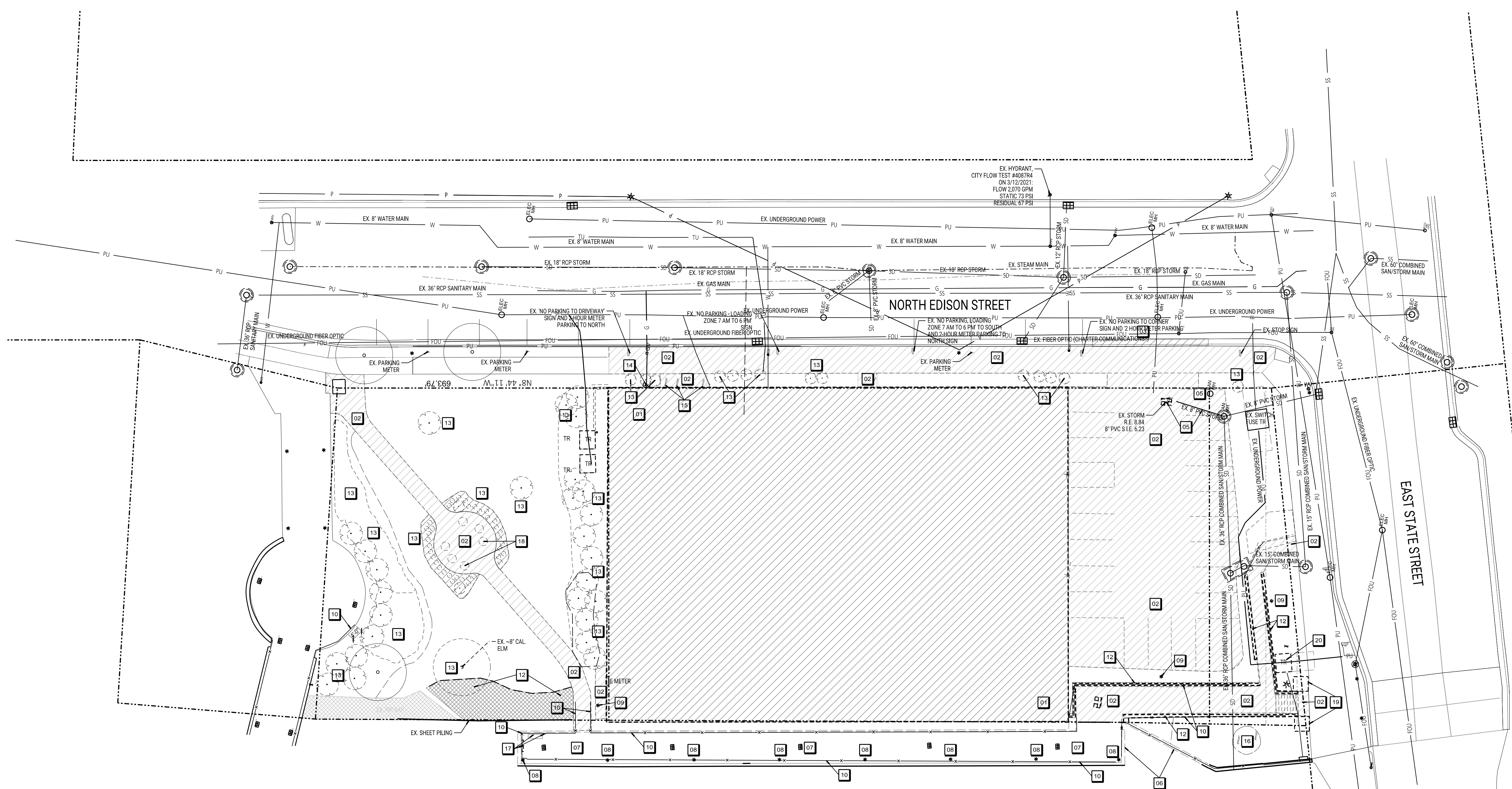
APPROVED BY  
 JAD

REVIEWED BY  
 JAD

DRAWN BY  
 KAU

EXISTING AND SITE  
 DEMOLITION PLAN

**C100**



MILWAUKEE RIVER  
 BASE FLOOD EL. 584.00 NAVD / 3.397 MILWAUKEE DATUM  
 WATER EL. 4/14/2021 0.92 TO 1.01



EXISTING AND SITE DEMOLITION PLAN  
 SCALE: 1"=20'-0"

SCALE 1"=20'-0"

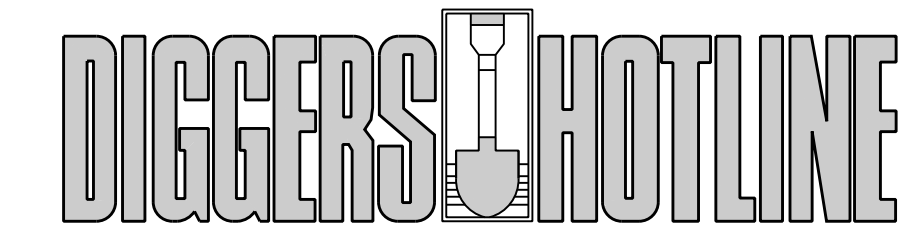
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PLOTTED BY: hsh

ORIGINAL SIZE: 24" x 36"

PRELIMINARY - NOT FOR CONSTRUCTION





CALL TOLL FREE 1-800-242-8511  
MILWAUKEE AREA 414-259-1181  
FAX A LOCATE 1-800-338-3860  
TDD (HEARING IMPAIRED) 1-800-542-2289  
ONLINE: www.DiggersHotline.com

WISCONSIN STATUTE 182.0175 (1974) REQUIRES A MINIMUM OF THREE (3) WORKING DAYS NOTICE PRIOR TO EXCAVATION.

SITE SYMBOL LEGEND	
	SIGN
	BOLLARD
	FIRE HYDRANT
	MANHOLE/CATCH BASIN/INLET
	CURB INLET
	NEW FLARED END SECTION WITH RIPRAP AND GUARD
	NEW SPOT ELEVATION (FEET)
	NEW TOP OF CURB ELEVATION (FEET) NEW BOTTOM OF CURB ELEVATION (FEET)
	NEW TOP OF STEP (FEET) NEW BOTTOM OF STEP (FEET)
	RM OR INVERT ELEVATION (FEET)
	WATER VALVE OR GAS VALVE
	GAS METER
	LIGHT POLE
	UTILITY POLE
	GUY WIRE
	TRANSFORMER
	ELECTRIC METER AND CT CABINET
	NEW STRUCTURE OR ADDITION
	EXISTING STRUCTURE

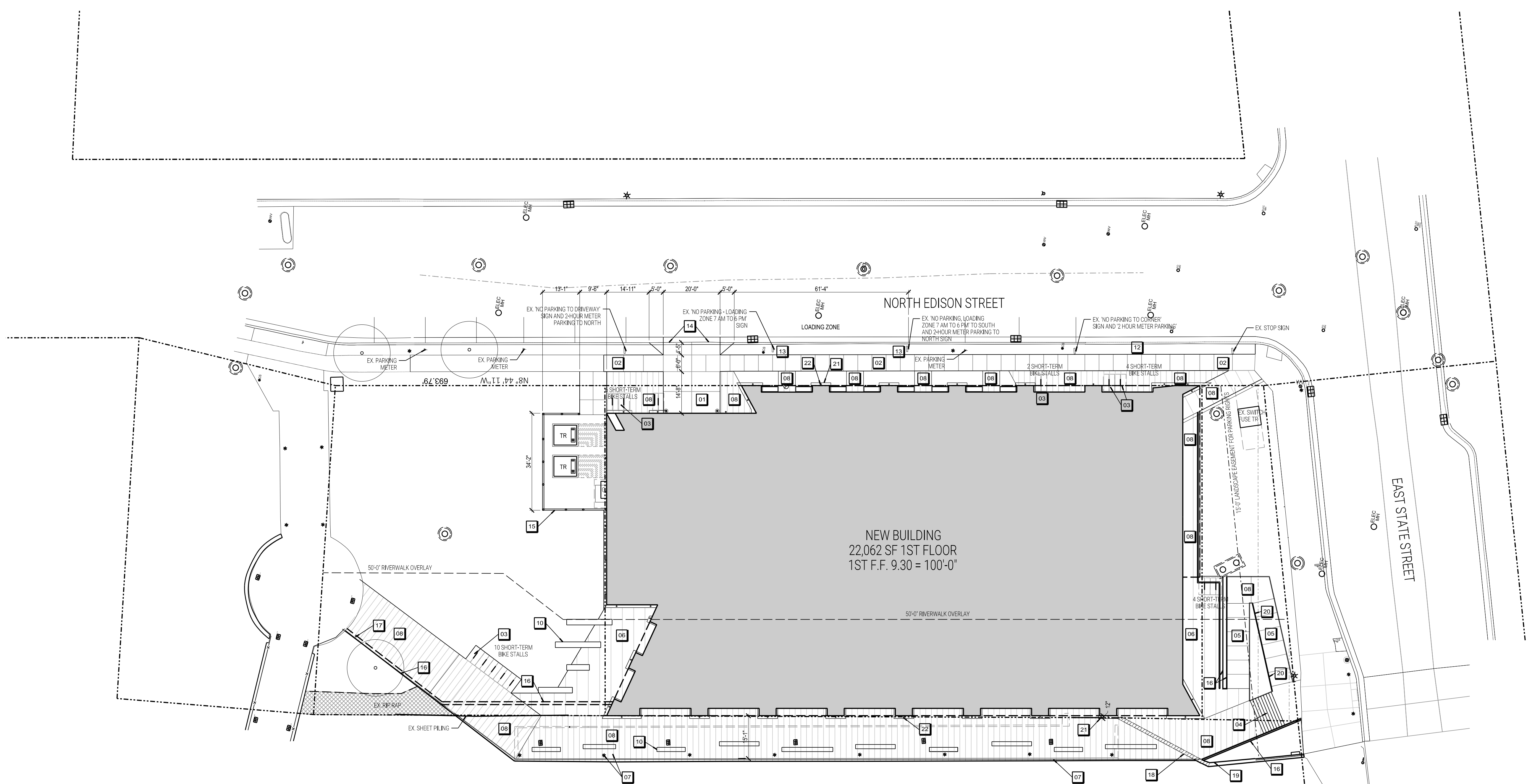
ALL SYMBOLS MAY NOT BE USED IN THIS SET.

**THE NEUTRAL PROJECT - SITE CALCULATIONS**

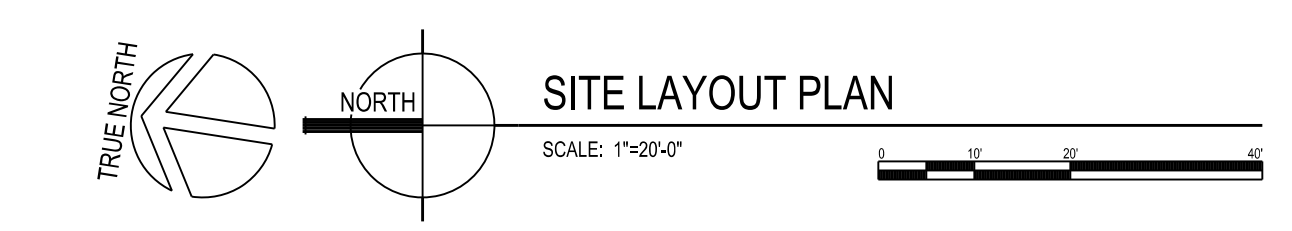
<b>Total Property (Parcel 1 + 2)</b>	24,563 sf	0.56 ac
Zoning District:	C9B - Residential & Specialty Use - Subdistrict A	
Setbacks:	Riverside Overlay District none Street Yard 1st Floor none Side Yard none Rear Yard	
Permitted Floor Area (when surface open space will comprise 40% or less of development site):	6(W) + 5(X) + 2.5(Y) = 177,646 sf	
W = size of development site	6W =	147,378 sf
X = amount of open space (955 sf)	5X =	4,775 sf
Y = amount of qualifying roof top open space (10,197 sf)	2.5Y =	25,493 sf
Note: Surface Open Space means the at-grade area of any site or development site not covered by structures or devoted to vehicular use.		
Provided Habitable Floor Area for Commercial & Residential (Estimated):	161,820 sf	
Maximum Building Height:	none	
Use:	Permitted - Multi-Family Dwelling Limited - Parking Structure Accessory	
<b>Existing Site:</b>		
Existing Buildings	18,902 sf	0.43 ac
Existing Pavement	5,802 sf	0.13 ac
<b>Total Existing Impervious</b>	24,504 sf	0.56 ac
<b>Remainder Greenspace</b>	599 sf	0.00 ac
<b>Proposed Site:</b>		
New Building with Overhangs	23,218 sf	0.53 ac
New Pavement	1,290 sf	0.03 ac
<b>Total New &amp; Existing Impervious</b>	24,508 sf	0.56 ac
<b>Remainder Greenspace</b>	55 sf	0.00 ac
<b>Total Additional New Impervious Area</b>	4 sf	

<b>SOUTH CITY-OWNED PARCEL:</b>		
<b>Total Property</b>	3,268 sf	0.08 ac
<b>Existing Site:</b>		
Existing Pavement	1,567 sf	0.04 ac
Existing Greenspace	1,701 sf	0.04 ac
<b>Proposed Site:</b>		
Existing and New Pavement	1,029 sf	0.02 ac
Greenspace	2,243 sf	0.05 ac
<b>Total Impervious Reduction:</b>	-542 sf	
<b>NORTH CITY-OWNED PARCEL:</b>		
<b>Total Property</b>	11,482 sf	0.26 ac
<b>Existing Site:</b>		
Existing Pavement	1,735 sf	0.04 ac
Existing Greenspace	9,747 sf	0.22 ac
<b>Proposed Site:</b>		
Existing and New Pavement	2,134 sf	0.05 ac
Greenspace	9,348 sf	0.21 ac
<b>Total Impervious Addition:</b>	399 sf	0.01 ac
<b>Total Additional Riverwalk Outside of Properties:</b>		
<b>Total Impervious Addition:</b>	1,557 sf	0.04 ac
<b>Net Increase of Impervious for Entire Development:</b>		
<b>Total Impervious Addition:</b>	1,418 sf	0.03 ac

<b>PARKING REQUIREMENTS</b>						
Note: Site is zoned C9B High-Density Residential and is exempt from automobile parking requirements. The below table notes parking to be provided.						
Use	City Units, Capacity or SF	Minimum Automobile Parking Calculation Recommended	Min. Recommended Auto Required	Minimum Bicycle Parking Calculation	Min. Long-Term Bicycle Required	Min. Short-Term Bicycle Required
Commercial/Retail Space	15,600	1 per 1,000 sf floor area (excluding storage/utility areas)	16	Provide 1 Long-Term for every 6,000 gsf, min. 2 spaces, and 1 Short-Term for every 3,000 gsf floor area, min. 2 spaces	3	6
Multi-Family Units	194	Provide 2 stalls for 3 units (Based on Table 295-403-2-a for CS District)	130	Provide 1 long-term for every 4 units, and 1 short-term for every 30 units	49	7
<b>Parking Recommended (Not Required)</b>		146	<b>Total Min. Bicycle Parking Required:</b>		52	13
<b>Total Automobile Parking Provided with Automated System and Rideshare Program</b>		102	<b>Total Bicycle Parking Required:</b>		56	26
					Indoor	Outdoor

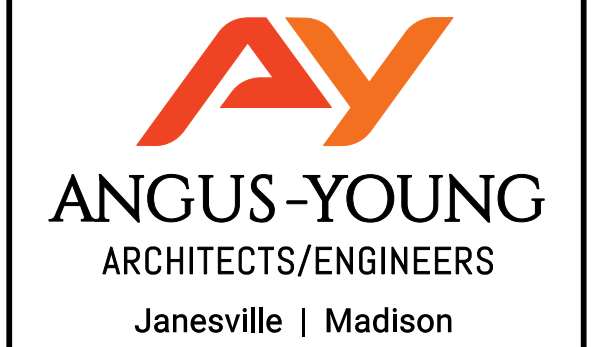


MILWAUKEE RIVER  
BASE FLOOD EL. 584.00 NAVD / 3.397 MILWAUKEE DATUM  
WATER EL. 4/14/2021 0.92 TO 1.01



- KEYNOTES**
- 01 NEW DRIVEWAY, BASE BID: 7" CONCRETE PAVEMENT AND ALT. #1 PAVERS, SEE CURB OPENING DETAIL ON SHEET C801.
  - 02 NEW PUBLIC RIGHT-OF-WAY SIDEWALK TO REPLACE EXISTING, 5" THICK CONCRETE IN ACCORDANCE WITH CITY OF MILWAUKEE SPECIFICATIONS.
  - 03 NEW LOFTY BIKE RACK BY MADRAX, OR APPROVED EQUAL, TYP.
  - 04 NEW CONCRETE STAIRS WITH HANDRAIL.
  - 05 NEW RAMP WITH HANDRAIL.
  - 06 NEW PEDESTRIAN PAVED AREAPATIO
  - 07 RAISE UP EXISTING SURFACE GRADE OF RIVER WALK, SEE SHEET C301 AND S103 FOR GRADES, REUSE LIGHT POLES, REPAINTED BLACK, PROVIDE NEW GUARD RAIL, SEE DETAIL 01S103 FOR RIVERWALK SECTION.
  - 08 NEW ACCOYA WOOD LINEAR BENCH, TYP.
  - 09 NEW WEATHERED STEEL RETAINING WALL.
  - 10 NEW ACCOYA WOOD LINEAR BENCH, TYP.
  - 11 NEW PAVEMENT PATCH FOR UTILITY WORK AND CURB AND GUTTER REPLACEMENT
  - 12 REPLACE CURB AND GUTTER WITH SAME PROFILE.
  - 13 REPLACE EXISTING NO PARKING - LOADING ZONE 1 AM TO 6 PM SIGN WITH NO PARKING - LOADING ZONE IN ACCORDANCE WITH CITY OF MILWAUKEE REQUIREMENTS.
  - 14 CURB OPENING, SAWCUT CURB HEAD DOWN FOR OPENING.
  - 15 NEW VERTICAL WOOD FIN SCREEN FOR UTILITY SCREENING, PROVIDE CONCRETE UTILITY PADS AND 4" THICK STONE MULCH WITH WEED BARRIER FABRIC BENEATH, SEE SHEET C801 FOR LANDSCAPE SCREENING BEYOND.
  - 16 NEW WEATHERED LANDSCAPE WALL.
  - 17 NEW GUARD RAIL TO CONNECT TO EXISTING AT NORTH ORCLE RIVERWALK.
  - 18 CUT BACK PORTION OF WALL TO ACCOMMODATE RIVERWALK.
  - 19 EXPOSED PORTION OF EXISTING RETAINING WALL TO BE COVERED WITH NEW CAST IN PLACE CONCRETE, EXTEND GUARDRAIL TO CONNECT TO STAIR HANDRAIL AND GUARD.
  - 20 RAMP ELEVATED ABOVE GRADE WITH WEATHERED STEEL LANDSCAPE WALL FLUSH WITH EDGE OF RAMP, EXTEND GUARD RAIL TO GRADE.
  - 21 12" DECORATIVE STONE STRIP AT BUILDING PERIMETER, TYP.
  - 22 12" HIGH BOLLARD, TYP.

- SITE GENERAL NOTES**
1. TRUE NORTH MAY VARY FROM PROJECT NORTH.
  2. CONSTRUCTION PRACTICES, MEANS AND METHODS, AND JOB SITE SAFETY, SHALL REMAIN THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  3. ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH THE FEDERAL OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA), AND ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES AS THEY PERTAIN TO THIS PROJECT.
  4. FIELD VERIFY ALL EXISTING AND PROPOSED UTILITIES, ELEVATIONS AND DIMENSIONS.
  5. COORDINATE WITH THE AUTHORITY HAVING JURISDICTION AND UTILITY COMPANIES AS NECESSARY.
  6. BUILDING SHALL BE ORIENTED PARALLEL AND PERPENDICULAR TO EXISTING BUILDING AND/OR PROPERTY LINES AS SHOWN ON DRAWING.
  7. ALL EXTERIOR CONCRETE SIDEWALKS AND YARD SLABS SHALL BE 4,000 PSI ALL CONCRETE PAVEMENT SHALL BE 4,000 PSI UNLESS NOTED OTHERWISE.



THE NEUTRAL PROJECT  
  
THE EDISON  
  
1005 N. EDISON STREET  
MILWAUKEE, WI 53202

ISSUANCES / REVISIONS		
NO.	DESCRIPTION:	DATE:
1	SD PRICING SET	06/14/2021
2	DCD SUBMITTAL SET	06/18/2021
3	DCD SUBMITTAL UPDATES	06/29/2021
4	HP SUBMITTAL UPDATES	07/19/2021
5	SPROZ SUBMITTAL SET	07/30/2021

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PROJECT NUMBER  
67720  
  
APPROVED BY  
JAD  
  
REVIEWED BY  
JAD  
  
DRAWN BY  
KAU

SITE LAYOUT PLAN  
  
**C101**  
  
(RIVERWALK SPROZ)

PRELIMINARY - NOT FOR CONSTRUCTION

SCALE: 1"=20'-0" ORIGINAL SIZE: 24" x 36" PLOTTED BY: BaRler X:\67720\67720\67720\C101.dgn

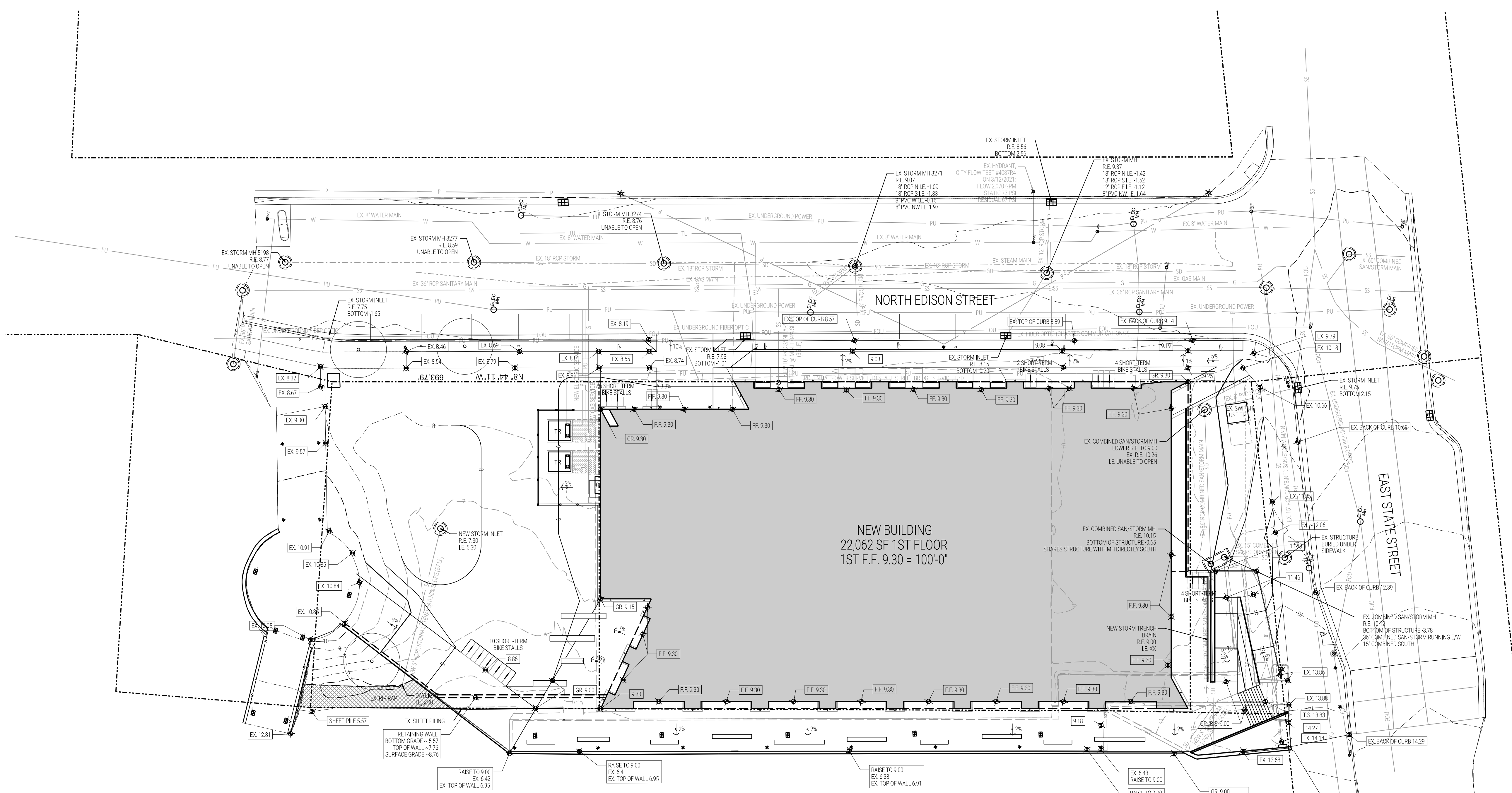


SITE SYMBOL LEGEND	
	SIGN
	BOLLARD
	FIRE HYDRANT
	MANHOLE CATCH BASIN/INLET
	CURB INLET
	NEW FLARED END SECTION WITH RIPRAP AND GUARD
	NEW SPOT ELEVATION (FEET)
	NEW TOP OF CURB ELEVATION (FEET) NEW BOTTOM OF CURB ELEVATION (FEET)
	NEW TOP OF STEP (FEET) NEW BOTTOM OF STEP (FEET)
	RIM OR INVERT ELEVATION (FEET)
	WATER VALVE OR GAS VALVE
	GAS METER
	LIGHT POLE
	UTILITY POLE
	GUY WIRE
	TRANSFORMER
	ELECTRIC METER AND CT CABINET
	NEW STRUCTURE OR ADDITION
	EXISTING STRUCTURE

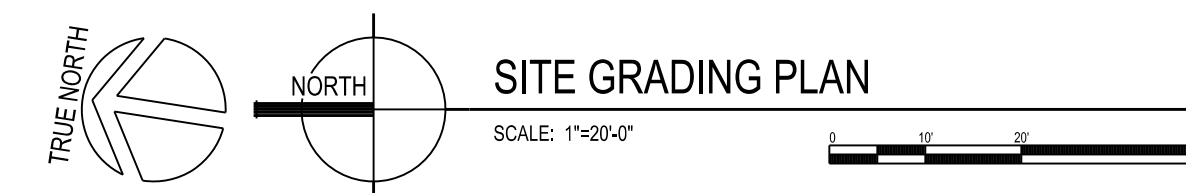
ALL SYMBOLS MAY NOT BE USED IN THIS SET.

**SITE GENERAL NOTES**

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MILWAUKEE RIVER  
 BASE FLOOD EL. 584.00 NAVD / 3.397 MILWAUKEE DATUM  
 WATER EL. 4/14/2021 0.92 TO 1.01



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PROJECT NUMBER	67720
APPROVED BY	JAD
REVIEWED BY	JAD
DRAWN BY	KAU

SITE GRADING PLAN

**C301**

(RIVERWALK SPROZ)

PRELIMINARY - NOT FOR CONSTRUCTION

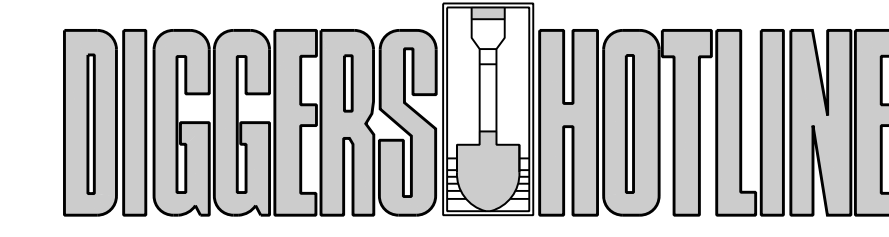
SCALE 1"=20'-0"

PROJECTED BY: Badler

PLOTTED BY: Badler

ORIGINAL SIZE: 24" x 36"





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FAX A LOCATE 1-800-338-3860  
TDD (HEARING IMPAIRED) 1-800-542-2289  
ONLINE: www.DiggersHotline.com

WISCONSIN STATUTE § 90.12(1)(b) REQUIRES A MINIMUM OF THREE (3) WORKING DAYS NOTICE PRIOR TO EXCAVATION.

EROSION CONTROL LEGEND	
	SEDIMENT LOG
	INLET PROTECTION
	CONCRETE WASHOUT ZONE
	TRACKING PAD

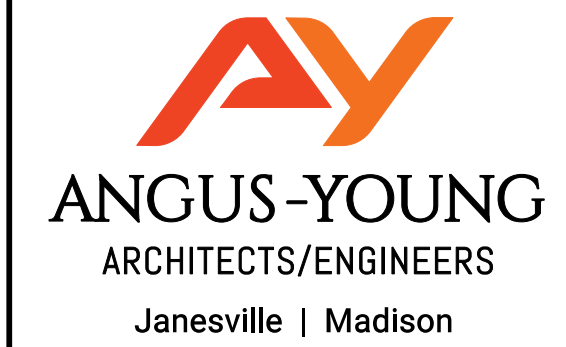
KEYNOTES

- 01 NEW STORM INLET PROTECTION, TYP. SEE DETAIL 11/06/01
- 02 NEW CONSTRUCTION FENCING WITH SEDIMENT LOG
- 03 NEW STONE TRACKING PAD, TYP. SEE DETAIL 05/06/01
- 04 CONCRETE WASHOUT STRUCTURE, SEE DETAIL 06/06/01
- 05 DEWATERING SYSTEMS SHALL BE PER DETAIL 10/06/01.

GENERAL NOTES

EROSION CONTROL NOTES

- Initial Downstream Receiving Water of the State from the site: Milwaukee River**  
**This project is anticipated to disturb approximately 0.86 Acres.**
- KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
  - CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
  - CONTRACTOR SHALL MAINTAIN A WEEKLY REPORT OF THE EROSION AND SEDIMENT CONTROL MEASURES AND CONDUCT MAINTENANCE TO ENSURE THE MEASURES ARE IN PROPER WORKING ORDER. THE MONITORING RECORD SHALL INCLUDE AT LEAST THE FOLLOWING:
    - a. DATE, TIME AND EXACT PLACE OF INSPECTION
    - b. NAME(S) OF INDIVIDUAL(S) PERFORMING INSPECTION
    - c. AN ASSESSMENT OF THE CONDITION OF EROSION AND SEDIMENT CONTROLS
    - d. A DESCRIPTION OF ANY EROSION AND SEDIMENT CONTROL IMPLEMENTATION AND MAINTENANCE PERFORMED.
    - e. A DESCRIPTION OF THE SITE'S PRESENT PHASE OF CONSTRUCTION
  - NOTE: THE DNR CONSTRUCTION SITE INSPECTION REPORT FORM CAN BE USED FOR THESE INSPECTIONS, WHICH IS LOCATED AT: [HTTP://DNR.WI.GOV/RUNOFF/PD/STORMWATER/3400187\\_CONSTRUCTION\\_SITE\\_INSPECTION\\_REPORT.PDF](http://dnr.wi.gov/runoff/pd/stormwater/3400187_CONSTRUCTION_SITE_INSPECTION_REPORT.PDF)
  - INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
  - REFER TO THE WDNR TECHNICAL STANDARDS FOR STORM WATER CONSTRUCTION AT [http://dnr.wi.gov/topic/stormwater/standards/const\\_standards.html](http://dnr.wi.gov/topic/stormwater/standards/const_standards.html)
  - INSTALL PERMETER CONTROLS AND ROCK CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCE(S).
  - INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE TRIBUTARY AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060.
  - NOTIFY AUTHORITY HAVING JURISDICTION IF DEWATERING IS SCHEDULED TO OCCUR IN AREAS OF SOIL AND/OR GROUNDWATER CONTAMINATION, OR IF DEWATERING WILL OCCUR FROM A HIGH CAPACITY WELL (70 GPM OR MORE). DEWATER ONLY AFTER THE APPROPRIATE WDNR DEWATERING DISCHARGE PERMIT HAS BEEN OBTAINED.
  - DEWATERING OPERATIONS SHALL PROTECT ADJOINING PROPERTIES AND DISCHARGE LOCATIONS FROM EROSION AND PREVENT CONTAMINATION OR DEGRADATION OF QUALITY FOR GROUND AND SURFACE WATERS. ALL OPERATIONS SHALL IN ACCORDANCE WITH THE BEST MANAGEMENT PRACTICES PLAN THAT HAS BEEN DEVELOPED AND APPROVED FOR THIS SITE. WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSERVATION SEDIMENT CONTROL PRACTICE STANDARD, DEWATERING, No. 1061, AND SHALL COMPLY WITH THE REQUIREMENTS OF THE WISCONSIN POLLUTANT DISCHARGE ELIMINATION SYSTEM (WPDES) GENERAL PERMIT NO. WI-0049344-05-0.
  - DEWATERING WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY GRI CHAMBERS, SAND FILTERS, UPSLOPE CHAMBERS, HYDRO-CYCLONS, SWIRL CONCENTRATORS OR OTHER APPROPRIATE CONTROLS DESIGNED AND USED TO REMOVE PARTICLES OF 100 MICRONS OR GREATER FOR THE HIGHEST DEWATERING PUMPING RATE. IF THE WATER HAS BEEN DEMONSTRATED TO HAVE NO PARTICLES GREATER THAN 100 MICRONS DURING DEWATERING OPERATIONS, THEN NO CONTROL IS NEEDED BEFORE DISCHARGE, EXCEPT AS DETERMINED BY THE DEPARTMENT. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS. THIS INCLUDES TRUCK WASHOUT OR DISPOSAL OF SPENT WATER.
  - PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. LIMIT PUMPING RATES TO EITHER (A) THE SEDIMENT BASIN/STRIP DESIGN DISCHARGE RATE, OR (B) THE BASIN DESIGN RELEASE RATE WITH THE CORRECTLY-FITTED HOSE AND GEOTEXTILE FILTER BAG. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DEWATERING #1061.
  - REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT. INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD SILT FENCE #1056.
  - REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS), LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDNR TECHNICAL STANDARD DITCH CHECKS #1062.
  - INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WDNR TECHNICAL STANDARD INTERM MANUFACTURED PERMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS # 1071.
  - STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS.
  - SWEEP/CLEAN UP ALL SEDIMENT THAT MOVES OFF SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY AUTHORITY HAVING JURISDICTION. SEPARATE SWEEP MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
  - CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES # 1068.
  - PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
  - INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AS NEEDED (SUCH AS TEMPORARY SEDIMENT BASINS, DITCH CHECKS, EROSION CONTROL MATTING, SILT FENCING, FILTER SOCKS, SWALES, ETC.), OR AS DIRECTED BY AUTHORITY HAVING JURISDICTION.
  - CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE WDNR REMEDIATION AND WASTE MANAGEMENT REQUIREMENTS FOR HANDLING AND DISPOSING OF CONTAMINATED MATERIALS. SITE-SPECIFIC INFORMATION FOR AREAS WITH KNOWN OR SUSPECTED SOIL AND/OR GROUNDWATER CONTAMINATION CAN BE FOUND ON WDNR'S BUREAU OF REMEDIATION AND REDEVELOPMENT TRACKING SYSTEM (BRRTS) PUBLIC DATABASE AT: <http://dnr.wi.gov/bctw/>



THE NEUTRAL PROJECT

THE EDISON

1005 N. EDISON STREET  
MILWAUKEE, WI 53202

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PROJECT NUMBER  
67720

APPROVED BY  
JAD

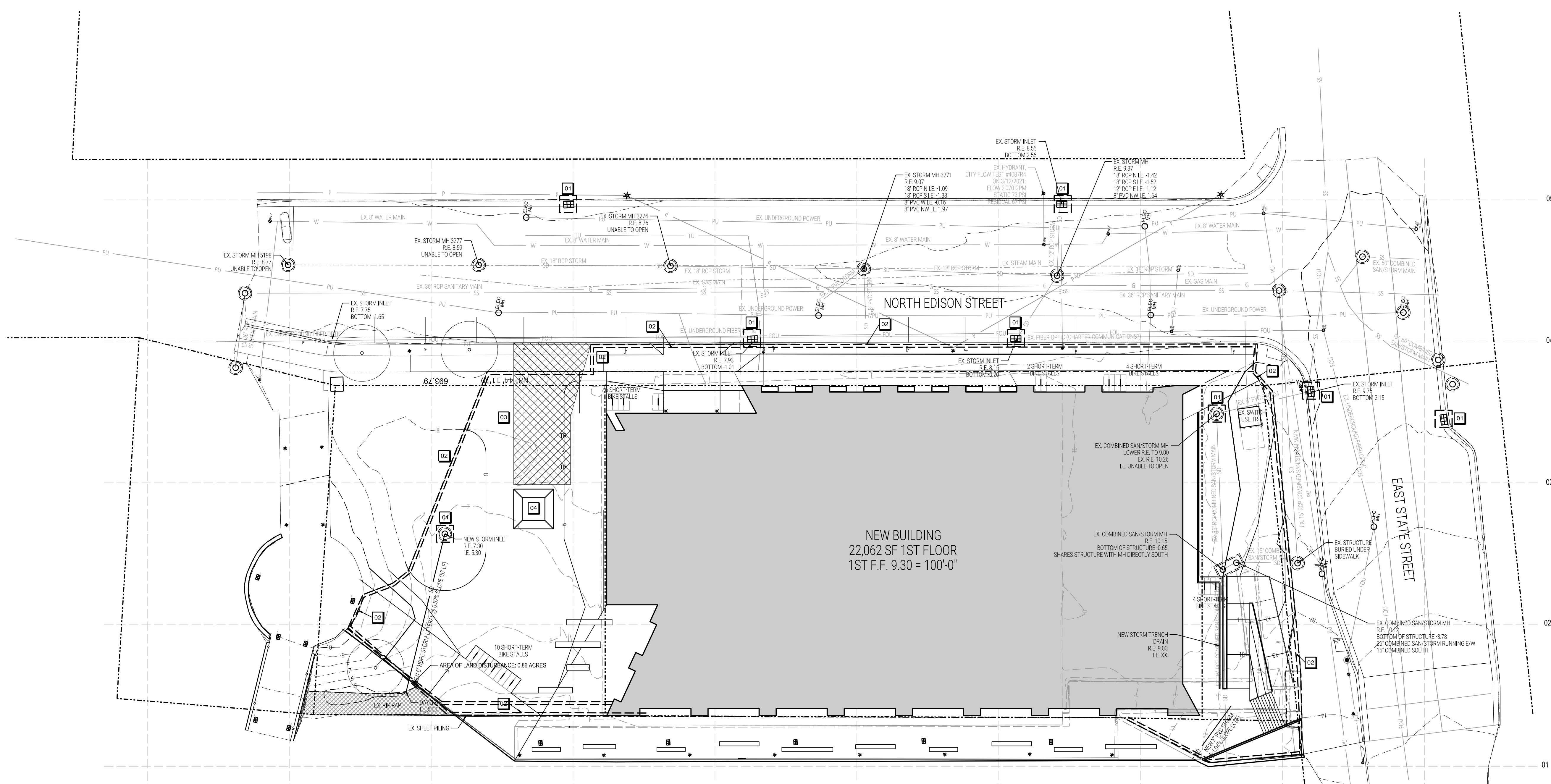
REVIEWED BY  
JAD

DRAWN BY  
KAU

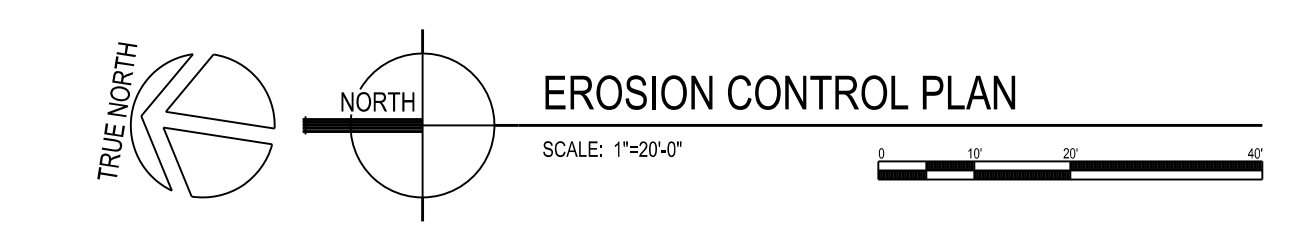
EROSION CONTROL PLAN

C302

(RIVERWALK SPROZ)



MILWAUKEE RIVER  
BASE FLOOD EL. 584.00 NAVD / 3.397 MILWAUKEE DATUM  
WATER EL. 4/14/2021 0.92 TO 1.01



SCALE 1"=20'-0"

PROJECT NO. 67720-01

PLOTTED BY: Bader

ORIGINAL SIZE 24" x 36"

PRELIMINARY - NOT FOR CONSTRUCTION



SITE LINE LEGEND	
-----	PROPERTY LINE
-----	SETBACK LINE
-----	EASEMENT LINE
-----XXX-----	EXISTING INTERMEDIATE CONTOUR
-----XXX-----	EXISTING INDEX CONTOUR
-----XXX-----	NEW INTERMEDIATE CONTOUR
-----XXX-----	NEW INDEX CONTOUR
-----	PAVEMENT
-----	FENCE
SD	STORM DRAIN
SS	SANITARY SEWER
W	WATER
G	GAS
P	ELECTRICAL POWER
PU	UNDERGROUND ELECTRICAL POWER
FOU	UNDERGROUND FIBER OPTIC
T	TELEPHONE
TU	UNDERGROUND TELEPHONE
CATV	CABLE
-----	EDGE OF TREES OR SHRUBS

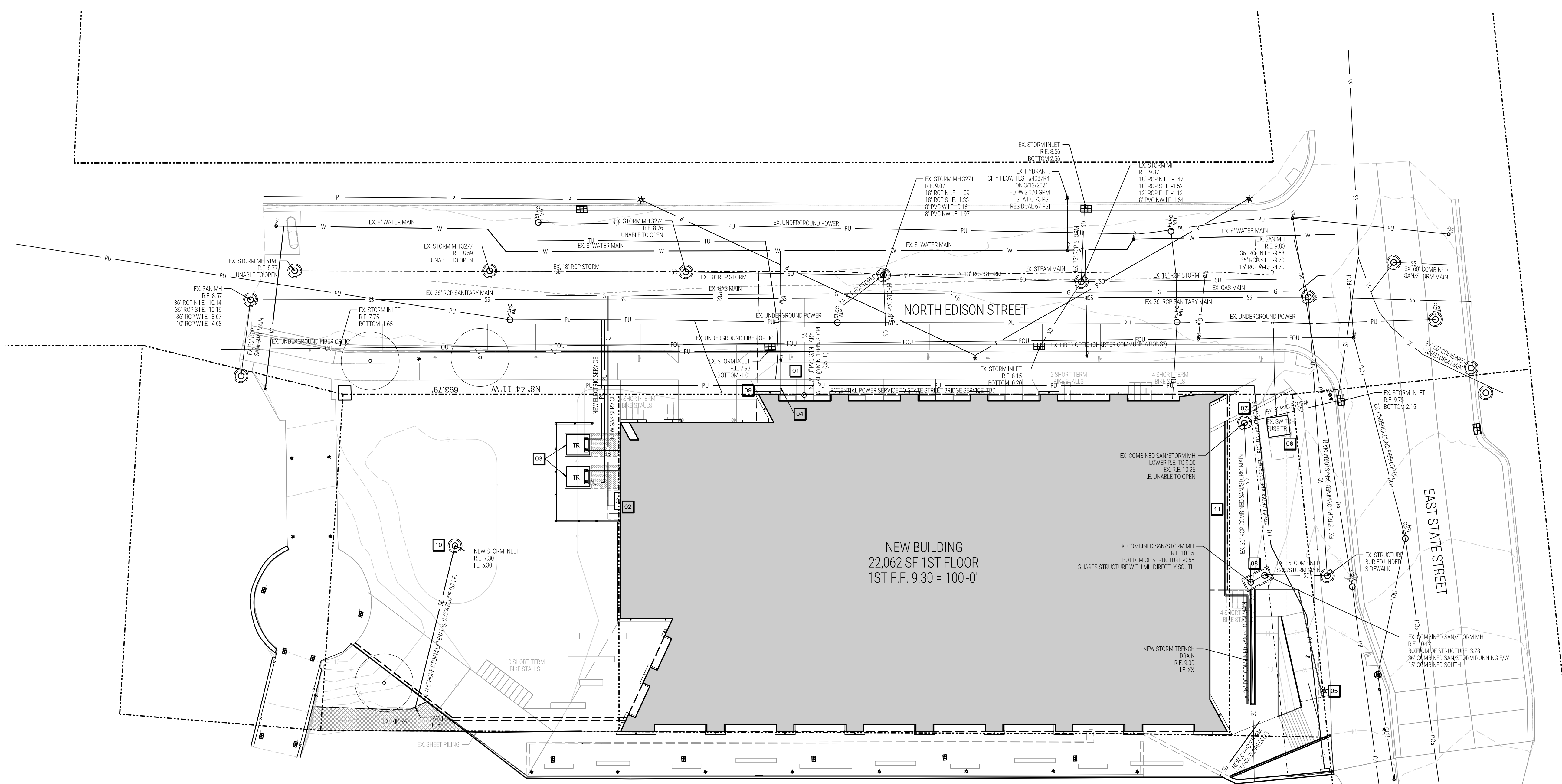
NOTE: ALL LINE TYPES MAY NOT BE USED IN THIS SET.

**KEYNOTES**

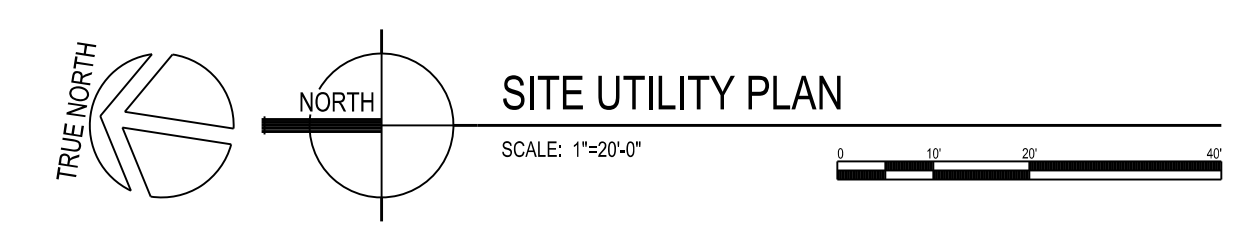
- 01 NEW SANITARY LATERAL
- 02 NEW GAS LATERAL, COORDINATE WITH WE ENERGIES
- 03 NEW UNDERGROUND POWER TO TWO NEW TRANSFORMERS, ANTICIPATED TO BE ONE 120/208 VOLT AND ONE 480 VOLT WITH FEED TO EXISTING STATE STREET BRIDGE SERVICES.
- 04 EXISTING COMBINED DOMESTIC AND FIRE PROTECTION WATER SERVICE AND VALVE TO BE RE-FED TO NEW BUILDING. \*\*NEED TO DETERMINE SIZE AND IF SUFFICIENT SIZE FOR NEW BUILDING LOAD.
- 05 EXISTING TRANSFORMER SERVING THE STATE STREET BRIDGE. THIS MAY POTENTIALLY BE REMOVED AND FED FROM A 480-VOLT TRANSFORMER SERVING THE NEW BUILDING, TO BE DETERMINED.
- 06 EXISTING TRANSFORMER TO REMAIN.
- 07 EXISTING COMBINED SANITARY/STORM MANHOLE TO REMAIN. CONTRACTOR TO LOWER RIM ELEVATION. FIELD VERIFY CONDITION OF STRUCTURE.
- 08 EXISTING COMBINED SANITARY/STORM STRUCTURE TO REMAIN. FIELD VERIFY SHAPE AND CONDITION WITH NEW RAMP.
- 09 ABANDON EXISTING STEAM LATERAL IN ACCORDANCE WITH CITY REQUIREMENTS.
- 10 NEW STORM CATCH BASIN WITH OUTLET TO RIP RAP NEAR SHEET PILING.
- 11 NEW TRENCH DRAIN

**SITE UTILITY PLAN GENERAL NOTES**

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2. CONSTRUCTION PRACTICES, MEANS AND METHODS, AND JOB SITE SAFETY, SHALL REMAIN THE SOLE RESPONSIBILITY OF THE CONTRACTOR
3. ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH THE FEDERAL OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA), AND ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES AS THEY PERTAIN TO THIS PROJECT
4. FIELD VERIFY ALL EXISTING AND PROPOSED UTILITIES, ELEVATIONS AND DIMENSIONS.
5. COORDINATE RELOCATION OF ANY UTILITIES WITH THE UTILITY COMPANIES. NOTIFY THE ELECTRICAL UTILITY OF ANY EXCAVATION ADJACENT TO HIGH VOLTAGE LINES. PROTECT ALL UTILITIES TO REMAIN.
6. DIGGER HOTLINE SHALL BE CALLED TO MARK UTILITIES PRIOR TO ANY EXCAVATION.
7. COORDINATE WITH THE AUTHORITY HAVING JURISDICTION AND UTILITY COMPANIES AS NECESSARY.
8. PROVIDE TRUST BLOCS AND PIPE JOINT RESTRAINT FOR DUCTILE IRON WATER LATERALS. PROVIDE WATER CONNECTIONS AND CONTROL VALVES IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR GUTTER AND PAVEMENT WORK TO MEET AUTHORITY HAVING JURISDICTION REQUIREMENTS. SAWCUT PAVEMENT TO PROVIDE CLEAN EDGE.
10. TRACER WIRE SHALL BE INSTALLED ABOVE ALL SANITARY, STORM AND WATER LATERALS THAT CONNECT TO A PUBLIC UTILITY. TRACER WIRE SHALL BE A MINIMUM OF 12 GAUGE PLASTIC-COATED COPPER WIRE BURIED WITHIN 6" AND DIRECTLY ABOVE THE TOP OF THE WIRE. THE TRACER WIRE SHALL BE BROUGHT TO THE SURFACE AT LEAST EVERY 400'. PROTECT THE WIRE AT THE ACCESS POINTS. THE COLOR OF THE TRACER WIRE SHALL BE AS FOLLOWS:  
 - GREEN FOR SANITARY SEWER  
 - BROWN FOR STORM SEWER  
 - BLUE FOR POTABLE WATER
11. PROVIDE TRENCH RESTRAINT FOR ALL 18" DIA. UTILITY TRENCHES UNDER CONCRETE PAVEMENT SHALL UTILIZE FLOWABLE FILL IN AREAS DIFFICULT TO COMPACT TO PREVENT CONCRETE CRACKING.
12. PROVIDE MIN. 7" COVER OVER WATER LATERAL. SEE GRADING PLAN SHEET FOR EXISTING AND PROPOSED GRADES. COORDINATE AS NECESSARY, PARTICULARLY AROUND STORMWATER FACILITIES. PROVIDE MIN. 18" CLEARANCE UNDER OR 12" CLEARANCE OVER SANITARY AND STORM SEWER PIPES.
13. ALL SANITARY, STORM AND WATER UTILITY WORK WITHIN PUBLIC RIGHT OF WAY SHALL CONFORM TO AUTHORITY HAVING JURISDICTION REQUIREMENTS AND STANDARD SPECIFICATIONS.
14. RESTORE ALL AREAS TO EXISTING UNLESS NOTED OTHERWISE.



MILWAUKEE RIVER  
 BASE FLOOD EL. 584.00 NAVD / 3.397 MILWAUKEE DATUM  
 WATER EL. 4/14/2021 0.92 TO 1.01



SCALE: 1"=20'-0"

PROJECT NUMBER: 67720

APPROVED BY: JAD

ORIGINAL SIZE: 24" x 36"

ISSUANCES / REVISIONS		
NO.	DESCRIPTION	DATE
1	SD PRICING SET	06/14/2021
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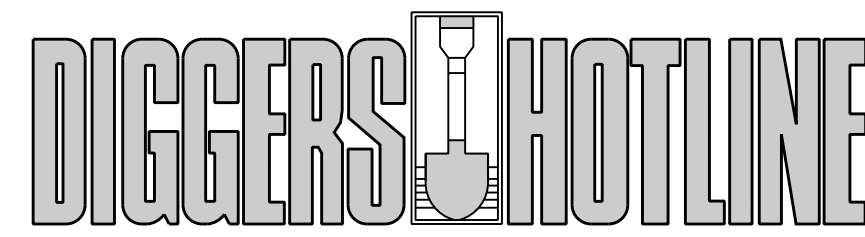
<b>PROJECT NUMBER</b>	67720
<b>APPROVED BY</b>	JAD
<b>REVIEWED BY</b>	JAD
<b>DRAWN BY</b>	KAU

SITE UTILITY PLAN

**C401**

(RIVERWALK SPROZ)





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ONLINE: www.DiggersHotline.com  
WISCONSIN STATUTE 102.0775 (1974) REQUIRES A MINIMUM OF THREE (3) WORKING DAYS NOTICE PRIOR TO EXCAVATION.

LANDSCAPE SYMBOL LEGEND	
	SHADE TREE
	ORNAMENTAL TREE
	EVERGREEN SHRUB OR TREE
	DECIDUOUS SHRUB
	ORNAMENTAL GRASS
	PERENNIAL
	EXISTING VEGETATION
	EXISTING EVERGREEN

NOTE: ALL SYMBOLS MAY NOT BE USED IN THIS SET.

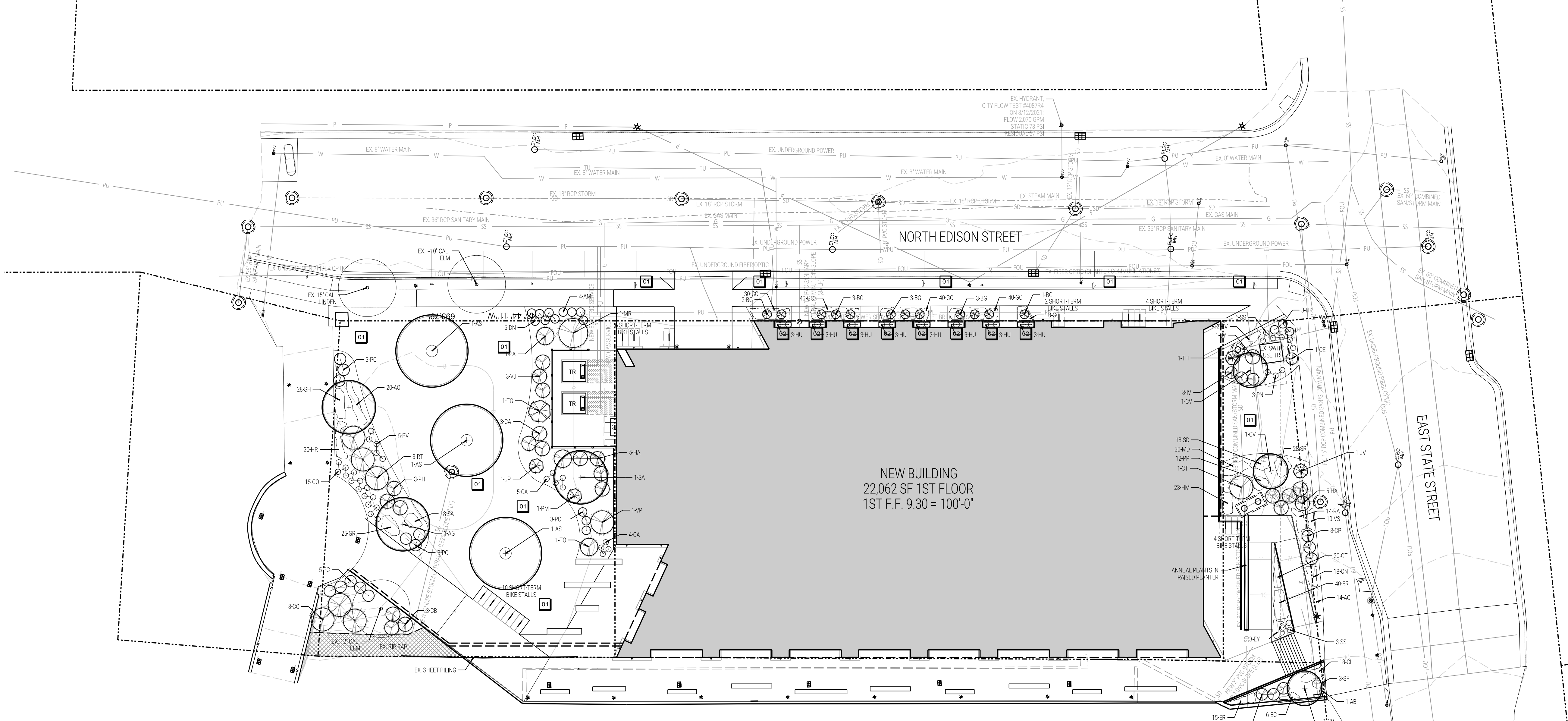
- LANDSCAPE GENERAL NOTES
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  - CONSTRUCTION PRACTICES, MEANS AND METHODS, AND JOB SITE SAFETY, SHALL REMAIN THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
  - FIELD VERIFY ALL EXISTING AND PROPOSED UTILITIES, ELEVATIONS AND DIMENSIONS.
  - DIGGERS HOTLINE SHALL BE CALLED TO MARK UTILITIES PRIOR TO LAND DISTURBANCE.
  - RESTORE ALL AREAS TO SOO LAWN UNLESS NOTED OTHERWISE.
  - ALL PLANTING BEDS SHALL RECEIVE 3" THICK SHREDED BARK MULCH AND BLACK ANODIZED ALUMINUM EDGING.
  - ALL INDIVIDUAL TREES SHALL RECEIVE 4" DIAMETER, 3" THICK SHREDED BARK MULCH TREE RING WITH SPRAY CUT EDGE. MULCH SHALL BE PULLED AWAY FROM TRUNK OF TREE TO PREVENT ROT.
  - SEE DETAILS C601 AND C602 FOR PLANTING DETAILS.
  - IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLANS SHALL GOVERN.

KEYNOTES

01 S/D

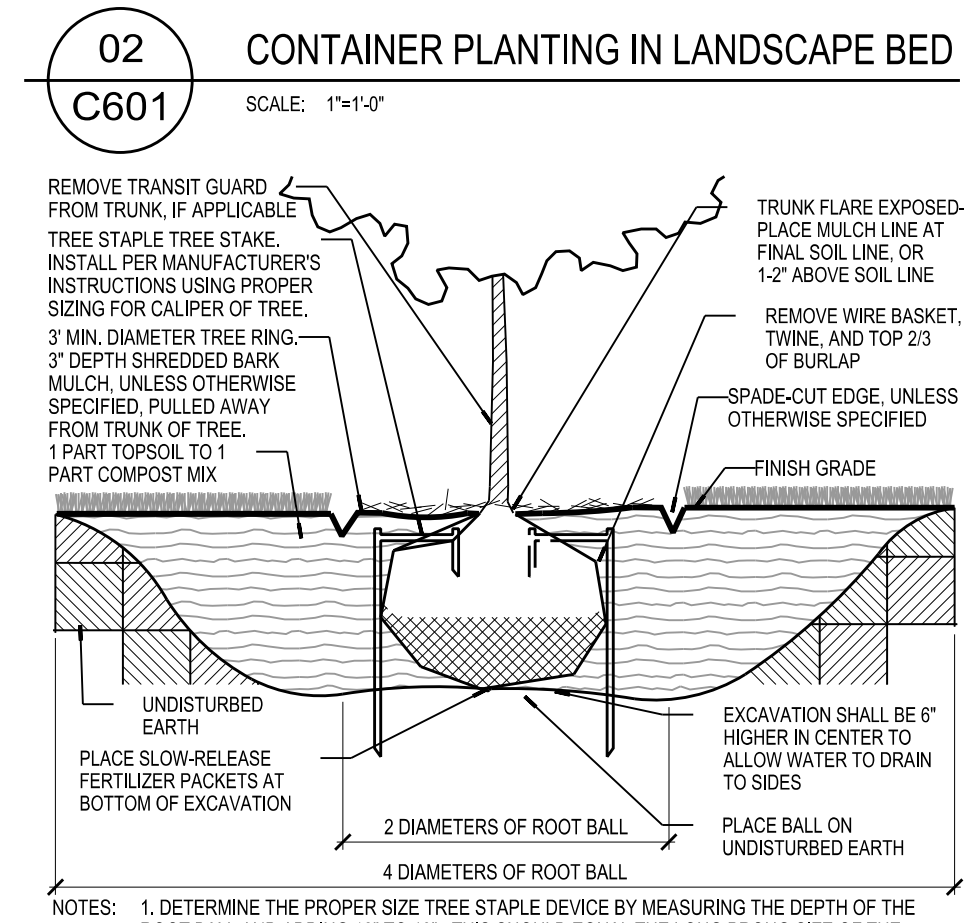
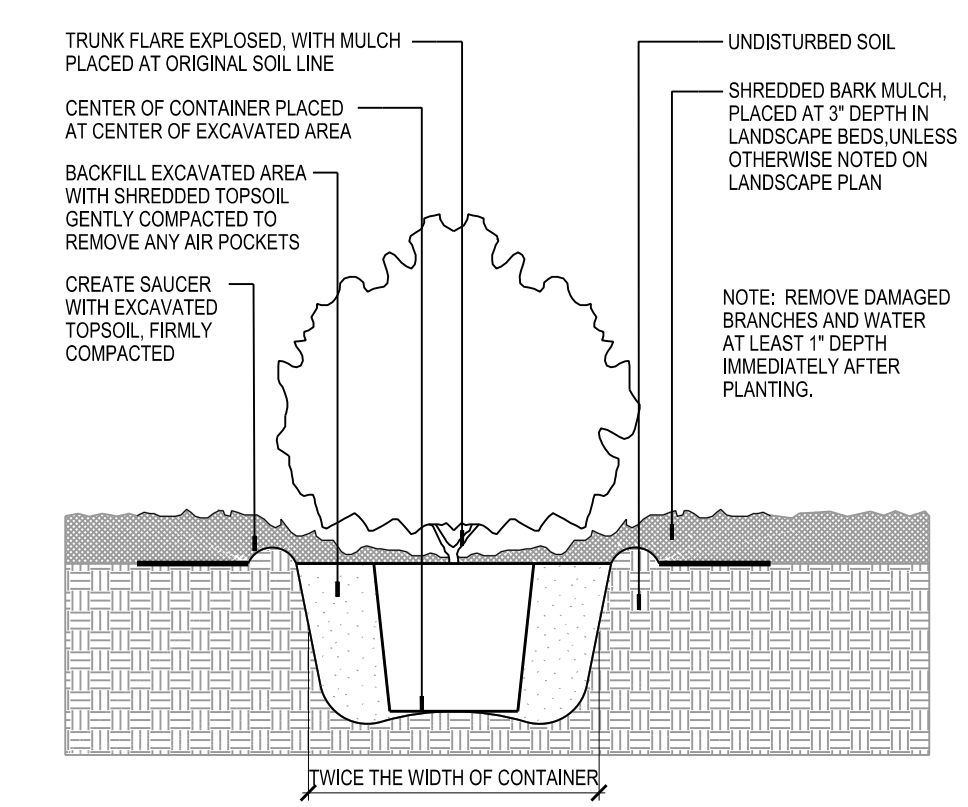
02 NEW 24" HIGH WEATHERED STEEL PLANTER WITH ANNUALS

LANDSCAPE PLANT LEGEND - 1ST FLOOR						
SYMBOL	BOTANICAL NAME	COMMON NAME	INSTALLED SIZE	ROOT	MATURE SIZE	QTY
<b>TREES:</b>						
AG	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	Autumn Brilliance Apple Serviceberry	6" High Multistem	B.B.	15' H x 15' W	1
AS	<i>Acer saccharum 'Legacy'</i>	Legacy Sugar Maple	2" Cal.	B.B.	50-75' H x 50' W	3
CV	<i>Cataegus virens 'Winter King'</i>	Winter King Hawthorn	Multistem	B.B.	20' H x 15' W	3
MFR	<i>Malus 'Royal Raindrops'</i>	Royal Raindrops Crabapple	1.5" Cal.	B.B.	20' H x 15' W	1
PA	<i>Picea abies 'Doppissima'</i>	Columnar Norway Spruce	5' High	B.B.	20' H x 5-6' W	1
SA	<i>Sorbus americana</i>	American Mountain Ash	2" Cal.	B.B.	15-30' H x W	1
<b>SHRUBS:</b>						
AM	<i>Annona melanocarpa 'L'CONNAM012'</i>	Ground Hug Black Chokeberry	1" H	2-3 Gallon	8-14" H x 3' W	4
BG	<i>Buxus x Green Velvet</i>	Green Velvet Boxwood	4 Gallon	Container	3-4' H x W	12
CA	<i>Corylus americana</i>	American Filbert	3" H	Container	8' H x 8' W	3
CB	<i>Cornus alba 'Baillioi'</i>	Ivory Halo Dogwood	4" H	4 Gallon	5-6' H x W	3
CE	<i>Cornus obliqua 'Red Rover'</i>	Red Rover Silky Dogwood	4" H	B.B.	5' H x 5' W	1
CO	<i>Cephaelis occidentalis 'Fiber Optics'</i>	Fiber Optics Butterbush	3" H	Container	5-6' H x W	3
CP	<i>Cotoneaster apiculatus</i>	Cranberry Cotoneaster	2" High	4 Gallon	3' H x 6' W	3
CT	<i>Cotinus coccinea 'Winecraft Black'</i>	Winecraft Black Smokebush	4" H	B.B.	6' H x W	1
CY	<i>Cornus alba 'Eyboughen'</i>	Neon Burst Dogwood	4" H	4 Gallon	4-6' H x W	1
DN	<i>Deutzia gracilis 'Cardonway Pearls'</i>	Cardonway Pearls Deutzia	12" High	2.4 Gallon	3' H x 3' W	6
HA	<i>Hydrangea arborescens 'Incrediball'</i>	Incrediball Smooth Hydrangea	4 Gallon	Container	4-5' H x W	10
HK	<i>Hypericum kalmianum 'Ames'</i>	Ames St. John's Wort	3" High	4 Gallon	2-3' H x W	3
IV	<i>Itea virginica 'Little Henry'</i>	Little Henry Sweetpire	3 Gallon	Container	2-3' H x W	3
JV	<i>Juniperus x pfitzeriana 'Saybrook Gold'</i>	Saybrook Gold Juniper	12" High	5 Gallon	2-3' H x 5' W	1
JV	<i>Juniperus virginiana 'Grey Owl'</i>	Grey Owl Juniper	18" High	4 Gallon	3' H x 8' W	1
PC	<i>Physocarpus opulifolius 'Lemon Candy'</i>	Lemon Candy Ninebark	18-24" H	3 Gallon	2-3' H x W	11
PH	<i>Physocarpus opulifolius 'Umnharpe'</i>	Fireside Ninebark	3" High	4 Gallon	5-7' H x 4-6' W	3
PM	<i>Pinus mugosa 'Sherwood Compact'</i>	Sherwood Compact Mugo Pine	18" H	5 Gallon	2' H x 3' W	1
PO	<i>Physocarpus opulifolius 'Donna May'</i>	Little Dew Ninebark	18-24" H	3 Gallon	3-4' H x 3-4' W	3
RT	<i>Pinus typhina 'Baillier'</i> (or relocated)	Tiger Eyes Slagham Sumac	3" High	B.B.	8' H x 8' W	3
SC	<i>Salix candida 'Jefberg'</i>	Iceberg Alley Sapeleaf Willow	18" H	3 Gallon	3-6' H x W	3
TG	<i>Tuja x 'Green Giant'</i>	Green Giant Arborvitae	4" High	B.B.	40' H x 12' W	1
TH	<i>Thuja occidentalis 'Hetz's Midget'</i>	Hetz's Midget Arborvitae	2" High	B.B.	3-4' H x W	1
TO	<i>Thuja occidentalis 'Golden Globe'</i>	Golden Globe Arborvitae	2" High	B.B.	4' H x 4' W	1
VJ	<i>Viburnum x 'Juddii'</i>	Judd Viburnum	5 Gallon	B.B.	6' H x 6' W	3
VP	<i>Viburnum prunifolium 'Forest Rouge'</i>	Forest Rouge Blackhaw Viburnum	5 Gallon	B.B.	8-10' H x W	1
<b>GRASSES:</b>						
AB	<i>Andropogon gerardii 'Blackhawks'</i>	Blackhawk's Big Bluestem	Gallon		6' H x 24" W	1
CA	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	Karl Foerster Feather Reed Grass	Gallon		5' H x 2' W	9
CO	<i>Calamagrostis x acutiflora 'Overdam'</i>	Overdam Feather Reed Grass	Gallon		4' H x 2' W	15
PN	<i>Panicum virgatum 'Northwind'</i>	Northwind Switch Grass	Gallon		5' H x 2' W	3
PV	<i>Panicum virgatum 'Cheyenne Sky'</i>	Prairie Winds Cheyenne Sky Switch Grass	Gallon		3' H x 2' W	5
SS	<i>Schizachyrium scoparium 'The Blues'</i>	The Blues Little Bluestem	Gallon		3' H x 18" W	9
<b>PERENNIALS:</b>						
AO	<i>Aster oblongifolius 'October Skies'</i>	October Skies Aster	Gallon		2-3' H x 2' W	20
CL	<i>Chelone lyonii 'Hot Lips'</i>	Hot Lips Chelone	Gallon		2' H x W	18
CN	<i>Calamintha nepeta subsp. Nepeta</i>	Calaminth	Gallon		18" H x 24" W	18
EC	<i>Euphorbia corollata</i>	Flowering Spurge	Gallon		3' H x 18" W	6
ER	<i>Echinacea 'TNECHKR'</i>	Kismet Raspberry Coneflower	Gallon		18" H x 24" W	55
EY	<i>Eryngium yuccifolium</i>	Rattlesnake Master	Gallon		3-5' H x 2' W	3
GC	<i>Geranium x cantabrigiae 'Kamina'</i>	Kamina Geranium	Gallon		8-12" H x 18-24" W	160
GR	<i>Geranium 'Rozanne'</i>	Rozanne Geranium	Gallon		18" H x 12" W	25
GT	<i>Geum triflorum</i>	Prairie Smoke	Gallon		12" H x 12" W	20
HM	<i>Helenium autumnale 'Mariachi Fuego'</i>	Mariachi Fuego Sneezeweed	Gallon		20" H x 24" W	23
HR	<i>Hemerocallis 'Red Hot Returns'</i>	Red Hot Returns Daylily	Gallon		2' H x W	20
HU	<i>Hosta 'Autumn Frost'</i>	Autumn Frost Hosta	Gallon		12" H x 24" W	24
HV	<i>Heuchera villosa 'Autumn Bells'</i>	Autumn Bells Coral Bells	Gallon		18" H x 3' W	12
MD	<i>Monarda didyma 'Grand Marshall'</i>	Grand Marshall Bee Balm	Gallon		16" H x 16" W	30
PP	<i>Phlox paniculata 'David'</i>	David Phlox	Gallon		3-4' H x 2' W	12
RA	<i>Rudbeckia 'American Gold Rush'</i>	American Gold Rush Black-Eyed Susan	Gallon		24" H x 24-30" W	14
SA	<i>Sedum 'Autumn Charm'</i>	Autumn Charm Sedum	Gallon		10-15" H x W	18
SD	<i>Solidago hybrida 'Danzonitem'</i>	Little Lemon Goldenrod	Gallon		12-18" H x W	18
SF	<i>Solidago 'Fireworks'</i>	Fireworks Goldenrod	Gallon		3' H x 2' W	3
SH	<i>Stachys 'Hummelo'</i>	Woundwort	Gallon		18-24" H x 12" W	28
SR	<i>Salvia nemorosa 'Rose Marvel'</i>	Rose Marvel Salvia	Gallon		10-12" H x W	28
VS	<i>Veronica spicata 'Blue Charm'</i>	Blue Charm Speedwell	Gallon		24" H x 18-24" W	10

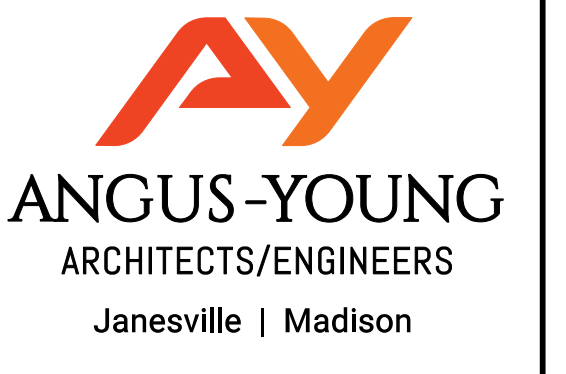


NEW BUILDING  
22,062 SF 1ST FLOOR  
1ST F.F. 9.30 = 100'-0"

MILWAUKEE RIVER  
BASE FLOOD EL. 584.00 NAVD / 3.397 MILWAUKEE DATUM  
WATER EL. 4/14/2021 0.92 TO 1.01



01 B.B. SHRUB AND TREE PLANTING DETAIL  
SCALE: NONE



THE NEUTRAL PROJECT  
THE EDISON

1005 N. EDISON STREET  
MILWAUKEE, WI 53202

ISSUANCES / REVISIONS		
NO.	DESCRIPTION	DATE
1	SD PRICING SET	06/14/2021
2	DCD SUBMITTAL SET	06/18/2021
3	DCD SUBMITTAL UPDATES	06/29/2021
4	HP SUBMITTAL UPDATES	07/19/2021
5	SPROZ SUBMITTAL SET	07/30/2021

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PROJECT NUMBER  
67720

APPROVED BY  
JAD

REVIEWED BY  
JAD

DRAWN BY  
KAU

1st LEVEL  
LANDSCAPE PLAN

C601  
(RIVERWALK SPROZ)

SCALE: 1"=20'-0"

FILED BY: Bader

PLOTTED BY: Bader

ORIGINAL SIZE: 24" x 36"

PRELIMINARY - NOT FOR CONSTRUCTION

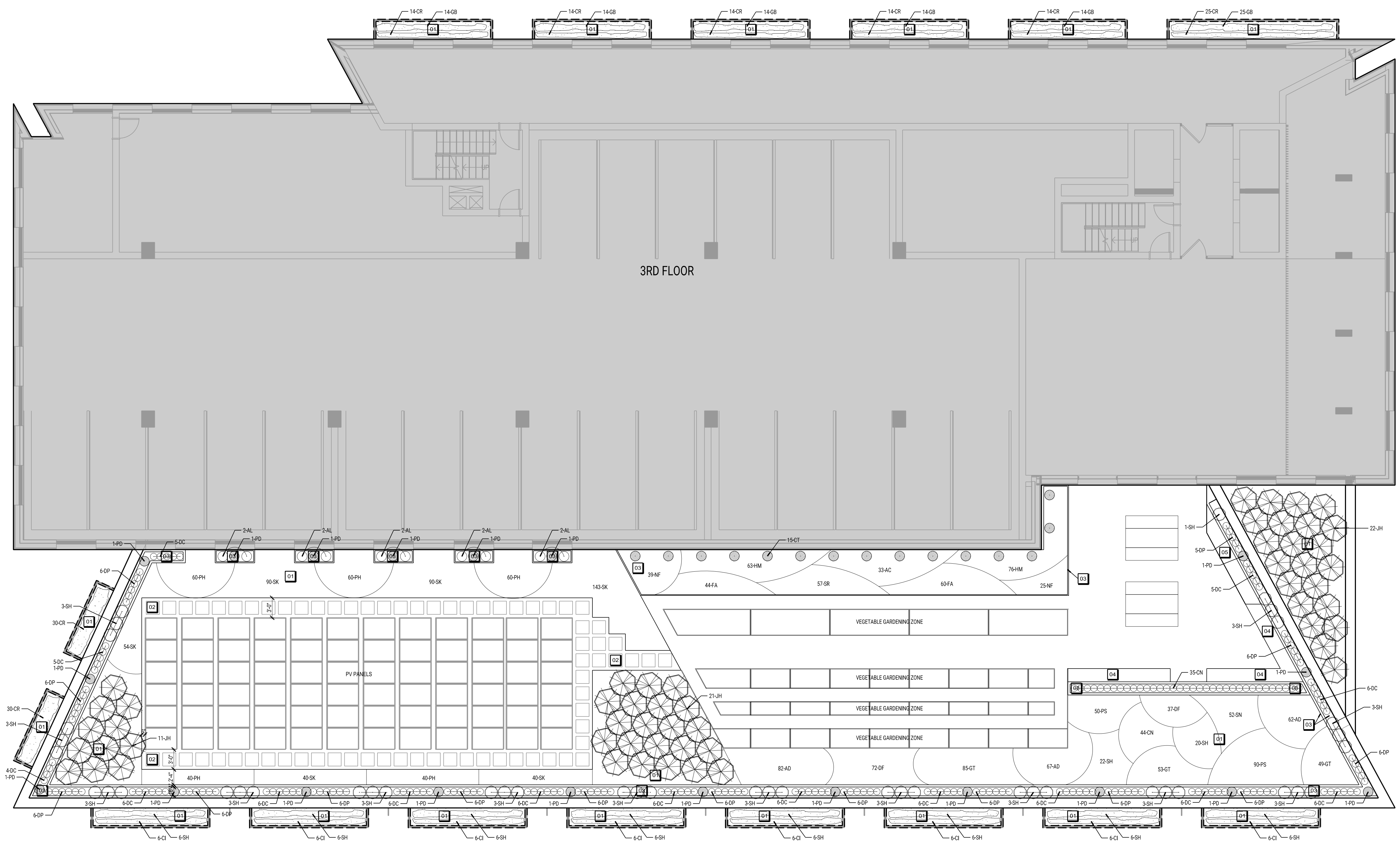


LANDSCAPE PLANT LEGEND - 2ND/3RD FLOOR

SYMBOL	BOTANICAL NAME	COMMON NAME	INSTALLED SIZE	ROOT	MATURE SIZE	QTY
<b>SHRUBS:</b>						
JH	<i>Juniperus horizontalis</i> 'Wiltonii'	Wiltonii Juniper	Gallon		6" H x 6-8" W	54
<b>GRASSES:</b>						
CR	<i>Carex radiata</i>	Eastern Star Wood Sedge	4.5" Pot		10" H x 10" W	155
FA	<i>Festuca amethystina</i> 'Superba'	Purple Tufted Fescue	4.5" Pot		8-12" H x 12" W	104
SH	<i>Sporobolus heterolepis</i> 'Tara'	Tara Dropseed	4.5" Pot		2" H x 15" W	133
<b>PERENNIALS:</b>						
AC	<i>Amorpha canescens</i>	Lead Plant	4.5" Pot		3" H x 18" W	33
AD	<i>Antennaria dioica</i>	Pussytoes	4.5" Pot		3-6" H x 12" W	211
AL	<i>Artemisia ludoviciana</i> 'Silver King'	Silver King Artemisia	4.5" Pot		2-3" H x 2-3" W	10
CI	<i>Callirhoe involucrata</i>	Wine Cups	4.5" Pot		6-12" H x 1-3" W	48
CN	<i>Calamintha Nepeta subsp. Nepeta</i>	Calamint	4.5" Pot		18" H x 24" W	79
DF	<i>Dianthus 'Feanthease'</i> 'Feanthease'	Feanthease Cheddar Pink	4.5" Pot		8" H x 12" W	109
DC	<i>Dalea candida</i>	White Prairie Clover	4.5" Pot		1-2" H x 2" W	85
DP	<i>Dalea purpurea</i>	Purple Prairie Clover	4.5" Pot		1-2" H x 2" W	89
GB	<i>Geranium 'Blokovo'</i>	Blokovo Geranium	4.5" Pot		6-12" H x 12" W	95
GT	<i>Geum triflorum</i>	Prairie Smoke	4.5" Pot		12" H x 12" W	187
HM	<i>Helianthus mollis</i>	Downy Sunflower	4.5" Pot		2-4" H x 1-3" W	139
NF	<i>Nepeta faassenii</i> 'Walker's Low'	Walker's Low Catmint	4.5" Pot		10" H x 18" W	64
PD	<i>Perovskia atropicifolia</i> 'Denim 'n Lace'	Denim 'n Lace Russian Sage	4.5" Pot		28-32" H x 3" W	20
PS	<i>Phlox subulata</i> 'Apple Blossom'	Apple Blossom Creeping Phlox	4.5" Pot		3-6" H x 1-2" W	140
PH	<i>Phlox subulata</i> 'Snowflake'	Snowflake Creeping Phlox	4.5" Pot		3-6" H x 1-2" W	260
SK	<i>Sedum kamtschaticum</i> var. <i>floriferum</i>	Weihenstephaner Gold Sedum	4.5" Pot		4" H x 12" W	457
SN	<i>Salvia nemorosa</i> 'East Friesland'	East Friesland Salvia	4.5" Pot		18" H x 12" W	52
SR	<i>Sedum 'Rbsy Glow'</i>	Rosy Glow Sedum	4.5" Pot		8" H x 12" W	57
<b>VINES:</b>						
CT	<i>Clematis terniflora</i>	Sweet Autumn Clematis	Gallon		15' H	5

LANDSCAPE SYMBOL LEGEND		
		SHADE TREE
		EVERGREEN SHRUB OR TREE
		ORNAMENTAL GRASS
		EXISTING VEGETATION
		EXISTING EVERGREEN

NOTE: ALL SYMBOLS MAY NOT BE USED IN THIS SET.



LANDSCAPE DESIGN BY:  
 MARK DWYER, PRESCRIPTIONS BY MD  
 AND KATIE UDELL, A.Y. ASLA  
**2ND/3RD LEVEL LANDSCAPE PLAN**  
 SCALE: 1/8"=1'-0"

- KEYNOTES
- 01 8" INTENSIVE GREEN ROOF SYSTEM, SPECIES TO BE DETERMINED, PLAN FOR PLUGS AT 12" O.C.
  - 02 STONE BALLAST UNDER PV PANELS, EXTEND 6" FROM PERIMETER OF PANELS ON NORTH, 3" TO EAST AND WEST WITH 2X2" STEPPING ZONE FOR MAINTENANCE ACCESS.
  - 03 24" HIGH PREWEATHERED STEEL PLANTERS, TYP.
  - 04 BENCH
  - 05 KITCHENGRILL AREA

ISSUANCES / REVISIONS		
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4	HP SUBMITTAL UPDATES	07/19/2021
5	SPROZ SUBMITTAL SET	07/30/2021

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PROJECT NUMBER	67720
APPROVED BY	JAD
REVIEWED BY	JAD
DRAWN BY	KAU

3RD LEVEL  
 LANDSCAPE PLAN

**C603**

(RIVERWALK SPROZ)

PRELIMINARY - NOT FOR CONSTRUCTION

SCALE: 1/8"=1'-0"

PLOTTED BY: KAU

DATE: 06/14/2021

ORIGINAL SIZE: 24" x 36"

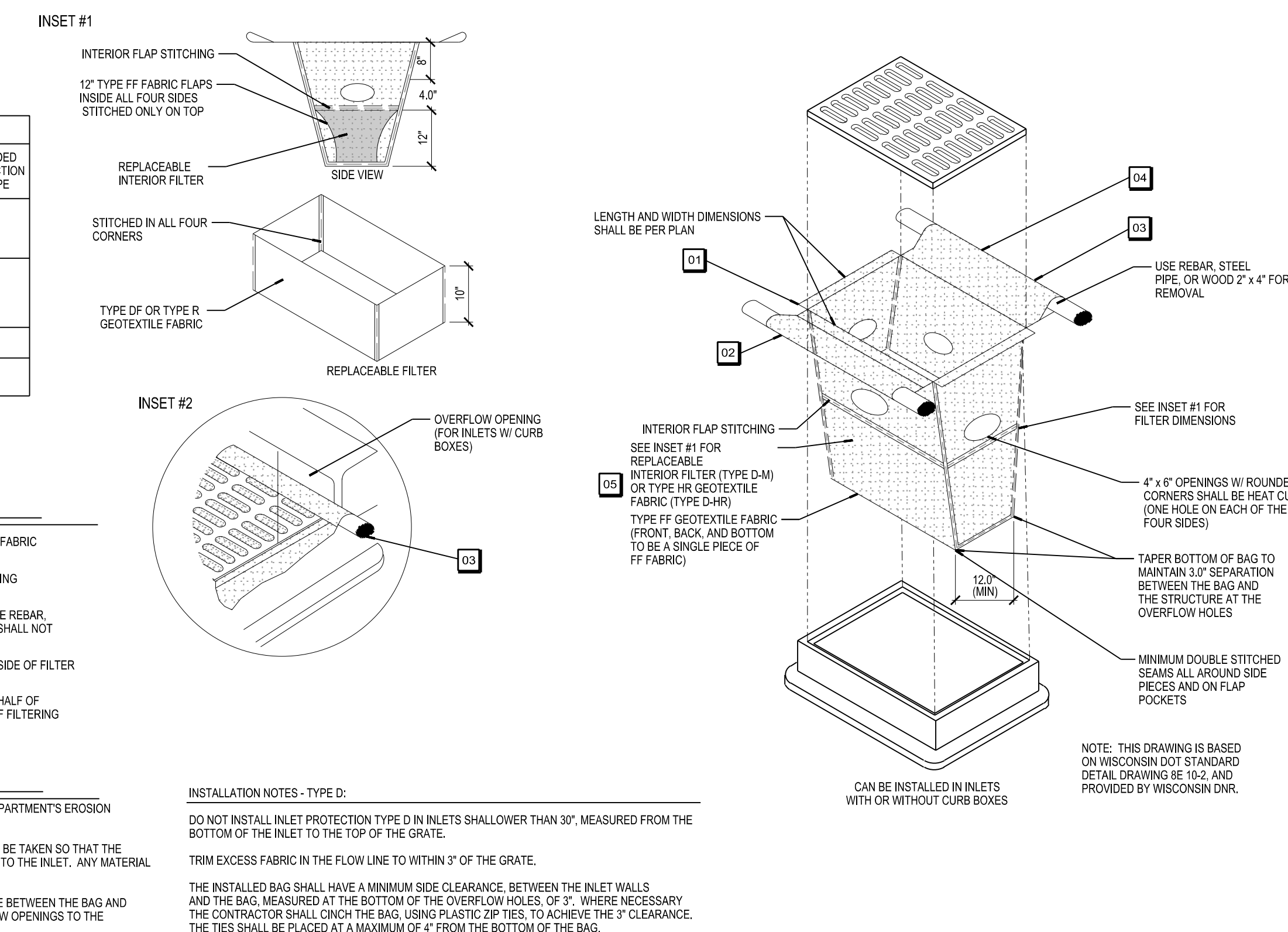
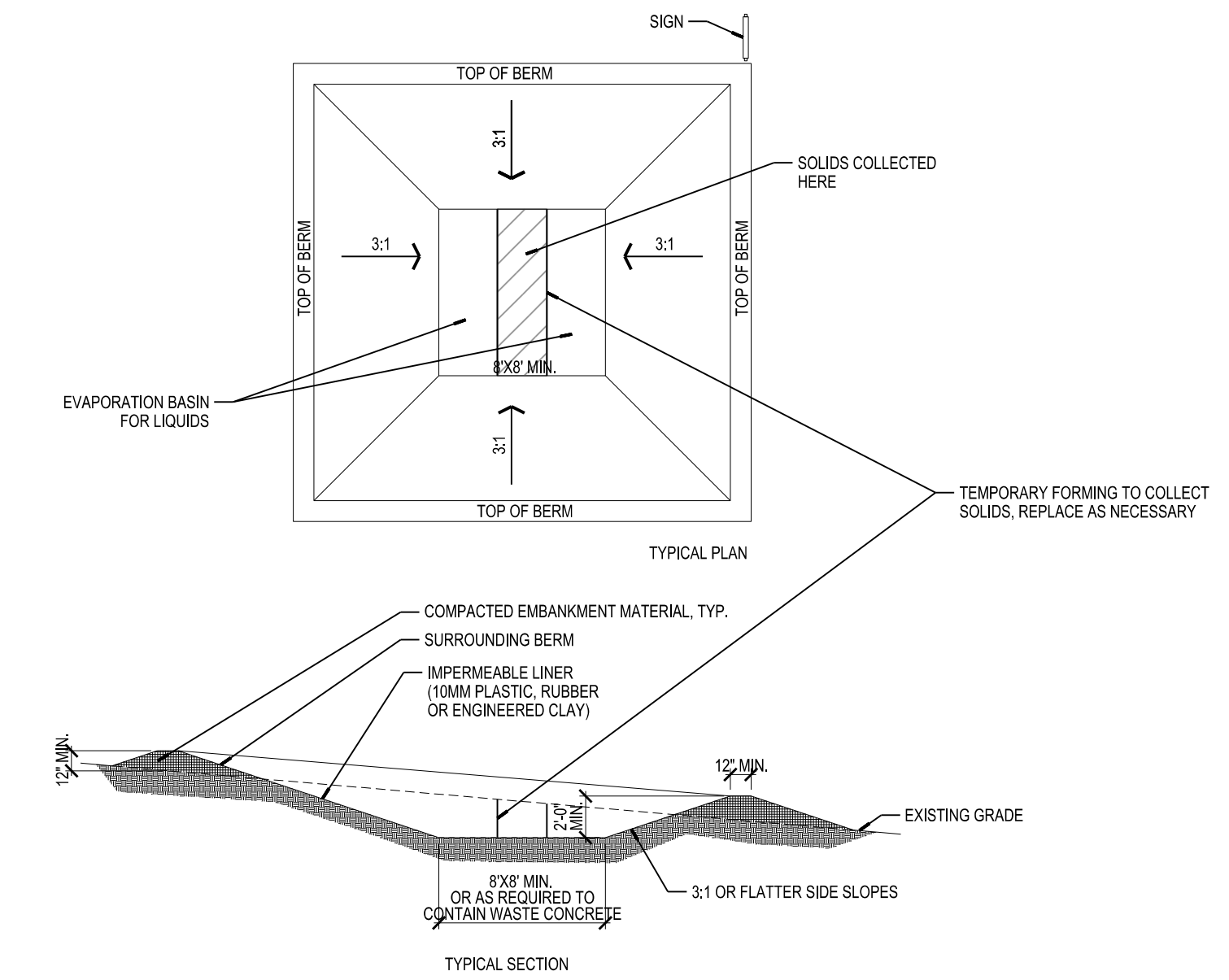
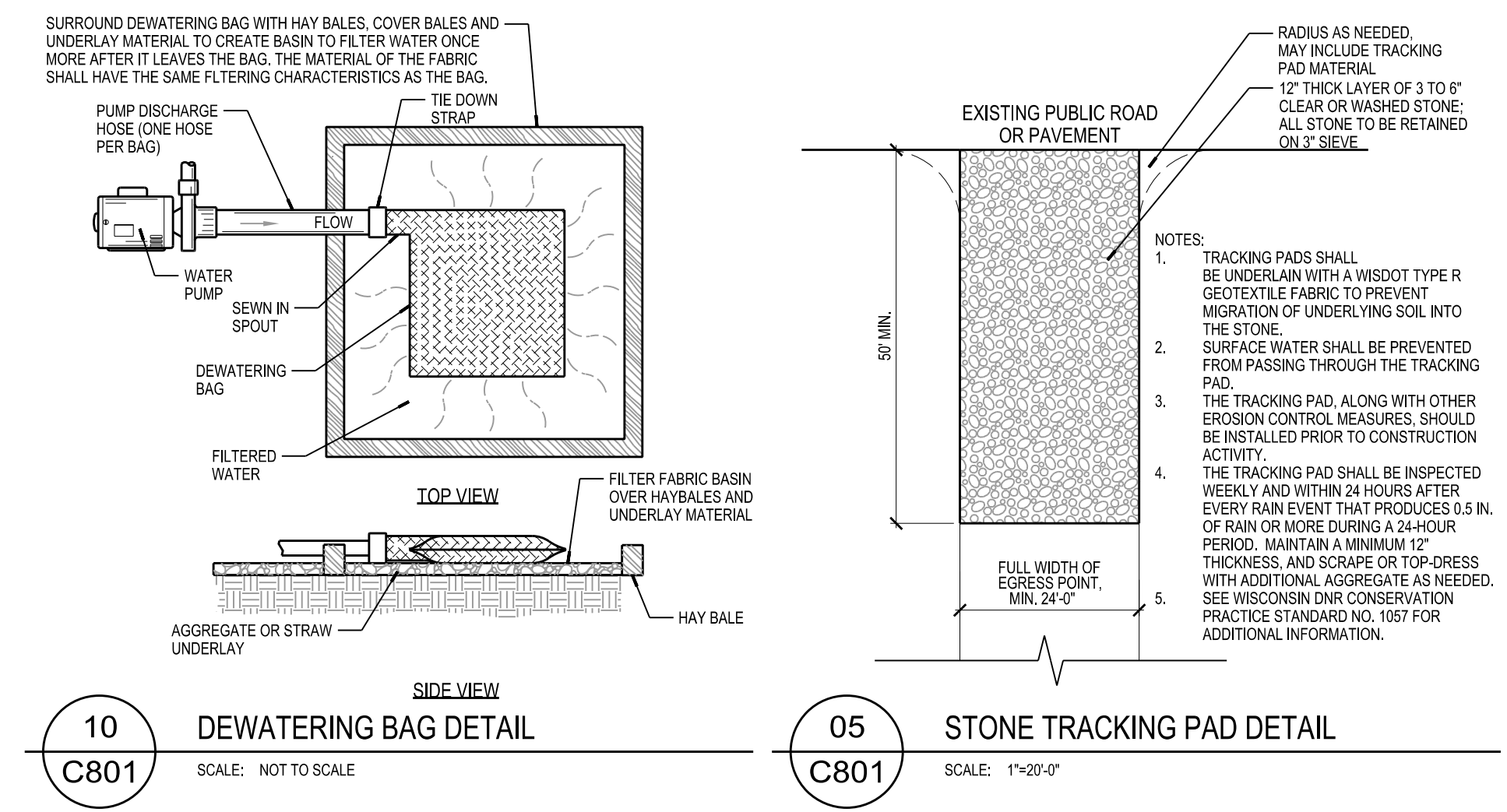
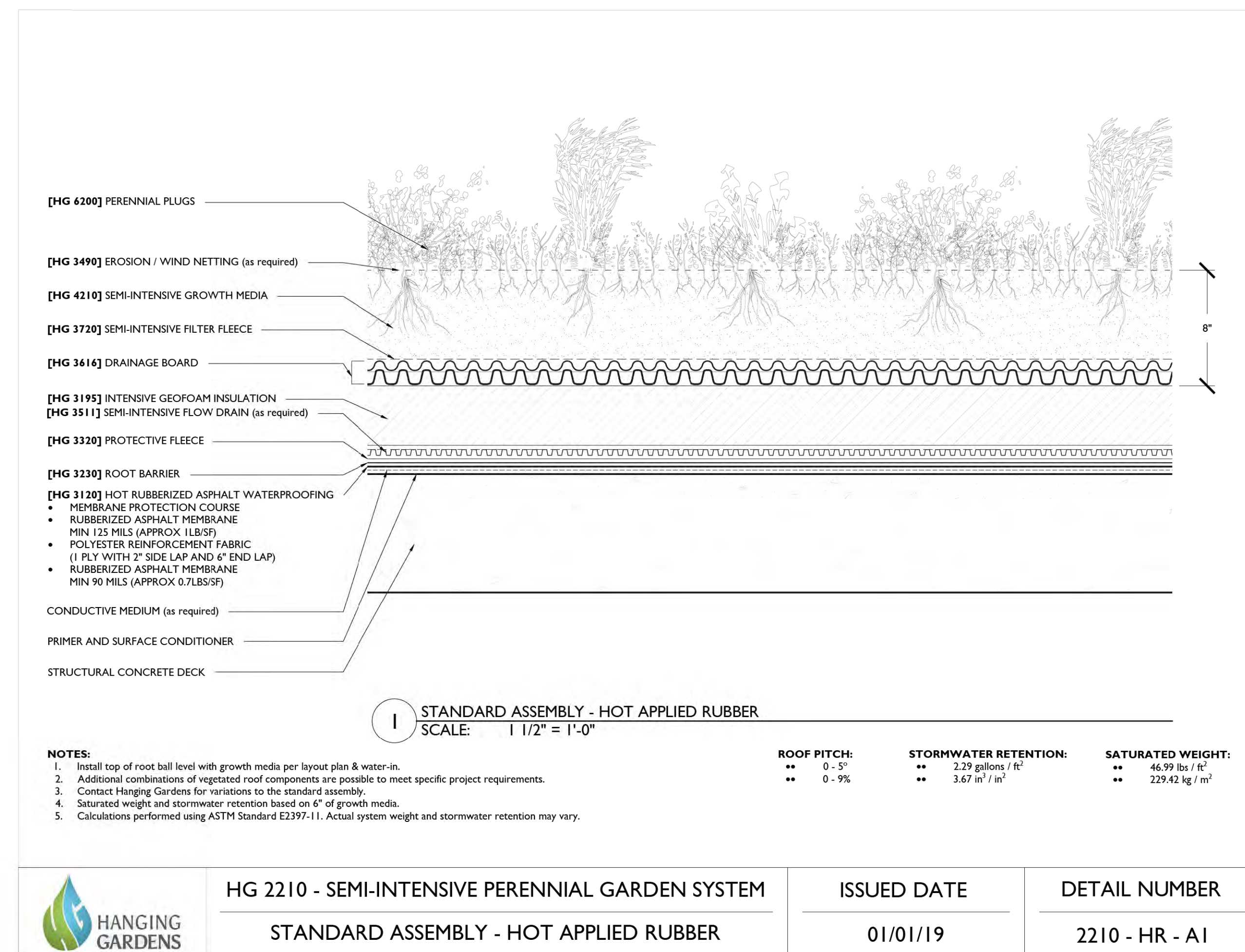












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PROJECT NUMBER  
67720  
APPROVED BY  
JAD  
REVIEWED BY  
JAD  
DRAWN BY  
KAU



**THE  
 NEUTRAL  
 PROJECT**

**THE EDISON  
 DEVELOPMENT**

1005 N EDISON ST  
 MILWAUKEE, WI 53202

**MGA**  
 MICHAEL GREEN ARCHITECTURE

**THE  
 NEUTRAL  
 PROJECT**



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**PROJECT NUMBER**  
 67720

**APPROVED BY**  
 Approver

**REVIEWED BY**  
 Checker

**DRAWN**  
 A.Y. for

**WEST FACADE  
 RENDERING**

**A001**

(RIVERWALK SPROZ)

**THE EDISON | WEST FACADE**

PRELIMINARY - NOT FOR CONSTRUCTION





# THE EDISON | MAIN ENTRANCE

PRELIMINARY - NOT FOR CONSTRUCTION

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 Approver

**REVIEWED BY**  
 Checker

**DRAWN**  
 A.B.J.

**MAIN ENTRANCE  
 RENDERING**

**A002**

BIM 360/7/Edison/67720/AY/2020.rvt  
 Sheet Size: 30" x 42" (Arch E1)

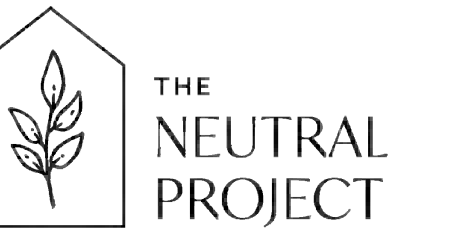


**THE  
 NEUTRAL  
 PROJECT**

**THE EDISON  
 DEVELOPMENT**

1005 N EDISON ST  
 MILWAUKEE, WI 53202

**MGA**  
 MICHAEL GREEN ARCHITECTURE



ISSUANCES / REVISIONS		
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 Approver

**REVIEWED BY**  
 Checker

**DRAWN**  
 A.Y. for

**SOUTH CAFÉ RENDERING**

**A003**

(RIVERWALK SPROZ)

**THE EDISON | SOUTH CAFÉ**

PRELIMINARY - NOT FOR CONSTRUCTION

BIM 360://Edison/67720/AY/2020.rvt  
 Sheet Size: 30" x 42" (Arch E1)



**THE  
 NEUTRAL  
 PROJECT**

**THE EDISON  
 DEVELOPMENT**

1005 N EDISON ST  
 MILWAUKEE, WI 53202

**MGA**  
 MICHAEL GREEN ARCHITECTURE



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**PROJECT NUMBER**  
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**APPROVED BY**  
 Approver

**REVIEWED BY**  
 Checker

**DRAWN**  
 A.B.J.

**NORTH RIVERWALK  
 RENDERING**

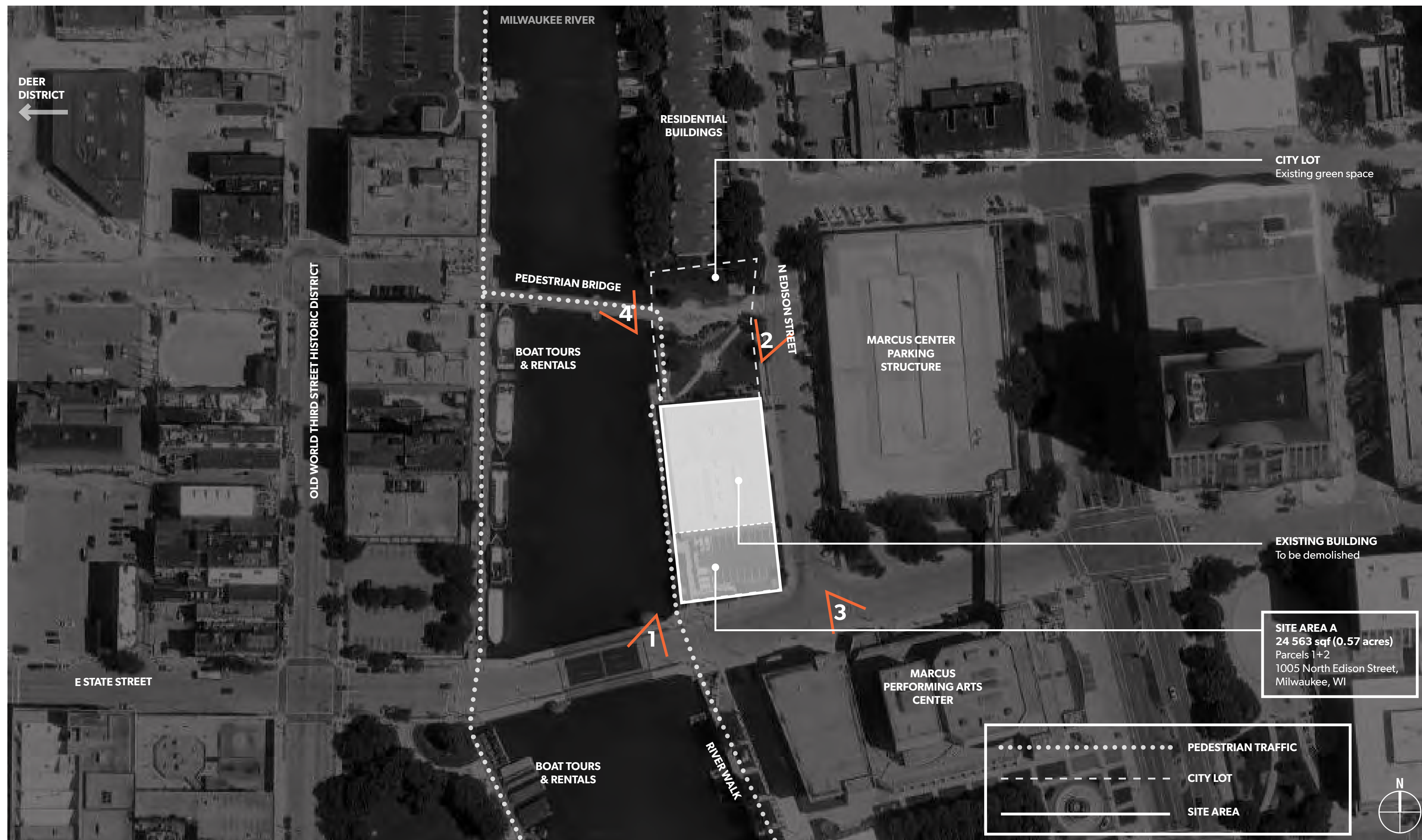
**A004**

(RIVERWALK SPROZ)

**THE EDISON | NORTH CORNER**

PRELIMINARY - NOT FOR CONSTRUCTION





**SITE INFO**

**ADDRESS** 1005 North Edison Street, Milwaukee, WI

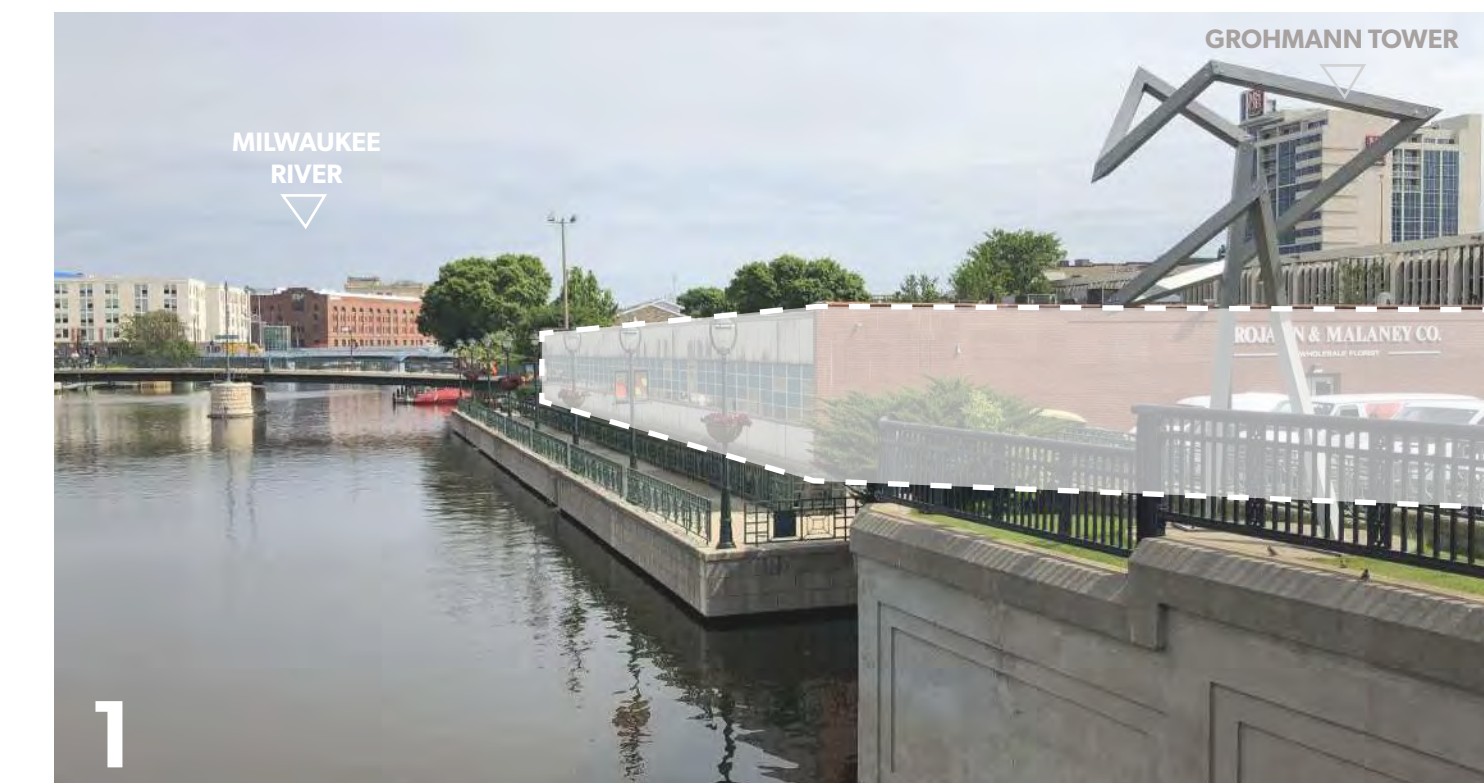
**SITE AREA** 24 563 SF (0.56 acres)  
**BUILDING FOOTPRINT** 22 117 SF

**GROSS** 212 723 SF  
 RESIDENTIAL 179 932 SF  
 COMMERCIAL 15 251 SF  
 PARKING & SERVICES 17 540 SF

**HABITABLE SF** 161 837 SF  
 RESIDENTIAL 148 609 SF  
 COMMERCIAL 13 227 SF

**UNITS** 194  
**PARKING**  
 CAR 102 (Incl. 4 ADA)  
 BIKES 56 long-term | 26 short-term

**NUMBER OF STOREYS** 15  
**VERTICAL CIRCULATION**  
 RESIDENTIAL 2 stairwells, 3 elevators  
 COMMERCIAL 2 stairwells, 1 elevator



**SITE | CONTEXT**

PRELIMINARY - NOT FOR CONSTRUCTION

**THE NEUTRAL PROJECT**

**THE EDISON DEVELOPMENT**

1005 N EDISON ST  
 MILWAUKEE, WI 53202

**ISSUANCES / REVISIONS**

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**PROJECT NUMBER**  
67720

**APPROVED BY**  
Approver

**REVIEWED BY**  
Checker

**DRAWN**  
A.B.K. for

**SITE LOCATOR AND CONTEXT MAP**

BIM 360://Edison/67720/A-V/2020.rvt

Sheet Size: 30" x 42" (Arch.E1)



**THE  
NEUTRAL  
PROJECT**

**THE EDISON  
DEVELOPMENT**

1005 N EDISON ST  
MILWAUKEE, WI 53202

**MGA**  
MICHAEL GREEN ARCHITECTURE



ISSUANCES / REVISIONS		
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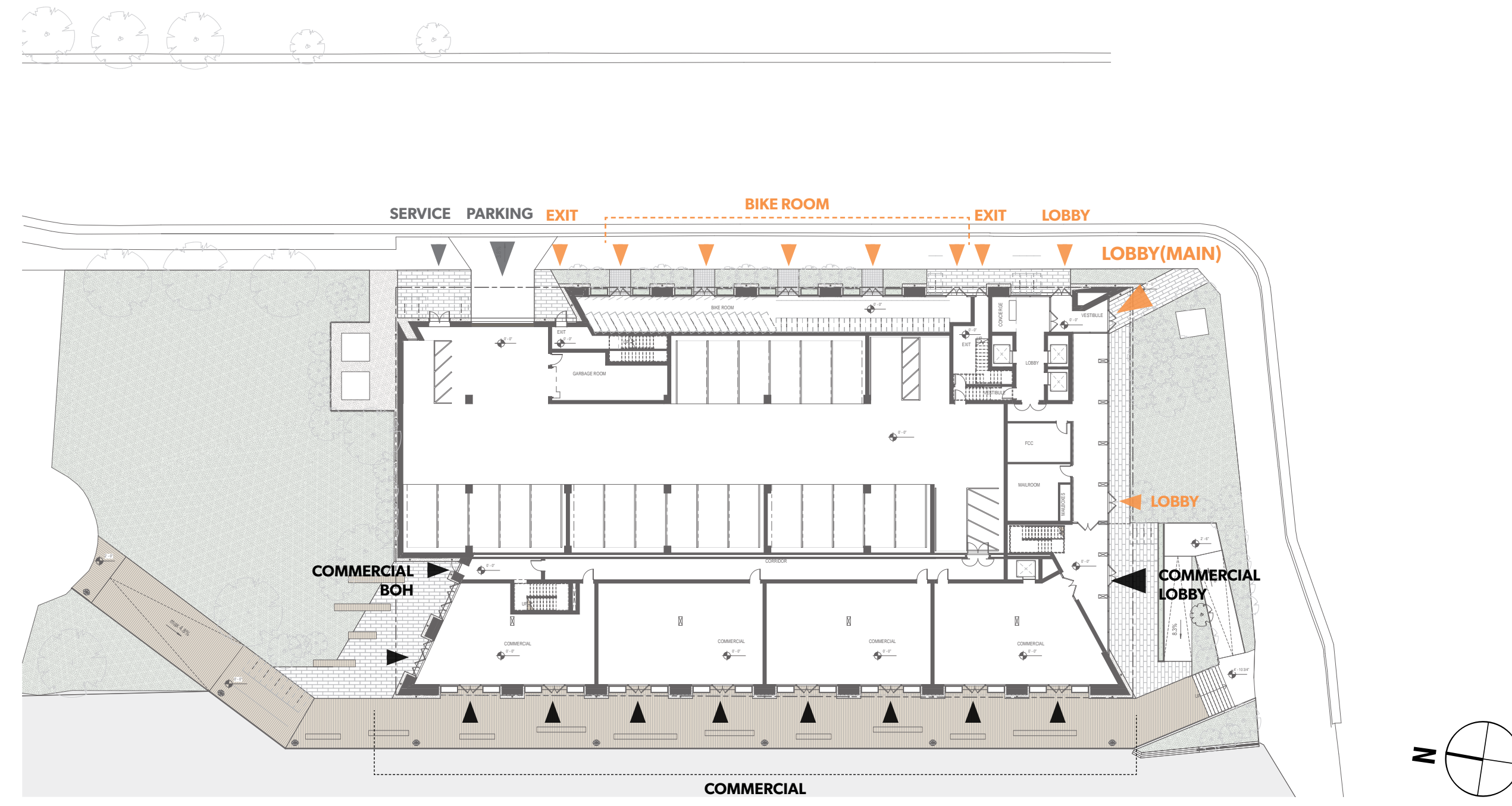
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Approver

**REVIEWED BY**  
Checker

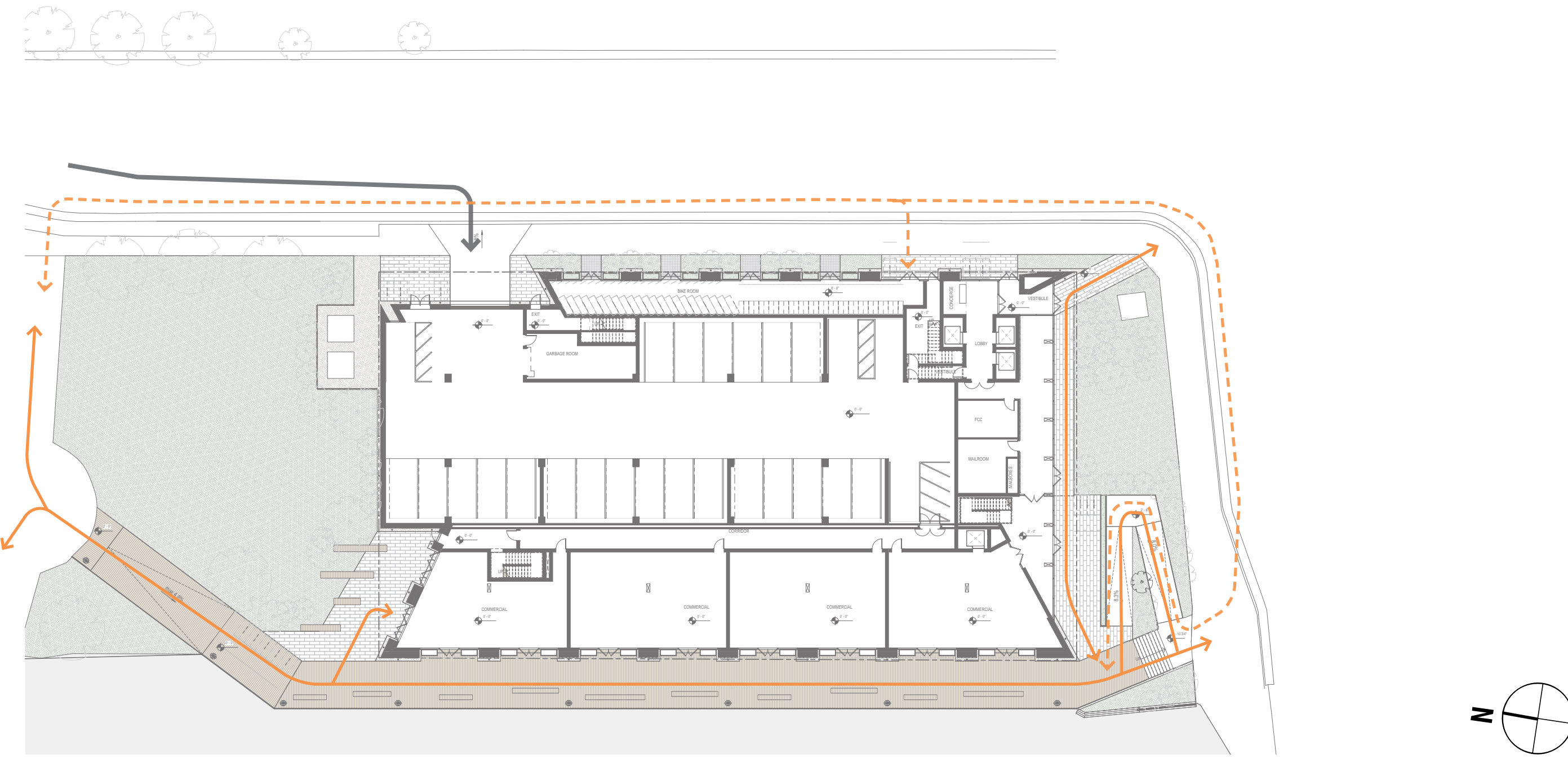
**DRAWN**  
ADY/or

**SITE DIAGRAMS**



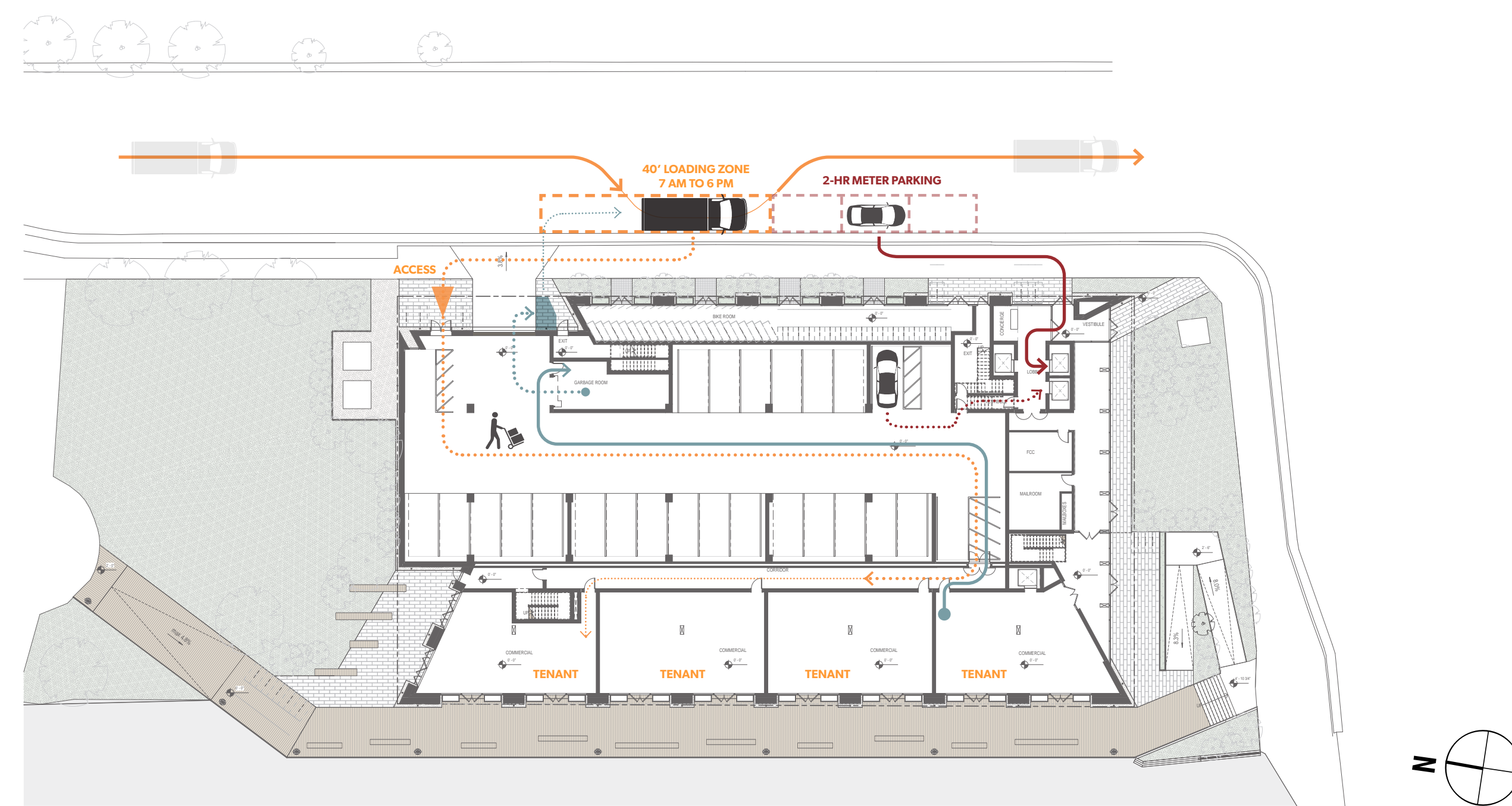
**ACCESS**

- ▶ main / residential
- ▶ secondary / residential parking
- ▶ service / commercial loading
- ▶ commercial



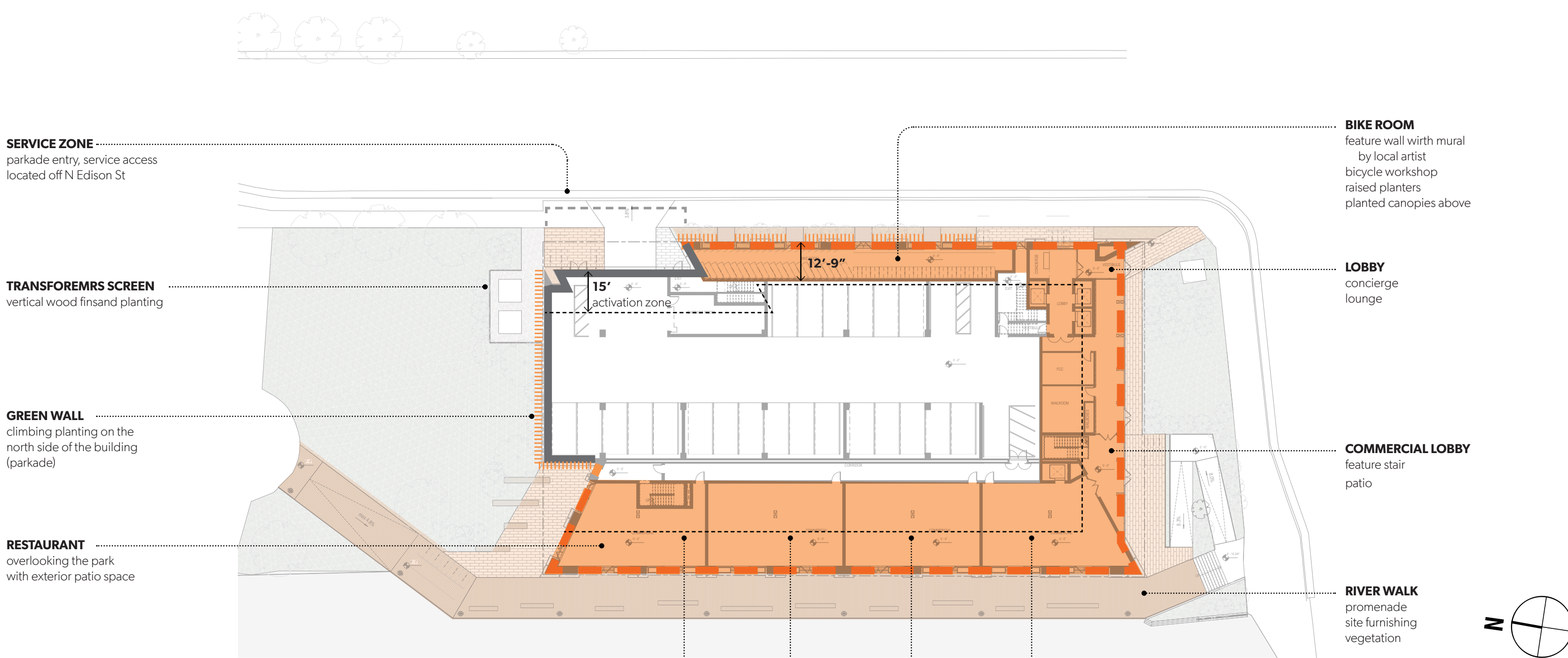
**CIRCULATION ON SITE**

- pedestrian
- - - bike
- car



**LOADING STRATEGY**

- ▶ COMMERCIAL LOADING
  - ▶ delivery car route
  - ▶ delivery route in the building
  - ▶ service access
- ▶ GARBAGE
  - ▶ route from commercial space
  - ▶ trash bin route to staging area
  - ▶ staging area
- ▶ MOVE IN / OUT
  - ▶ route from the car (loading)
  - ▶ alt. route from the car (parkade)



**ACTIVATION ZONE**

- façade not programmed
- - - façade activated
- ||||| climbing vegetation, planters
- commercial program L1
- public space & landscaping

**SITE | DIAGRAMS**



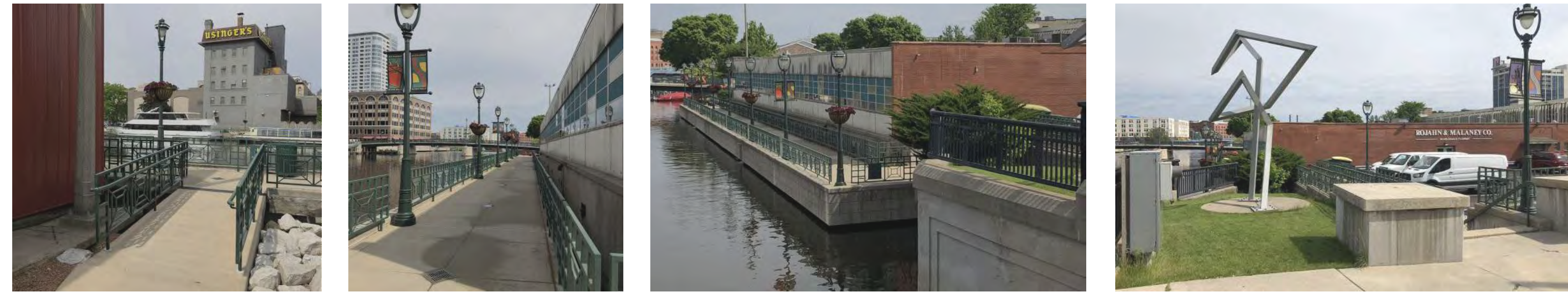
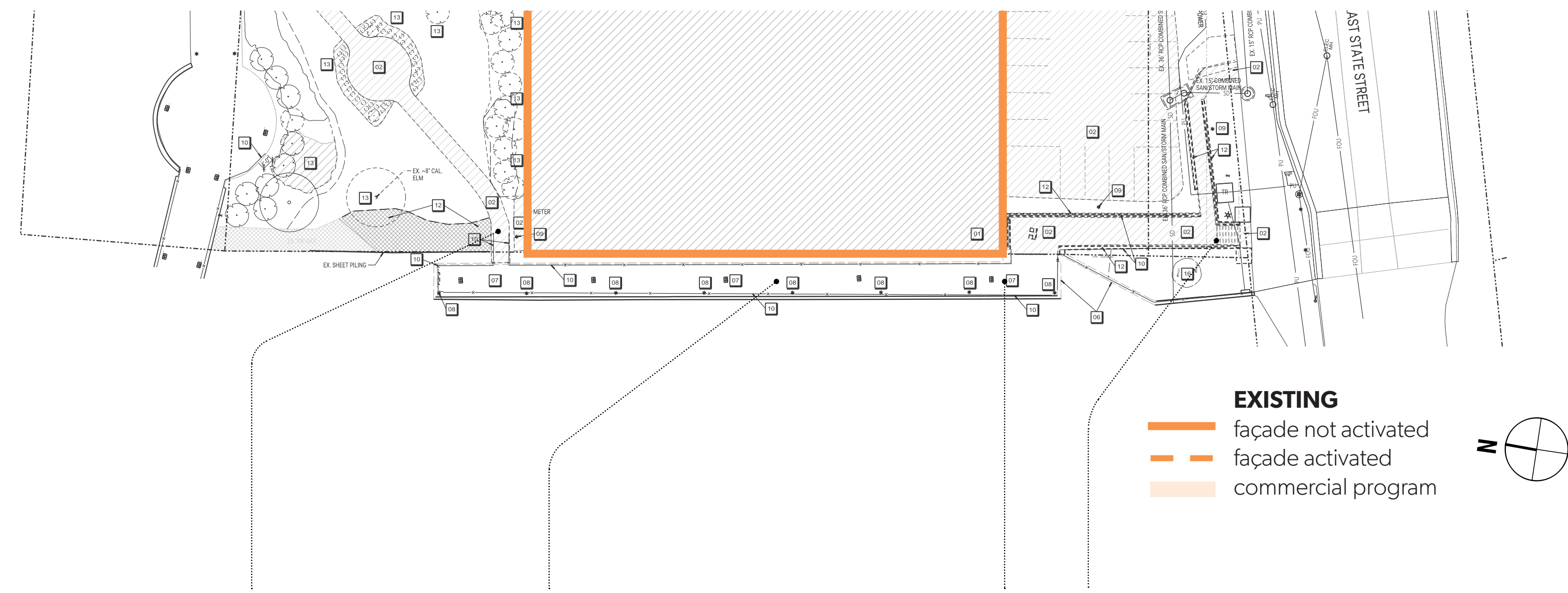
**THE NEUTRAL PROJECT**

**THE EDISON DEVELOPMENT**

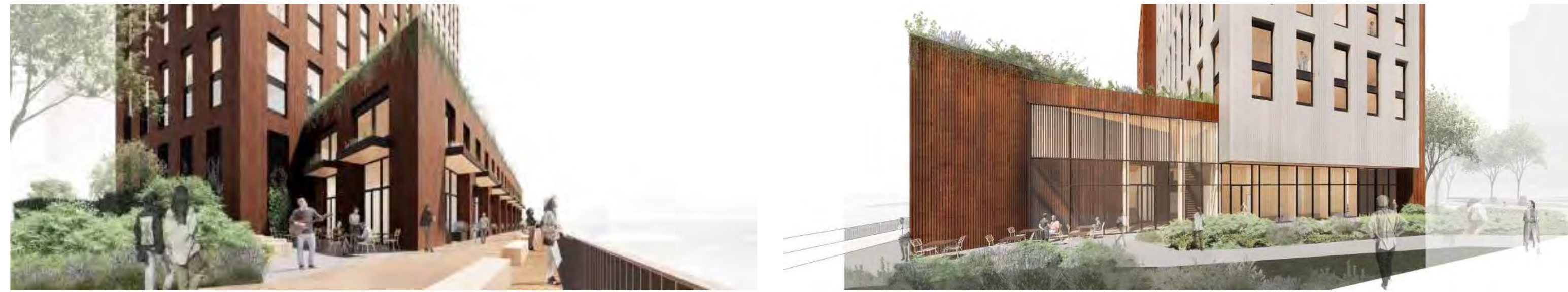
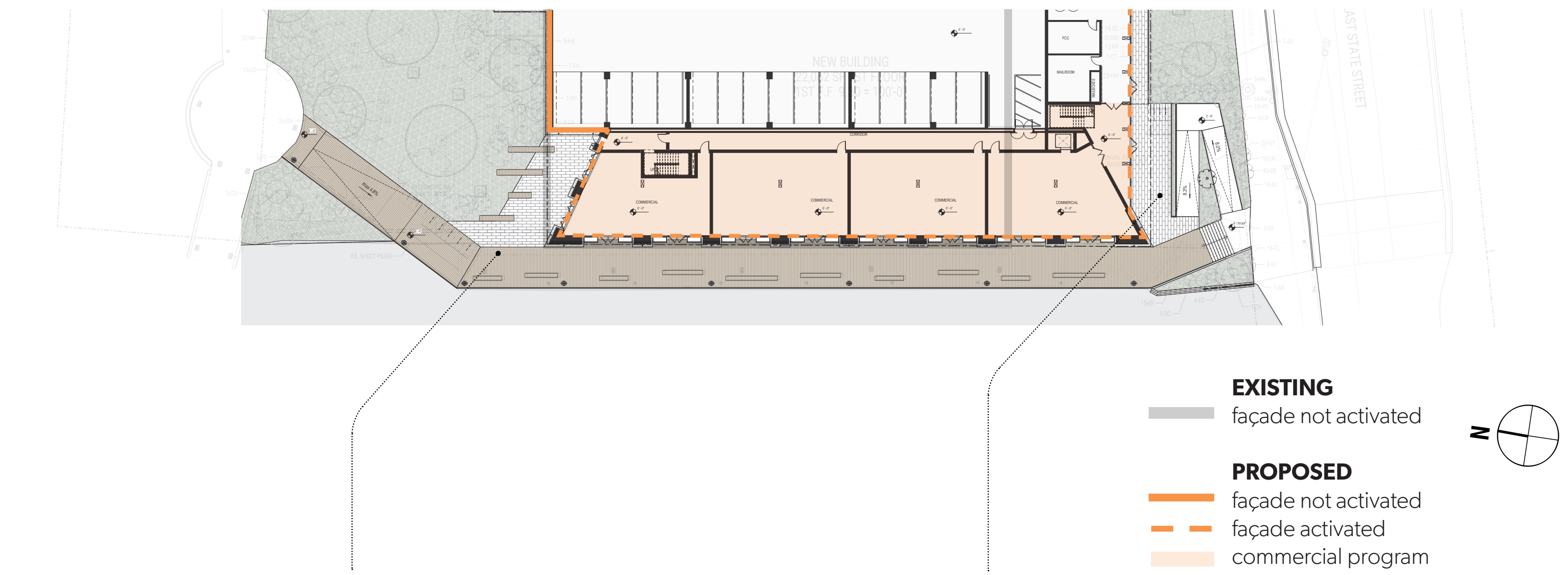
1005 N EDISON ST  
 MILWAUKEE, WI 53202

**MGA**  
 MICHAEL GREEN ARCHITECTURE

**THE NEUTRAL PROJECT**



**EXISTING**



**PROPOSED**

**MATERIALITY**

ACCOYA	DARK BROWN METAL	BLACK METAL	PREWEATHERED STEEL
Decking panels	Painted metal elements	Existing painted metal elements	Flat Panel
<b>WOOD DECK</b> along the river	<b>LANDSCAPE ELEMENTS</b> furnishing	<b>VERTICAL FIN DARK METAL RAILING</b> color and design to match existing in the area	<b>LANDSCAPE ELEMENTS</b> Bollards with guard lights
		<b>EXISTING MKE HARP LIGHT POLES</b> Remove existing finish, repaint and reinstall	<b>LANDSCAPE ELEMENTS</b> planters, building perimeter gravel strip edging



**SITE | RIVER WALK**

**RAILING AT THE EXISTING RETAINING WALL**



**NEW RAILING DETAIL**

**PRELIMINARY - NOT FOR CONSTRUCTION**

**ISSUANCES / REVISIONS**

NO.	DESCRIPTION	DATE
2	DCD SUBMITTAL SET	06/18/2021
4	HP SUBMITTAL UPDATES	07/19/2021
5	SPROZ SUBMITTAL SET	07/30/2021

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**PROJECT NUMBER**  
67720

**APPROVED BY**  
Approver

**REVIEWED BY**  
Checker

**DRAWN**  
ABX/or

**RIVERWALK**

**A014**

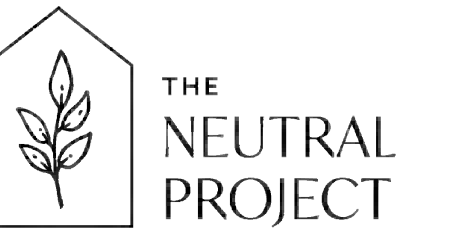
(RIVERWALK SPROZ)



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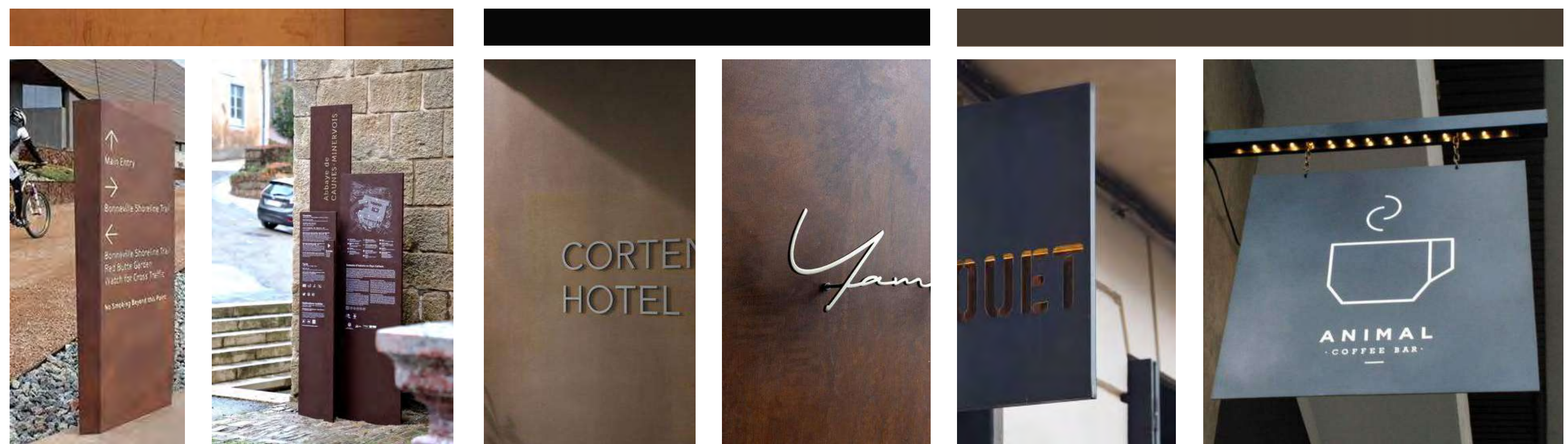
**CRU SIGNAGE LOCATION**

**POTENTIAL COMMERCIAL SIGNAGE**  
 exact signage strategy to be confirmed when number and type of tenants known

**1. VERTICAL BLADES**  
 exact size, location, detailing and design guideliness TBD

**2. ON PRE-WEATHERED RETURN WALL**  
 exact size, location, detailing and design guideliness TBD

**3. ATTACHED TO CANOPIES**  
 exact size, location, detailing and design guideliness TBD



**VERTICAL BLADES**  
 Freestanding element

**ON A RETURN PRE-WEATHERED WALL**  
 Lettering, removable plates

**ATTACHED TO CANOPIES**  
 Detachable plaques

**PRECEDENTS**

**SIGNAGE | POTENTIAL LOCATION**

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5	SPROZ SUBMITTAL SET	07/20/2021

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<b>APPROVED BY</b>	Approver
<b>REVIEWED BY</b>	Checker
<b>DRAWN</b>	ADU/or

**POTENTIAL SIGNAGE LOCATION**

**A017**

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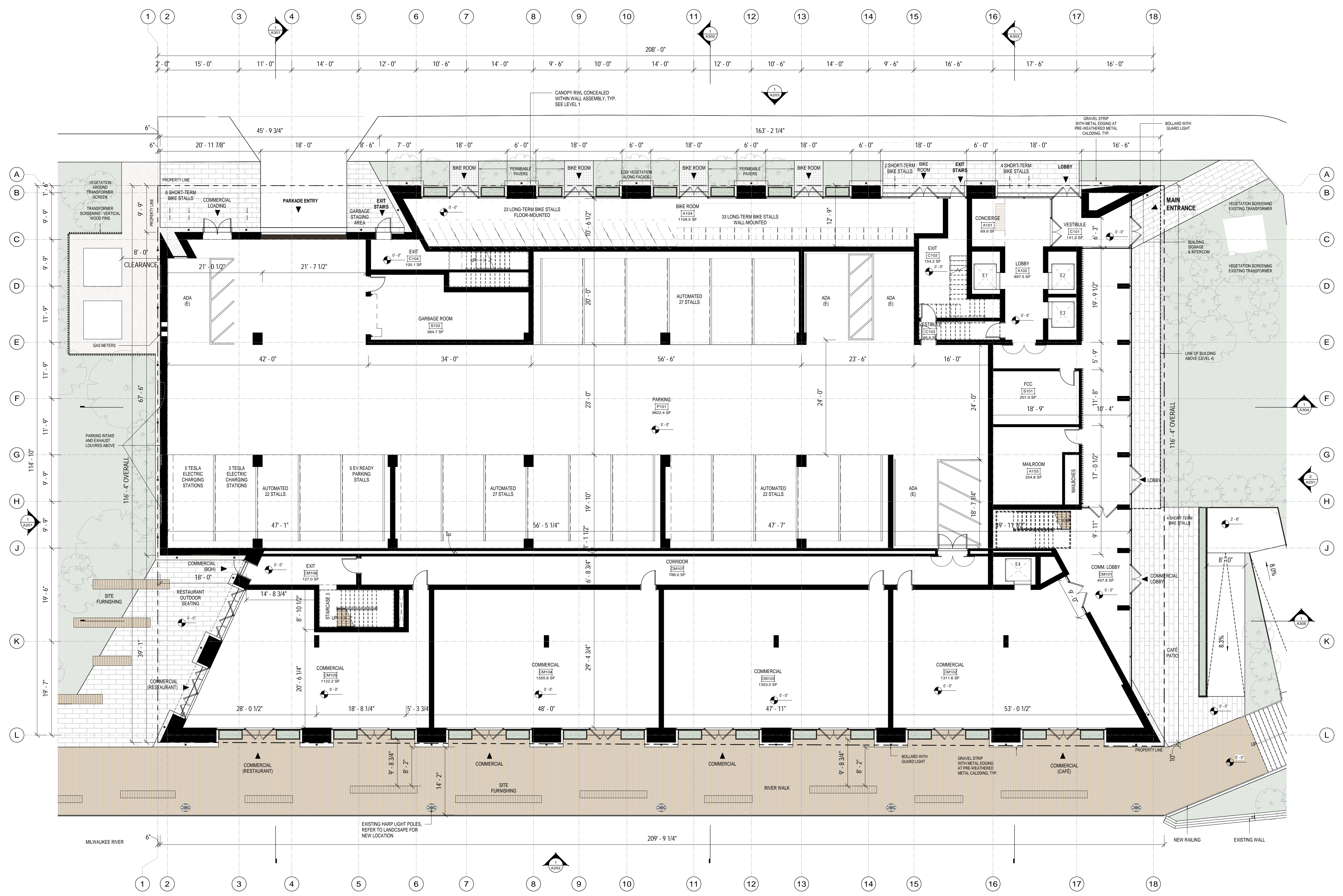


ISSUANCES / REVISIONS		
NO.	DESCRIPTION	DATE
1	SD PRICING SET	06/14/2021
2	DCD SUBMITTAL SET	06/18/2021
4	HP SUBMITTAL UPDATES	07/19/2021
5	SPROZ SUBMITTAL SET	07/30/2021

10/20/2021 9:52:00 AM  
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**PROJECT NUMBER**  
 67720  
**APPROVED BY**  
 AYA  
**REVIEWED BY**  
 AYA  
**DRAWN**  
 ABX/or  
**1ST LEVEL FLOOR PLAN**

**A101**  
 (RIVERWALK SPROZ)



BIM 360://Edison/67720-AV/2020.rvt  
 Sheet Size: 30" x 42" (Arch E1)  
 10/20/2021 9:52:00 AM

**1ST LEVEL FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 0 4 8 16

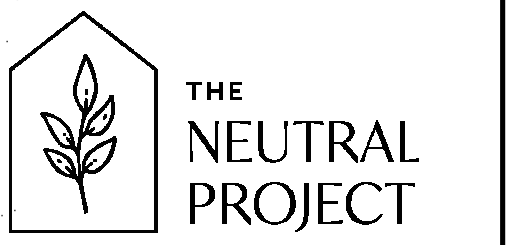
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 AYA

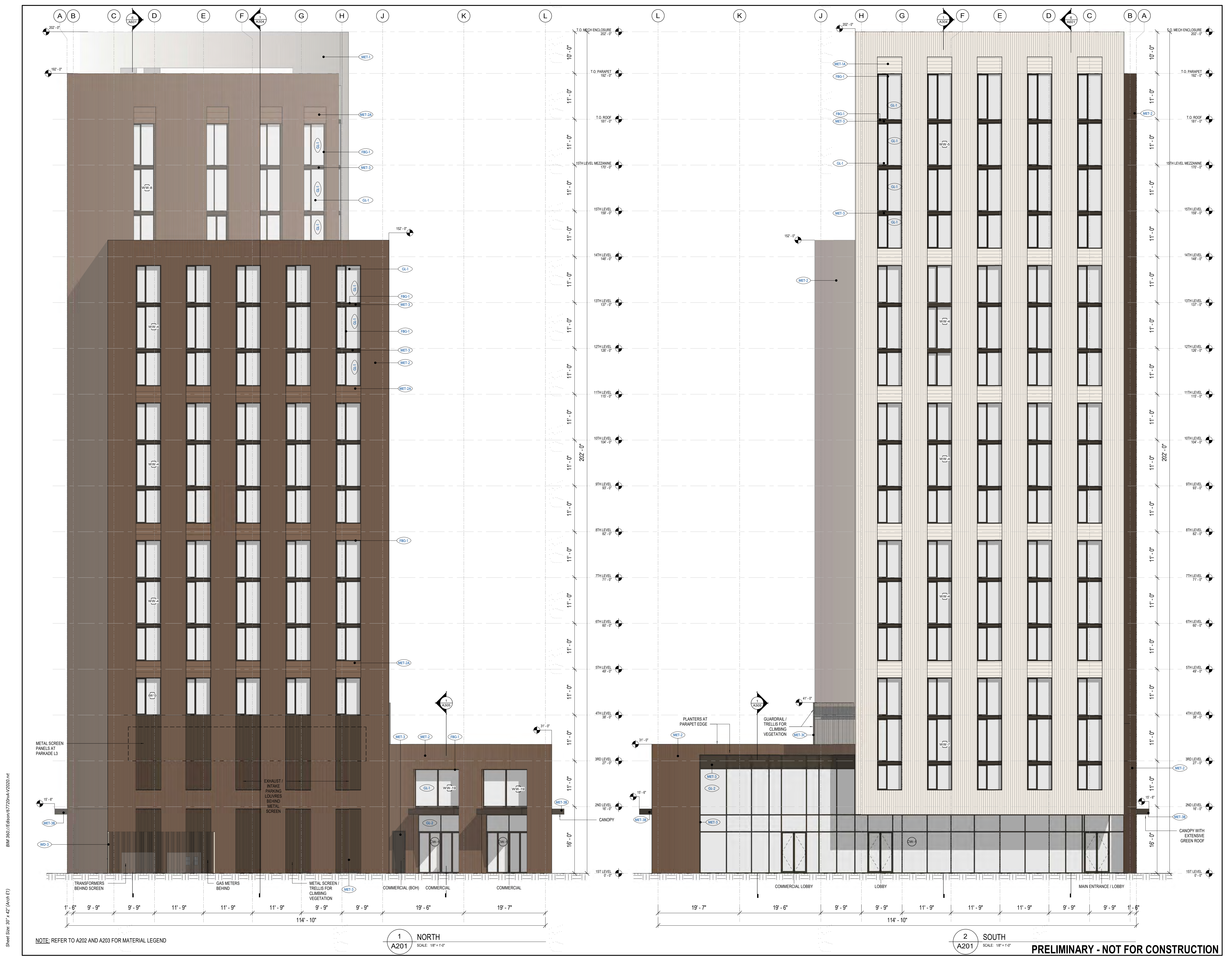
**REVIEWED BY**  
 AYA

**DRAWN**  
 AYA/or

**NORTH AND SOUTH ELEVATIONS**

**A201**

(RIVERWALK SPROZ)



BIM Size: 30" x 42" (A1/E1)  
 Sheet Size: 30" x 42" (A1/E1)  
 BIM 360://Edison/67720/A201.rvt

NOTE: REFER TO A202 AND A203 FOR MATERIAL LEGEND

**1 NORTH**  
 SCALE: 1/8" = 1'-0"

**2 SOUTH**  
 SCALE: 1/8" = 1'-0"

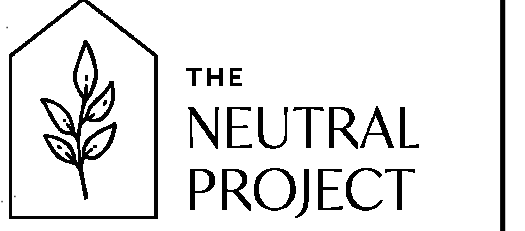
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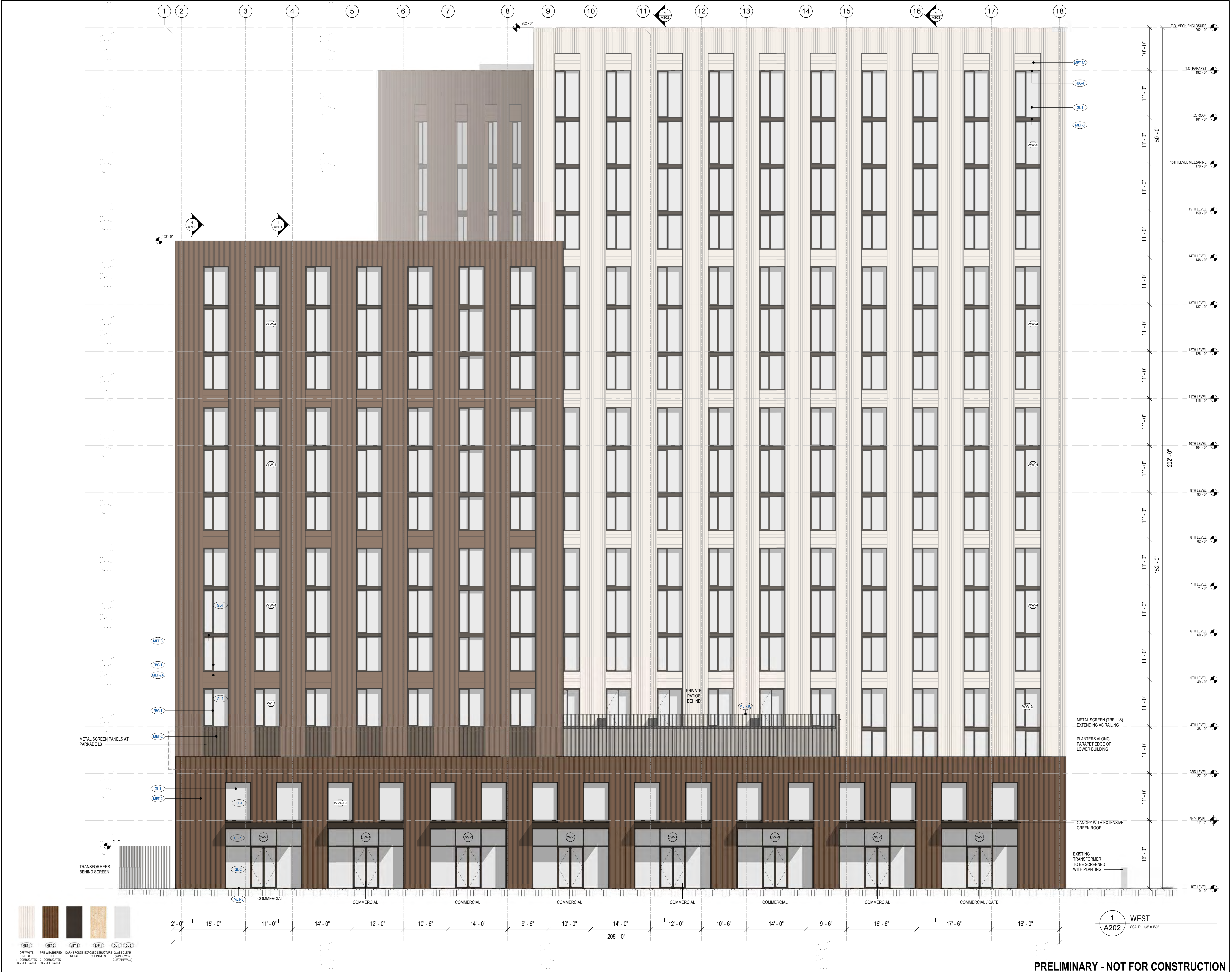
**REVIEWED BY**  
 Checker

**DRAWN**  
 A.B.Y.

**WEST ELEVATION**

**A202**

(RIVERWALK SPROZ)



Sheet Size: 30" x 42" (A1) (A1)

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