

**3600@Villard**  
3600 W. Villard Avenue  
Milwaukee, WI 53209

Submittal for Minor Modification to the Detailed Plan Development  
Original File Number: 160917  
Submitted: December 21, 2016

New File Number: 181488  
Submitted: February 11, 2019  
Updated: February 13, 2019



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# Owner's Statement of Intent & Planned Development Project Description

## Owner's Statement of Intent for a Minor Modification

A Detailed Plan Development (DPD) was approved on January 18, 2017 (#160597). It approved a four-story, 43-unit, mixed-use building with enclosed parking at the back of the property. As the design was further refined, the applicant is requesting that the previous enclosed parking become a surface parking lot. The painted concrete masonry unit wall at the south and east facades enclosing the parking will be removed from the project. The amenity deck, once on the roof of the enclosed parking, will be removed from the project. The surface parking lot will be enclosed with a maximum 2'-0" high painted concrete masonry unit retaining wall topped with a 6'-0" decorative metal fence. The previously approved DPD included up to 26 parking spaces. The transformer will be located outside on a concrete pad at the south east corner of the site. The modified surface parking will include up to 27 spaces. The parking will be illuminated with wall mounted lighting on the south and east facades of the building. Light poles may be added along the fence line as needed. The street facades will remain unchanged and parking access will remain from the overhead door at the west side of the building. The trash collection will remain enclosed within the building. The bicycle parking will be moved to enclosed within the building.

## Original Owner's Statement of Intent with Updates per #181488 (Minor Modification) Notes

The Villard Avenue neighborhood is the benefactor of a strategic Detailed Planned Development (DPD). Initiated in 2016, the DPD will encompass the revitalization and re-purpose of the vacant lots located at 3615, 3619, and 3633 West Villard Avenue and the building located at 3611 & 3621-3625 West Villard Avenue. The buildings located on the site will be demolished in preparation for a new development at the southwest corner of West Villard Street and North 37th Street. The building will be 4 stories with a mix of brick and metal cladding and include a 43-unit mixed-use housing development to be comprised of 1, 2 and 3 bedroom unit types including 7 walk-up units, up to 2,000 sq. ft. of new retail space, and up to 27 parking spaces. The development will include finishes such as high efficiency appliances, in-unit laundry hookups, community room, fitness center, enclosed surface parking, and on-site property management. The development will also encompass a ground floor commercial space at the northwestern corner of the building where a cafe/coffee shop or small restaurant will be the targeted end use.

The success of the DPD will create a vibrant neighborhood full of diversity, energy, and economic activity.

## Planned Development Project Description (#160597) with Updates per #181488 (Minor Modification) Notes:

### Uses:

Multi-family dwelling, parking structure accessory use, and the following uses shall be permitted in the commercial portion of the building: all uses as permitted under an LB2 zoning classification as defined in the City of Milwaukee zoning ordinance section 295-603-1. Additionally, uses accessory to the multi-family (i.e. community space, party room) may occupy the space.

### Setbacks:

The north facade is on the W. Villard Avenue property line with some areas of setback for variation in the facade. The north walk-up units are set back five feet from the Villard Avenue property line to allow for a garden wall, stair and landing buffer area. The entries to the north walk-up units are set back nine feet from the 37th Street property line to allow for a garden wall, ramp, and landing buffer area. The rest of the north facade setbacks range from 6 inches at the corner of Villard and 37th Street to 5'-8" at the building stair exit flanking the northern property line.

The west facade is on the N. 37th Street property line with some areas of setback for variation in the facade ranging from 6 inches at the corner of Villard and 37th Street to 17' at the building stair exit flanking the western property line.

The east facade is set back 5 inches to 3' off of the eastern property line at the northern portion of the building. The building is set back 156'-4" from the eastern property line at the southern portion of the building.

The south facade is on the alley property line and then, with the shape of the building, extends back to distances of 53'-0", 59'-9", and 63'-8" from the property line. The retaining wall and fence enclosing the surface parking are located at the south and east property lines.

### Screening:

All utility and HVAC equipment, with the possible exception of the electrical transformer located on the southern property line facing the alley, will not be visible from the street. They will be housed in the building or located on the roof.

### Open Spaces:

The building will have an open roof deck on the 2nd floor at the southern end over the parking structure, which will be accessible to the building's residents.

### Circulation, Parking and Loading:

The building contains an enclosed surface parking lot (previously enclosed heated parking) accessed from N. 37th Street and contains up to 27 parking stalls (previously 26 parking stalls) for use by the residents.

The main pedestrian entrance to the building is located on the West Villard Avenue street facade. Additionally, there is an entrance to the elevator lobby from the parking garage.

Seven of the dwelling units have walk-up access from Villard Avenue and 37th Street, as well as direct access from the parking area.

The commercial space entry will be located at the corner of West Villard Avenue and N. 37th Street.

The MCTS Route 80 runs along Villard Avenue.

Commercial Use Parking will be provided by available street parking.

Bicycle parking will be located within the building accessible from the surface parking and off the first floor corridor (previously located internal to the parking structure) with overflow racks outdoors if needed. Indoor bicycle parking will accommodate up to 10 bicycles for residents and 2 for commercial employees. Bicycle racks will be placed in the right of way adjacent to sidewalks, subject to the approval of the Department of Public Works, and will include five racks for resident visitors and two for commercial customers.

Refuse for residential use is handled via an internal trash room off the surface parking area. Commercial space will use a dumpster in the trash room. Dumpsters will be rolled out for collection through the parking entrance located on North 37th Street.

### Building Enclosure

The building is anchored with modular fact brick towers at all outboard corner conditions. A feature element at the corner of 37th and Villard will include aluminum storefront from with clear vision glass on the ground floor and floor to ceiling fiberglass windows with clear glazing at the dwelling units above. All street frontages at the ground floor level will be constructed will be constructed of durable, high quality materials such as modular face brick and cast in place concrete. The building exposure at grade, adjacent to the surface parking, will be concrete masonry painted to match the brick. On the upper three floors, primary cladding is to be a high quality fiber cement board (Hardie or better) panel system infilled with fiberglass window units with clear glazing. Along Villard Avenue, up to eight bay windows will extend tow feet beyond the property line. Each bay window is ten feet in length. Construction typology permitting, every attempt will be made to create depth and shadow lines through the incorporation of bay windows, reveals, and recessed window jambs. At the south and east courtyards, cladding is to be a high quality fiber cement board (Hardie or better) panel system infilled with fiberglass or vinyl window units with clear glazing.

### Landscaping:

The areas of landscape for 3600 @ Villard is simple with areas of landscaping located within the property along the N. 37th Street facade near the walk-up townhouse entries, adjacent to the stair egress, and within an 18" planter south of the retail entry. The street trees and planting areas in the right-of-way will remain along both W. Villard Avenue and N. 37th Street. The project features a raised planter at the building entrance along W. Villard Avenue. All required vegetation and plantings in the interior areas shall be of a quality consistent with the American Association of Nurserymen (ANSO 260.1). All required vegetation shall be maintained on an ongoing basis, including seasonal tree and plant replacement.

### Lighting:

Adequate lighting shall be provided along the north elevation as well as along the west elevations. All walk-up units will be well lit for safety purposes using wall mounted sconces at entries and recessed lighting for wall wash illumination. Wall mounted lighting will be used at the surface parking with light poles added where needed to provide adequate light levels for the parking. The lighting shall comply with requirements outlined in section 295-409.2 of the City of Milwaukee City Charter and Code of Ordinances.

### Utilities:

All utility lines shall be installed underground if possible, otherwise existing poles will remain in place. Transformers and substations will be installed within buildings or otherwise screened from view.

### Signs:

Building signage will include a wall mounted name and address sign located at the entrance lobby of the building. The address sign will be either surface mounted raised metal characters or frosted glass. Signs will be Type A (only letters and logos illuminated) and constructed with high quality materials that match the building. Signs will not exceed approximately 4 feet in height and 36 square feet overall.

The retail suite at the northwest corner of the building will have a separate, wall or canopy mounted sign. Signs will be Type A (only letters and logos illuminated) and constructed with high quality materials that match the building. Signs will not exceed approximately 4 feet in height and 36 square feet overall.

Temporary signage during construction and leasing will consist of up to two (2) 4 foot by 8 foot banners with a printed graphic of the project and contact information attached to the construction fence.

### Project Overview with Updates per #181488 (Minor Modification) Notes:

Total lot square footage: 23,778 SF (.546 Acres)

Maximum amount of land covered by principal structure: 11,765 SF 49%

Maximum amount of land devoted to parking, drives, and parking structure: 10,113 SF 42.5%

Maximum amount of land devoted to landscaped open space: 160 SF .7% There will be planters and a possible intensive planted roof above the parking garage.

Proposed number of buildings: One

Number of dwelling units: Up to 43

Bedrooms per unit: One, Two and Three - Total bedroom count: Up to 79

Parking spaces provided for residents: Up to 27: Approx. .63 per dwelling unit

Block density: 553 SF of lot area per dwelling unit.





View Southwest from W. Villard Avenue and N. 37th Street



View East on W. Villard Avenue



View Northeast from N. 37th Street



View West from N. 37th Street



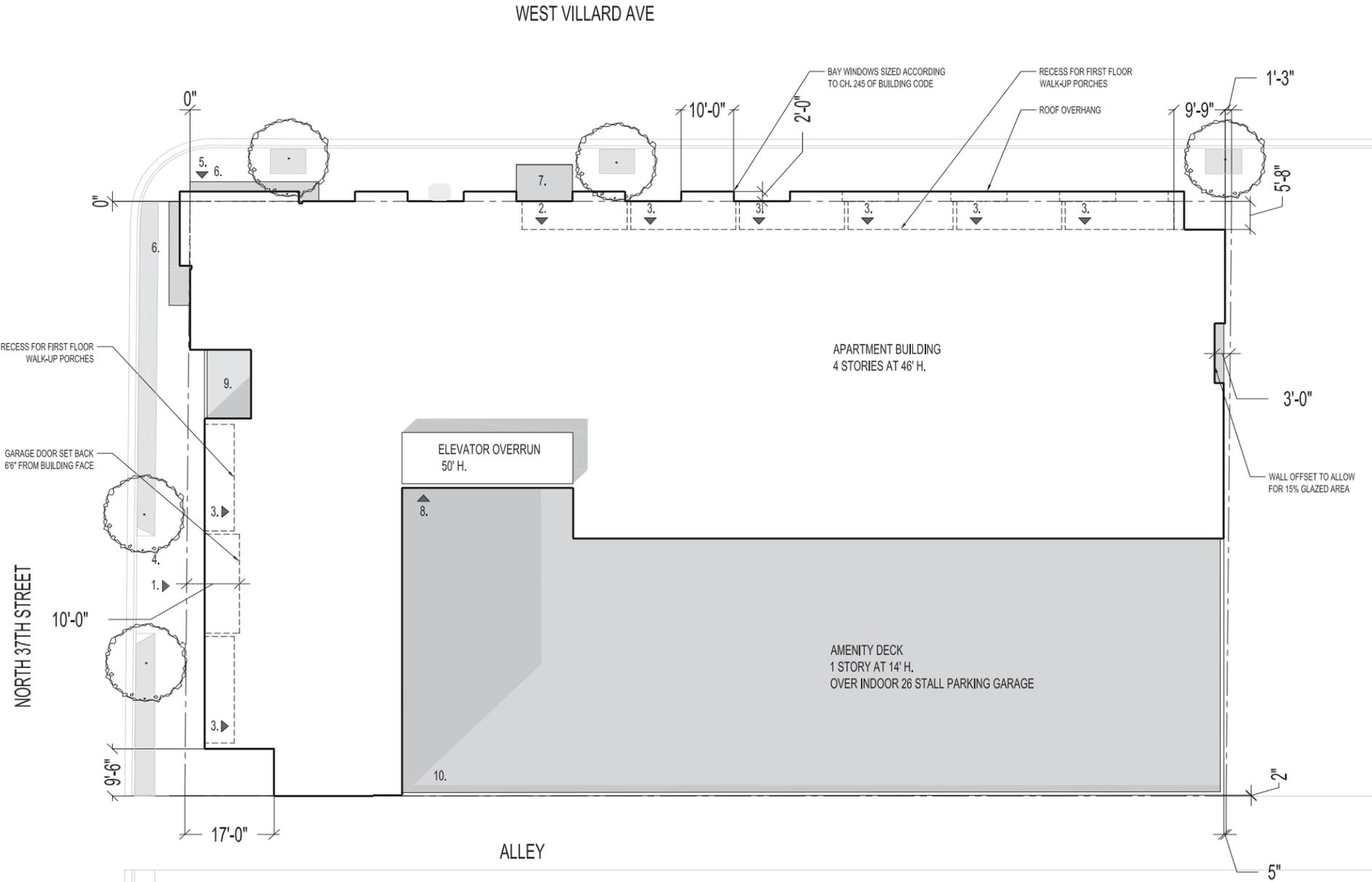
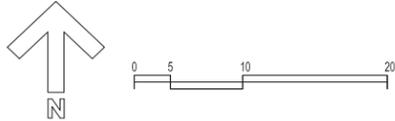
View of 3621 W. Villard Avenue



View of 3605-3611 W. Villard Avenue

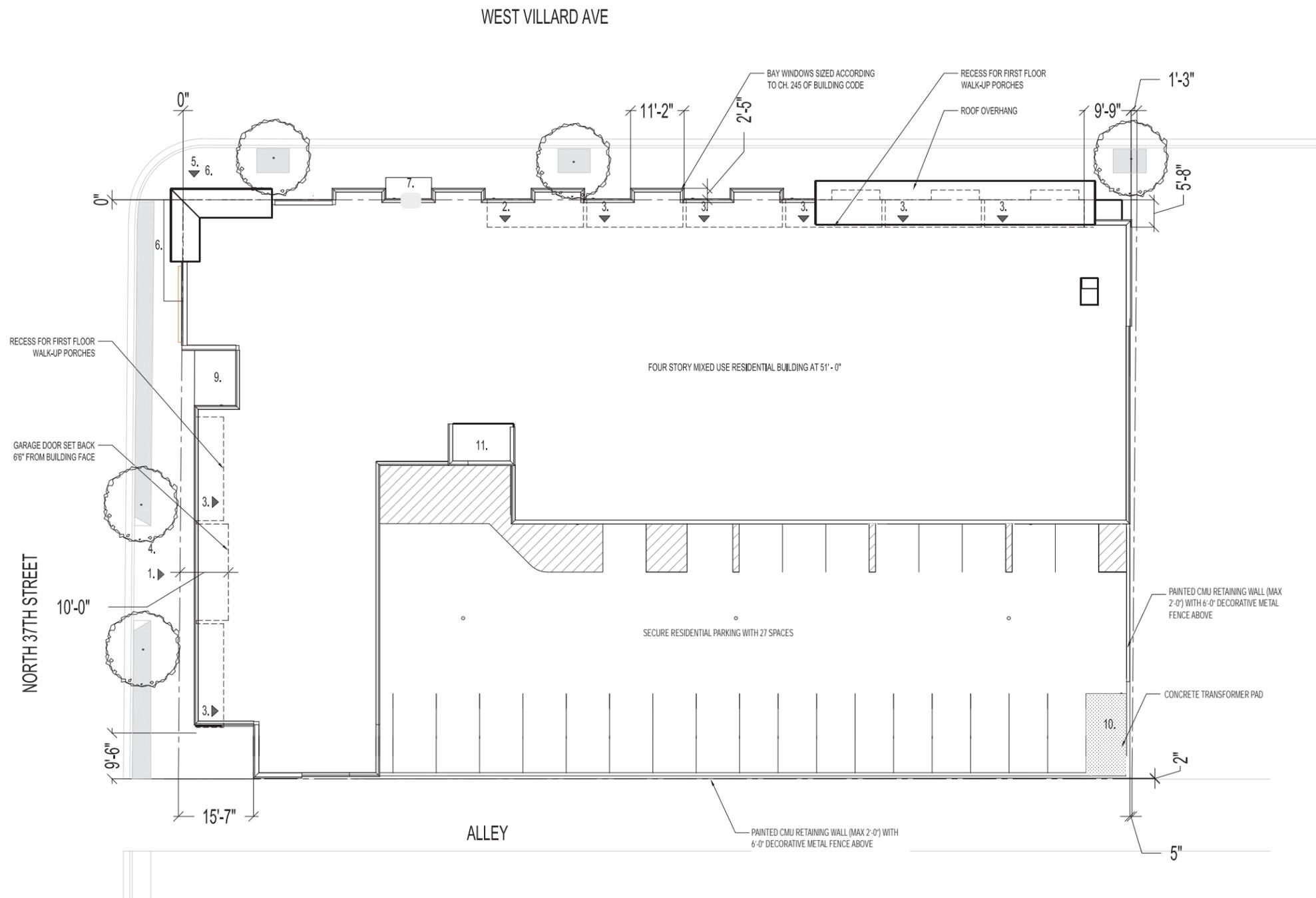
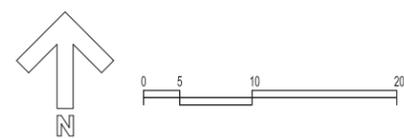
**SITE PLAN KEY**

- 1. GARAGE ENTRANCE
- 2. MAIN PEDESTRIAN ENTRANCE
- 3. WALK-UP UNITS
- 4. REFUSE COLLECTION
- 5. RETAIL ENTRY
- 6. RETAIL AWNING
- 7. LOBBY ENTRY AWNING
- 8. CORRIDOR ENTRY FROM DECK
- 9. PLANTER
- 10. TRANSFORMER VAULT



**SITE PLAN KEY**

1. GARAGE ENTRANCE
2. MAIN PEDESTRIAN ENTRANCE
3. WALK-UP UNITS
4. REFUSE COLLECTION
5. RETAIL ENTRY
6. RETAIL AWNING
7. LOBBY ENTRY AWNING
8. CORRIDOR ENTRY FROM DECK
9. PLANTER
10. CONCRETE TRANSFORMER PAD
11. ELEVATOR OVER RUN



**GENERAL NOTES:**

- ALL CURB RADII ARE TO THE FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR PROJECT WORK LIMIT; UNLESS STATED OTHERWISE.
- CONTRACTOR TO ENSURE THAT ALL EXTERIOR CONCRETE SLABS ARE BROOM FINISHED.
- REFER TO LANDSCAPE PLANS FOR RESTORATION IN LANDSCAPED AREAS.

**BUILDING AREA:**

FIRST FLOOR AREA: 21,938 S.F.  
BUILDING HEIGHT:  
RETAIL SPACE = 47 FEET  
TOWNHOMES = 46 FEET  
PARKING GARAGE = 20 FEET

**PARKING DATA:**

TOTAL PARKING SPACES = 26  
HANDICAP ACCESSIBLE PARKING SPACES = 2

**SITE DATA:**

TOTAL AREA OF LOT = 23,778 S.F. = 0.546 ACRES  
TOTAL DISTURBED AREA = 27,113 S.F. = 0.622 ACRES  
IMPERVIOUS AREA BEFORE CONSTRUCTION = 18,931 S.F. = 0.435 ACRES  
IMPERVIOUS AFTER CONSTRUCTION = 26,530 S.F. = 0.609 ACRES  
INCREASE IN IMPERVIOUS AREA = 7,599 S.F. = 0.174 ACRES

**GREEN SPACE:**

LOT:  
AREA = 23,778 S.F.  
GREEN SPACE = 160 S.F.  
1% GREEN SPACE

PARCEL ADDRESS  
3611-3633 W. VILLARD AVENUE  
MILWAUKEE, WI 53209

**ZONING:**

CURRENT: XX  
PROPOSED: XX

**SETBACK:**

PROPOSED SETBACK: 0-FT

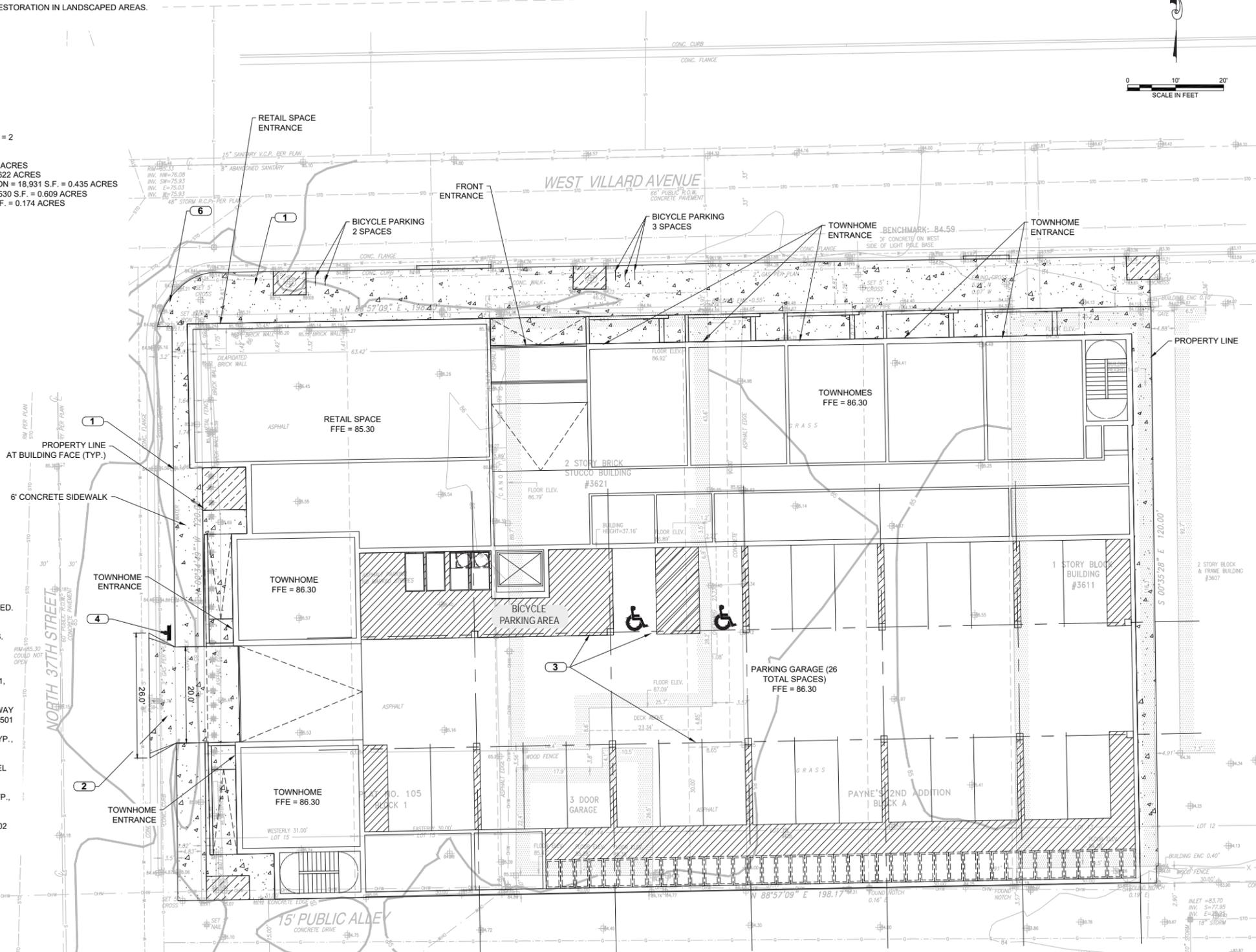
LEGEND	
	CONCRETE
	LANDSCAPING

**GENERAL NOTES**

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- CONTRACTOR TO ENSURE THAT ALL CONCRETE SLABS ARE BROOM FINISHED.
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**PLAN NOTES:**

- 5" CONCRETE SIDEWALK, SEE DETAIL 1, SHEET C501.
- 7" THICK CONCRETE SLABS AT DRIVEWAY APPROACHES, SEE DETAIL 8, SHEET C501
- PAVEMENT MARKING 4-INCH WHITE, TYP., SEE DETAIL 4, SHEET C501.
- R1-1 STOP SIGN SIZE 6, TUBULAR STEEL POST, SEE DETAIL 2 & 3, SHEET C502
- 24" CONCRETE CURB AND GUTTER, TYP., SEE DETAIL 3, SHEET C501
- CURB RAMPS, SEE DETAIL 1, SHEET C502



REVISIONS	DATE	DESCRIPTION
0	12/02/16	CITY SUBMITTAL

DRAWN BY	DATE
CMB	12/02/2016
CHECKED BY	DATE
APS	12/02/2016

SHEET TITLE  
CIVIL SITE PLAN

C200



3636 North 124th Street  
Wauwatosa, WI 53222  
262-821-1171

CONSULTANT

CONSULTANT

CONSULTANT

PROJECT TITLE: 3600 @ VILLARD  
CLIENT: INDEX DEVELOPMENT GROUP, LLC  
PROJECT LOCATION: 3600 W. VILLARD AVENUE,  
MILWAUKEE, WI 53209

REVISIONS	DATE	DESCRIPTION
0	12/02/16	CITY SUBMITTAL
1	02/11/19	MINOR MODIFICATION TO DPD

DRAWN BY ZA	DATE 02/07/2019
CHECKED BY JAF	DATE 02/07/2019

SHEET TITLE  
CIVIL SITE PLAN

C200

SHEET 1 of SHEET 1

**GENERAL NOTES:**

- ALL CURB RADII ARE TO THE FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR PROJECT WORK LIMIT; UNLESS STATED OTHERWISE.
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- REFER TO LANDSCAPE PLANS FOR RESTORATION IN LANDSCAPED AREAS.

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- 5" CONCRETE SIDEWALK, SEE DETAIL 1, SHEET C501.
- 7" THICK CONCRETE SLABS AT DRIVEWAY APPROACHES, SEE DETAIL 5, SHEET C501
- PAVEMENT MARKING 4-INCH WHITE, TYP., SEE DETAIL 2, SHEET C501.
- R1-1 STOP SIGN SIZE 6, TUBULAR STEEL POST, SEE DETAIL 2 & 3, SHEET C502
- 31" CONCRETE CURB AND GUTTER, TYP., SEE DETAIL 4, SHEET C501
- CURB RAMPS, SEE DETAIL 1, SHEET C502
- BICYCLE RACKS, SEE DETAIL 3, SHEET C501
- WALL-MOUNTED ADA ACCESSIBLE PARKING SIGNS, SEE DETAIL 4, SHEET C502
- SEE ARCHITECTURAL PLANS FOR WALL, WALL ELEVATION, RAILING & STAIR DETAILS. SEE SHEET C300 FOR TOP & BOTTOM GRADES OF STAIRS.
- SEE ARCHITECTURAL PLANS FOR RAMP DETAILS, WALL ELEVATIONS AND RAILINGS. SEE SHEET C300 FOR RAMP TOP & BOTTOM GRADES.
- DECORATIVE METAL FENCE AND RETAINING WALL, SEE STRUCTURAL & ARCHITECTURAL PLANS FOR DETAILS.
- CONCRETE PAD FOR TRANSFORMER, SEE DETAIL 6, SHEET C501. CONTRACTOR TO COORDINATE TRANSFORMER PAD DESIGN, LOCATION AND CONSTRUCTION WITH WE ENERGIES.

**LEGEND**

	CONCRETE SIDEWALK
	LANDSCAPING

**BUILDING AREA:**

FIRST FLOOR AREA: 11980 S.F.  
BUILDING HEIGHT:  
RETAIL SPACE = 47 FEET  
TOWNHOMES = 46 FEET

**PARKING DATA:**

TOTAL PARKING SPACES = 27  
ADA ACCESSIBLE PARKING SPACES = 2

**SITE DATA:**

TOTAL AREA OF LOT = 23,778 S.F. = 0.546 ACRES  
TOTAL DISTURBED AREA = 27,410 S.F. = 0.629 ACRES  
IMPERVIOUS AREA BEFORE CONSTRUCTION = 18,931 S.F. = 0.435 ACRES  
IMPERVIOUS AFTER CONSTRUCTION = 27145 S.F. = 0.623 ACRES  
INCREASE IN IMPERVIOUS AREA = 8,214 S.F. = 0.188 ACRES

**GREEN SPACE:**

LOT AREA = 23,778 S.F.  
GREEN SPACE ON LOT = 127 S.F.  
0.5% GREEN SPACE

**PARCEL ADDRESS**

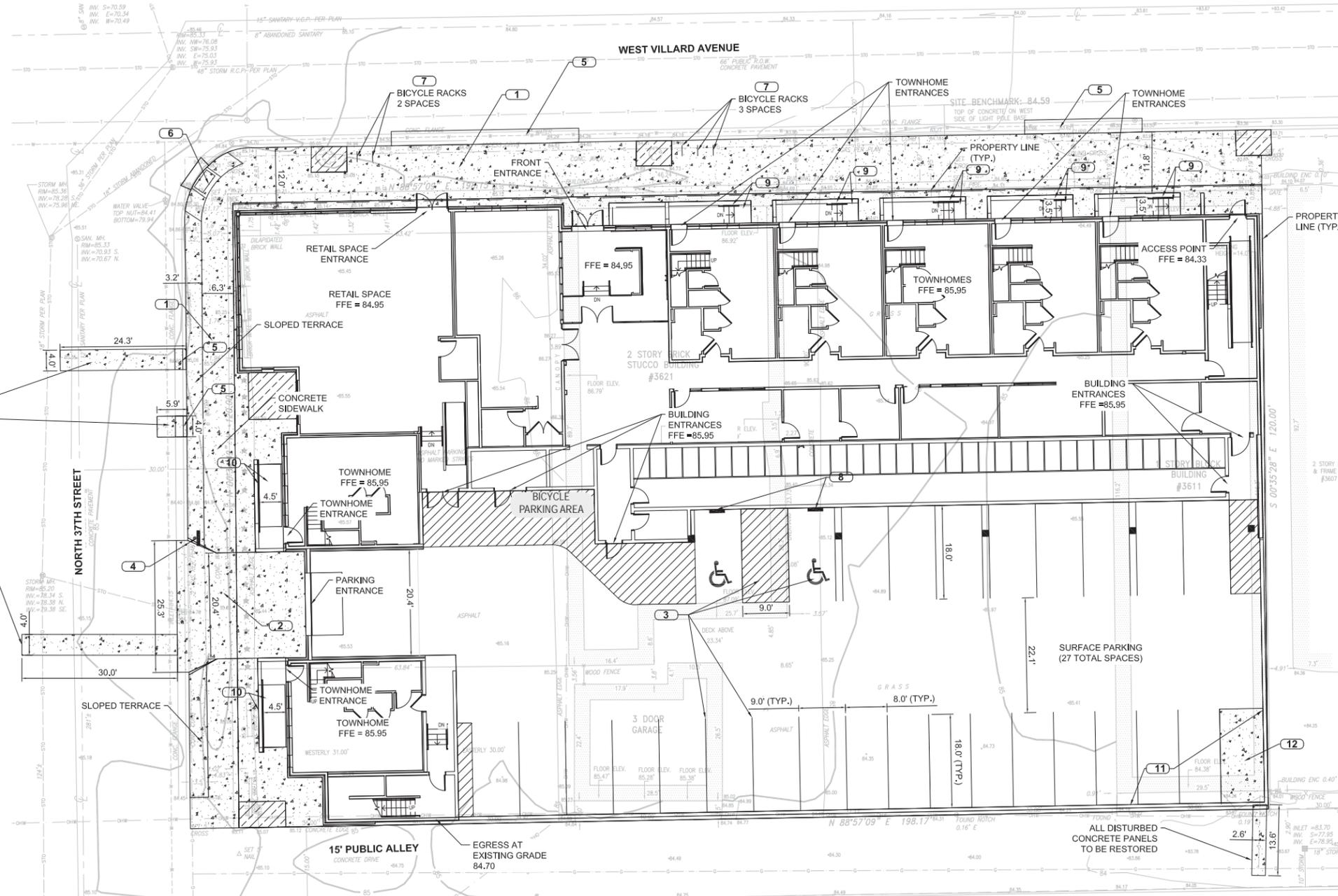
3611-3633 W. VILLARD AVENUE  
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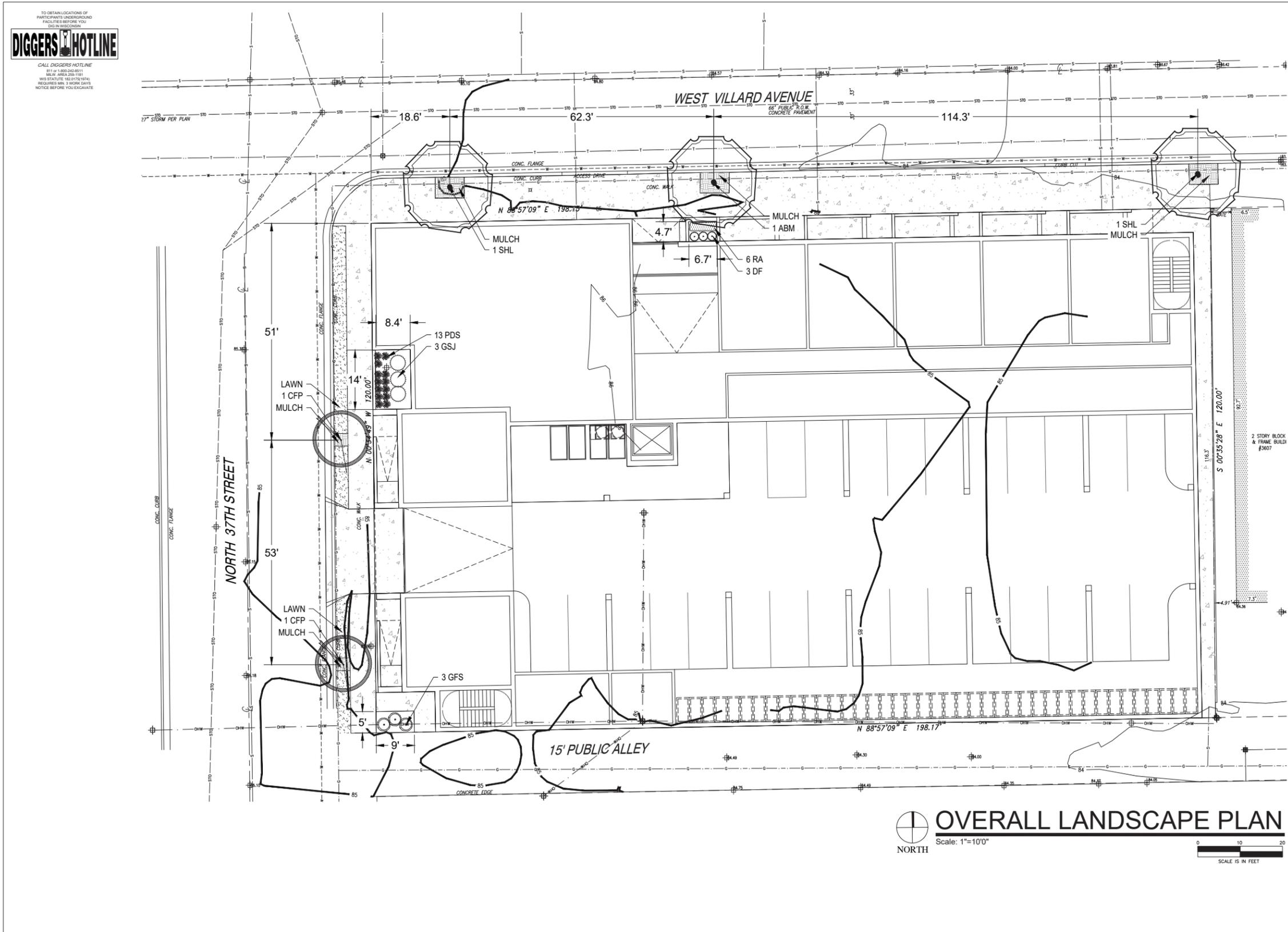
**ZONING:**

CURRENT: PD  
PROPOSED: PD

**SETBACK:**

PROPOSED SETBACK: 0-FT





**KSingh** Engineers  
 Scientists  
 Consultants

3636 North 124th Street  
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 262-821-1171

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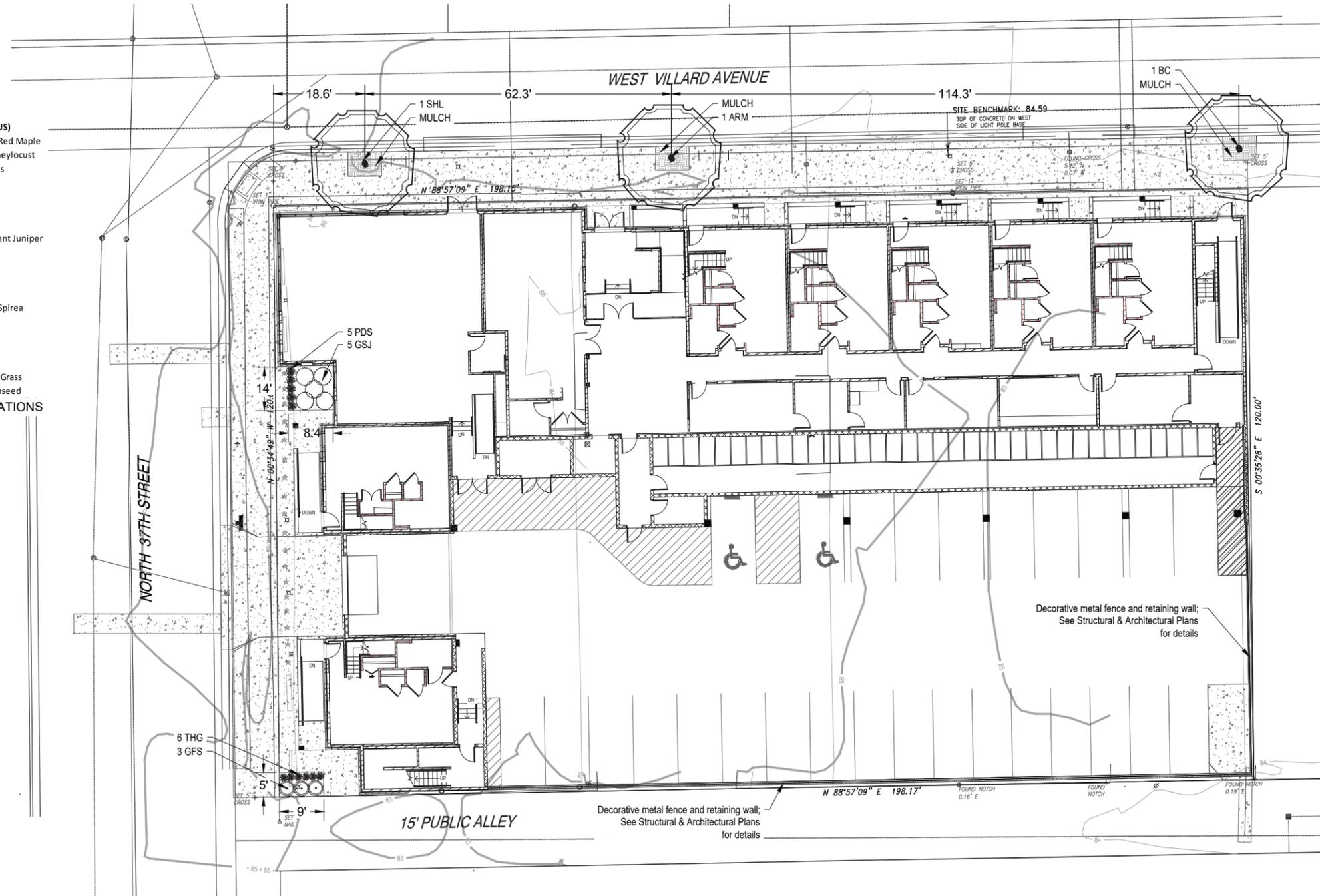
CONSULTANT  
 CONSULTANT  
 CONSULTANT

TITLE: OVERALL LANDSCAPE PLAN  
 PROJECT TITLE: 3600 @ VILLARD  
 CLIENT: INDEX DEVELOPMENT GROUP, LLC  
 PROJECT LOCATION: 3600 VILLARD AVENUE MILWAUKEE, WI 53209



**KSingh** Engineers  
Scientists  
Consultants  
3636 North 124th Street  
Wauwatosa, WI 53222  
262-821-1171

- SHADE TREES (DECIDUOUS)**  
 ARM Armstrong Red Maple  
 SHL Skyline Honeylocust  
 BC Bald Cypress
- EVERGREEN SHRUBS**  
 GSJ Green Sargent Juniper
- DECIDUOUS SHRUBS**  
 GFS Goldflame Spirea
- ORNAMENTAL GRASSES**  
 THG Tufted Hair Grass  
 PDS Prairie Dropseed
- PLANT ABBREVIATIONS**



CONSULTANT

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 MILWAUKEE, WI 53209

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0	12/02/16	CITY SUBMITTAL
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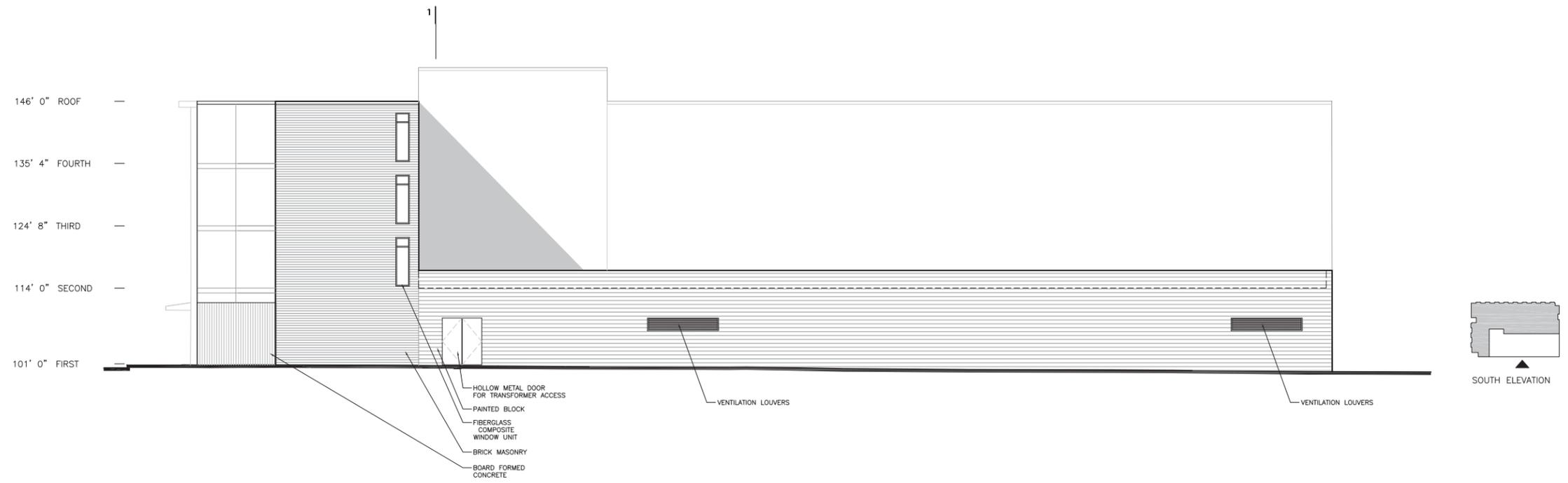
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WDH	02/07/2019
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WDH	02/07/2019
SHEET TITLE	
OVERALL LANDSCAPE PLAN	

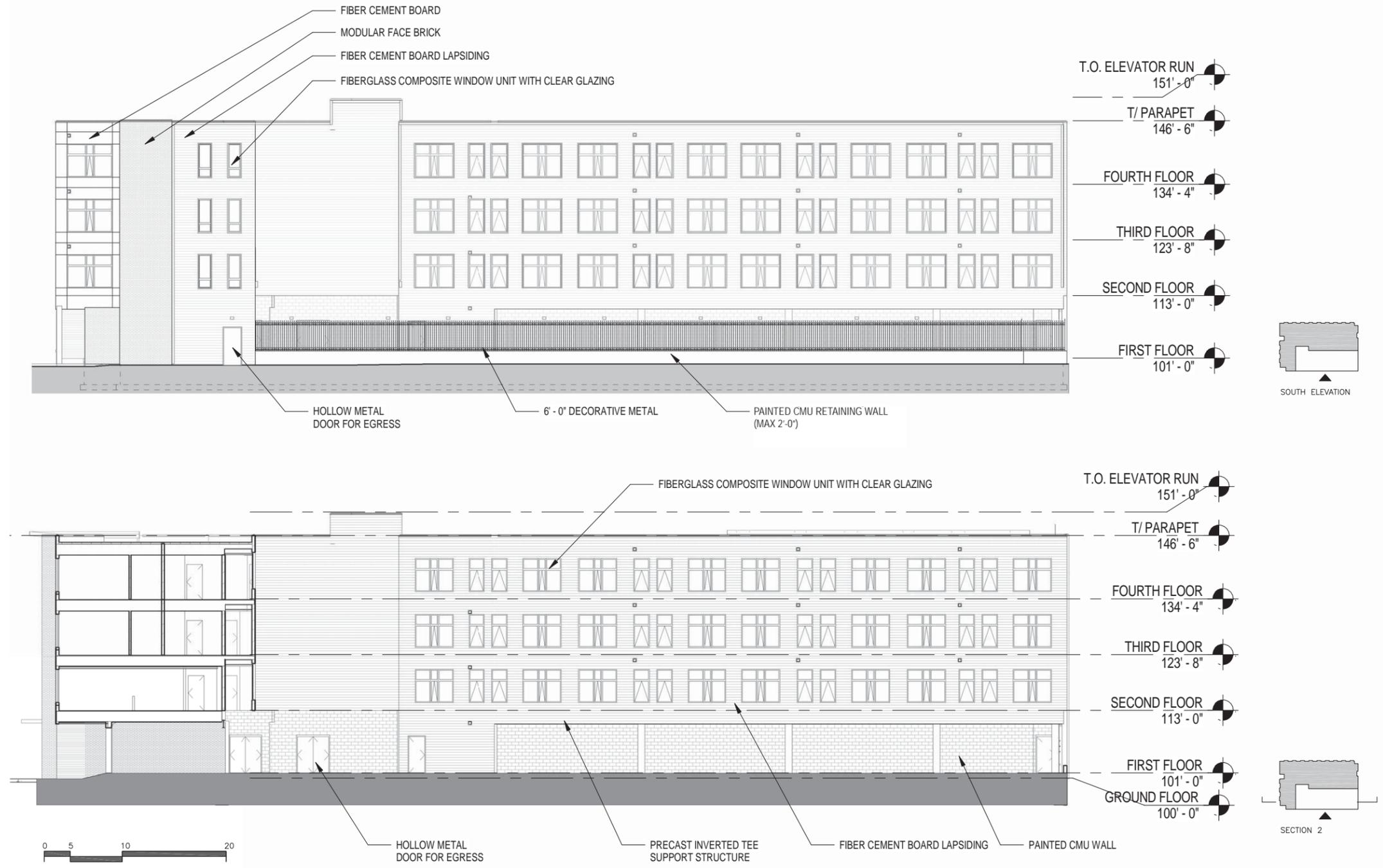
**OVERALL LANDSCAPE PLAN**  
 Scale: 1"=10'0"  
 NORTH

SCALE IS IN FEET

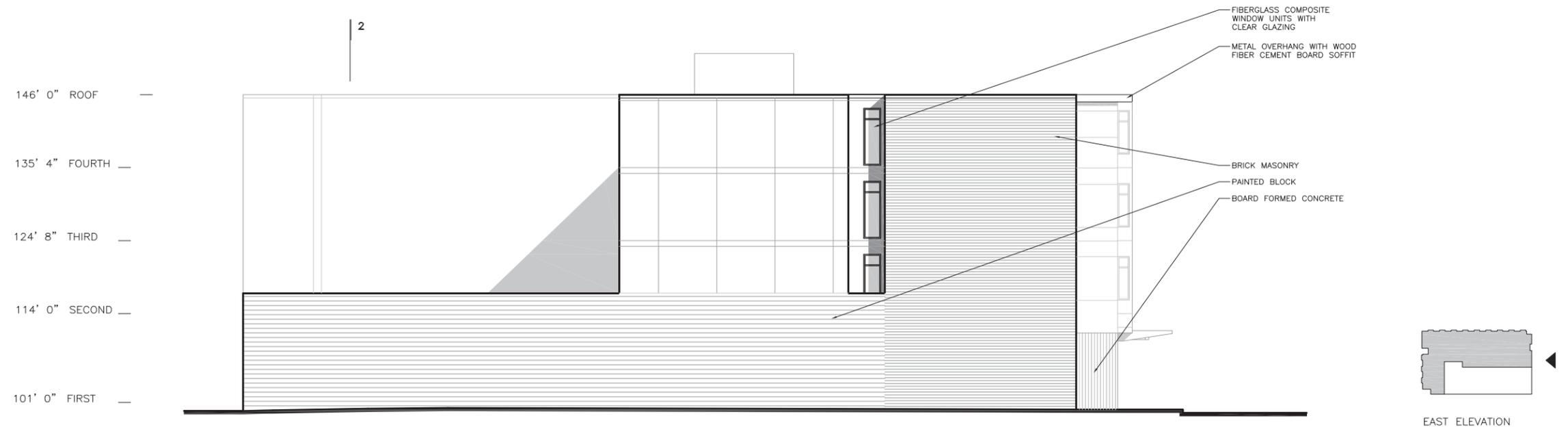
**L100**

1 of 2





Architectural: Building Elevations + Sections - Existing #160597



Architectural: Building Elevations + Sections - Modification #181488

