THE EDISON DEVELOPMENT

THE NEUTRAL PROJECT

MGA
MICHAEL GREEN ARCHITECTURE

THE NEUTRAL PROJECT

ANGUS-YOUNG
ARCHITECTS/ENGINEERS
Janesville | Madison

1005 N EDISON ST
MILWAUKEE, WI 53202

THE EDISON DEVELOPMENT

AY PROJECT NUMBER: 67720

CONCEPTUAL RENDERING:

SHEET INDEX:

GENERAL
G001 COVER SHEET

CIVIL
C100 EXISTING AND SITE DEMOLITION PLAN
C101 SITE LAYOUT PLAN
C301 SITE GRADING PLAN
C601 1ST LEVEL LANDSCAPE PLAN

ARCHITECTURAL
A001 WEST FACADE RENDERING
A002 MAIN ENTRANCE RENDERING
A003 SOUTH CAFE RENDERING
A004 NORTH RIVERWALK RENDERING
A015 EXISTING AND PROPOSED RIVERWALK RETAINING WALL VIEWS
A016 EXISTING RIVERWALK RETAINING WALL PHOTOS
A101 1ST LEVEL FLOOR PLAN
A201 NORTH AND SOUTH ELEVATIONS
A202 WEST ELEVATION
A203 EAST ELEVATION

STRUCTURAL
S103 RIVERWALK FRAMING MODIFCATION AND SECTION

PRELIMINARY
NOT FOR CONSTRUCTION

REGULATORY DATA:

BUILDING CODES:

OVERALL BUILDING:	2021 INTERNATIONAL BUILDING CODE 2021 INTERNATIONAL FIRE CODE 2021 INTERNATIONAL PLUMBING CODE 2021 INTERNATIONAL MECHANICAL CODE 2021 INTERNATIONAL ENERGY CONSERVATION CODE 2021 INTERNATIONAL FUEL GAS CODE
ACCESSIBILITY:	2017 ANSI A117.1

USE AND OCCUPANCY CLASSIFICATION:

1ST LEVEL THROUGH 3RD:	S-2 OCCUPANCY / A OCCUPANCY
4TH LEVEL THROUGH 15TH:	R-2 OCCUPANCY

TYPE OF CONSTRUCTION:
TYPE IA, IV-B & VB

FIRE PROTECTION SYSTEM:
AUTOMATIC SPRINKLER SYSTEM - NFPA 13

PROJECT FLOOR AREAS:

1ST LEVEL:	23,250 SF
2ND LEVEL:	23,250 SF
3RD LEVEL:	23,250 SF
4TH LEVEL:	15,200 SF
5TH - 7TH LEVEL:	14,500 SF x 3 - 43,500 SF
8TH - 11TH LEVEL:	14,500 SF x 4 - 72,500 SF
12TH - 13TH LEVEL:	14,500 SF x 2 - 29,000 SF
14TH LEVEL:	10,500 SF
15TH LEVEL:	9,750 SF
15TH LEVEL (MEZZANINE):	2,750 SF

LOCATION MAP:

ISSUANCES / REVISIONS		
NO:	DESCRIPTION:	DATE:
1	SD PRICING SET	06/14/2021
2	DCD SUBMITTAL SET	06/18/2021

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PROJECT TEAM

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PHONE: 608-756-2326

SCHEMATIC DESIGN SIGN-OFF

THESE DRAWINGS HAVE BEEN REVIEWED BY THE OWNER AND ARE ACCEPTED WITH THE CORRECTIONS INDICATED. THE DESIGN CONCEPTS; SITE IMPROVEMENTS; LAYOUT OF WALLS, DOORS AND WINDOWS ON THE FLOOR PLANS; BUILDING SCALE, APPEARANCE AND EXTERIOR MATERIALS WERE REVIEWED. THE CONSTRUCTION BUDGET HAS BEEN REVIEWED AND IS ACCEPTABLE. WITH THIS APPROVAL, THE OWNER ACKNOWLEDGES THE COMPLETION OF THE SCHEMATIC DESIGN PHASE OF THE PROJECT AND DIRECTS THE ARCHITECT TO PROCEED WITH THE DESIGN DEVELOPMENT PHASE.

Date

TITLE BLOCK

35	30	25	20	15	10	05
34	29	24	19	14	09	04
33	28	23	18	13	08	03
32	27	22	17	12	07	02
31	26	21	16	11	06	01

DETAILS IN THIS SET ARE PLACED ON THE SHEETS AND NUMBERED WITH RESPECT TO THE GRID ABOVE. CONSEQUENTLY, DETAILS ON A GIVEN SHEET MAY OR MAY NOT BE NUMBERED CONSECUTIVELY.

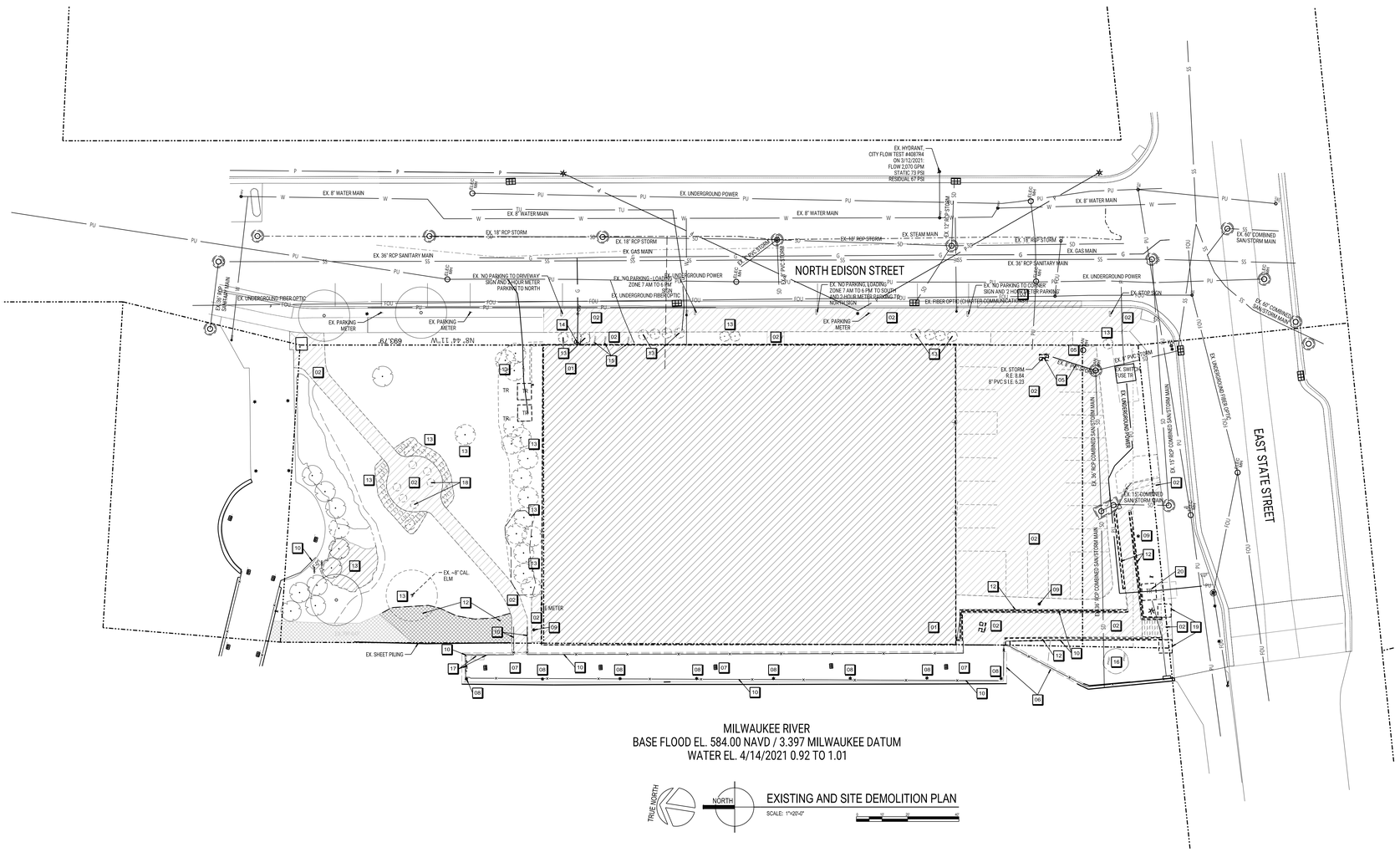
608.756.2326
www.angusyoung.com

COVER SHEET

G001

BIM 360://Edison/67720rvt-V2020.rvt

Sheet Size: 30" x 42" (Arch E1)



MILWAUKEE RIVER
BASE FLOOD EL. 584.00 NAVD / 3.397 MILWAUKEE DATUM
WATER EL. 4/14/2021 0.92 TO 1.01

TRUE NORTH

NORTH

EXISTING AND SITE DEMOLITION PLAN

SCALE: 1"=20'-0"

DIGGERS HOTLINE

CALL TOLL FREE 1-800-242-8511
MILWAUKEE AREA 414-259-1181
FAX A LOCATE 1-800-338-3860
TDD (HEARING IMPAIRED) 1-800-542-2289
ONLINE: www.DiggersHotline.com

WISCONSIN STATUE 182.0175 (1974) REQUIRES A MINIMUM OF THREE (3) WORKING DAYS NOTICE PRIOR TO EXCAVATION.

SITE SYMBOL LEGEND

	SIGN
	BOLLARD
	FIRE HYDRANT
	MANHOLE/CATCH BASIN/INLET
	CURB INLET
	NEW FLARED END SECTION WITH RIPRAP AND GUARD
XXX.XX	NEW SPOT ELEVATION (FEET)
TC XXX.XX BC XXX.XX	NEW TOP OF CURB ELEVATION (FEET) NEW BOTTOM OF CURB ELEVATION (FEET)
TS XXX.XX BS XXX.XX	NEW TOP OF STEP (FEET) NEW BOTTOM OF STEP (FEET)
RE / IE XXX.XX	RIM OR INVERT ELEVATION (FEET)
	WATER VALVE OR GAS VALVE
	GAS METER
	LIGHT POLE
	UTILITY POLE
	GUY WIRE
TR	TRANSFORMER
E CT	ELECTRIC METER AND CT CABINET
	NEW STRUCTURE OR ADDITION
	EXISTING STRUCTURE

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SITE GENERAL NOTES

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4. FIELD VERIFY ALL EXISTING AND PROPOSED UTILITIES, ELEVATIONS AND DIMENSIONS.
5. COORDINATE WITH THE AUTHORITY HAVING JURISDICTION AND UTILITY COMPANIES AS NECESSARY.
6. BUILDING SHALL BE ORIENTED PARALLEL AND PERPENDICULAR TO EXISTING BUILDING AND/OR PROPERTY LINE AS SHOWN ON DRAWING.
7. ALL EXTERIOR CONCRETE SIDEWALKS AND YARD SLABS SHALL BE 4,000 PSI. ALL CONCRETE PAVEMENT SHALL BE 4,500 PSI UNLESS NOTED OTHERWISE.

KEYNOTES

01 REMOVE EXISTING BUILDING. DISCONNECT UTILITIES. MAINTAIN SHEET PILING ALONG BUILDING EDGE ALONG RIVER.

02 REMOVE PAVEMENT

03 REMOVE EXISTING CURB OPENING. PROVIDE NEW CURB & GUTTER TO MATCH EXISTING PROFILE.

04 NEW PAVEMENT PATCH FOR UTILITY WORK AND CURB AND GUTTER REPLACEMENT. SEE DETAIL ON SHEET C801.

05 REMOVE EXISTING STORM STRUCTURE AND LATERAL. PLUG AT MANHOLE TO REMAIN.

06 EXISTING RETAINING WALL ALONG RIVER TO REMAIN UNDER NEW RIVERWALK CONNECTION.

07 EXISTING RIVERWALK AT ELEVATION +6.95, TO BE ELEVATED TO ~9.00 (SEE GRADING PLAN SHEET C301) WITH GEOFOAM AND TOPPED WITH NEW CONCRETE SIDEWALK. CONNECT NEW STORM DRAIN FROM NEW SURFACE TO EXTEND TO EXISTING STORM DRAIN (REMOVE GRATE).

08 EXISTING RIVERWALK HARP STREET LIGHT AND POLE TO BE RELOCATED TO NEW RIVERWALK ELEVATION. SEE SITE LIGHTING PLAN FOR ADDITIONAL INFORMATION.

09 REMOVE EXISTING LIGHT POLE

10 REMOVE EXISTING RIVERWALK RAILING AND GUARD. SEE SHEET C101 FOR NEW RAILING AND GUARD LOCATION.

11 REMOVE EXISTING RETAINING WALL

12 REMOVE PORTION OF RIP RAP

13 CLEAR AND GRUB EXISTING VEGETATION

14 REMOVE EXISTING GAS METER, FIELD VERIFY GAS SERVICE SIZE AND PROVIDE NEW SERVICE AND EXTERIOR GAS METER, SEE SITE UTILITY PLAN FOR NEW LOCATION.

15 REMOVE EXISTING BOLLARDS

16 EXISTING ART SCULPTURE TO BE RELOCATED BY CITY. CONTRACTOR TO REMOVE CONCRETE BASE FOLLOWING RELOCATION. COORDINATE WITH CITY ON SCHEDULE.

17 EXISTING MEMORIAL ART PIECE, BENCH AND PLAQUE TO BE RELOCATED, SEE SHEET C101 FOR NEW LOCATION.

18 EXISTING ROUND PRECAST CONCRETE BENCHES. TO BE RELOCATED BY CITY. COORDINATE WITH CITY ON SCHEDULE. (6 TOTAL)

19 REMOVE EXISTING CONCRETE COLUMNS

20 RELOCATE TRANSFORMER OR REMOVE AND REFEED POWER FOR BRIDGE SERVICE. TO BE DETERMINED, COORDINATE WITH WE ENERGIES.

PRELIMINARY - NOT FOR CONSTRUCTION

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4221084 6/29/2021

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PROJECT NUMBER
67720

APPROVED BY
JAD

REVIEWED BY
JAD

DRAWN BY
KAU

EXISTING AND SITE DEMOLITION PLAN

C100

SCALE: 1"=20'-0"
PLOTTED BY: katieu
X:\67720\cad\67720dwC100.dgn
ORIGINAL SIZE: 24" x 36"

DIGGERS HOTLINE

CALL TOLL FREE 1-800-242-8511
MILWAUKEE AREA 414-259-1181
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SITE SYMBOL LEGEND

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	MANHOLE/CATCH BASIN/INLET
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	EXISTING STRUCTURE

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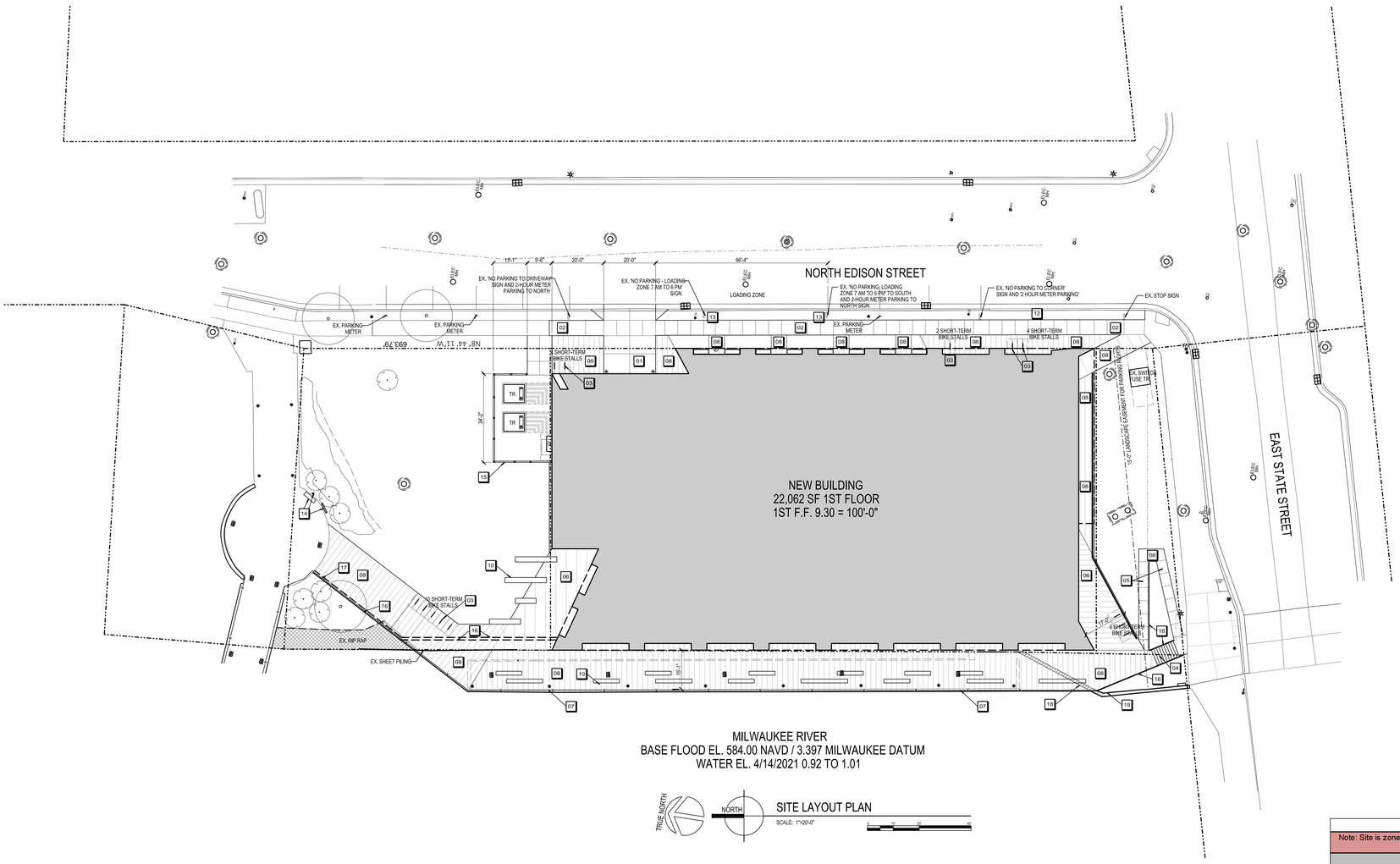

SITE LAYOUT PLAN
SCALE: 1"=20'-0"

KEYNOTES

01 NEW DRIVEWAY. BASE BID: 7" CONCRETE PAVEMENT AND ALT. #1 PAVERS. SEE CURB OPENING DETAIL ON SHEET C801.

02 NEW PUBLIC RIGHT-OF-WAY SIDEWALK TO REPLACE EXISTING, 5" THICK CONCRETE IN ACCORDANCE WITH CITY OF MILWAUKEE SPECIFICATIONS.

03 NEW 'LOFTY' BIKE RACK BY MADRAX, OR APPROVED EQUAL, TYP.

04 NEW CONCRETE STAIRS WITH HANDRAIL

05 NEW RAMP WITH HANDRAIL

06 NEW PEDESTRIAN PAVED AREA/PATIO

07 RAISE UP EXISTING SURFACE GRADE OF RIVER WALK. SEE SHEET C301 AND S103 FOR GRADES, RE-USE LIGHT POLES. PROVIDE NEW GUARD RAIL. SEE DETAIL D1/S103 FOR RIVERWALK SECTION.

08 PAVERS

09 PRE-WEATHERED STEEL RETAINING WALL

10 NEW BENCH, TYP.

11 NEW PAVEMENT PATCH FOR UTILITY WORK AND CURB AND GUTTER REPLACEMENT

12 REPLACE CURB AND GUTTER WITH SAME PROFILE

13 REPLACE EXISTING 'NO PARKING - LOADING ZONE 7 AM TO 6 PM' SIGN WITH 'NO PARKING - LOADING ZONE' IN ACCORDANCE WITH CITY OF MILWAUKEE REQUIREMENTS.

14 RELOCATE MEMORIAL ART PIECE, BENCH AND PLAQUE FROM RIVERWALK TO THIS LOCATION.

15 NEW VERTICAL WOOD FIN SCREEN FOR UTILITY SCREENING. PROVIDE CONCRETE UTILITY PADS AND 4" THICK STONE MULCH WITH WEED BARRIER FABRIC BENEATH. SEE SHEET C601 FOR LANDSCAPE SCREENING BEYOND.

16 NEW WEATHERED LANDSCAPE WALL

17 NEW GUARD RAIL TO CONNECT TO EXISTING AT NORTH CIRCLE RIVERWALK.

18 CUT BACK PORTION OF WALL TO ACCOMMODATE RIVERWALK.

19 EXPOSED PORTION OF EXISTING RETAINING WALL TO BE COVERED WITH NEW CAST IN PLACE CONCRETE. EXTEND GUARDRAIL TO CONNECT TO STAIR HANDRAIL AND GUARD.

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7. ALL EXTERIOR CONCRETE SIDEWALKS AND YARD SLABS SHALL BE 4,000 PSI. ALL CONCRETE PAVEMENT SHALL BE 4,500 PSI UNLESS NOTED OTHERWISE.

THE NEUTRAL PROJECT - SITE CALCULATIONS

Total Property (Parcel 1 + 2)		**24,563 sf**	**0.56 ac**
Zoning District:	C9B - Residential & Specialty Use - Subdistrict A		
	Riverwalk Overlay District		
Setbacks:	none	Street Yard 1st Floor	
	none	Side Yard	
	none	Rear Yard	
Permitted Floor Area (when surface open space will comprise 40% or less of development site): 6(W) + 5(X) + 2.5(Y)		**177,646 sf**	
W = size of development site	6W =	147,378 sf	
X = amount of open space (955 sf)	5X =	4,775 sf	
Y = amount of qualifying roof top open space (10,197 sf)	2.5Y =	25,493 sf	
Note: Surface Open Space means the at-grade area of any site or development site not covered by structures or devoted to vehicular use.			
Provided Habitable Floor Area for Commercial & Residential (Estimated):		**161,820 sf**	
Maximum Building Height:	none		
Use:	Permitted - Multi-Family Dwelling		
	Limited - Parking Structure Accessory		

Existing Site:					
Existing Buildings	18,902	sf	0.43	ac	
Existing Pavement	5,602	sf	0.13	ac	
Total Existing Impervious	24,504	sf	0.56	ac	***100%***
Remainder Greenspace	59	sf	0.00	ac	***0%***

Proposed Site:					
New Building with Overhangs	23,218	sf	0.53	ac	
New Pavement	1,290	sf	0.03	ac	
Total New & Existing Impervious	24,508	sf	0.56	ac	***100%***
Remainder Greenspace	55	sf	0.00	ac	***0%***
Total Additional New Impervious Area	4	sf			

SOUTH CITY-OWNED PARCEL:			
Total Property	**3,268 sf**	**0.08 ac**	

Existing Site:				
Existing Pavement	1,567	sf	0.04	ac	48%
Existing Greenspace	1,701	sf	0.04	ac	52%

Proposed Site:					
Existing and New Pavement	1,025	sf	0.02	ac	31%
Greenspace	2,243	sf	0.05	ac	69%
Total Impervious Reduction:	-542	sf			

NORTH CITY-OWNED PARCEL:			
Total Property	**11,482 sf**	**0.26 ac**	

Existing Site:					
Existing Pavement	1,735	sf	0.04	ac	15%
Existing Greenspace	9,747	sf	0.22	ac	85%

Proposed Site:					
Existing and New Pavement	2,134	sf	0.05	ac	19%
Greenspace	9,348	sf	0.21	ac	81%
Total Impervious Addition:	399	sf	0.01	ac	

Total Additional Riverwalk Outside of Properties:				
Total Impervious Addition:	1,557	sf	0.04	ac

Net Increase of Impervious for Entire Development:				
Total Impervious Addition:	**1,418**	**sf**	**0.03**	**ac**

PARKING REQUIREMENTS

Note: Site is zoned C9B High-Density Residential and is exempt from automobile parking requirements. The below table notes parking to be provided.

	Qty. (Units, Capacity or SF)	Minimum Automobile Parking Calculation **Recommended**	Min. Recommended Auto Required	Minimum Bicycle Parking Calculation	Min. Long-Term Bicycle Required	Min. Short-Term Bicycle Required
Commercial/Retail Space	15,600	1 per 1,000 sf floor area (excluding storage/utility areas)	16	Provide 1 Long-Term for every 6,000 gsf, min. 2 spaces, and 1 Short-Term for every 3,000 gsf floor area, min. 2 spaces	3	6
Multi-Family Units	194	Provide 2 stalls for 3 units (Based on Table 295-403-2-a for C5 District)	130	Provide 1 long-term for every 4 units, and 1 short-term for every 30 units	49	7

Parking Recommended (Not Required)	**146**	**Total Min. Bicycle Parking Required:**	**52**	**13**
Total Automobile Parking Provided with Automated System and Rideshare Program	**102**	**Total Bicycle Parking Required:**	**56 Indoor**	**26 Outdoor**

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8/14/23 AM 6/29/2023

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PROJECT NUMBER
67720

APPROVED BY
JAD

REVIEWED BY
JAD

DRAWN BY
KAU

SITE LAYOUT PLAN

C101

SCALE: 1"=20'-0"
PLOTTED BY: BAdler
X:\67720\cad\67720sNC101.dgn
ORIGINAL SIZE: 24" x 36"

DIGGERS HOTLINE

CALL TOLL FREE 1-800-242-8511
MILWAUKEE AREA 414-259-1181
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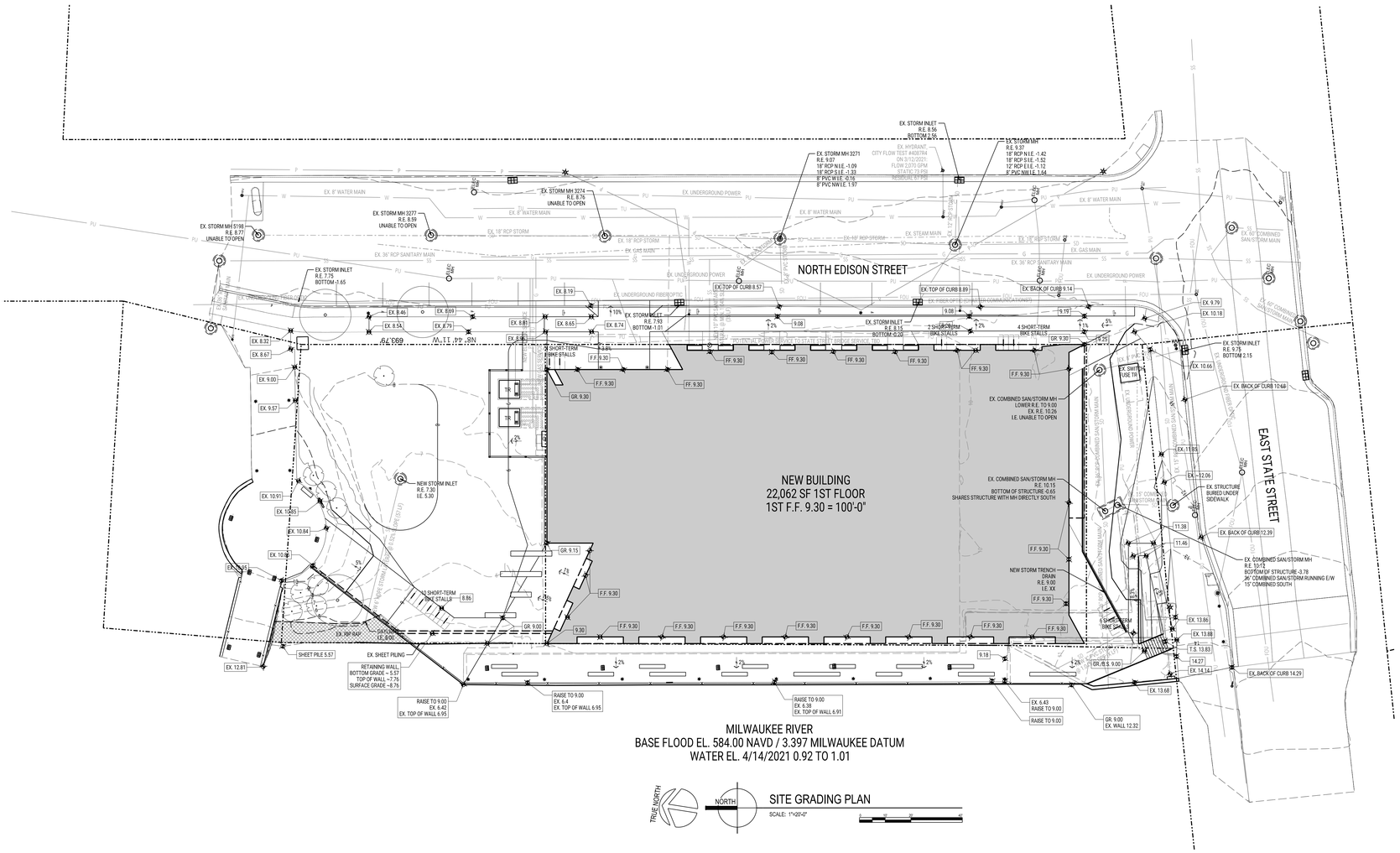

SITE GRADING PLAN

SCALE: 1"=20'-0"

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4:22:44 PM 6/29/2021

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APPROVED BY
JAD

REVIEWED BY
JAD

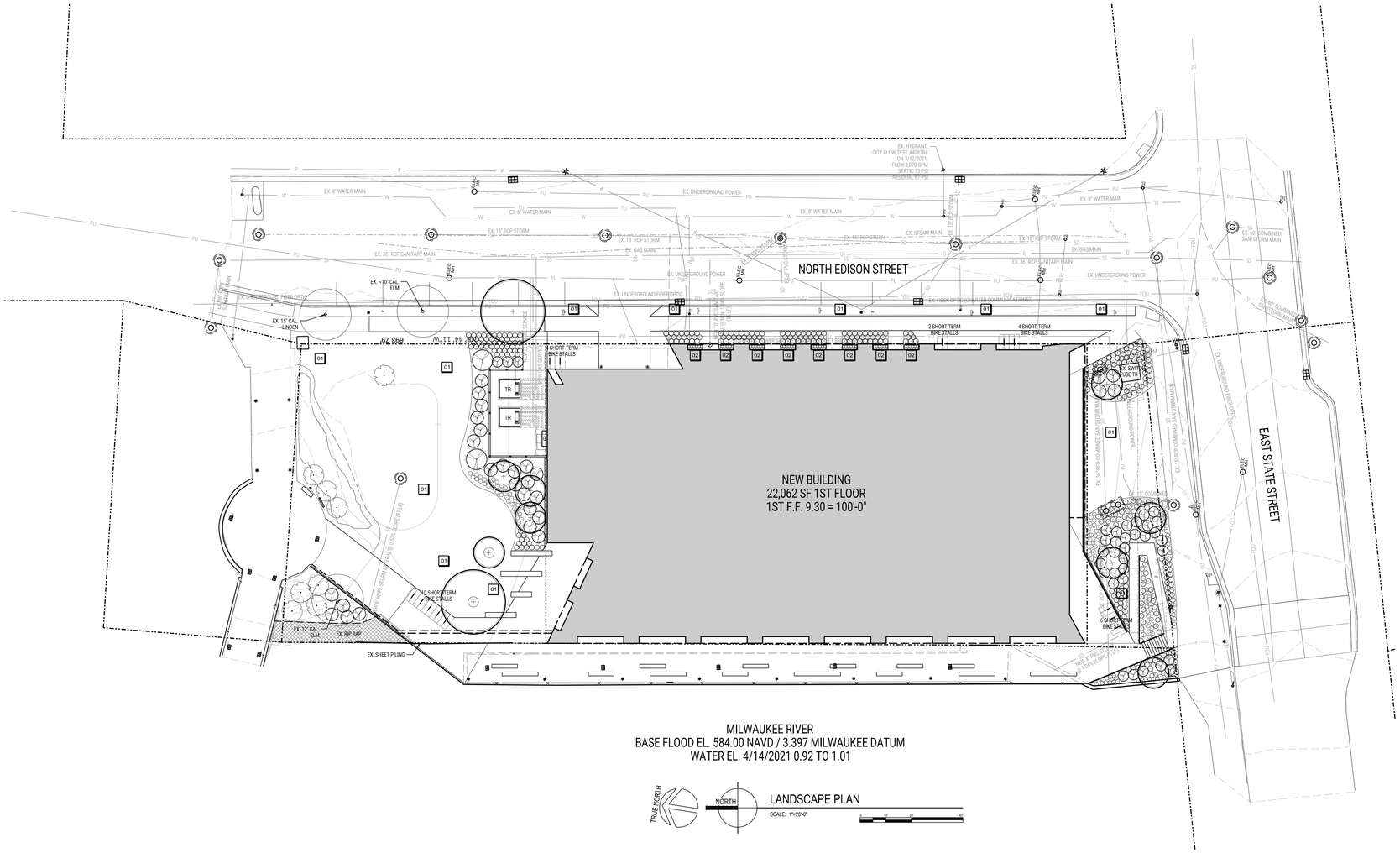
DRAWN BY
KAU

SITE GRADING PLAN

C301

PRELIMINARY - NOT FOR CONSTRUCTION

SCALE: 1"=20'-0"
PLOTTED BY: kaileu
X:\67720\cad\67720dwf2301.dgn
ORIGINAL SIZE: 24" x 36"



LANDSCAPE PLAN

SCALE: 1"=20'-0"

DIGGERS HOTLINE

CALL TOLL FREE 1-800-242-8511
MILWAUKEE AREA 414-259-1181
FAX A LOCATE 1-800-338-3860
TDD (HEARING IMPAIRED) 1-800-542-2289
ONLINE: www.DiggersHotline.com

WISCONSIN STATUE 182.0175 (1974) REQUIRES A MINIMUM OF THREE (3) WORKING DAYS NOTICE PRIOR TO EXCAVATION.

LANDSCAPE SYMBOL LEGEND

	SHADE TREE
	ORNAMENTAL TREE
	EVERGREEN SHRUB OR TREE
	DECIDUOUS SHRUB
	ORNAMENTAL GRASS
	PERENNIAL
	EXISTING VEGETATION
	EXISTING EVERGREEN

NOTE: ALL SYMBOLS MAY NOT BE USED IN THIS SET.

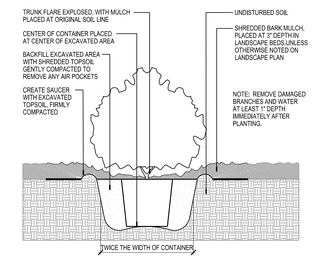
LANDSCAPE GENERAL NOTES

1. TRUE NORTH MAY VARY FROM PROJECT NORTH.
2. CONSTRUCTION PRACTICES, MEANS AND METHODS, AND JOB SITE SAFETY, SHALL REMAIN THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
3. FIELD VERIFY ALL EXISTING AND PROPOSED UTILITIES, ELEVATIONS AND DIMENSIONS.
4. DIGGERS HOTLINE SHALL BE CALLED TO MARK UTILITIES PRIOR TO LAND DISTURBANCE.
5. RESTORE ALL AREAS TO SOD LAWN UNLESS NOTED OTHERWISE.
6. ALL PLANTING BEDS SHALL RECEIVE 3" THICK SHREDDED BARK MULCH AND BLACK ANODIZED ALUMINUM EDGING.
7. ALL INDIVIDUAL TREES SHALL RECEIVE 4'-0" DIAMETER, 3" THICK SHREDDED BARK MULCH TREE RING WITH SPADE CUT EDGE. MULCH SHALL BE PULLED AWAY FROM TRUNK OF TREE TO PREVENT ROT.
8. SEE DETAILS 01/C601 AND 02/C601 FOR PLANTING DETAILS.
9. IN THE EVENT THAT QUANTITY DISCREPANCIES OR MATERIAL OMISSIONS OCCUR IN THE PLANT MATERIALS LIST, THE PLANTING PLANS SHALL GOVERN.

KEYNOTES

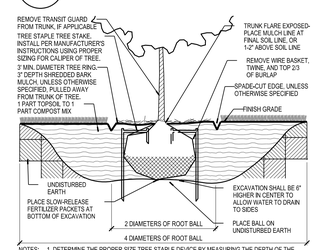
01 SOD

02 NEW 24" HIGH WEATHERED STEEL PLANTER WITH ANNUALS



02 / C601 CONTAINER PLANTING IN LANDSCAPE BED

SCALE: 1"=1'-0"



NOTES: 1. DETERMINE THE PROPER SIZE TREE STAPLE DEVICE BY MEASURING THE DEPTH OF THE ROOT BALL AND ADDING 12" TO 18". THIS SHOULD EQUAL THE LONG PRONG SIZE OF THE DEVICE. IF NECESSARY, ROUND UP TO THE NEXT SIZE.

2. IN EXTREME WIND AND/OR LOOSE SOIL CONDITIONS, USE THREE TREE STAPLE DEVICES PER TREE AND/OR ROUND UP TO THE NEXT SIZE.

01 / C601 B.B. SHRUB AND TREE PLANTING DETAIL

SCALE: NONE

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Janesville | Madison

THE NEUTRAL PROJECT

THE EDISON

1005 N. EDISON STREET
MILWAUKEE, WI 53202

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4229-04 6/29/2021

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JAD

REVIEWED BY
JAD

DRAWN BY
KAU

1st LEVEL
LANDSCAPE PLAN

C601

SCALE: 1"=20'-0"
PLOTTED BY: kaiseu
X:\67720\cad\67720dbC601.dgn
ORIGINAL SIZE: 24" x 36"

THE EDISON | WEST FACADE

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MICHAEL GREEN ARCHITECTURE

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WEST FACADE RENDERING

A001

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THE EDISON | MAIN ENTRANCE

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MAIN ENTRANCE RENDERING

A002

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THE EDISON | SOUTH CAFÉ

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SOUTH CAFE RENDERING

A003

THE EDISON | NORTH CORNER

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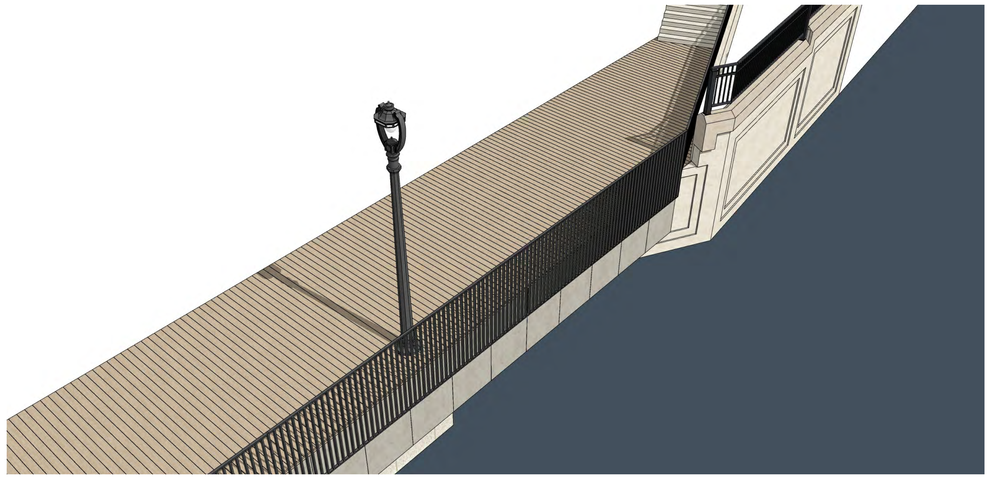
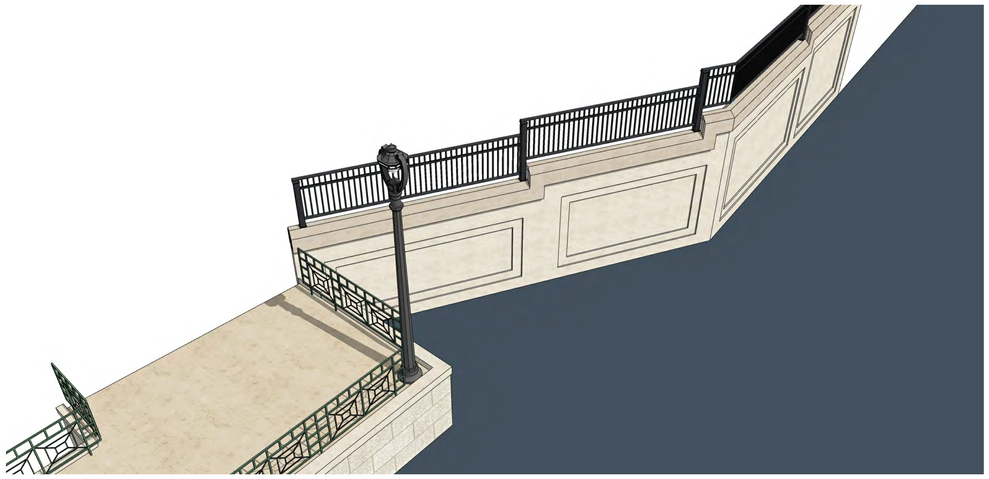
NORTH RIVERWALK RENDERING

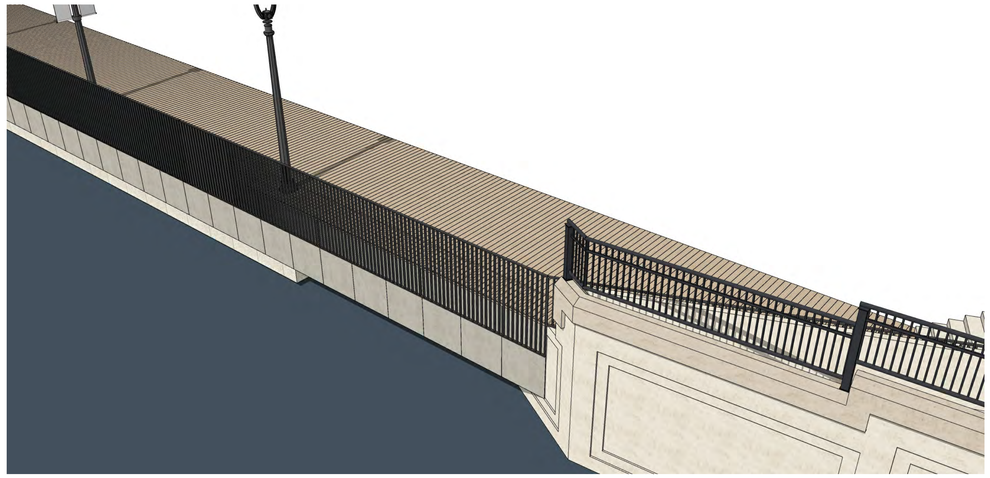
A004



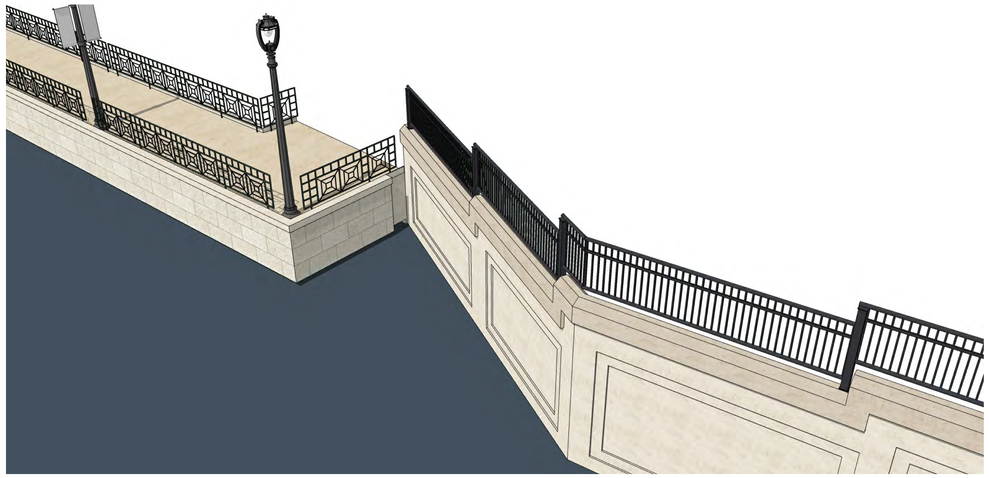
PROPOSED RIVERWALK | FROM NORTH



EXISTING RIVERWALK | FROM NORTH

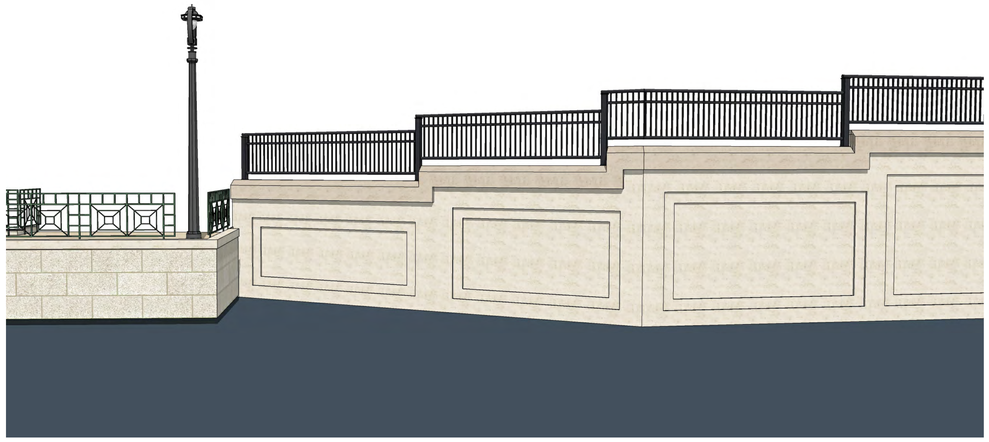


PROPOSED RIVERWALK | FROM SOUTH



EXISTING RIVERWALK | FROM SOUTH

PROPOSED RIVERWALK | ELEVATION



EXISTING RIVERWALK | ELEVATION

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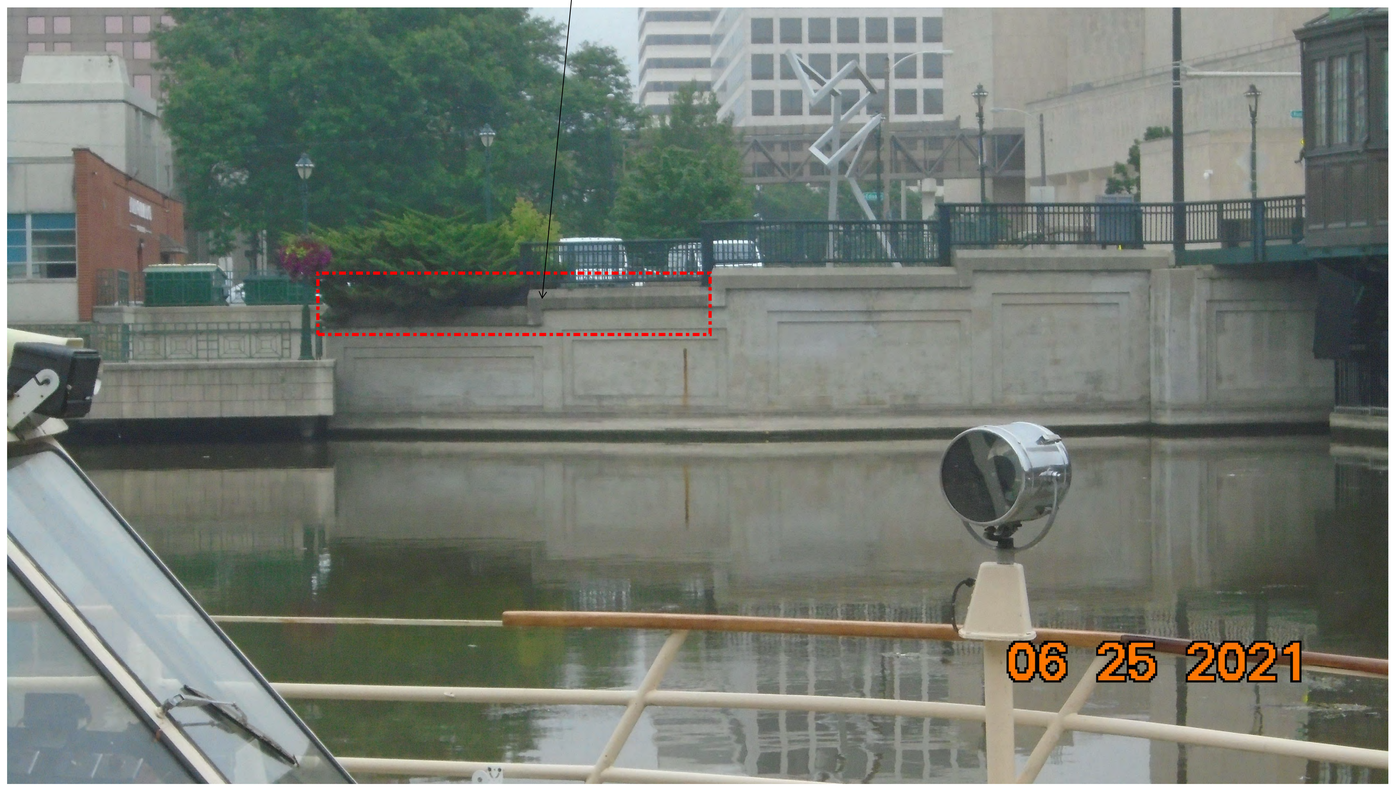
RIVERWALK DIAGRAMS

A015

SECTION OF WALL TO BE ALTERED



EXISTING RIVERWALK I IMAGE

EXISTING RIVERWALK I IMAGE

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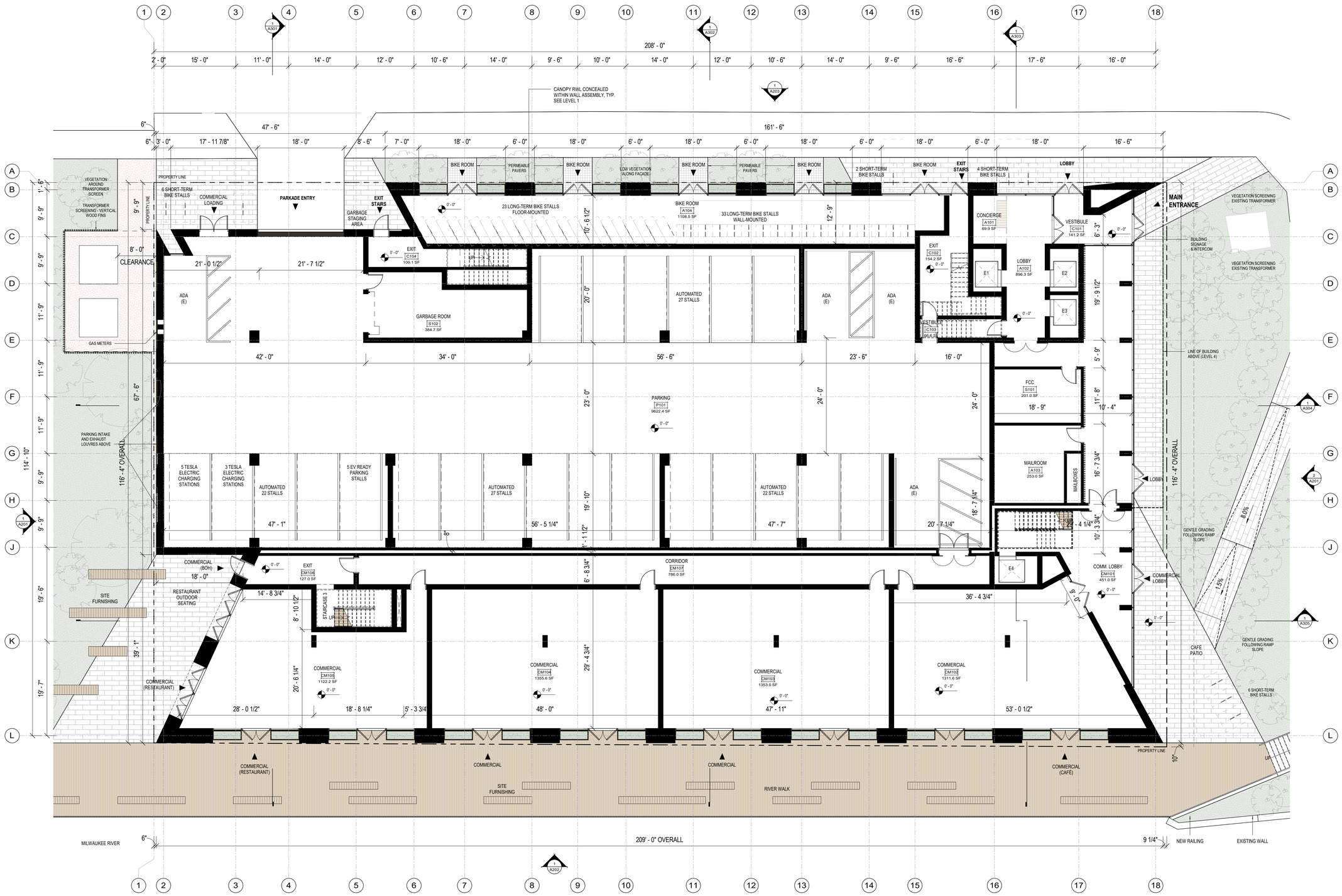
RIVERWALK IMAGES

A016



1ST LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"

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AYA

REVIEWED BY
AYA

DRAWN BY
Author

1ST LEVEL FLOOR PLAN

A101

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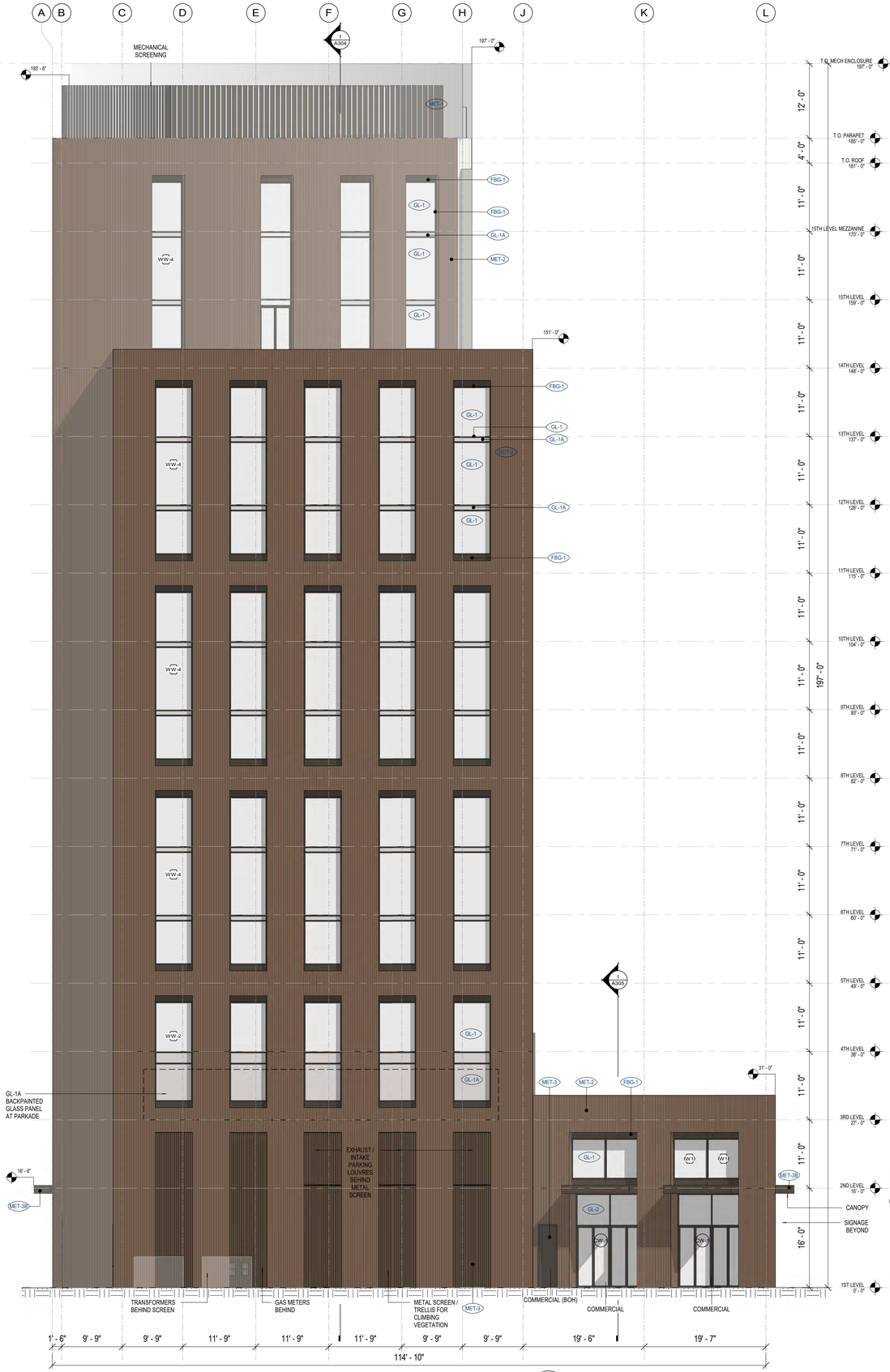
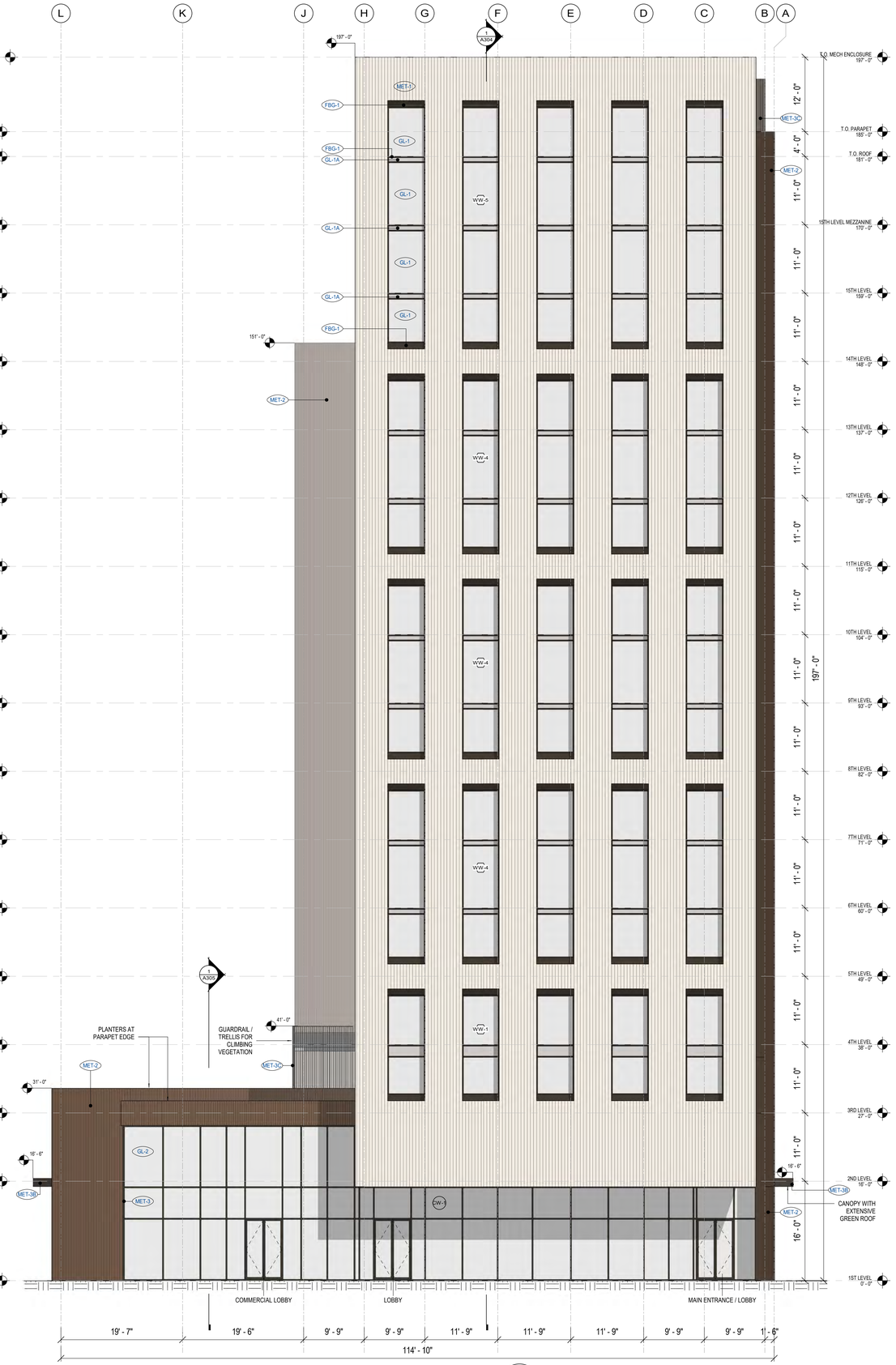


1 A201 NORTH
SCALE: 1/8" = 1'-0"



2 A201 SOUTH
SCALE: 1/8" = 1'-0"

NOTE: REFER TO A202 AND A203 FOR MATERIAL LEGEND

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AYA

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AYA

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Author

NORTH AND SOUTH ELEVATIONS

A201

1 A202 WEST
SCALE: 1/8" = 1'-0"

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WEST ELEVATION

A202

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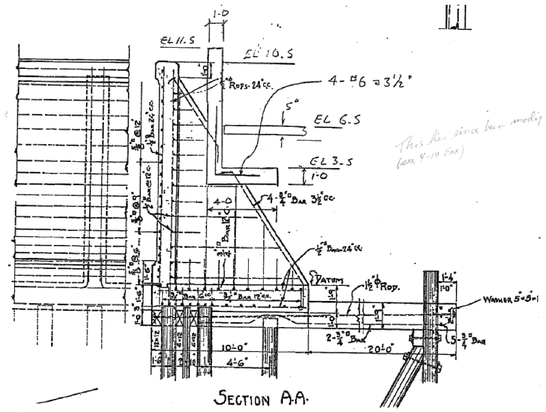
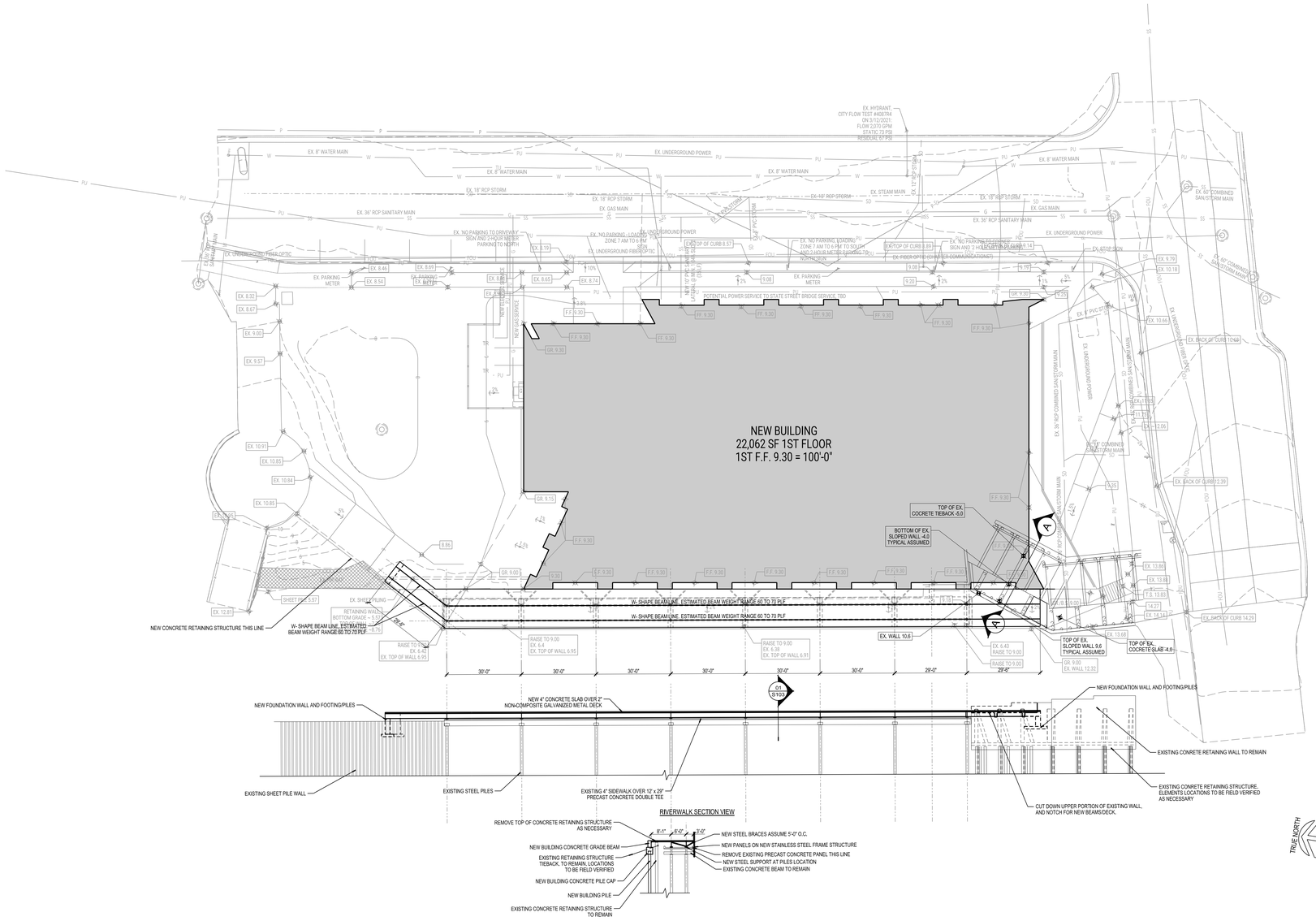
EAST ELEVATION

A203





RIVERWALK SECTION VIEW

01 S103 RIVERWALK SECTION

SCALE: 1" = 1'-0"

TRUE NORTH

NORTH

RIVERWALK FRAMING MODIFICATION CONCEPT

SCALE: 1"=20'-0"

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JAD

REVIEWED BY
JAD

DRAWN BY
GMS

RIVERWALK FRAMING MODIFICATION CONCEPT

S103

SCALE: 1"=20'-0"
PLOTTED BY: SamK
X:\67720\cad\67720sS103.dgn
ORIGINAL SIZE: 24" x 36"