

LEGEND:
 PROPOSED STAGING AREAS. PROTECT AND SECURE AREA WITH FENCING.

- GENERAL NOTES:**
- BUILDING TO REMAIN ACCESSIBLE TO THE PUBLIC FOR THE DURATION OF CONSTRUCTION. CONTRACTOR TO MAINTAIN PUBLIC SAFETY AT ENTIRE BUILDING PERIMETER INCLUDING ENTRANCES. PROVIDE PEDESTRIAN PROTECTION.
 - CONTRACTOR SHALL COORDINATE WITH CITY FOR ANY PROPOSED OCCUPATION OF PUBLIC RIGHTS OF WAY FOR EQUIPMENT, STORAGE, OR STAGING.
 - CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO TEMPORARILY PROTECT OR RELOCATE UTILITY INFRASTRUCTURE IF NECESSARY TO ALLOW FOR THE WORK.

1 SITE PLAN
 SCALE: 1/8" = 1'-0"

AREA OF WORK. WORK INCLUDES REPAIR OF ROOFS AND MASONRY WALLS AND CHIMNEYS AT MAIN HOUSE AND CARRIAGE HOUSE, AND REPAIR OF DRIVE COURT MASONRY WALLS AND IRON FENCING AND GATES.

GENERAL PROJECT NOTES:

- MASONRY RESTORATION CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
- ALL WORK OF THE MASONRY RESTORATION CONTRACTOR AND ITS SUBCONTRACTORS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND COMPLY WITH ALL GOVERNING LAWS - FEDERAL, STATE, AND LOCAL JURISDICTIONS.
- MASONRY RESTORATION CONTRACTOR SHALL REPORT IMMEDIATELY ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE ON THE CONSTRUCTION DOCUMENTS TO THE ARCHITECT/ENGINEER (A/E).
- PRIOR TO THE COMMENCEMENT OF THE WORK, THE MASONRY RESTORATION CONTRACTOR SHALL CAREFULLY EXAMINE THE CONSTRUCTION AREA TO VERIFY UTILITIES AND OTHER EXISTING CONDITIONS, WHETHER OR NOT SHOWN ON THE DRAWINGS.
- MAINTAIN ACCESS TO BUILDING AT ALL TIMES DURING THE DURATION OF CONSTRUCTION. MAINTAIN EXISTING MEANS OF EGRESS AT ALL TIMES.
- DO NOT SCALE DRAWINGS.
- USE MEANS NECESSARY TO PREVENT DUST FROM BECOMING A NUISANCE TO THE PUBLIC, NEIGHBORS, AND TO OTHER WORK BEING PERFORMED ON OR NEAR THE CONSTRUCTION SITE.
- THE MASONRY RESTORATION CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, FITTING, OR PATCHING THAT MAY BE REQUIRED TO COMPLETE THE WORK.
- REPETITIVE FEATURES IN THE CONSTRUCTION DOCUMENTS ARE OFTEN DRAWN ONLY ONCE AND SHALL BE COMPLETELY PROVIDED AS IF DRAWN IN FULL.
- MASONRY RESTORATION CONTRACTOR TO PROVIDE GENERAL BLOCKING AS REQUIRED TO COMPLETE WORK AS DRAWN AND/OR SPECIFIED.
- THE A/E WILL NOT RECOMMEND OWNER ACCEPTANCE OF ANY WORK PERFORMED BY CONTRACTOR OR SUB-CONTRACTORS THAT DEVIATES FROM THESE CONSTRUCTION DOCUMENTS, UNLESS FIRST APPROVED BY THE A/E.
- THE WORK INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS, EQUIPMENT, AND SERVICES NECESSARY FOR THE COMPLETION OF ALL WORK SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS PREPARED BY THE A/E. ALL WORK IS TO BE DONE BY THE MASONRY RESTORATION CONTRACTOR AND/OR ITS SUB-CONTRACTORS, UNLESS NOTED OTHERWISE, IN A WORKMANLIKE MANNER.
- WHERE SPECIFIC PRODUCTS AND MANUFACTURERS ARE SPECIFIED, THE CONTRACTOR MAY USE AN EQUIVALENT IF SUBMITTED TO AND APPROVED BY THE ARCHITECT. IN SUCH A CASE THE CONTRACTOR SHALL SUBMIT SPECIFICATION SHEETS AND SAMPLES AS APPLICABLE FOR THE A/E'S REVIEW PRIOR TO SUBMITTING BID.
- THE MASONRY RESTORATION CONTRACTOR SHALL HAVE THE CONSTRUCTION AREA SWEEPED AND IN ORDER ON A DAILY BASIS. DAILY REMOVE ALL DEBRIS. PERFORM A FINAL CLEAN-UP AT THE SUBSTANTIAL COMPLETION OF CONSTRUCTION.
- MASONRY RESTORATION CONTRACTOR SHALL PROVIDE ALL PERMITS NECESSARY FOR CONSTRUCTION.

GENERAL REPAIR NOTES:

- THESE NOTES ARE GENERAL AND SUPPLEMENTAL TO THE SPECIFICATIONS. THESE NOTES APPLY TO THE ENTIRE PROJECT UNLESS MODIFIED OR NOTED OTHERWISE IN THE CONTRACT DOCUMENTS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL METHODS AND MEANS OF CONSTRUCTION AND FOR JOB SITE SAFETY. PROVIDE PROPER PROTECTIVE CANOPIES AND BARRICADES TO MAINTAIN THE PUBLIC SAFETY AND TO PREVENT DAMAGE TO ADJACENT PROPERTY. DESIGN AND CONSTRUCT IN ACCORDANCE WITH THE LOCAL PREVAILING CODES AND OF ALL OTHER APPLICABLE REGULATORY AGENCIES.
- THE INFORMATION CONTAINED ON THE DRAWINGS IS IN ITSELF INCOMPLETE AND VOID UNLESS USED IN CONJUNCTION WITH ALL THE CONTRACT DOCUMENTS AND WITH ALL THE SPECIFICATIONS, TRADE PRACTICES OR APPLICABLE STANDARDS, CODES, ETC., INCORPORATED THEREIN BY REFERENCE WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE OF BY SIGNING THE CONTRACT.
- ALL SECTIONS, DETAILS, AND NOTES ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS.
- ALL DIMENSIONS AND SIZES OF EXISTING CONSTRUCTION INDICATED ON DRAWINGS SHALL BE CONSIDERED APPROXIMATE AND SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR.
- CONTRADICTIONS BETWEEN ACTUAL FIELD CONDITIONS SHOWN ON THE DRAWINGS SHALL BE REPORTED TO THE ARCHITECT. MODIFICATIONS REQUIRED BY SUCH CONTRADICTIONS SHALL BE APPROVED BY THE A/E OR IF NECESSARY, FURTHER DETAILS WILL BE DEVELOPED.
- THE EXTENT OF THE REPAIR WORK MAY NOT BE LIMITED TO THE DETAILS OR LOCATIONS SHOWN. IF THE NECESSITY FOR ADDITIONAL REPAIR WORK BECOMES APPARENT AS THE CONSTRUCTION PROCEEDS, ADDITIONAL DETAILS, IF REQUIRED, WILL BE DEVELOPED AND PROVIDED.
- THE CONTRACTOR SHALL NOTIFY THE A/E OF ANY ITEMS NOT SHOWN OR INDICATED IN THE CONSTRUCTION DOCUMENTS THAT, IN HIS OPINION, REQUIRE REPAIR OR MODIFICATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ALL SHORING, BRACING AND FALSEWORK REQUIRED FOR THE REPAIR WORK.
- IF THE CONTRACTOR ENCOUNTERS PROBLEMS IN PERFORMANCE OF THE WORK INDICATED, HE SHALL BRING SUCH PROBLEMS TO THE ATTENTION OF THE A/E FOR PROPER ACTION BEFORE WORK CONTINUES.
- REPLACEMENT STEEL LINTELS, SHELF ANGLES, OR ANY OTHER STRUCTURAL SHAPES REQUIRED SHALL BE ASTM A36, FY = 36,000 P.S.I. (MIN.).
- ANCHORS AND FASTENERS FOR MASONRY SHALL BE FABRICATED FROM THE FOLLOWING MATERIAL.
 - SANDSTONE: STAINLESS STEEL AISI GRADE 304, UNLESS SPECIFIED OTHERWISE.
 - BRICK: STAINLESS STEEL AISI GRADE 304, UNLESS SPECIFIED OTHERWISE.
 - BOLTS: STAINLESS STEEL AISI GRADE 304 FOR EXPANSION BOLTS AND ADHESIVE ANCHORS. NUTS AND WASHERS SHALL BE TYPE 304 STAINLESS STEEL.
- THE CONTRACTOR SHALL PROTECT FROM DAMAGE DUE TO WORK OPERATIONS AND SCAFFOLD RIGGING EQUIPMENT THE FOLLOWING EXISTING CONSTRUCTION, BUT NOT LIMITED TO:
 - COPINGS.
 - PROJECTING STONE BELT COURSES, CORNICE AND ORNAMENT.
 - GUTTERS AND DOWNSPOUTS.
 - CHIMNEYS AND STACKS.
 - VENTS AND SOIL PIPES.
 - FLASHING.
 - ROOFING.
 - WINDOWS & DOORS.
 - MECHANICAL UNITS AND DUCTWORK.
 - OTHER EXISTING CONSTRUCTION.
- NEW STONE AND BRICK MASONRY, CAULKING, MORTAR, AND PATCHING MATERIAL WILL MATCH HISTORIC COLOR, JOINT PROFILE, TEXTURE, AND STRENGTH/TYPE TO MATCH HISTORIC CLEANED MASONRY. SAMPLES SHALL BE REVIEWED AND APPROVED BY A/E AND OWNER PRIOR TO ORDER AND INSTALLATION.



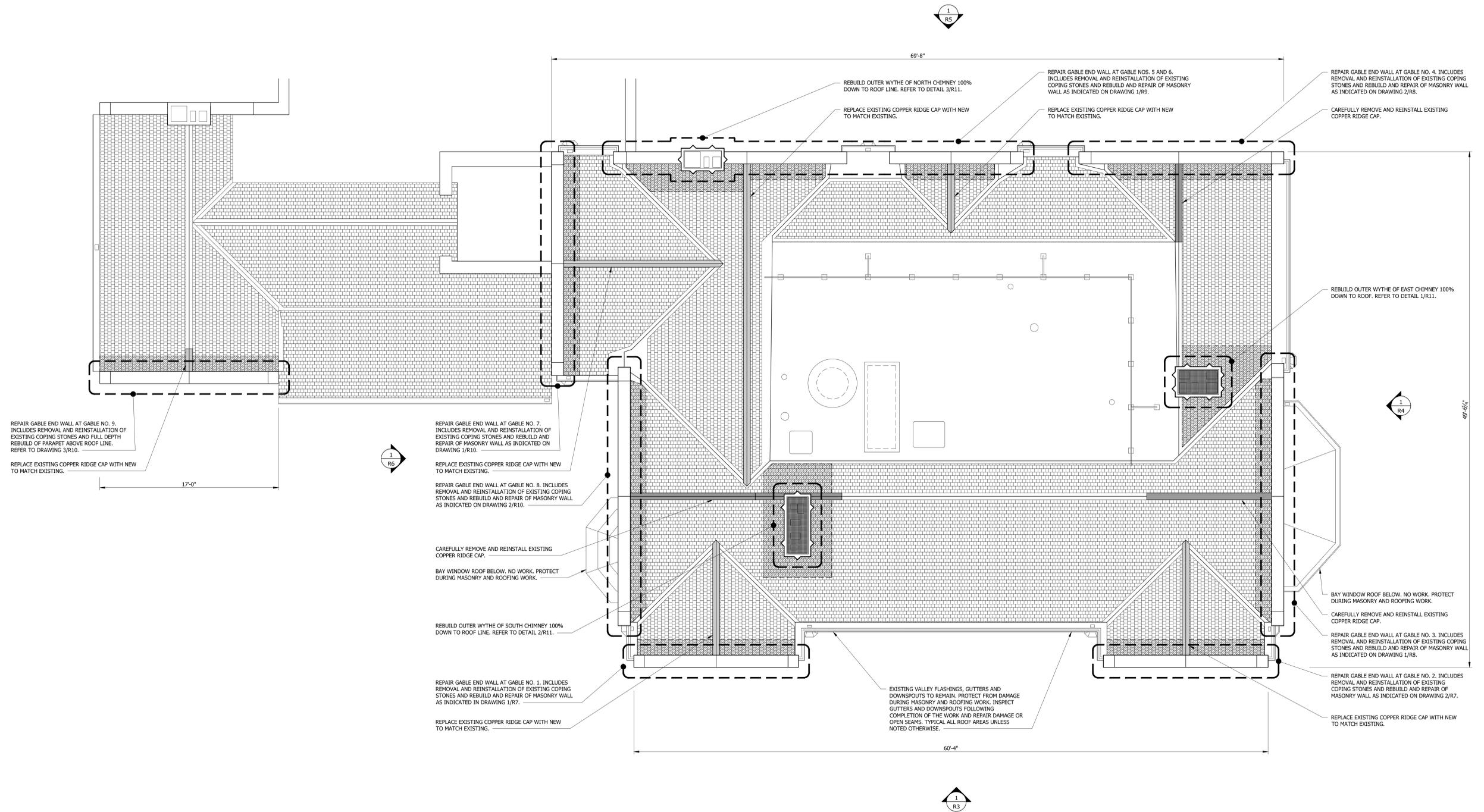
DRAFT NOT FOR CONSTRUCTION

GENERAL NOTES:

1. THE CHARLES ALLIS HOUSE IS A DESIGNATED HISTORIC SITE IN THE CITY OF MILWAUKEE. NEW MATERIALS SHALL MATCH EXISTING HISTORIC MATERIALS IN SCALE, DESIGN, COLOR, TEXTURE, STRENGTH, AND MATERIAL. MOCK-UPS OF NEW MATERIALS ARE TO BE REVIEWED AND APPROVED BY THE A/E, OWNER, AND THE CITY OF MILWAUKEE HISTORIC PRESERVATION COMMISSION PRIOR TO PERMANENT INSTALLATION ON THE BUILDING.
2. THE BUILDING IS A MUSEUM WHICH IS OPEN TO THE PUBLIC. THE BUILDING WILL REMAIN OPEN AND ACCESSIBLE THROUGHOUT THE PROJECT. PROVIDE PROTECTION NECESSARY, INCLUDING TEMPORARY BARRICADES, NETTING, CANOPES, ETC. TO SAFEGUARD THE PUBLIC.
3. AREAS OF REPAIR SHOWN ON THE DRAWINGS ARE APPROXIMATE. PROVIDE ACCESS TO ALL AREAS OF WORK FOR A/E INSPECTION. A/E TO DETERMINE FINAL EXTENT OF THE AREAS OF REPAIR.

LEGEND:

- REMOVE AND REINSTALL EXISTING CLAY ROOFING TILES TO ALLOW FOR MASONRY REPAIR WORK. PROVIDE NEW COPPER BASE AND COUNTER FLASHING AT THE BACKSIDES OF PARAPETS. REPLACE BROKEN CLAY ROOFING TILES WITH NEW TO MATCH EXISTING HISTORIC TILES. REFER TO SHEET R13 FOR ROOFING AND FLASHING DETAILS.
- REPLACE EXISTING COPPER RIDGE CAP WITH NEW TO MATCH EXISTING.
- CAREFULLY REMOVE AND REINSTALL EXISTING COPPER RIDGE CAP.



1 ROOF PLAN
SCALE: 1/4" = 1'-0"



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1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



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Milwaukee County Department of Administrative Service
Charles Allis Art Museum
MASONRY FACADE RESTORATION
 1801 North Prospect Avenue Milwaukee, Wisconsin 53202



Milwaukee County Dept. of Administrative Services
FACILITIES MANAGEMENT DIVISIONS
 Architectural, Engineering & Environmental Services
 633 WEST WISCONSIN AVENUE, SUITE 1002, MILWAUKEE, WISCONSIN 53203

REVISIONS:
 4/6/22 95% OWNER REVIEW

SOUTH ELEVATION

DATE: **4/6/2022**
 PROJECT: **O528-20156**
 SITE NO: **320**
 BUILDING NO: **5610**
 SHEET NO:

R3

GENERAL NOTES:

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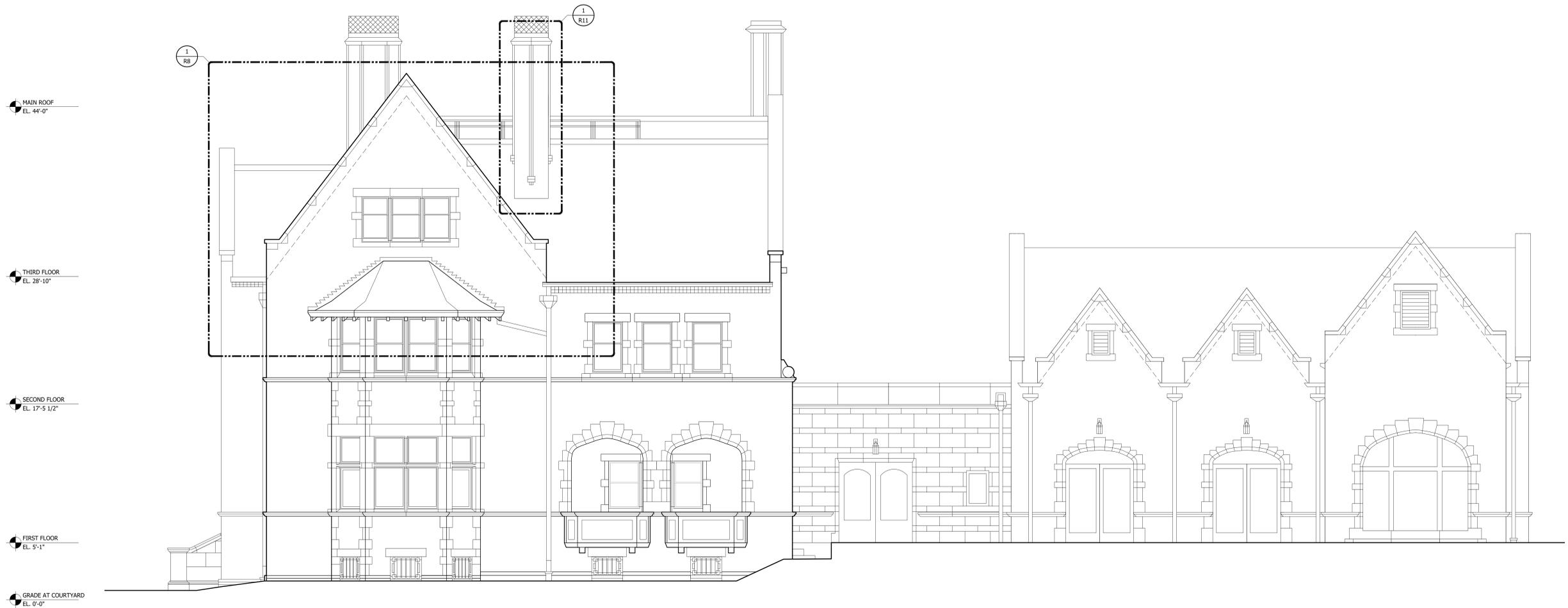
Klein-Hoffman
 ARCHITECTURAL & STRUCTURAL ENGINEERS



Milwaukee County Dept. of Administrative Services
 FACILITIES MANAGEMENT DIVISIONS
 Architectural, Engineering & Environmental Services
 683 WEST WISCONSIN AVENUE, SUITE 1602, MILWAUKEE, WISCONSIN 53203

REVISIONS:
 4/6/22 95% OWNER REVIEW

EAST ELEVATION
 DATE: 4/6/2022
 PROJECT: O528-20156
 SITE NO: 320
 BUILDING NO: 5610
 SHEET NO: R4



1 EAST ELEVATION
 SCALE: 1/4" = 1'-0"

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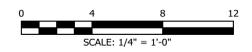
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 633 WEST WISCONSIN AVENUE, SUITE 1602, MILWAUKEE, WISCONSIN 53203

REVISIONS:
 4/6/22 95% OWNER REVIEW



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1 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



NORTH ELEVATION
 DATE: 4/6/2022
 PROJECT: O528-20156
 SITE NO: 320
 BUILDING NO: 5610
 SHEET NO: R5

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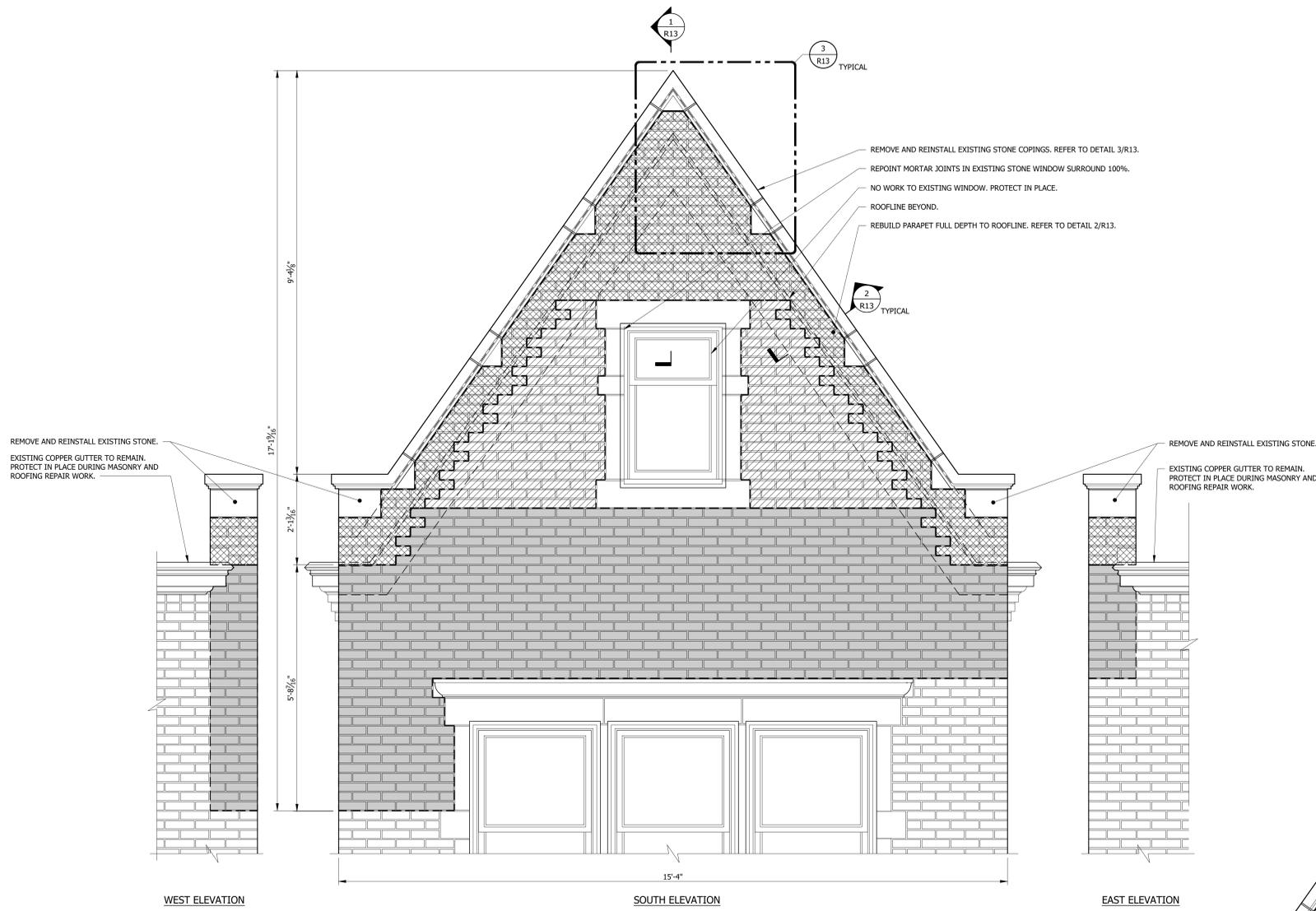
REVISIONS:
 4/6/22 95% OWNER REVIEW

WEST ELEVATION
 DATE: 4/6/2022
 PROJECT: O528-20156
 SITE NO: 320
 BUILDING NO: 5610
 SHEET NO: R6



1 WEST ELEVATION
 SCALE: 1/4" = 1'-0"

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1 GABLE NO. 1
SCALE: 3/4" = 1'-0"

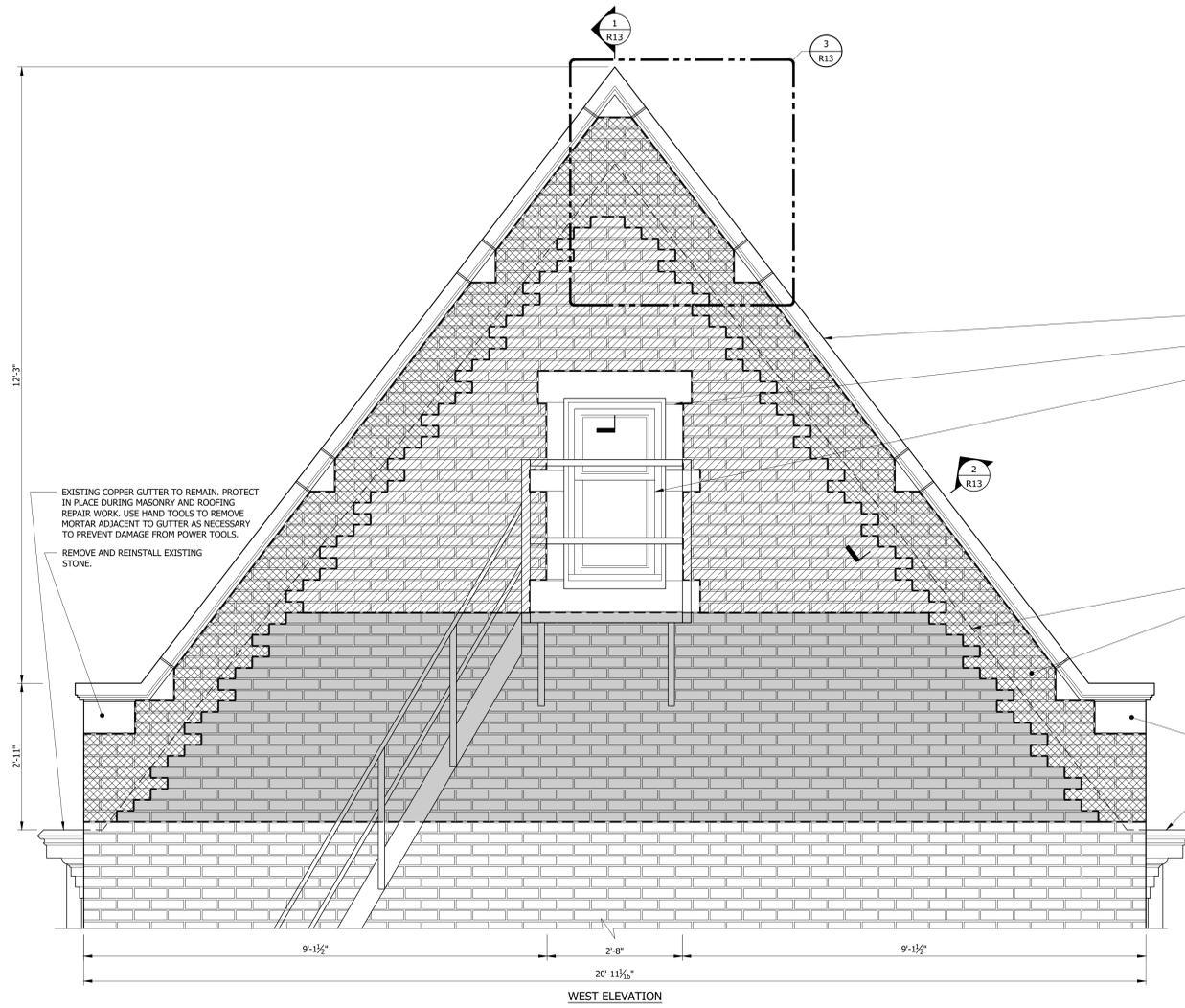
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- LEGEND:**
- REBUILD FULL DEPTH OF MASONRY WALL. REFER TO DETAILS 1/R13 AND 2/R13.
 - REBUILD OUTER WYTHE OF BRICK AND REPOINT BACK-UP MASONRY 100%. REFER TO DETAILS 6-9/R13.
 - REPOINT MORTAR JOINTS. REFER TO DETAILS 8/R13 AND 9/R13.



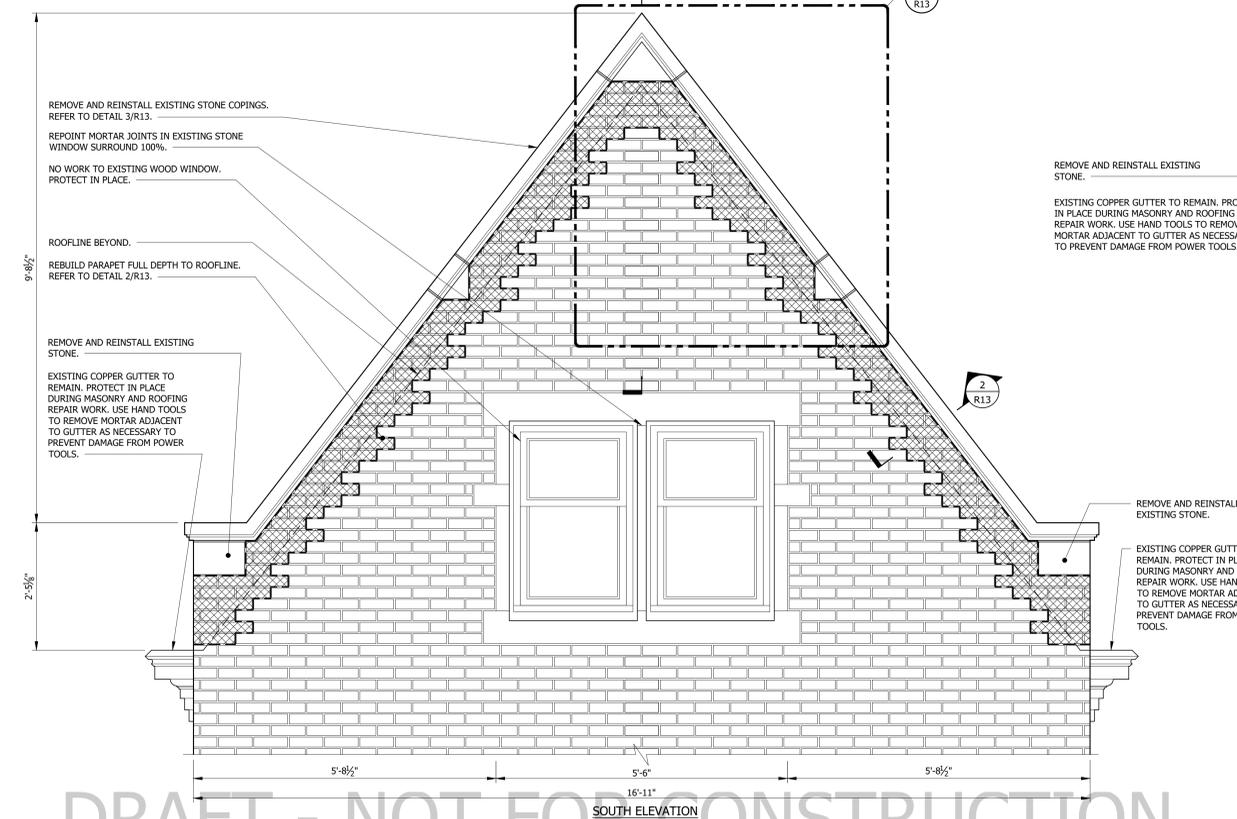
2 GABLE NO. 2
SCALE: 3/4" = 1'-0"



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1 GABLE NO. 7
SCALE: 3/4" = 1'-0"



3 GABLE NO. 9
SCALE: 3/4" = 1'-0"

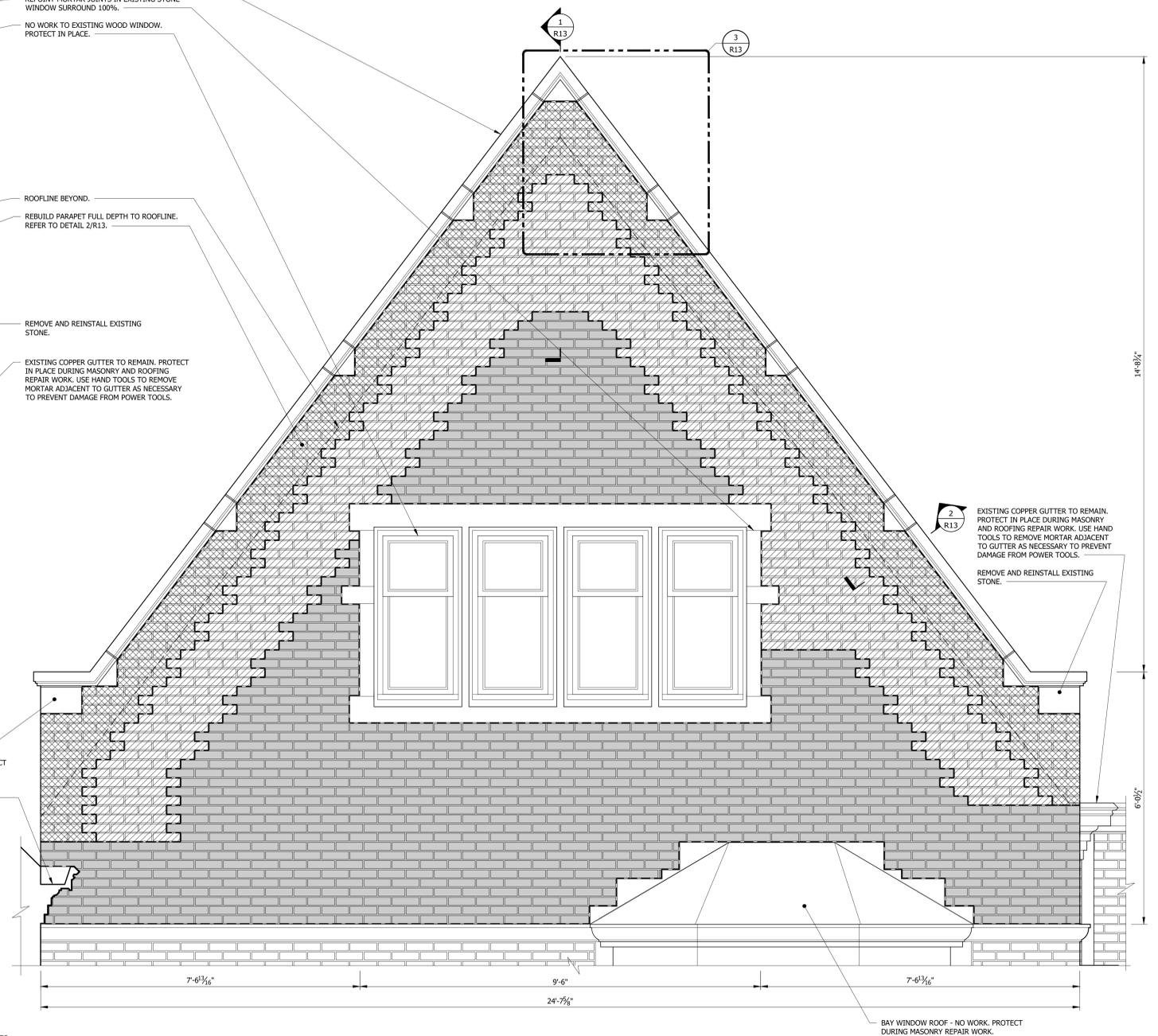
REMOVE AND REINSTALL EXISTING STONE COPINGS. REFER TO DETAIL 3/R13.
 REPOINT MORTAR JOINTS IN EXISTING STONE WINDOW SURROUND 100%.
 NO WORK TO EXISTING WOOD WINDOW. PROTECT IN PLACE.

ROOFLINE BEYOND.
 REBUILD PARAPET FULL DEPTH TO ROOFLINE. REFER TO DETAIL 2/R13.

REMOVE AND REINSTALL EXISTING STONE.
 EXISTING COPPER GUTTER TO REMAIN. PROTECT IN PLACE DURING MASONRY AND ROOFING REPAIR WORK. USE HAND TOOLS TO REMOVE MORTAR ADJACENT TO GUTTER AS NECESSARY TO PREVENT DAMAGE FROM POWER TOOLS.

REMOVE AND REINSTALL EXISTING STONE.
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2 GABLE NO. 8
SCALE: 3/4" = 1'-0"

EXISTING COPPER GUTTER TO REMAIN. PROTECT IN PLACE DURING MASONRY AND ROOFING REPAIR WORK. USE HAND TOOLS TO REMOVE MORTAR ADJACENT TO GUTTER AS NECESSARY TO PREVENT DAMAGE FROM POWER TOOLS.
 REMOVE AND REINSTALL EXISTING STONE.

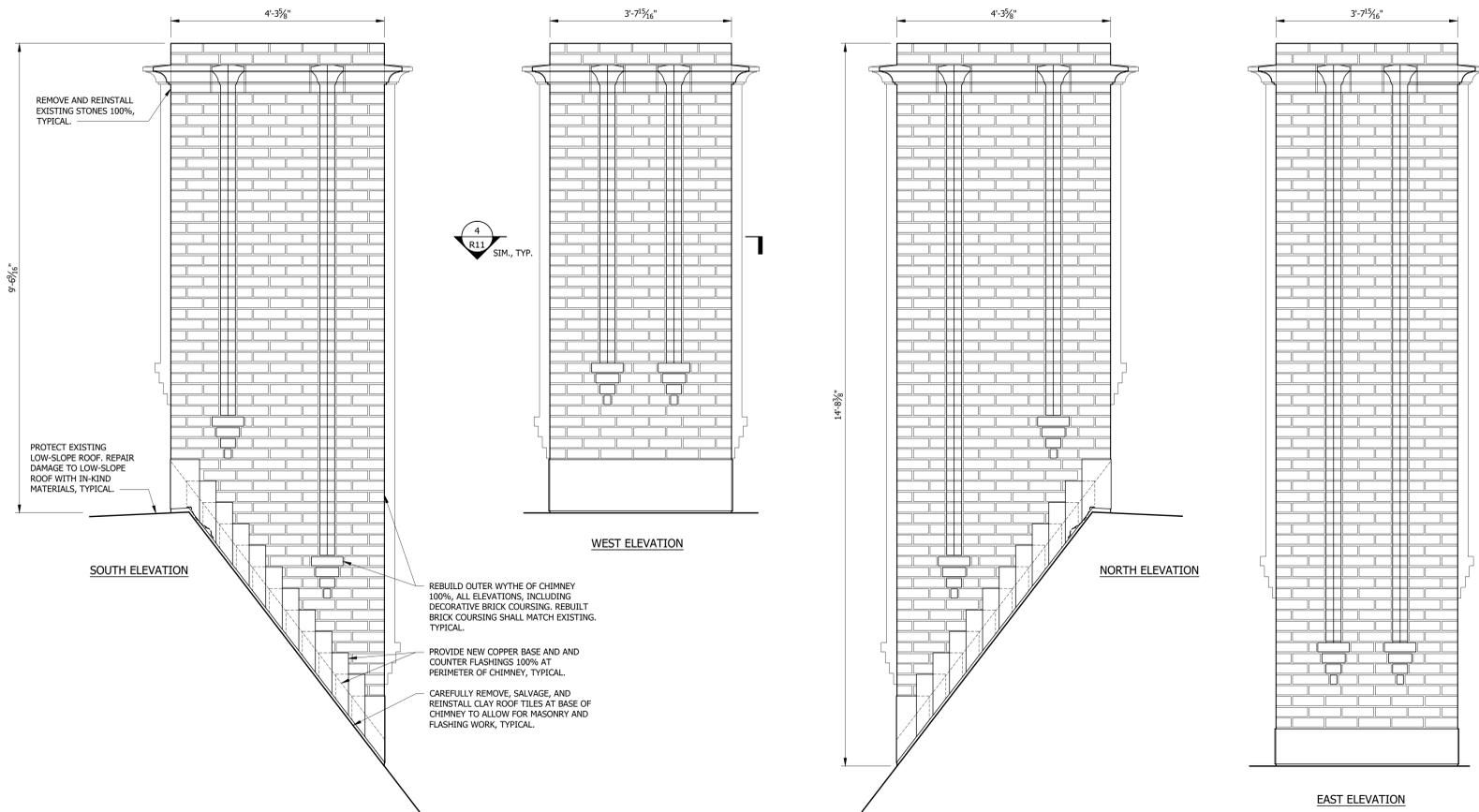
BAY WINDOW ROOF - NO WORK. PROTECT DURING MASONRY REPAIR WORK.

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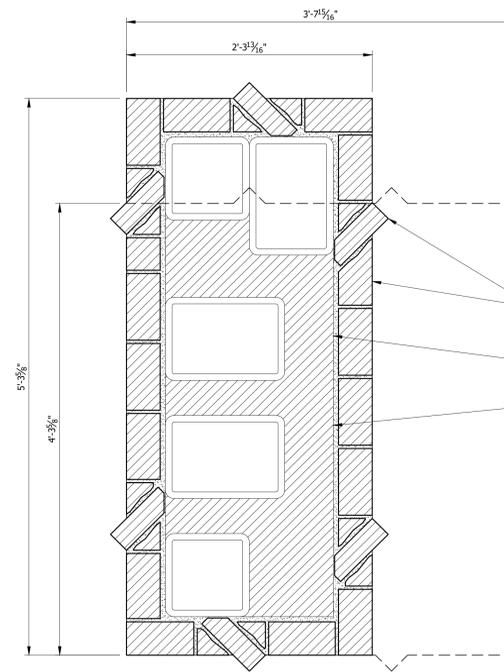
- LEGEND:**
- REBUILD FULL DEPTH OF MASONRY WALL. REFER TO DETAILS 1/R13 AND 2/R13.
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 - REPOINT MORTAR JOINTS. REFER TO DETAIL 8/R13 AND 9/R13.



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1 EAST CHIMNEY
SCALE: 3/4" = 1'-0"



4 SOUTH CHIMNEY PLAN (NORTH CHIMNEY SIM.)
SCALE: 1 1/2" = 1'-0"

GENERAL NOTES:

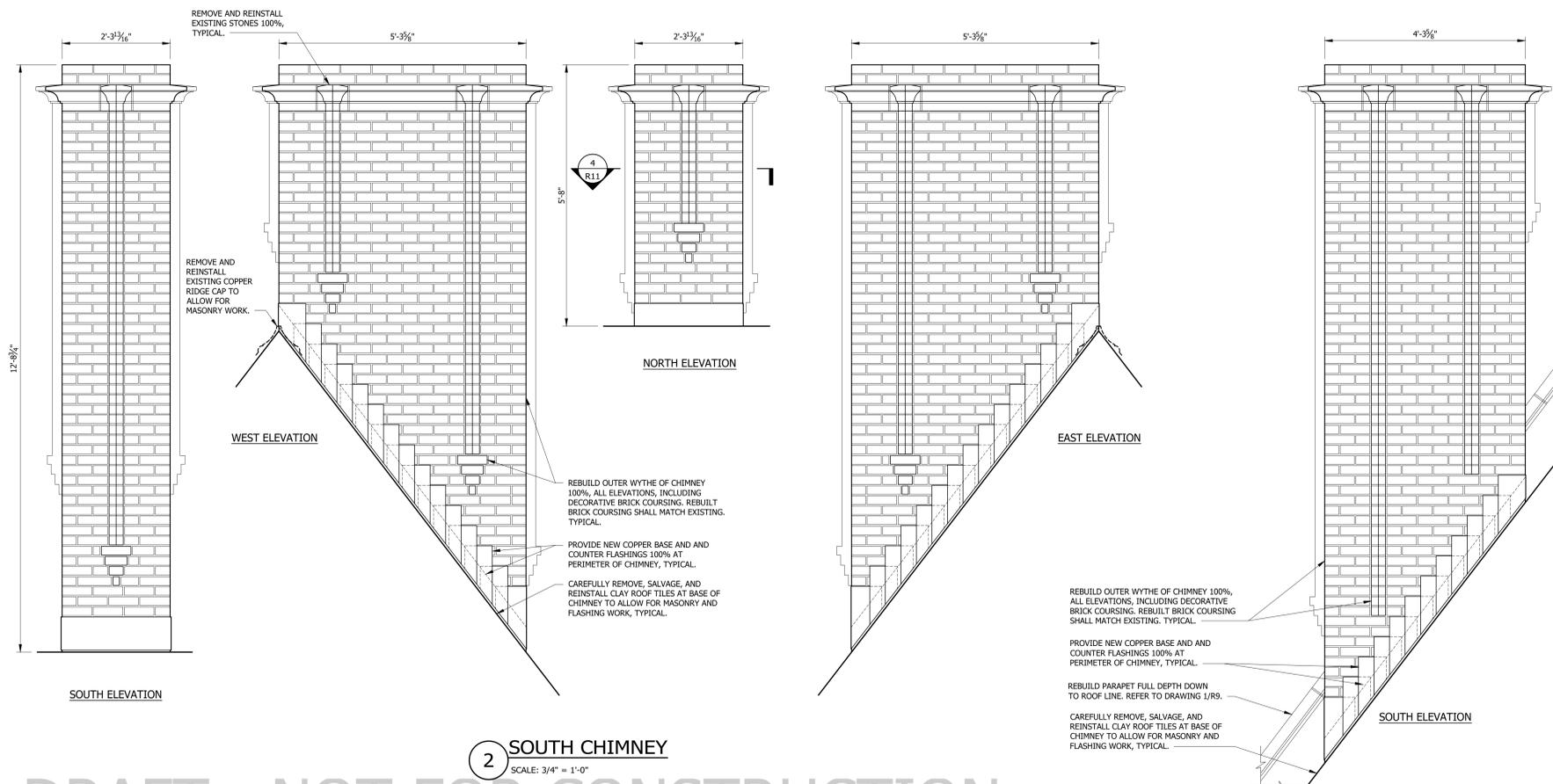
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REBUILD OUTER WYTHE OF CHIMNEY 100%, ALL ELEVATIONS, INCLUDING DECORATIVE BRICK COURSING. REBUILD BRICK COURSING SHALL MATCH EXISTING.

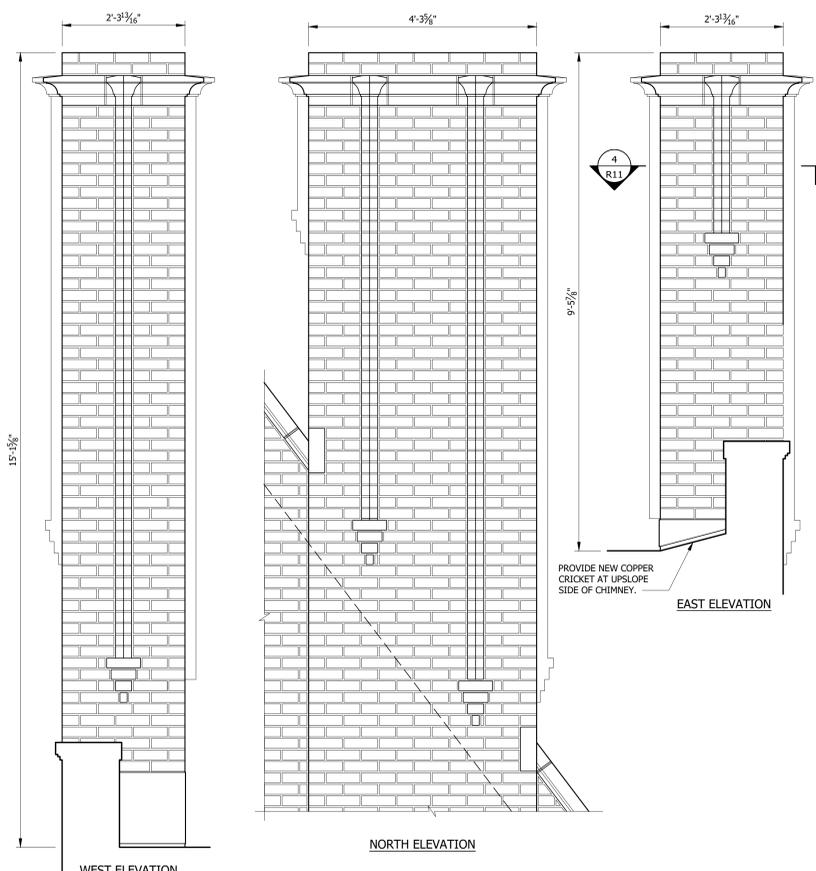
REPOINT BACK-UP MASONRY 100%. REBUILD BACK-UP MASONRY IN ISOLATED LOCATIONS AS DESIGNATED BY A/E.

EXISTING CONFIGURATION OF BACK-UP MASONRY AND ITS CONNECTION TO THE OUTER WYTHE IS UNKNOWN. ANCHOR OUTER WYTHE TO BACK-UP MASONRY WITH BRICK HEADERS TO MATCH EXISTING, OR PROVIDE STAINLESS STEEL VENEER ANCHORS @ 16" O.C. MAX VERTICAL SPACING AND 16" O.C. MAX HORIZONTAL SPACING.

EAST CHIMNEY. SCOPE OF WORK SIMILAR TO NORTH AND SOUTH CHIMNEYS.



2 SOUTH CHIMNEY
SCALE: 3/4" = 1'-0"



3 NORTH CHIMNEY
SCALE: 3/4" = 1'-0"

REBUILD OUTER WYTHE OF CHIMNEY 100%, ALL ELEVATIONS, INCLUDING DECORATIVE BRICK COURSING. REBUILD BRICK COURSING SHALL MATCH EXISTING.

PROVIDE NEW COPPER BASE AND COUNTER FLASHINGS 100% AT PERIMETER OF CHIMNEY, TYPICAL.

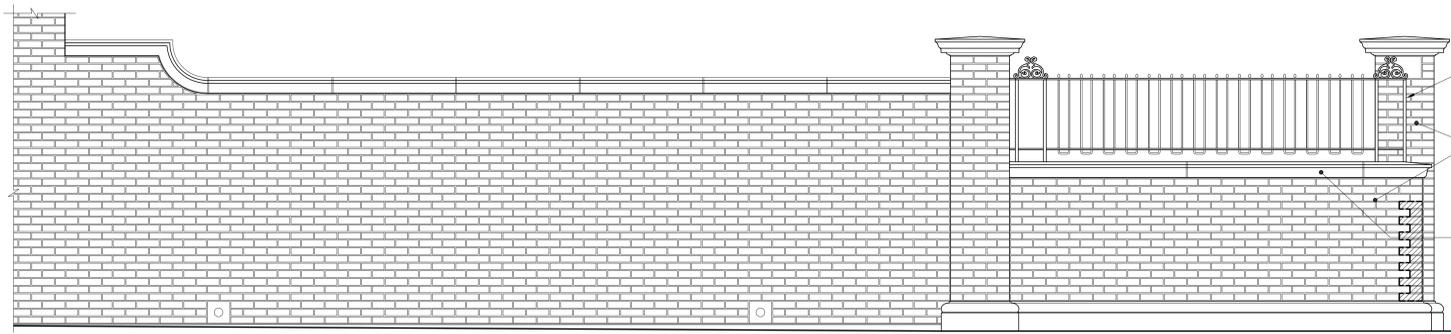
REBUILD PARAPET FULL DEPTH DOWN TO ROOF LINE. REFER TO DRAWING 1/R9.

CAREFULLY REMOVE, SALVAGE, AND REINSTALL CLAY ROOF TILES AT BASE OF CHIMNEY TO ALLOW FOR MASONRY AND FLASHING WORK, TYPICAL.

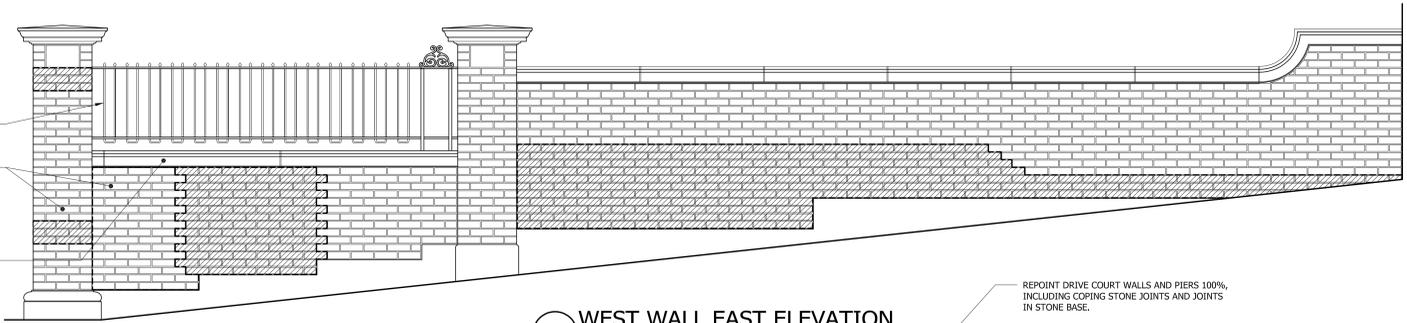
PROVIDE NEW COPPER CRICKET AT UPSLOPE SIDE OF CHIMNEY.



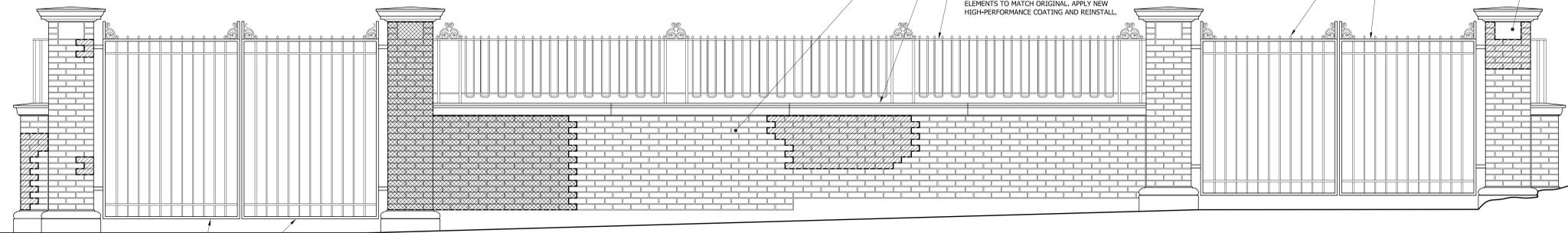
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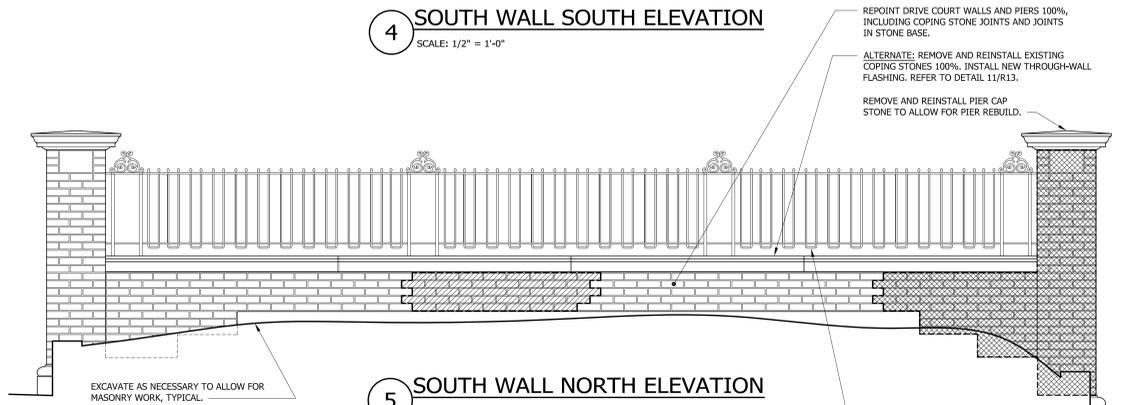
2 WEST WALL WEST ELEVATION
SCALE: 1/2" = 1'-0"



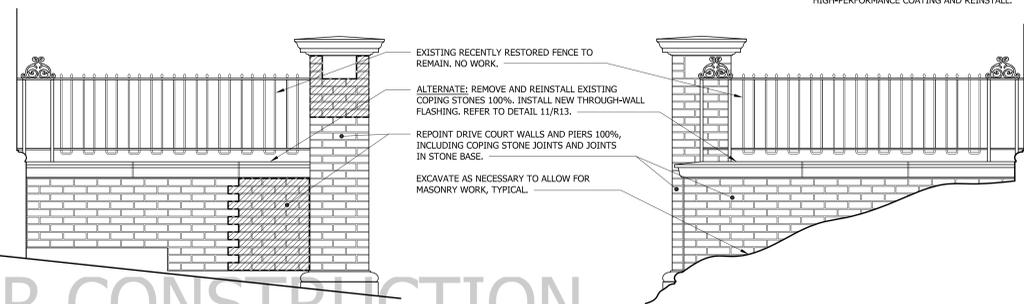
3 WEST WALL EAST ELEVATION
SCALE: 1/2" = 1'-0"



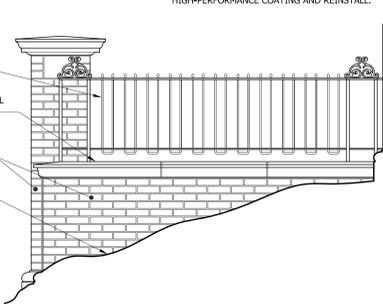
4 SOUTH WALL SOUTH ELEVATION
SCALE: 1/2" = 1'-0"



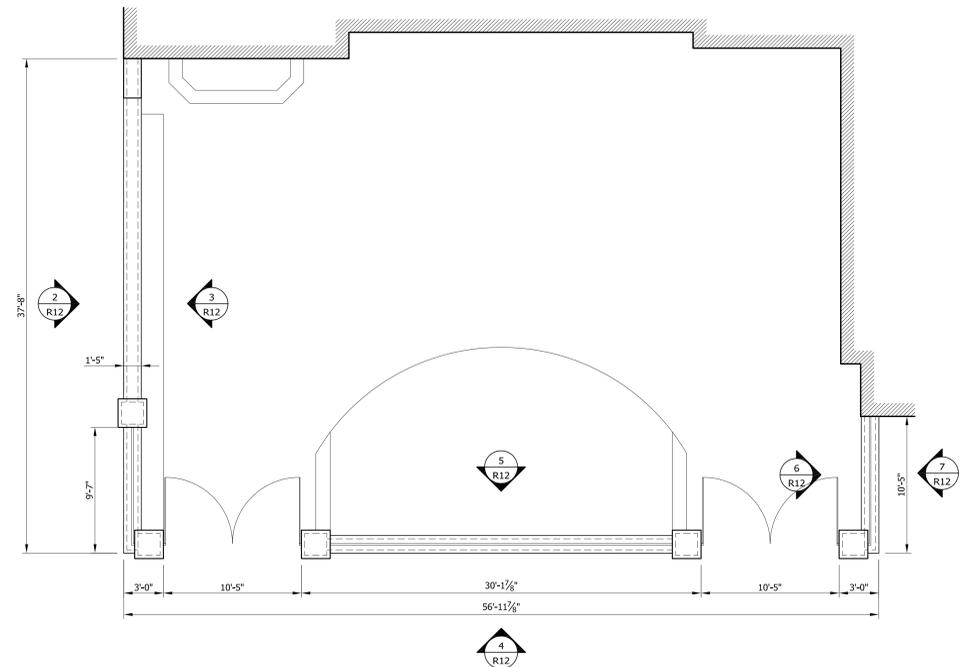
5 SOUTH WALL NORTH ELEVATION
SCALE: 1/2" = 1'-0"



6 EAST WALL WEST ELEVATION
SCALE: 1/2" = 1'-0"



7 EAST WALL EAST ELEVATION
SCALE: 1/2" = 1'-0"



1 DRIVE COURT KEY PLAN
SCALE: 3/16" = 1'-0"



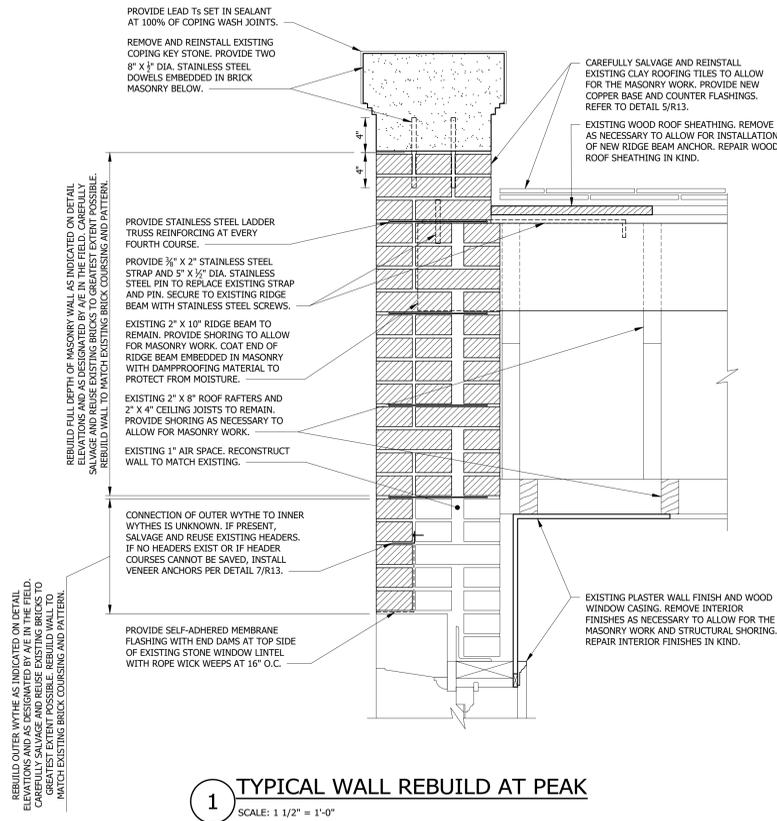
GENERAL NOTES:

1. THE CHARLES ALLIS HOUSE IS A DESIGNATED HISTORIC SITE IN THE CITY OF MILWAUKEE. NEW MATERIALS SHALL MATCH EXISTING HISTORIC MATERIALS IN SCALE, DESIGN, COLOR, TEXTURE, STRENGTH, AND MATERIAL. MOCK-UPS OF NEW MATERIALS ARE TO BE REVIEWED AND APPROVED BY THE A/E, OWNER, AND THE CITY OF MILWAUKEE HISTORIC PRESERVATION COMMISSION PRIOR TO PERMANENT INSTALLATION ON THE BUILDING.
2. THE BUILDING IS A MUSEUM WHICH IS OPEN TO THE PUBLIC. THE BUILDING WILL REMAIN OPEN AND ACCESSIBLE THROUGHOUT THE PROJECT. PROVIDE PROTECTION NECESSARY, INCLUDING TEMPORARY BARRICADES, NETTING, CANOPIES, ETC. TO SAFEGUARD THE PUBLIC.
3. AREAS OF REPAIR SHOWN ON THE DRAWINGS ARE APPROXIMATE. PROVIDE ACCESS TO ALL AREAS OF WORK FOR A/E INSPECTION. A/E TO DETERMINE FINAL EXTENT OF THE AREAS OF REPAIR.

LEGEND:

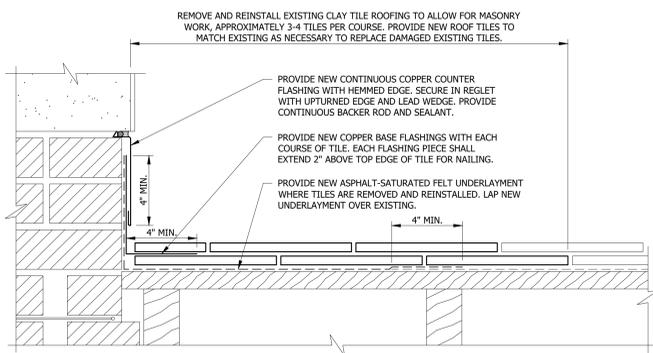
- REBUILD FULL DEPTH OF MASONRY WALL. MATCH EXISTING CONSTRUCTION/COURSING.
- REBUILD OUTER WYTHE OF BRICK AND REPOINT BACK-UP MASONRY 100%. REFER TO DETAILS 6-9/R13.

DRAFT - NOT FOR CONSTRUCTION

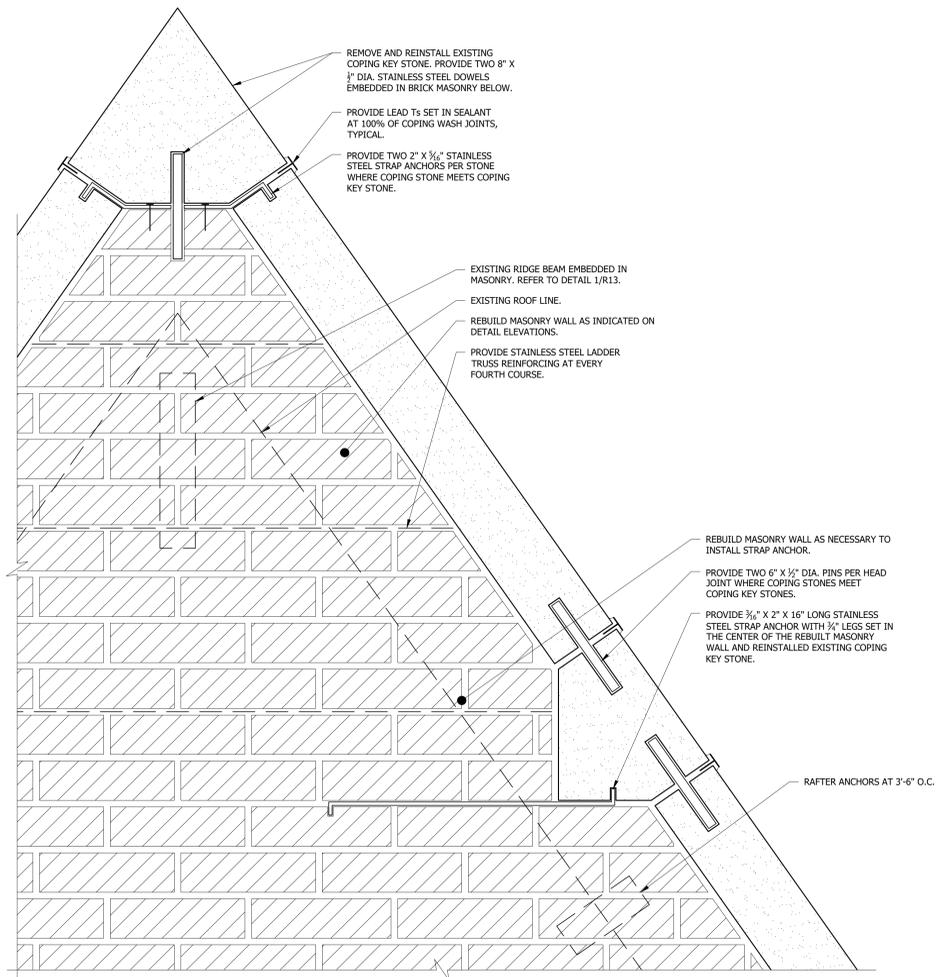


1 TYPICAL WALL REBUILD AT PEAK
SCALE: 1 1/2" = 1'-0"

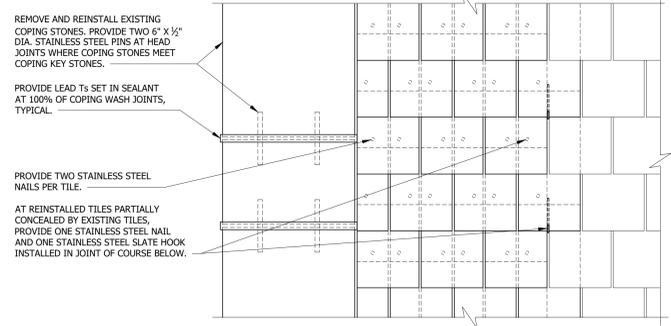
2 TYPICAL WALL REBUILD ALONG SLOPE
SCALE: 1 1/2" = 1'-0"



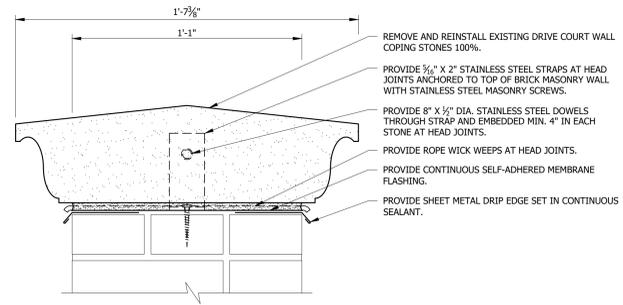
5 TYPICAL SECTION AT PARAPET-ROOF FLASHING
SCALE: 3" = 1'-0"



3 TYPICAL COPING ANCHORS
SCALE: 3" = 1'-0"

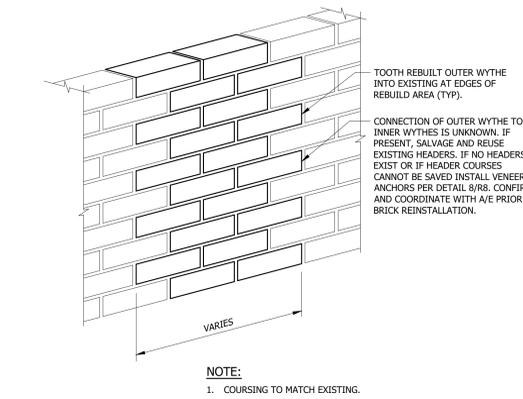


4 TYPICAL ROOF TILE INSTALLATION (PLAN VIEW)
SCALE: 1 1/2" = 1'-0"



NOTE:
1. THIS DETAIL APPLIES FOR ALTERNATE NO. 1. REFER TO SHEET R12.

11 THROUGH-WALL FLASHING AT DRIVE COURT WALLS (ALTERNATE)
SCALE: 3" = 1'-0"

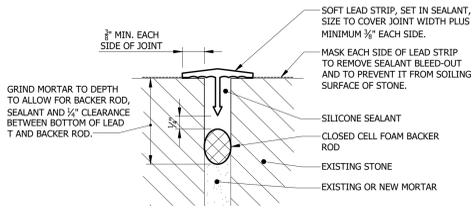
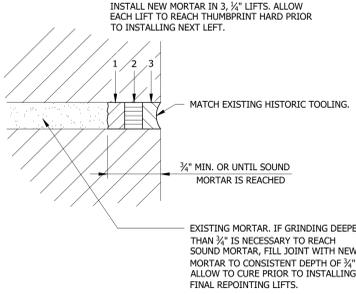
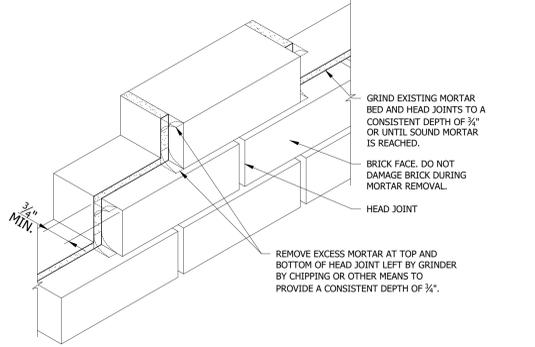


6 OUTER WYTHE REBUILD
SCALE: NTS

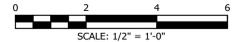
7 REBUILD BRICK VENEER TIE
SCALE: 3" = 1'-0"

8 REPOINTING PREPARATION
SCALE: 3" = 1'-0"

9 NEW MORTAR INSTALLATION
SCALE: 1" = 1'-0"



10 LEAD T INSTALLATION
SCALE: 1 1/2" = 1'-0"



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