

ROYAL CAPITAL

A Venture & Holdings Company



CUDAHY FARMS - HEALTHY LIVING CAMPUS

Milwaukee, WI

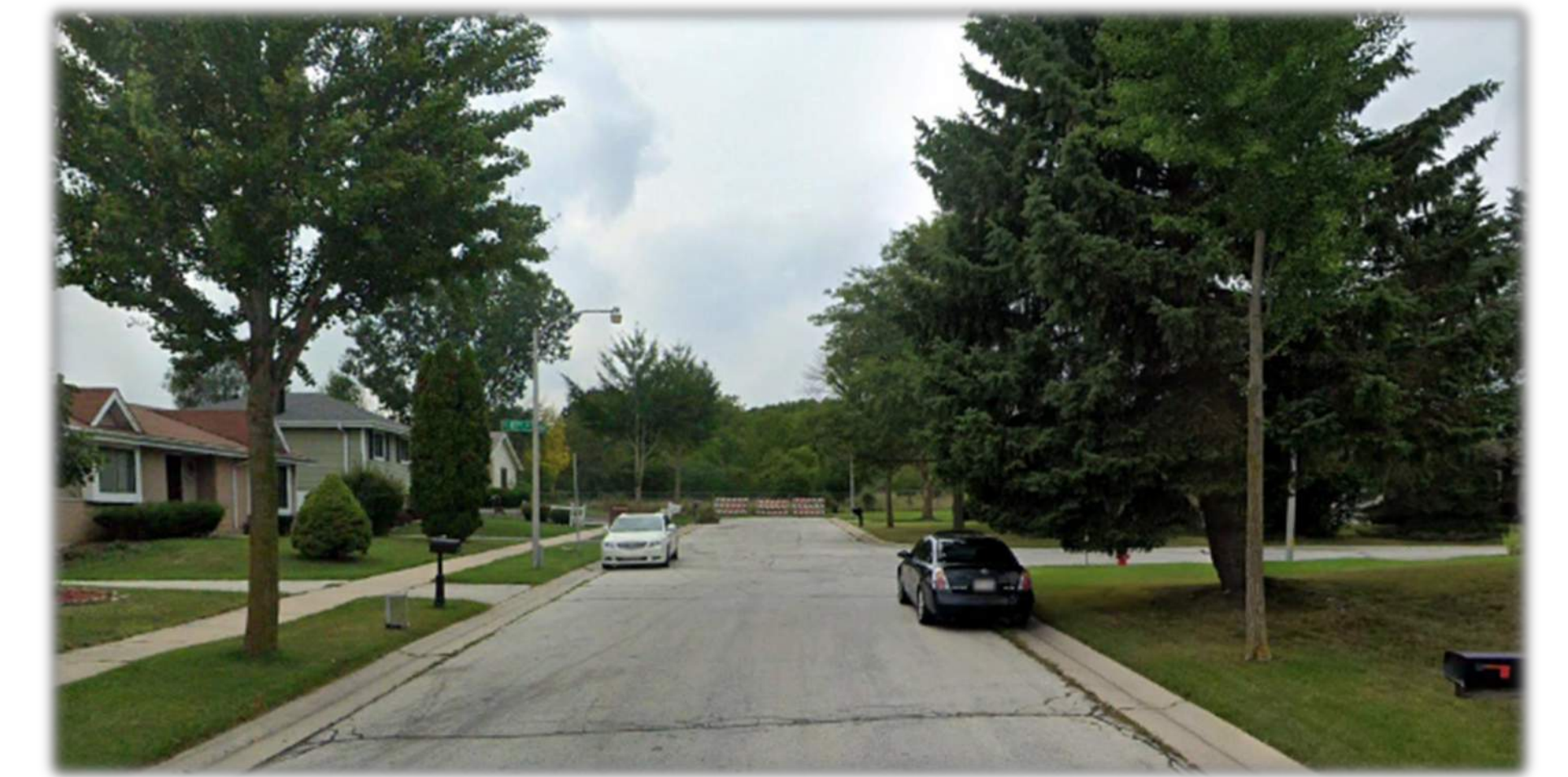
April 4th, 2025



Vicinity Map



View along West Portion of the Site from W Allyn St.



View of East Portion of the Site from W Greenbrook Dr.



View of North Portion of the Site from W Fairy Chasm Dr.



View along W Brown Deer Rd.



View of Southwest Corner of the Site from N Swan Rd.



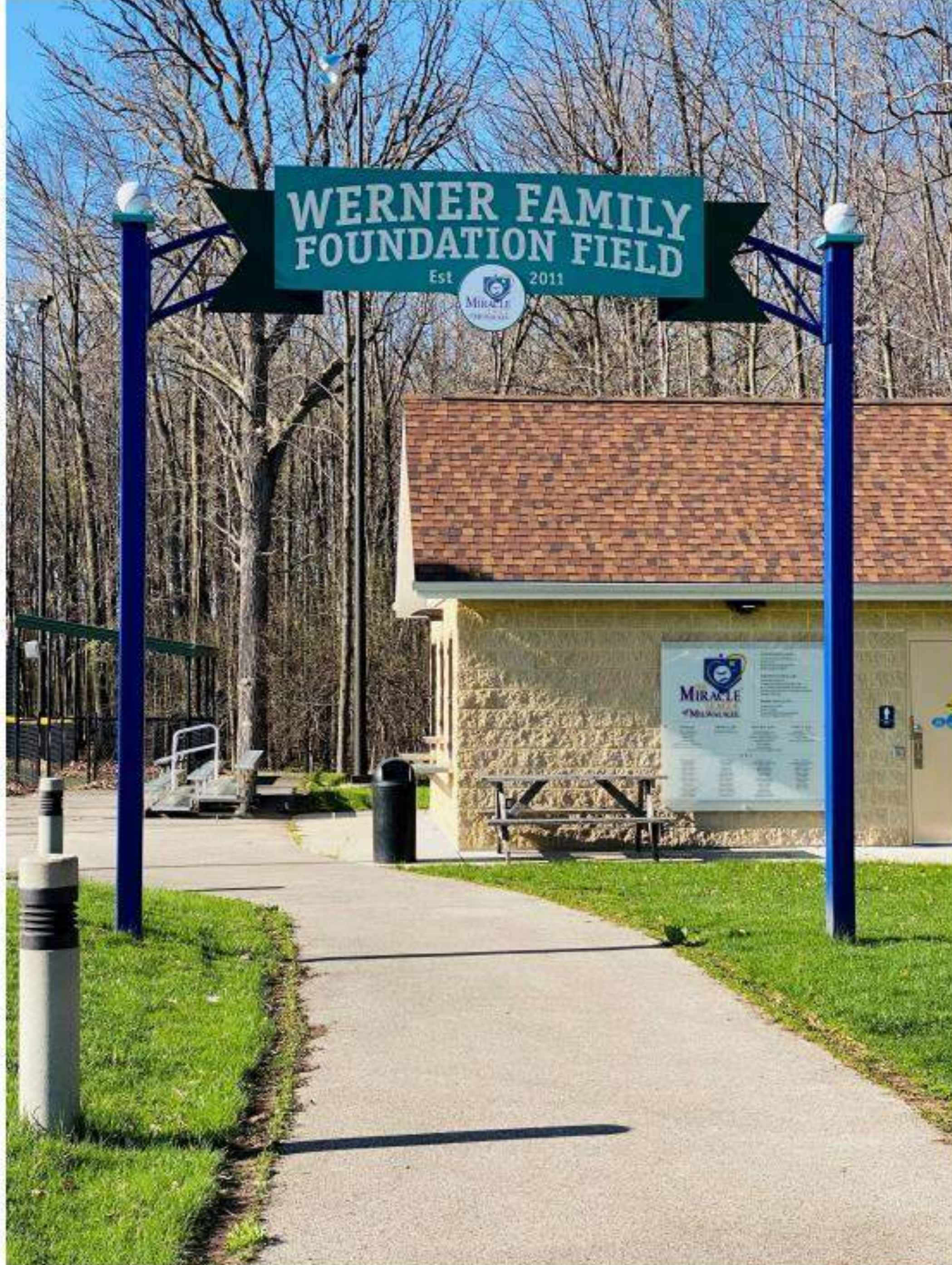
Vacant Existing Building along Northeast Portion of the Site



EXISTING PLAYGROUND



EXISTING BASEBALL FIELD



CUDAHY FARMS - PHASE I

9050 N. Swan Rd.

Royal Capital Group
Cudahy Farms P1, LLC
710 N. Plankinton Ave., Suite 300
Milwaukee, WI.

PROJECT NUMBER 193051

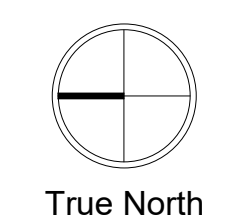
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ISSUED FOR:	
DPD SUBMITTAL	03-28-2025
REVISION FOR:	
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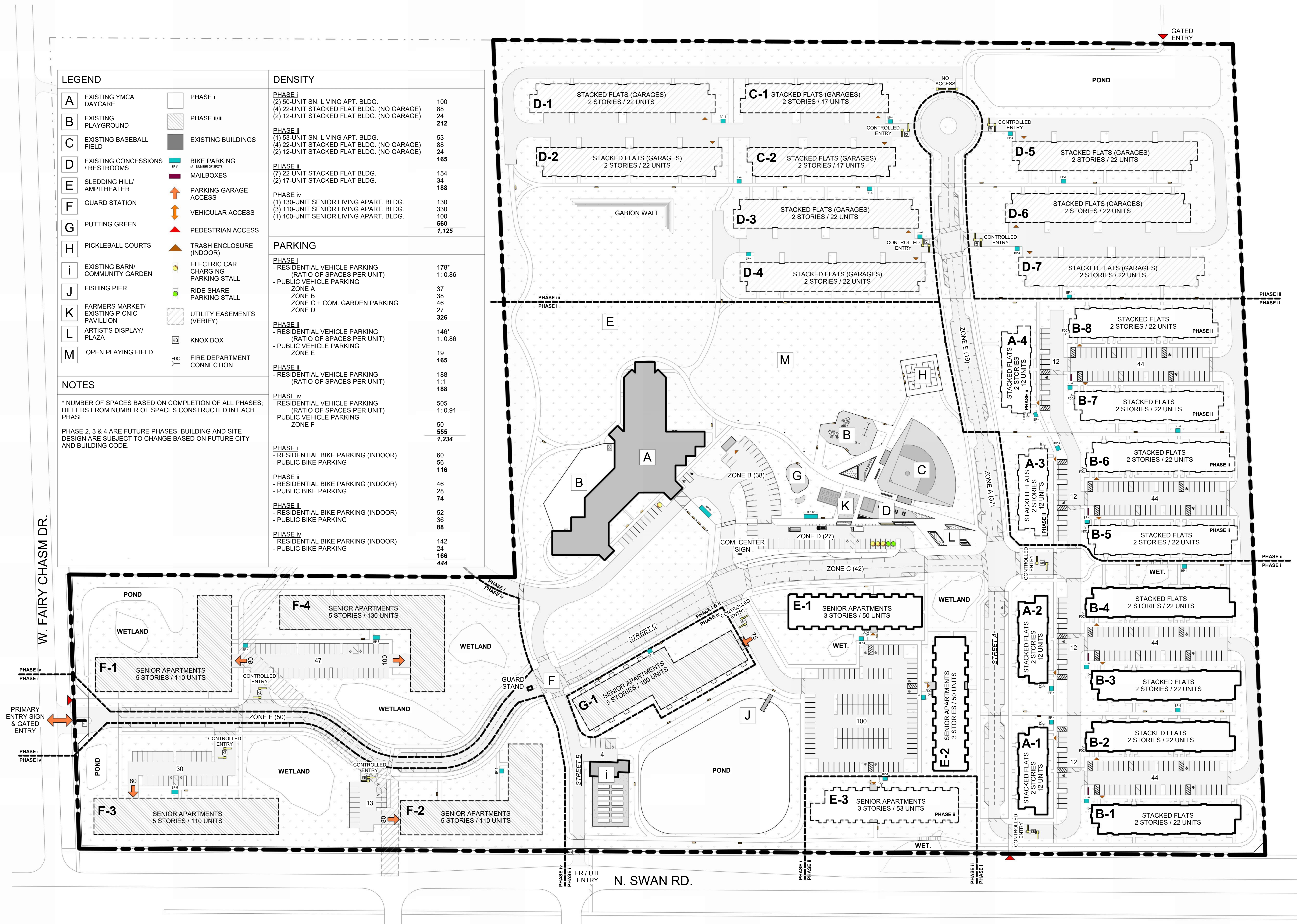
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ARCHITECTURAL SITE PLAN



G001



LEGEND

A EXISTING YMCA DAYCARE	PHASE I
B EXISTING PLAYGROUND	PHASE III/III
C EXISTING BASEBALL FIELD	EXISTING BUILDINGS
D EXISTING CONCESSIONS / RESTROOMS	BIKE PARKING (IF NUMBER OF SPACES)
E SLEDDING HILL/ AMPITHEATER	MAILBOXES
F GUARD STATION	PARKING GARAGE ACCESS
G PUTTING GREEN	VEHICULAR ACCESS
H PICKLEBALL COURTS	PEDESTRIAN ACCESS
i EXISTING BARN/ COMMUNITY GARDEN	TRASH ENCLOSURE (INDOOR)
J FISHING PIER	ELECTRIC CAR CHARGING PARKING STALL
K FARMERS MARKET/ EXISTING PICNIC PAVILLION	RIDE SHARE PARKING STALL
L ARTIST'S DISPLAY/ PLAZA	UTILITY EASEMENTS (VERIFY)
M OPEN PLAYING FIELD	KNOX BOX
	FDC FIRE DEPARTMENT CONNECTION

DENSITY

PHASE I	(2) 50-UNIT SN. LIVING APT. BLDG.	100
	(4) 22-UNIT STACKED FLAT BLDG. (NO GARAGE)	88
	(2) 12-UNIT STACKED FLAT BLDG. (NO GARAGE)	24
	212	
PHASE II	(1) 53-UNIT SN. LIVING APT. BLDG.	53
	(4) 22-UNIT STACKED FLAT BLDG. (NO GARAGE)	88
	(2) 12-UNIT STACKED FLAT BLDG. (NO GARAGE)	24
	165	
PHASE III	(7) 22-UNIT STACKED FLAT BLDG.	154
	(2) 17-UNIT STACKED FLAT BLDG.	34
	188	
PHASE IV	(1) 130-UNIT SENIOR LIVING APART. BLDG.	130
	(3) 110-UNIT SENIOR LIVING APART. BLDG.	330
	(1) 100-UNIT SENIOR LIVING APART. BLDG.	100
	560	
	1,125	

PARKING

PHASE I	- RESIDENTIAL VEHICLE PARKING (RATIO OF SPACES PER UNIT)	178*
	- PUBLIC VEHICLE PARKING	1: 0.86
	ZONE A	37
	ZONE B	38
	ZONE C + COM. GARDEN PARKING	46
	ZONE D	27
	326	
PHASE II	- RESIDENTIAL VEHICLE PARKING (RATIO OF SPACES PER UNIT)	146*
	- PUBLIC VEHICLE PARKING	1: 0.86
	ZONE E	19
	165	
PHASE III	- RESIDENTIAL VEHICLE PARKING (RATIO OF SPACES PER UNIT)	188
	- PUBLIC VEHICLE PARKING	1: 1
	188	
PHASE IV	- RESIDENTIAL VEHICLE PARKING (RATIO OF SPACES PER UNIT)	505
	- PUBLIC VEHICLE PARKING	1: 0.91
	ZONE F	50
	555	
	7,234	
PHASE I	- RESIDENTIAL BIKE PARKING (INDOOR)	60
	- PUBLIC BIKE PARKING	56
	116	
PHASE II	- RESIDENTIAL BIKE PARKING (INDOOR)	46
	- PUBLIC BIKE PARKING	28
	74	
PHASE III	- RESIDENTIAL BIKE PARKING (INDOOR)	52
	- PUBLIC BIKE PARKING	36
	88	
PHASE IV	- RESIDENTIAL BIKE PARKING (INDOOR)	142
	- PUBLIC BIKE PARKING	24
	166	
	444	

NOTES

* NUMBER OF SPACES BASED ON COMPLETION OF ALL PHASES. DIFFERS FROM NUMBER OF SPACES CONSTRUCTED IN EACH PHASE

PHASE 2, 3 & 4 ARE FUTURE PHASES. BUILDING AND SITE DESIGN ARE SUBJECT TO CHANGE BASED ON FUTURE CITY AND BUILDING CODE.

CUDAHY FARMS - PHASE I

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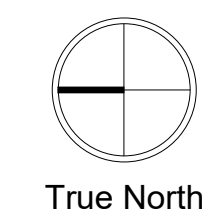
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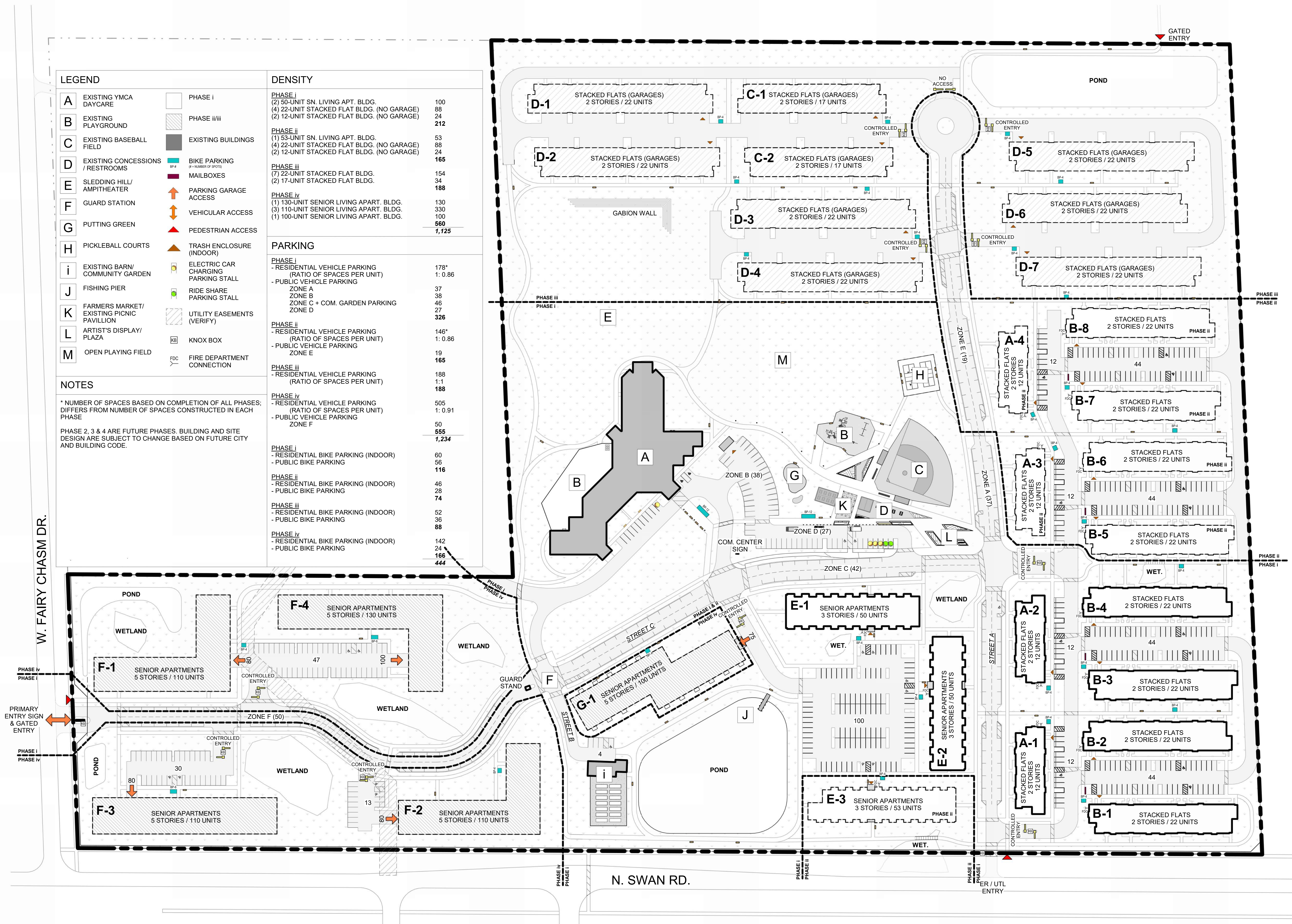
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ARCHITECTURAL SITE
PLAN - ALT. ER/UTL ENTRY



G001-B



LEGEND

- | | |
|--|-------------------------------------|
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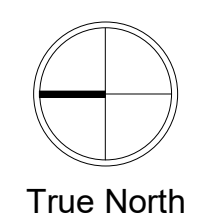
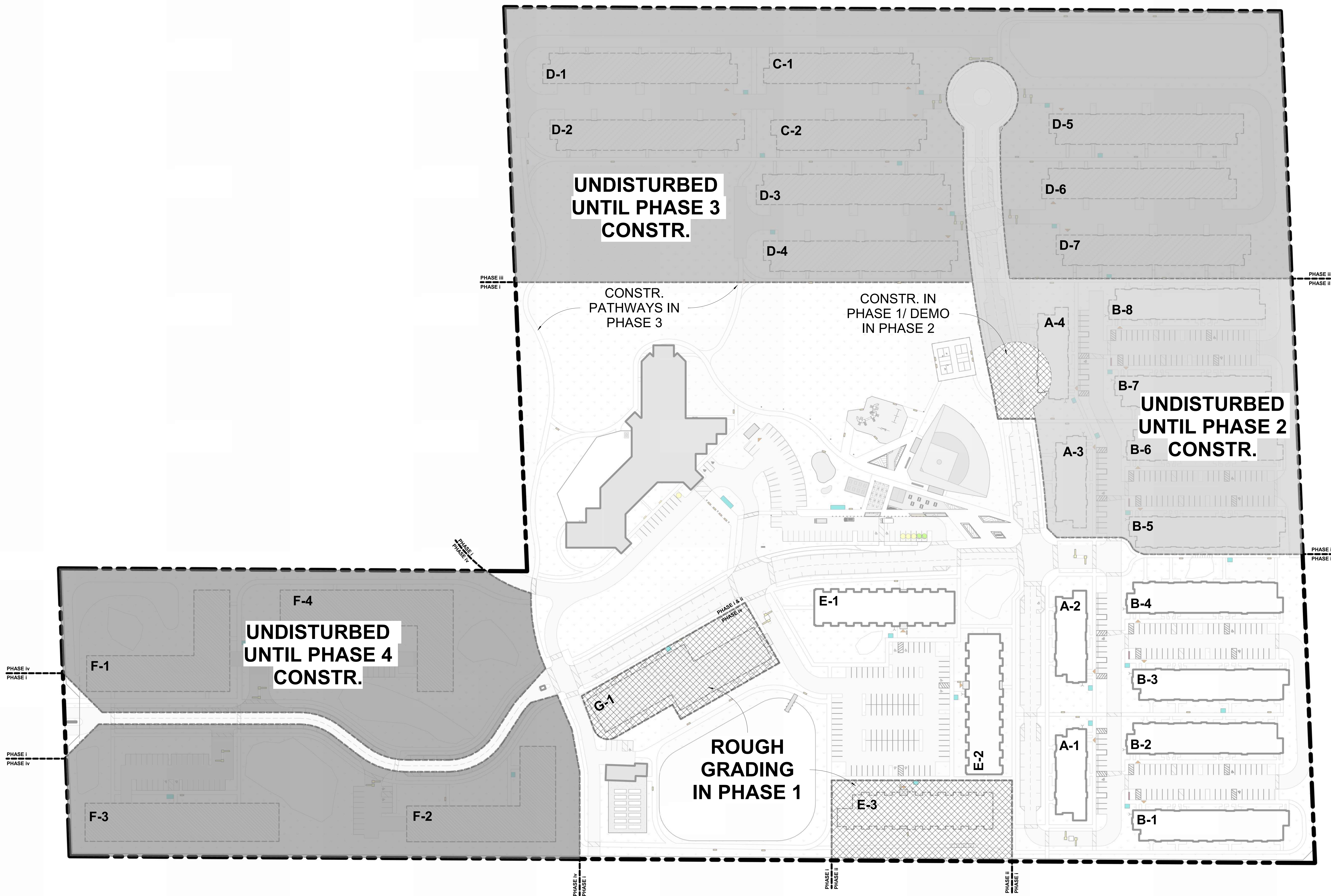
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PHASING PLAN



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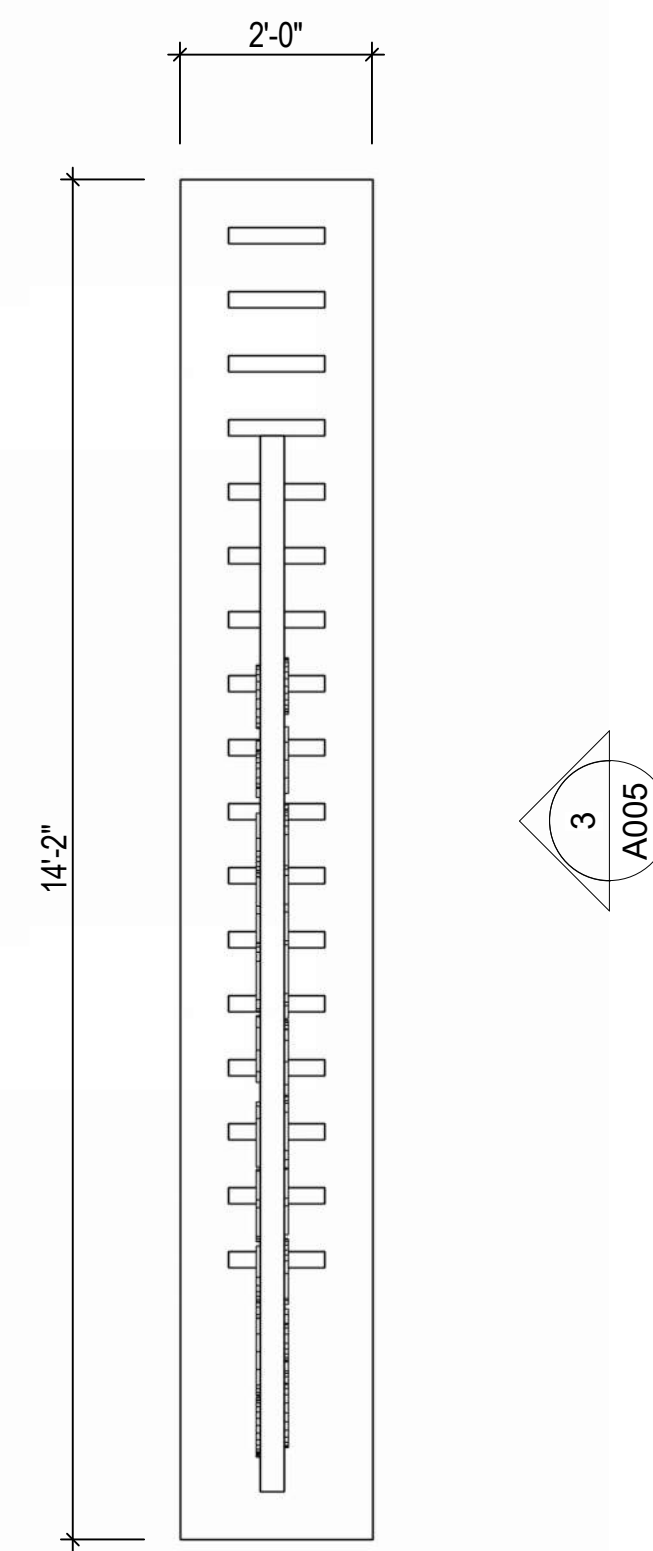
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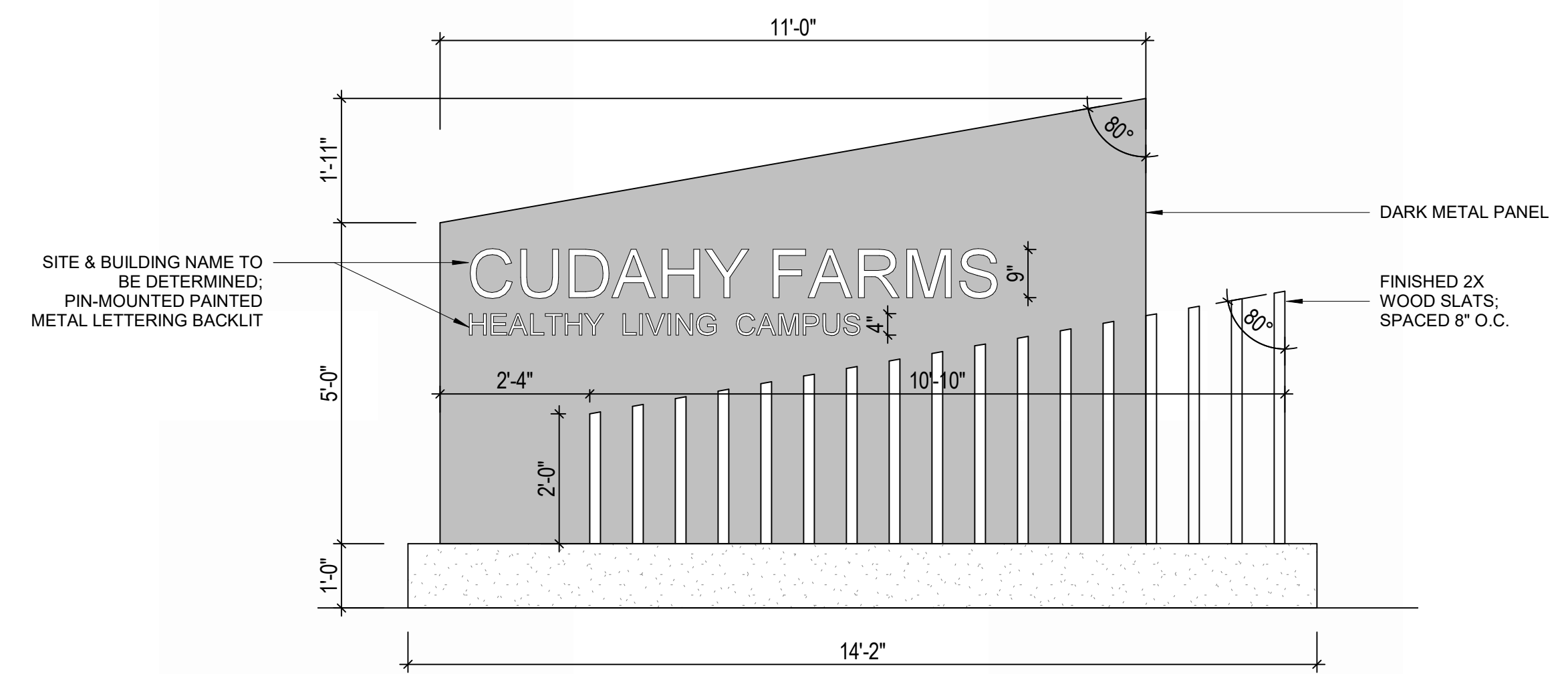
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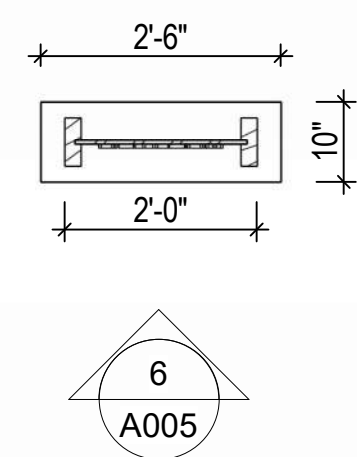
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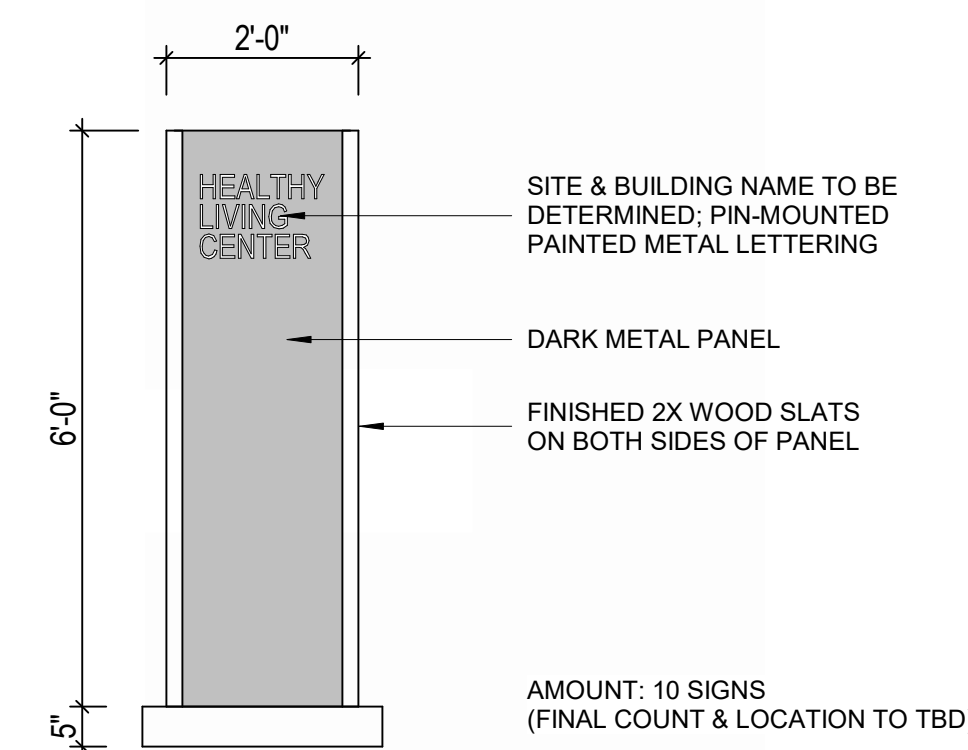
2 ENTRY MONUMENTAL SIGN - PLAN
SCALE: 1/2" = 1'-0"



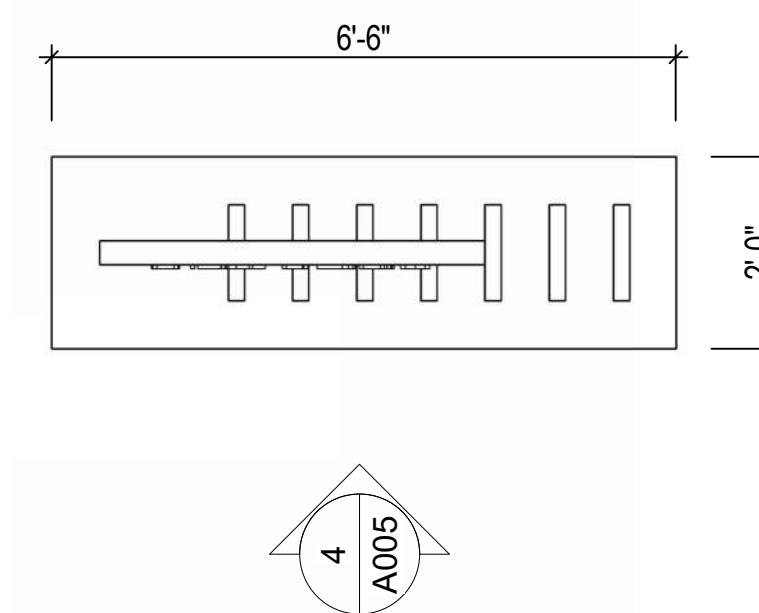
3 SITE ENTRY MONUMENTAL SIGN - ELEVATION
SCALE: 1/2" = 1'-0"



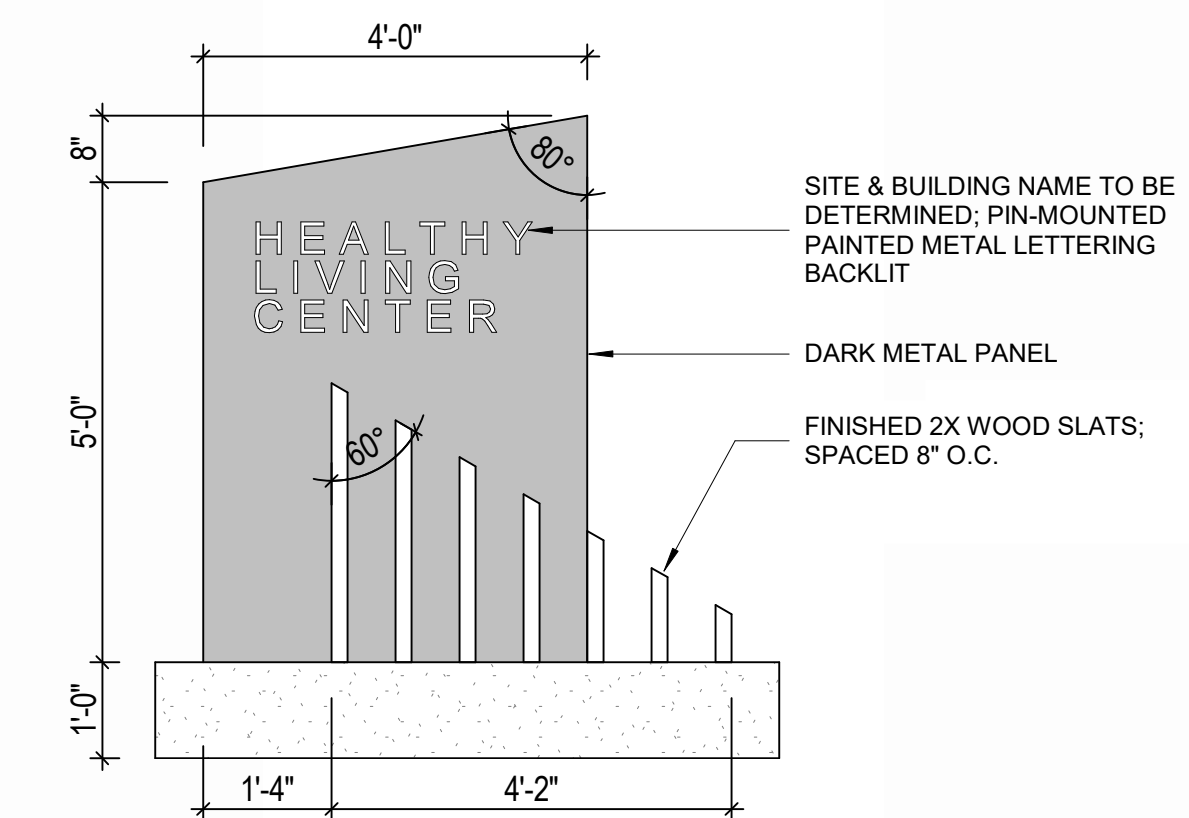
5 INFO SIGN - PLAN
SCALE: 1/2" = 1'-0"



6 INFO SIGN - ELEVATION
SCALE: 1/2" = 1'-0"



1 COM. CENTER MONUMENTAL SIGN - PLAN
SCALE: 1/2" = 1'-0"



4 COM. CENTER MONUMENTAL SIGN - ELEVATION
SCALE: 1/2" = 1'-0"

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DRAWN BY Author

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**MONUMENTAL SIGN
DETAILS**

A005



CUDAHY FARMS - PHASE I

ISSUED FOR:		
DPD SUBMITTAL	04-04-2025	
REVISION FOR:		
NO.	DESCRIPTION	DATE

DPD SUBMITTAL

DRAWN BY	RJT
CHECKED BY	APS

GENERAL NOTES & LEGEND

GENERAL

1. THE LOCATION OF ALL STRUCTURES, OBSTACLES, AND EXISTING FACILITIES SHALL NOT BE TAKEN AS CONCLUSIVE. IT SHALL BE ASSUMED THAT THE CONTRACTOR HAS VERIFIED SAID LOCATIONS AS A CONDITION OF HIS BID AND THEREFORE THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES RESULTING FROM HIS ACTIVITIES.
2. REFER TO TOPOGRAPHIC MAP BY CHAPUT LAND SURVEYS, DATED 03/09/2021 FOR INFORMATION ON COORDINATES AND SURVEY CONTROL.
3. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY TO CARRY OUT THEIR WORK.
4. THE CONTRACTOR SHALL SUBMIT FOR APPROVAL FROM THE OWNER A LIST OF ALL MATERIALS PROPOSED TO BE USED PRIOR TO ORDERING OR DELIVERY.
5. ALL CONTRACTORS SHALL HAVE A COMPETENT FOREMAN, SUPERINTENDENT, OR OTHER REPRESENTATIVE AT THE SITE AT ALL TIMES WHO HAS AUTHORITY TO ACT FOR THE CONTRACTOR.
6. A PRE CONFERENCE WILL BE HELD PRIOR TO CONSTRUCTION START UP.
7. CONTRACTORS SHALL BE RESPONSIBLE FOR ADEQUATELY BARRICADING AREAS AND ERECTING A CONSTRUCTION FENCE AROUND THE PERIMETER OF THE SITE OF CONSTRUCTION TO PROTECT AGAINST PERSONAL INJURY AS WELL AS WARN TRAFFIC OF THE CONSTRUCTION SITE WHERE NECESSARY. SIGNING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) MOST RECENT VERSION WITH WISDOT SUPPLEMENT. ALL OTHER SIGNS MUST BE PRE-APPROVED BY OWNER.
8. ALL DIMENSIONS ARE TO THE FACE OF CURB, EDGE OF PAVEMENT, FACE OF BUILDING OR PROJECT WORK LIMIT LINE UNLESS OTHERWISE NOTED.
9. WHERE SPECIFIC PORTIONS OF THESE PLANS & SPECIFICATIONS ARE IN CONFLICT WITH THE WISCONSIN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION, THESE PLANS & SPECIFICATIONS SHALL GOVERN.
10. CONTRACTOR TO COORDINATE WITH THE MUNICIPALITY FOR STREET EXCAVATION AND IS RESPONSIBLE FOR ANY PERMITTING ASSOCIATED WITH THE WORK, INCLUDING TRAFFIC CONTROL PLAN PREPARATION.

GRADING

1. THE CONTRACTOR SHALL GRADE LANDSCAPE AREAS TO ALLOW FOR PLACEMENT OF TOPSOIL, SEED, MULCH AND PLANTINGS BY LANDSCAPE CONTRACTOR PER THE LANDSCAPE SPECIFICATIONS AND PLANS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING PROPERTY CORNERS AND PERTINENT AREAS WITHIN ALL EASEMENTS.
3. THE BASE COURSE SHALL BE PLACED ONLY ON SUBGRADE THAT HAS BEEN PROOF-ROLLED.

PAVING

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING THE CRUSHED STONE BASE ON THE DRIVEWAY TO THE DEPTHS INDICATED.
2. BASE COURSE IN PROPOSED ASPHALT PAVEMENT AREAS SHALL BE IN ACCORDANCE WITH THE SITE PLAN AND THE TYPICAL PAVEMENT SECTION SHOWN ON THE DETAIL DRAWING.
3. PRIOR TO PLACING THE PAVEMENT, THE SURFACE OF THE CRUSHED STONE BASE COURSE SHALL BE GRADED TO PROPER ELEVATION AND COMPACTED.
4. PRIOR TO PLACING THE SURFACE COURSE, THE CONTRACTOR SHALL REMOVE ALL FOREIGN MATTER FROM THE SURFACE OF THE UPPER LAYER AND REPAIR, BY SAW CUTTING, REMOVAL AND REPLACEMENT, ANY DEPRESSION OR SIGNS OF FAILURE AND ALL SURFACE IRREGULARITIES AS DIRECTED BY THE ENGINEER. A TACK COAT SHALL BE APPLIED PRIOR TO PLACEMENT OF THE SURFACE COURSE.
5. AFTER COMPLETION OF THE SITE PAVING, THE CONTRACTOR SHALL PAINT THE PARKING LINES AS SHOWN ON THE PLANS.

SIDEWALK AND MISCELLANEOUS

1. ALL SURPLUS EXCAVATED MATERIAL SHALL BE REMOVED OFFSITE BY CONTRACTOR. CONTRACTOR TO COMPLY WITH LOCAL, STATE AND FEDERAL REGULATIONS.
2. INSTALL SIDEWALK IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS AND PLANS.

SANITARY SEWER

1. ALL SANITARY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS AND CITY OF MILWAUKEE STANDARDS. REFERENCES ARE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (CURRENT EDITION) AND REGULATIONS OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DSPS) (SPS 382) FOR PRIVATE DEVELOPMENT WORK.
2. ALL PIPE MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING: SEE CONTRACT SPECIFICATIONS FOR DETAILS.
 - A. SANITARY LATERAL- SECTION 33 30 00 FOR PVC PIPE, ASTM D3034, SDR 26.
3. ALL SANITARY PIPE JOINT CONNECTIONS SHALL BE PUSH-ON RUBBER GASKET.
4. ALL STRUCTURES SHALL CONFORM TO THE SECTION 33 44 20 OF THE PROJECT SPECIFICATIONS.
5. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL SANITARY PIPES AND STRUCTURES PRIOR TO ORDERING.

STORM SEWER

1. MAINTAIN PROPER STORMWATER DRAINAGE AT ALL TIMES DURING CONSTRUCTION.
2. ALL STORM SEWER PIPE MATERIAL SHALL CONFORM TO SECTION 33 40 00, WHILE ALL STORM STRUCTURES SHALL CONFORM TO SECTION 33 44 20 OF THE PROJECT SPECIFICATIONS.
3. STORM SEWER SHALL BE CONSTRUCTED PER PROJECT SPECIFICATIONS AND IN ACCORDANCE WITH THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND THE CITY OF MILWAUKEE.
4. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL STORM PIPES AND STRUCTURES PRIOR TO ORDERING.

WATER SERVICE

1. ALL WATER SERVICE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS AND CITY OF MILWAUKEE STANDARDS. REFERENCES ARE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, CURRENT EDITION AND REGULATIONS OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES (DSPS) (SPS 382) FOR PRIVATE DEVELOPMENT WORK.
2. ALL PIPE MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MILWAUKEE WATER WORKS SPECIFICATIONS AND INSTALLATION REQUIREMENTS AND THE FOLLOWING:
 - 2.1. WATER BRANCH - SPECIFICATION SECTION 33 10 00 FOR PVC PIPE, CLASS 235 (DR18), AWWA C900.
3. ALL WATER FITTINGS SHALL CONFORM TO SPECIFICATION SECTION 33 10 00. OFFSET FITTINGS SHALL BE MEGA-LUGS OR APPROVED CITY EQUAL.
4. CITY OWNED WATER VALVES SHALL BE FURNISHED AND INSTALLED BY MILWAUKEE WATER WORKS.

INDEX OF SHEETS

C001	-	GENERAL NOTES & LEGEND
C002	-	EXISTING CONDITIONS
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C111-112	-	EROSION CONTROL PLAN
C120-121	-	EROSION CONTROL DETAILS
C150	-	DEMOLITION PLAN
C200-C203	-	SITE PLAN
C210-212	-	SITE PLAN DETAILS
C300-C303	-	GRADING PLAN
C400	-	UTILITY PLAN
C500-502	-	CONSTRUCTION DETAILS

ADDITIONAL SHEETS BY OTHERS

*TOPOGRAPHIC MAP BY CHAPUT LAND SURVEYS.

UTILITY CONTACTS

CITY OF MILWAUKEE (SEWER):
ZAFAR YOUSUF
414-286-2467
841 N. BROADWAY - RM821
MILWAUKEE, WI 53202

CITY OF MILWAUKEE (STORMWATER):
KURT SPRANGERS, P.E.
414-286-0507
841 N. BROADWAY - RM820
MILWAUKEE, WI 53202

CITY OF MILWAUKEE (WATER):
THOMAS A. MOORE, P.E.
414-286-2421
841 N. BROADWAY
MILWAUKEE, WI 53202

CITY OF MILWAUKEE (CITY ENGINEER):
JERREL KRUSCHKE, P.E.
414-286-2400
841 N. BROADWAY
MILWAUKEE, WI 53202

HATCHING PATTERNS

	PROPOSED CONCRETE PAVEMENT / SIDEWALK / CURB AND GUTTER / SLAB
	LANDSCAPE (REFER TO TO LANDSCAPE PLANS)
	PROPOSED BUILDING
	BRICK PAVERS, REFER TO ARCHITECTURAL PLANS
	REMOVE EXISTING LANDSCAPE
	REMOVE EXISTING ASPHALT PAVEMENT
	REMOVE EXISTING CONCRETE PAD/PAVEMENT /SIDEWALKS/ CURB AND GUTTER
	REMOVE EXISTING GRAVEL
	HMA PAVEMENT
	STABILIZED CONSTRUCTION ENTRANCE / TRACKING PAD
	SEED AND EROSION MAT
	STAGING AND STOCKPILE AREA

ABBREVIATIONS

ADA	- AMERICANS WITH DISABILITIES ACT
AGG	- AGGREGATE
B/C	- BACK OF CURB
BIT	- BITUMINOUS/ASPHALT
BOC	- BACK OF CURB
CE	- COMMERCIAL ENTRANCE
CIP	- CAST IRON PIPE
CO	- CLEANOUT
CONC	- CONCRETE
CMP	- CORRUGATED METAL PIPE
CSP	- CONCRETE SEWER PIPE
CSM	- CERTIFIED MAP SURVEY
DIA	- DIAMETER
DIP	- DUCTILE IRON PIPE
EMD	- ELECTRICAL MANHOLE DRAIN
EXTG	- EXISTING
EOP	- EDGE OF PAVEMENT
F&C	- FRAME AND COVER
F/C	- FACE OF CURB
F-F	- FACE TO FACE
F/G	- FINISHED GRADE
FES	- FLARED END SECTION
INV	- INVERT
L	- LENGTH OF CURVE
LF	- LINEAR FT
LT	- LEFT
MEP	- MECHANICAL, ELECTRIC & PLUMBING
NG	- NATURAL GAS
OH	- OVERHEAD UTILITY
PC	- POINT OF CURVATURE
PE	- POLYETHYLENE PIPE
PI	- POINT OF INTERSECTION
PL	- PROPERTY LINE
PT	- POINT OF TANGENCY
PVC	- POLYVINYL CHLORIDE PIPE
PVI	- POINT OF VERTICAL INTERSECTION
R	- RADIUS
RCP	- REINFORCED CONCRETE PIPE
RIM	- TOP OF CASTING ELEVATION
ROW	- RIGHT OF WAY
RT	- RIGHT
SAN	- SANITARY SEWER
SS	- STORM SEWER
SD	- SUMP DISCHARGE
T/C	- TOP OF CURB
TW	- TOP OF WALL
UD	- UNDERDRAIN
VC	- VERTICAL CURVE
WDNR	- WISCONSIN DEPARTMENT OF NATURAL RESOURCES

LEGEND

EXISTING	PROPOSED	
		INDICATES FOUND 1" IRON PIPE
		INDICATES SET 1" IRON PIPE
		INDICATES FOUND CHISELED CROSS
		SANITARY MANHOLE
		CLEANOUT OR VENT
		M.I.S. MANHOLE
		UNKNOWN MANHOLE
		STORM MANHOLE
		INLET (ROUND)
		INLET (SQUARE)
		CURB INLET
		STORM SEWER END SECTION
		GAS VALVE
		GAS METER
		WATER VALVE
		HYDRANT
		WATER MANHOLE
		WATER SERVICE CURB STOP
		WELL HEAD
		STAND PIPE
		WALL INDICATOR VALVE
		POST INDICATOR VALVE
		LIGHT POLE
		SPOT/YARD LIGHT
		UTILITY POLE
		GUY POLE
		GUY WIRE
		ELECTRIC MANHOLE
		ELECTRIC PEDESTAL
		ELECTRIC METER
		TELEPHONE MANHOLE
		TELEPHONE PEDESTAL
		CABLE PEDESTAL
		CONTROL BOX
		FIBER OPTIC SIGN
		TRAFFIC LIGHT
		COMMUNICATION MANHOLE
		BOLLARD
		SOIL BORING/MONITORING WELL
		WATER SURFACE
		WETLANDS FLAG
		MARSH
		FLAGPOLE
		PARKING METER
		SIGN
		MAILBOX
		RAILROAD CROSSING SIGNAL
		HANDICAP SPACE
		CONIFEROUS TREE
		DECIDUOUS TREE
		CONTOUR
		ELEVATION CALL OUT
		CAUTION SYMBOL
		INLET PROTECTION
		REMOVE TREE
		SANITARY SEWER
		STORM SEWER
		WATERLINE
		UNDERGROUND GAS
		MARKED ELECTRIC
		OVERHEAD WIRES
		UNDERGROUND TELEPHONE
		UNDERGROUND CABLE TV LINE
		UNDERGROUND FIBER OPTIC FENCE
		REMOVE UTILITY LINE
		ABANDON UTILITY LINE
		SILT FENCE / FILTER SOCK
		SAWCUT PAVEMENT

NOTE:

THIS IS STANDARD LEGEND. NOT ALL OF THE INFORMATION SHOWN ON THIS LEGEND IS NEEDED IN THESE CONTRACT DRAWINGS.

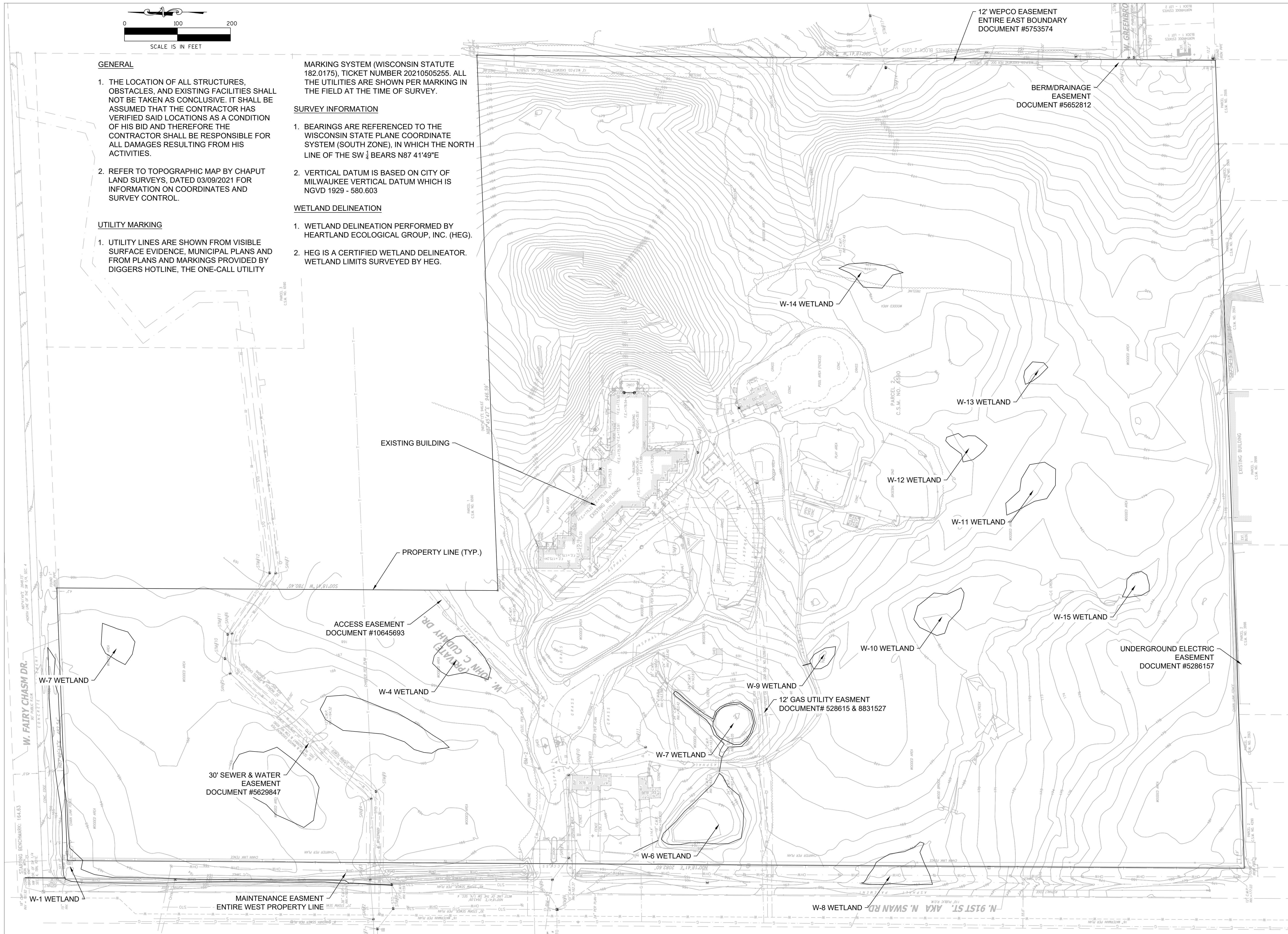
ISSUED FOR:		
DPD SUBMITTAL:	04-04-2025	
REVISION FOR:		
NO.	DESCRIPTION	DATE

DPD SUBMITTAL

DRAWN BY: RJT
CHECKED BY: APS

EXISTING CONDITIONS

C002



GENERAL

1. THE LOCATION OF ALL STRUCTURES, OBSTACLES, AND EXISTING FACILITIES SHALL NOT BE TAKEN AS CONCLUSIVE. IT SHALL BE ASSUMED THAT THE CONTRACTOR HAS VERIFIED SAID LOCATIONS AS A CONDITION OF HIS BID AND THEREFORE THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES RESULTING FROM HIS ACTIVITIES.
2. REFER TO TOPOGRAPHIC MAP BY CHAPUT LAND SURVEYS, DATED 03/09/2021 FOR INFORMATION ON COORDINATES AND SURVEY CONTROL.

UTILITY MARKING

1. UTILITY LINES ARE SHOWN FROM VISIBLE SURFACE EVIDENCE, MUNICIPAL PLANS AND FROM PLANS AND MARKINGS PROVIDED BY DIGGERS HOTLINE, THE ONE-CALL UTILITY

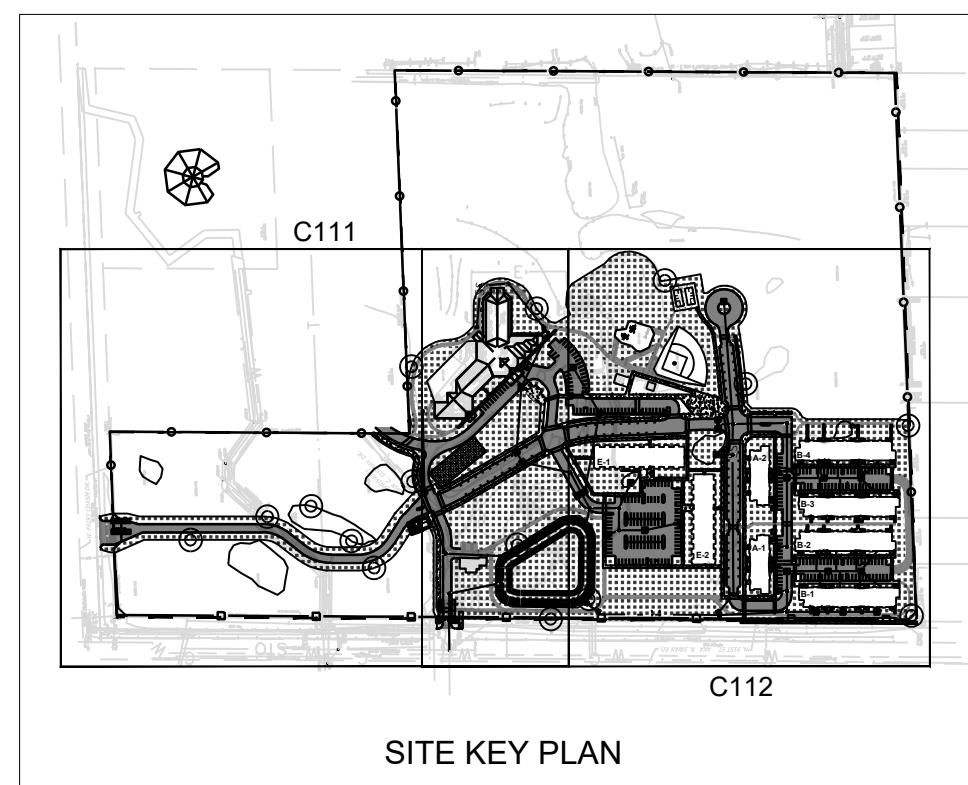
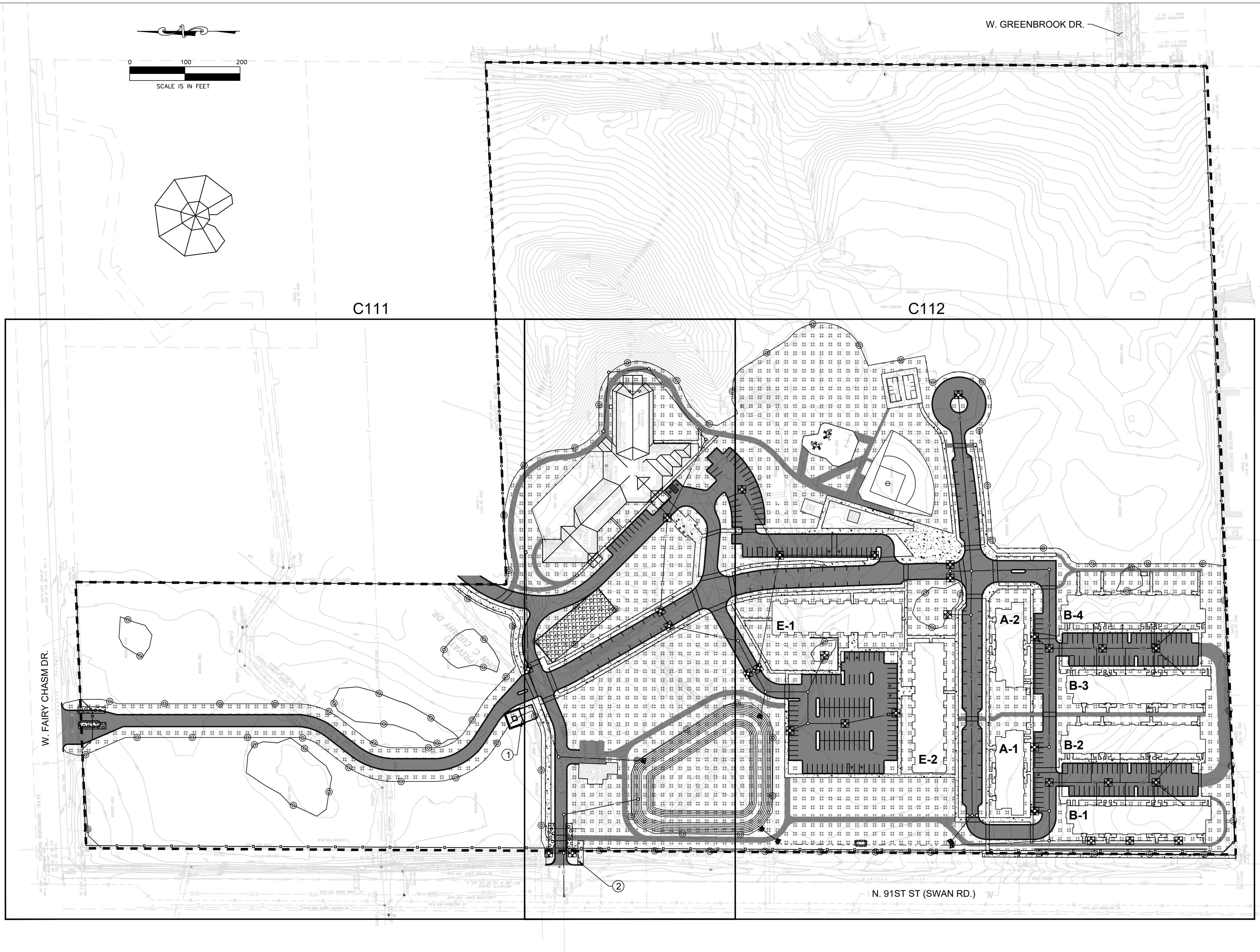
MARKING SYSTEM (WISCONSIN STATUTE 182.0175), TICKET NUMBER 20210505255. ALL THE UTILITIES ARE SHOWN PER MARKING IN THE FIELD AT THE TIME OF SURVEY.

SURVEY INFORMATION

1. BEARINGS ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM (SOUTH ZONE), IN WHICH THE NORTH LINE OF THE SW 1/4 BEARS N87 41'49"E
2. VERTICAL DATUM IS BASED ON CITY OF MILWAUKEE VERTICAL DATUM WHICH IS NGVD 1929 - 580.603

WETLAND DELINEATION

1. WETLAND DELINEATION PERFORMED BY HEARTLAND ECOLOGICAL GROUP, INC. (HEG).
2. HEG IS A CERTIFIED WETLAND DELINEATOR. WETLAND LIMITS SURVEYED BY HEG.



EROSION CONTROL NOTES

- CONSTRUCTION SITE EROSION CONTROL AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF MILWAUKEE AND EMPLOY EROSION CONTROL METHODS AS SHOWN IN THE DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS WHICH CAN BE FOUND AT:
http://dnr.wi.gov/topic/stormwater/standards/const_standards.html
- ALL EROSION CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
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- INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
- SILT FENCE SHALL BE INSTALLED IN HORSESHOE FASHION AROUND ALL TOPSOIL AND FILL STOCKPILES.
- ALL OFF-SITE SEDIMENT DEPOSITS FROM THIS PROJECT OCCURRING AS RESULT OF A STORM EVENT SHALL BE CLEANED UP BY END OF NEXT WORKING DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS RESULT OF CONSTRUCTION ACTIVITIES SHALL BE CLEANED UP BY END OF THE WORK DAY.
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 - PERFORM ROUGH GRADING.
 - INSTALL UTILITIES.
 - INSTALL INLET PROTECTION.
 - CONSTRUCT BUILDINGS.
 - INSTALL PAVEMENTS.
 - REMOVE ACCUMULATED SEDIMENT FROM SITE.
 - REMOVE EROSION CONTROL MEASURES ONLY WHEN SITE IS FULLY STABILIZED.
- ALL EXPOSED SOIL AREAS NOT DISTURBED FOR UP TO SEVEN DAYS MUST BE IMMEDIATELY RESTORED WITH SEED AND MULCH.
- IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15; STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER; STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
- RESTORATION OF ALL DISTURBED AREAS WITH SLOPES GREATER THAN 20% SHALL BE COMPLETED WITHIN 30 DAYS AFTER BEGINNING CONSTRUCTION ON SAID AREA.
- SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE CITY OF MILWAUKEE, OWNER OR ENGINEER. SEPARATE SWEEPED MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
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PLAN NOTES:

- CONCRETE WASH-OUT AREA (CWA), SEE DETAIL 3, SHEET C112

LEGEND

	SEED AND EROSION MAT		SILT FENCE/FILTER SOCK		HEAVY RIPRAP
	STOCKPILE AREA		PROPOSED GRADING CONTOURS		CULVERT PIPE DITCH CHECK
	STABILIZED CONSTRUCTION ENTRANCE		EXISTING GRADING CONTOURS		TREE PROTECTION, SEE LANDSCAPE PLAN FOR DETAILS
			INLET PROTECTION (SEE NOTE 17)		

CUDAHY FARMS - PHASE I

9050 N. Swan Rd.

Royal Capital Group
Cudahy Farms P1, LLC
710 N. Plankinton Ave., Suite 300
Milwaukee, WI.

PROJECT NUMBER 193051

ROYAL CAPITAL
A Venture & Holdings Company

ISSUED FOR:

DPD SUBMITTAL 04-04-2025

REVISION FOR:

NO. DESCRIPTION DATE

DPD SUBMITTAL

DRAWN BY RJT

CHECKED BY APS

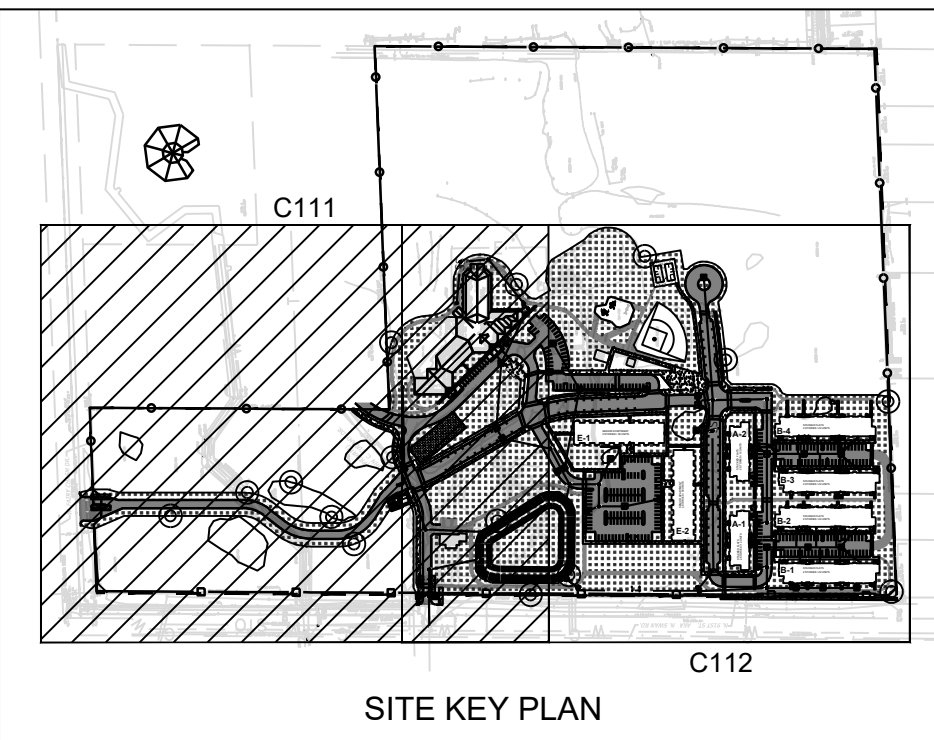
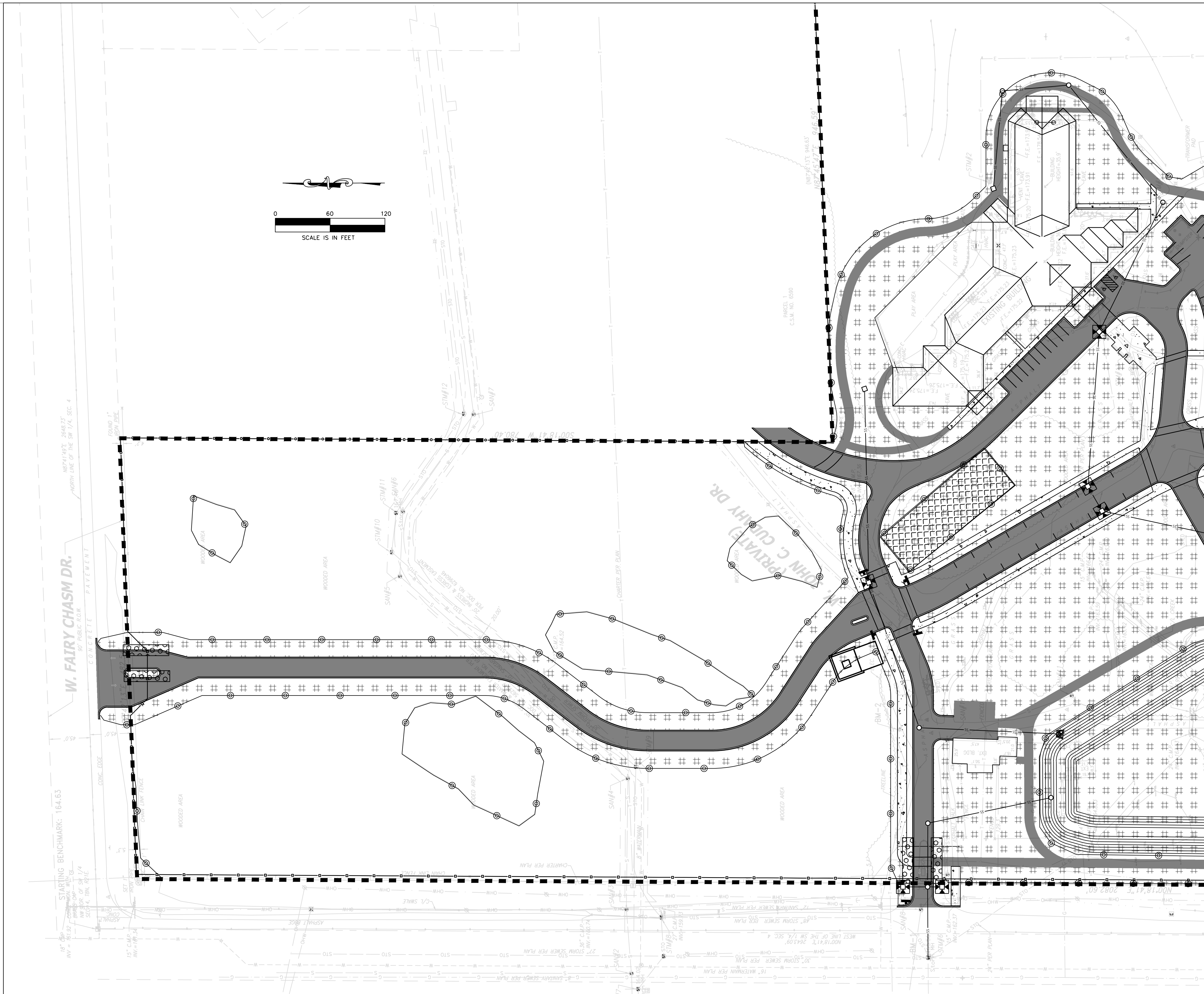
EROSION CONTROL PLAN

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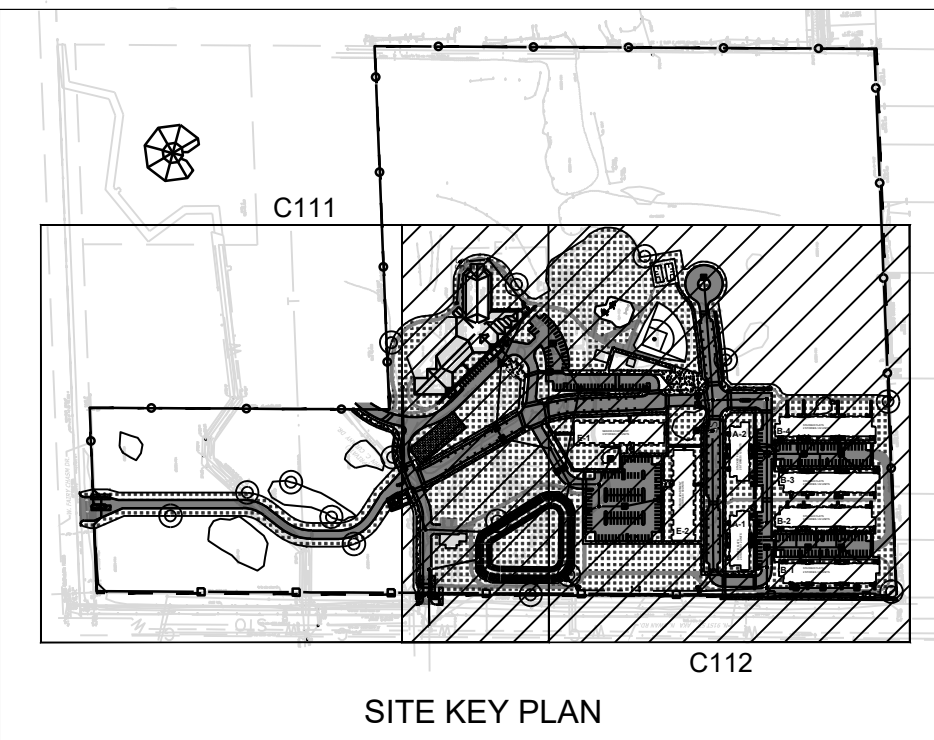
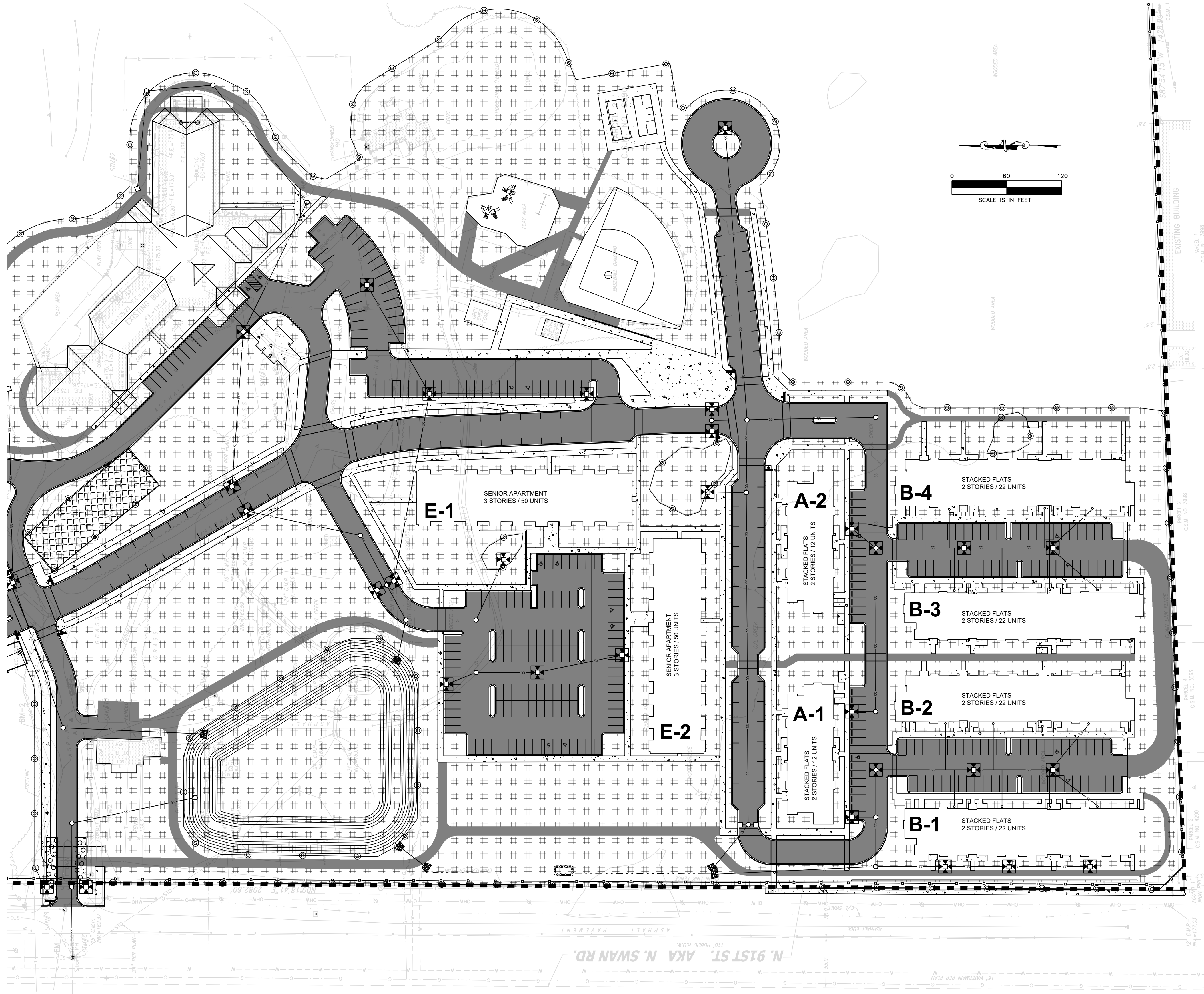
LEGEND	
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	580 PROPOSED GRADING CONTOURS
	580 EXISTING GRADING CONTOURS
	INLET PROTECTION (SEE NOTE 17) 1 C120
	HEAVY RIPRAP 1 C121
	CULVERT PIPE DITCH CHECK 4 C121
	TREE PROTECTION, SEE LANDSCAPE PLAN FOR DETAILS

EROSION CONTROL NOTES

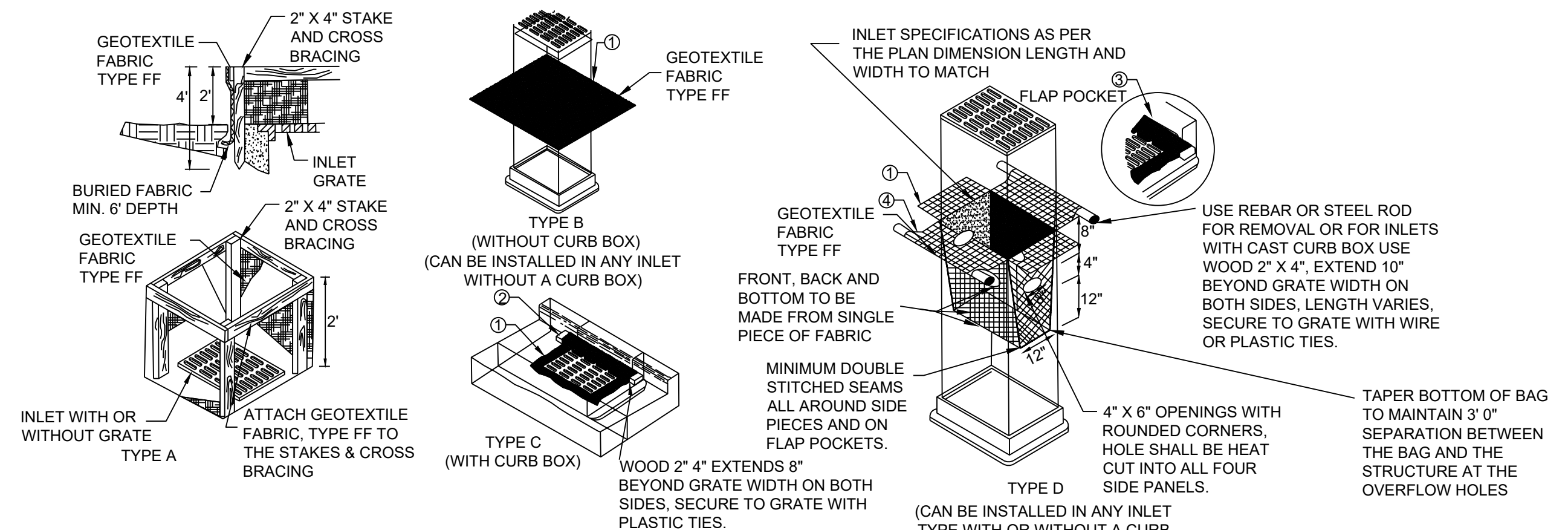
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PLAN NOTES:

- CONCRETE WASH-OUT AREA (CWA), SEE DETAIL 3, SHEET C112



LEGEND	
	SEED AND EROSION MAT (2) C120
	STOCKPILE AREA
	STABILIZED CONSTRUCTION ENTRANCE (3) C120
	SILT FENCE/FILTER SOCK (4) C120 (5) C120
	PROPOSED GRADING CONTOURS
	EXISTING GRADING CONTOURS
	INLET PROTECTION (SEE NOTE 17) (1) C120
	HEAVY RIPRAP (1) C121
	CULVERT PIPE DITCH CHECK (4) C121
	TREE PROTECTION, SEE LANDSCAPE PLAN FOR DETAILS

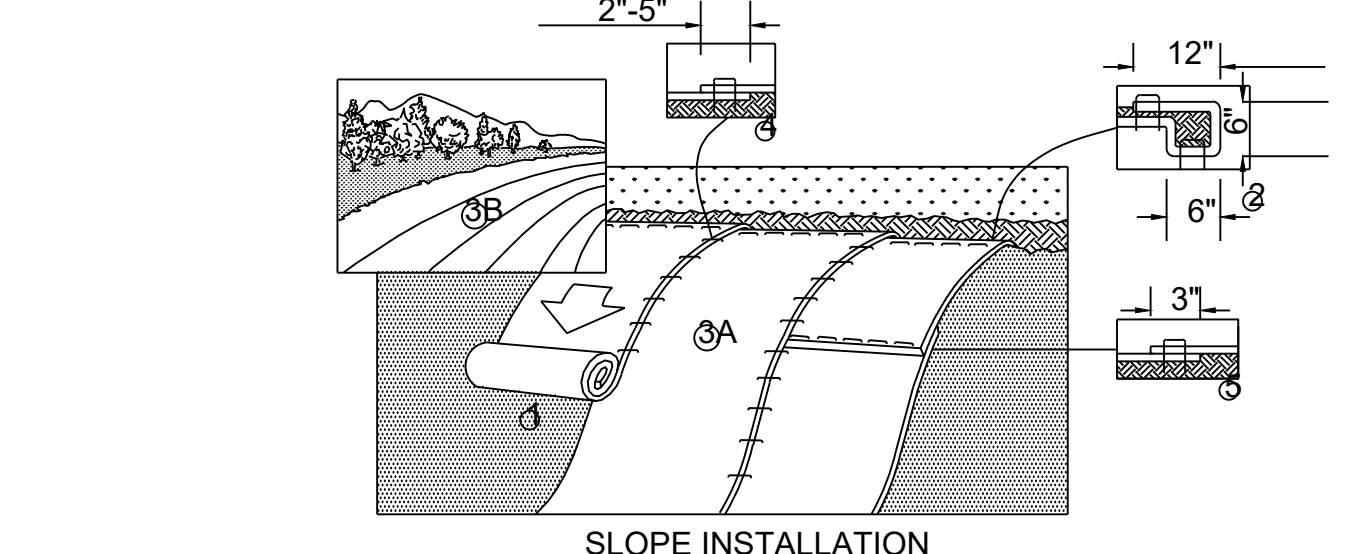


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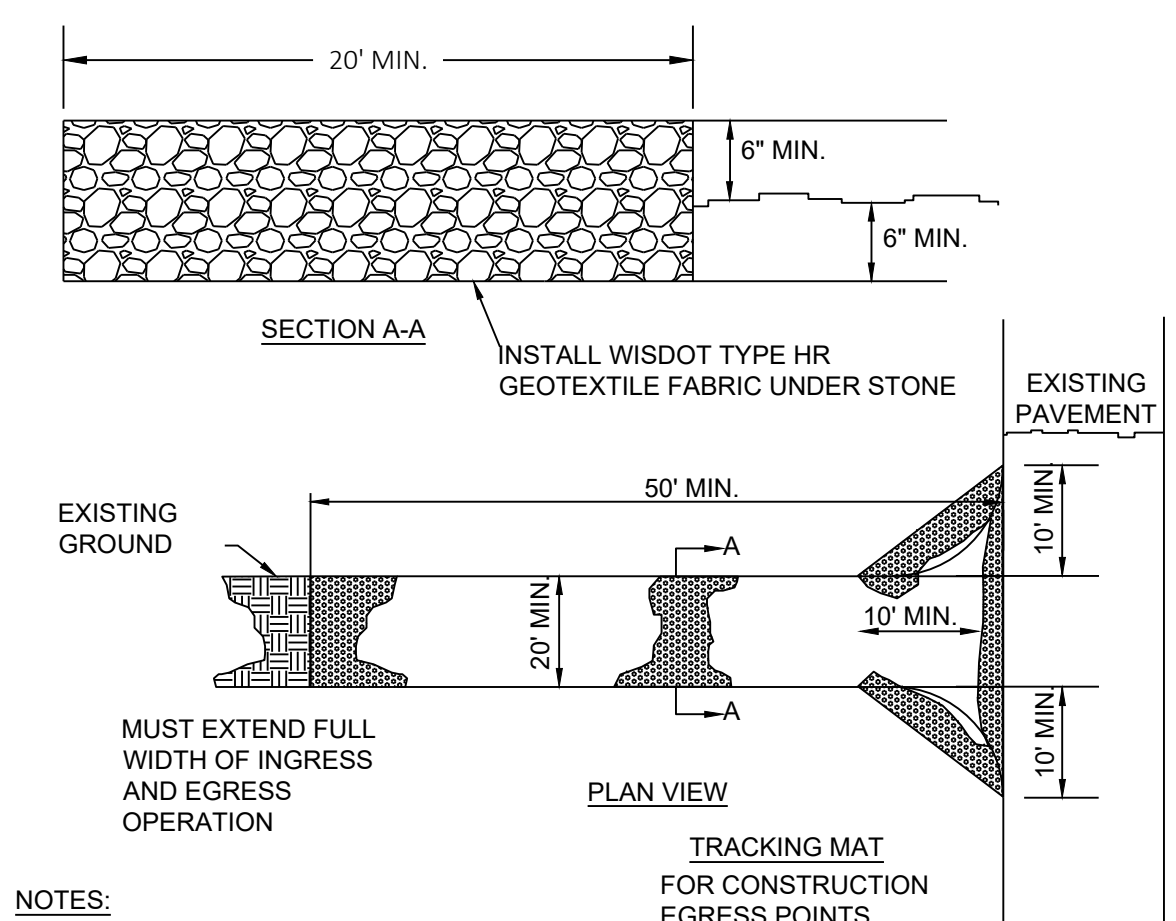
- FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- FOR INLET PROTECTION, TYPE C (WITH CURB BOX) AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB FACE OPENING.
- FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"x4". THE REBAR, STEEL PIPE OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.
- FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
- INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
- MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

INSTALLATION NOTES:

- TYPE B & C**
- TYPE FF GEOTEXTILE FABRIC (EXTEND FABRIC A MINIMUM OF 10' AROUND GRATE PERIMETER FOR MAINTENANCE OR REMOVAL).
 - THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
- TYPE D**
- DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30", MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
 - THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY THE CONTRACTOR SHALL CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT A MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" (15CM) DEEP X 6" (15CM) WIDE TRENCH WITH APPROXIMATELY 12" (30CM) OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30CM) PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30CM) APART ACROSS THE WIDTH OF THE BLANKET.
 - ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
 - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2'-5" (5CM-12.5CM) OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
 - CONSECUTIVE BLANKETS SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30CM) APART ACROSS ENTIRE BLANKET WIDTH.
- NOTES:**
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - DO NOT SCALE DRAWINGS.
 - IN LOOSE SOIL CONDITIONS THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15CM) MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

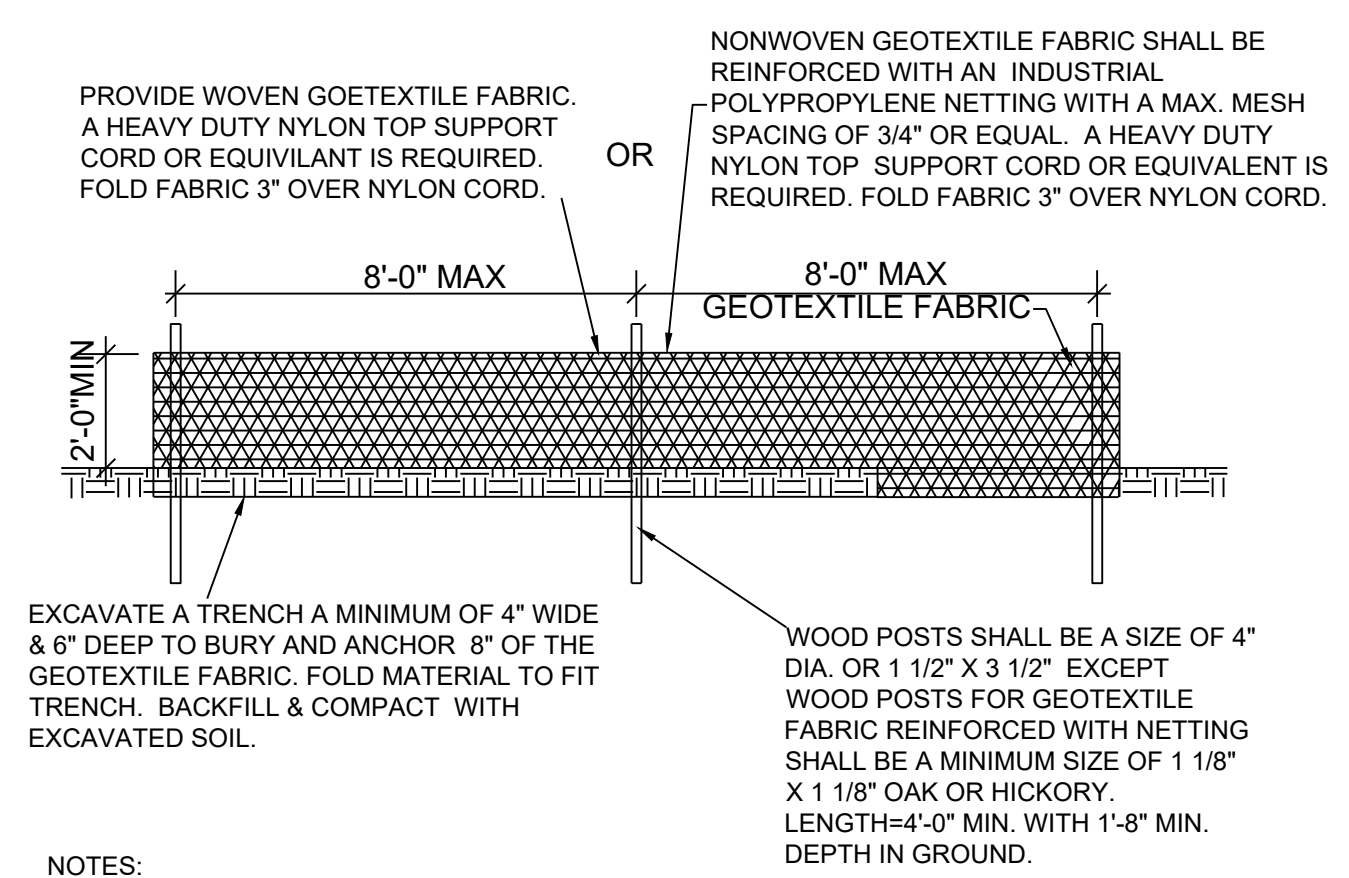


- NOTES:**
- TRACKING MATS SHALL BE INSPECTED DAILY. DEFICIENT AREAS SHALL BE REPAIRED OR REPLACED IMMEDIATELY.
 - STONE - CLEAR OR WASHED (3'-6" SHALL BE PLACED AT LEAST 12" DEEP OVER THE LENGTH AND WIDTH OF ENTRANCE).
 - SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" OF STONE OVER THE PIPE TO BE SIZED ACCORDING TO THE DRAINAGE. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE WILL NOT BE NECESSARY. PIPE SHOULD BE SIZED ACCORDING TO THE AMOUNT OF RUNOFF TO BE CONVEYED. A 6" MINIMUM WILL BE REQUIRED.
 - LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CONSTRUCTION ENTRANCE.

1 INLET PROTECTION
NTS
C120

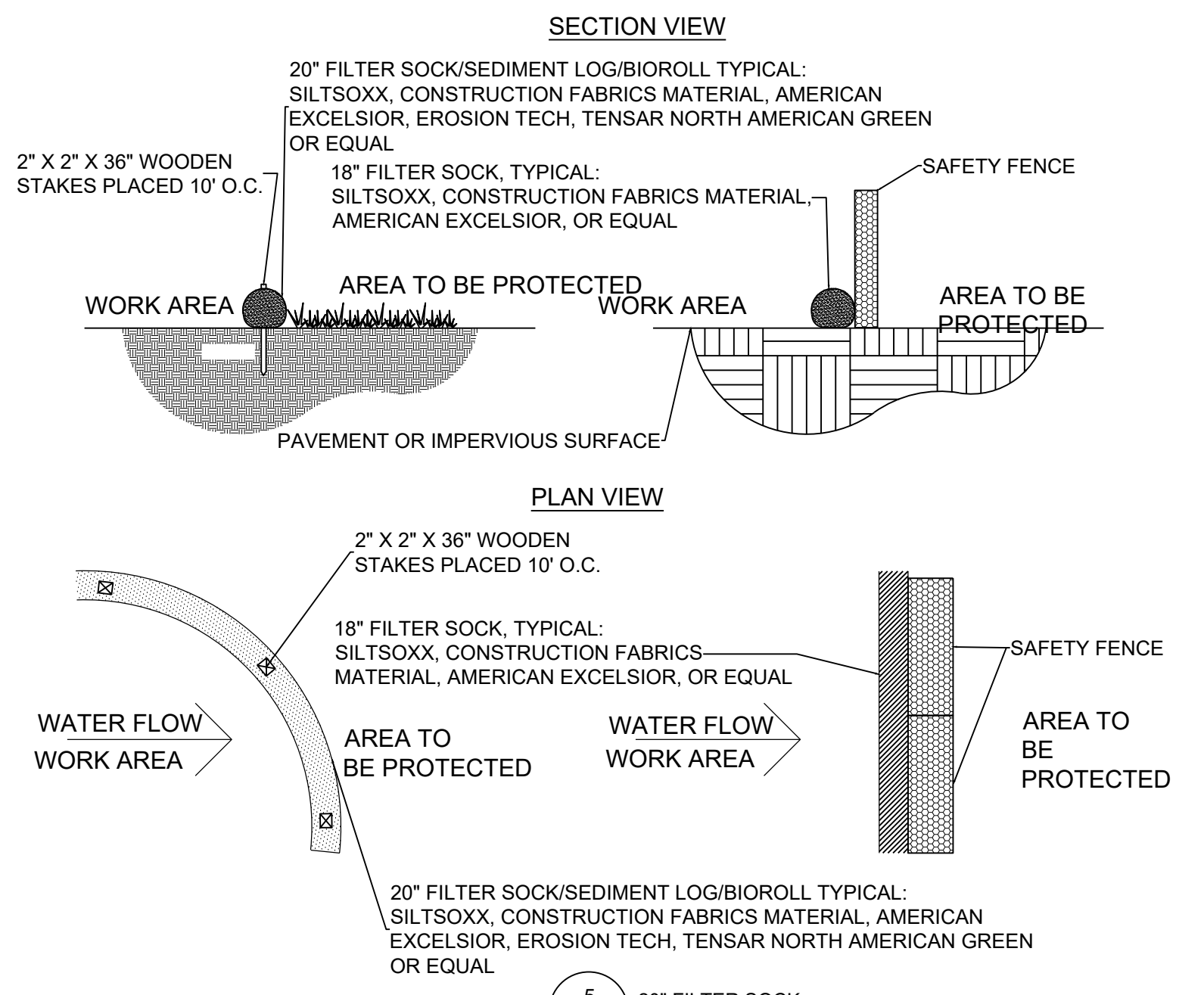
2 EROSION MAT INSTALLATION
NTS
C120

3 STABILIZED CONSTRUCTION ENTRANCE
NTS
C120



- NOTES:**
- CONTRACTOR SHALL INSPECT SILT FENCE DAILY AND REPAIR OR REPLACE AS NEEDED. SEDIMENT SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN DEPOSITS REACH 1/2 THE HEIGHT OF THE FENCE.
 - ATTACH THE FABRIC TO THE POSTS WITH WIRE STAPLES OR WOODEN LATH AND NAILS.

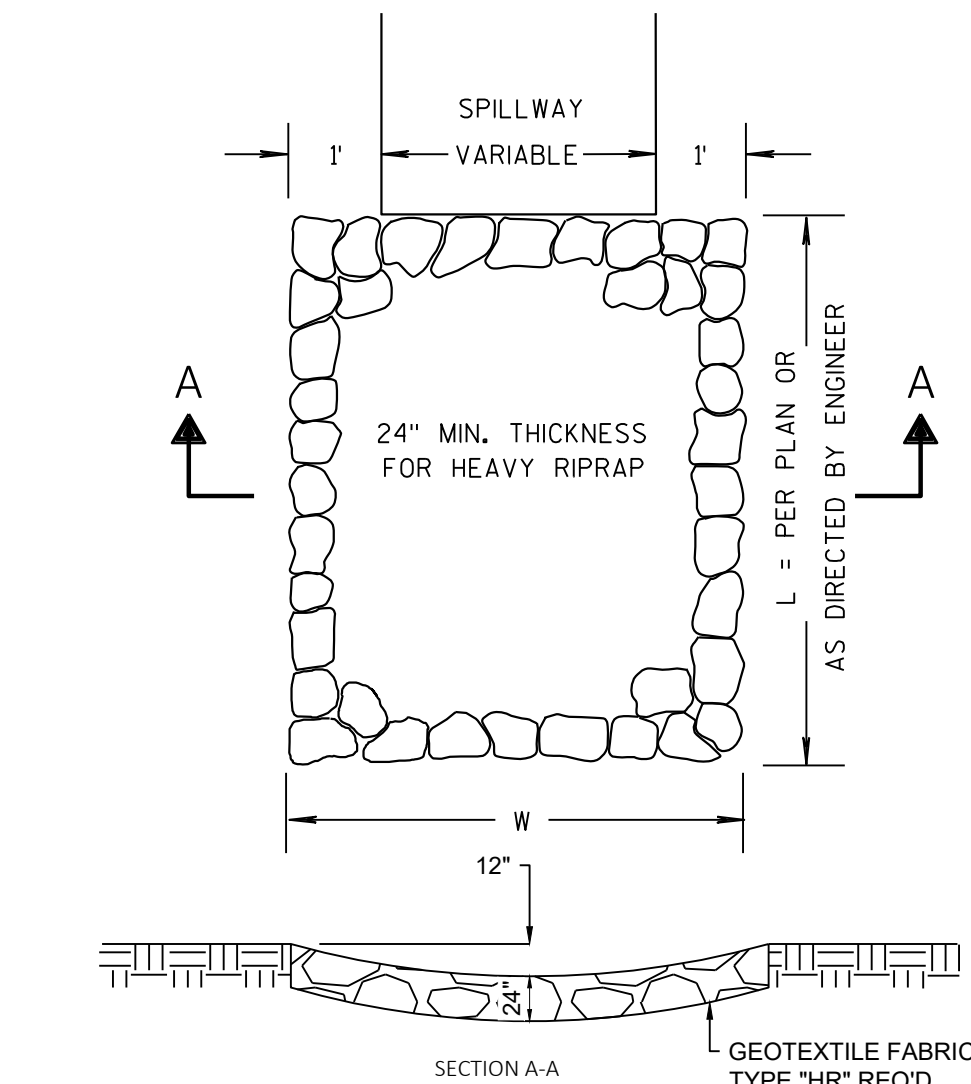
4 SILT FENCE
NTS
C120



5 20\"/>

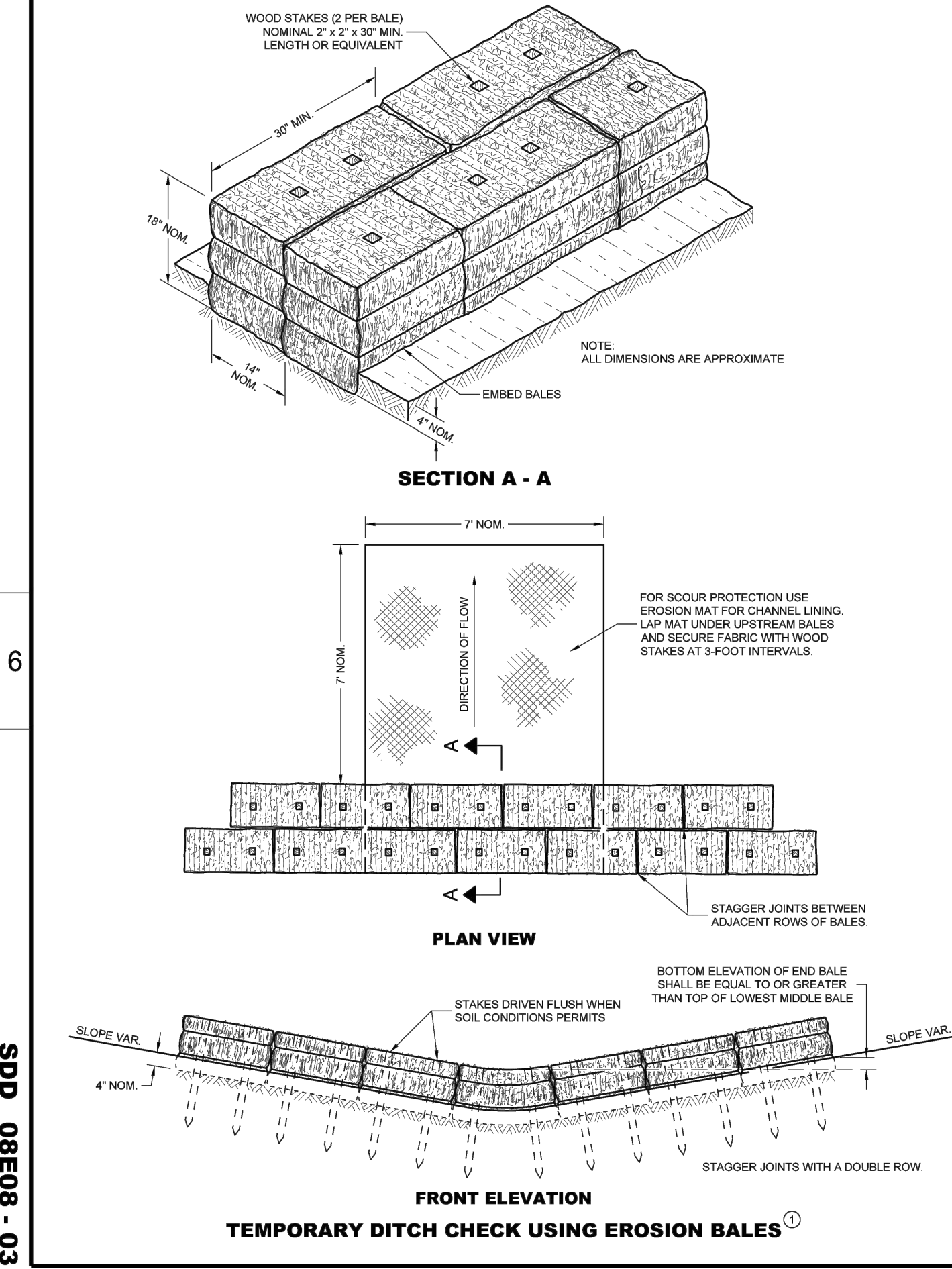
DPD SUBMITTAL

SDD 08E08 Typical Installations of Erosion Bales / Temporary Ditch Checks



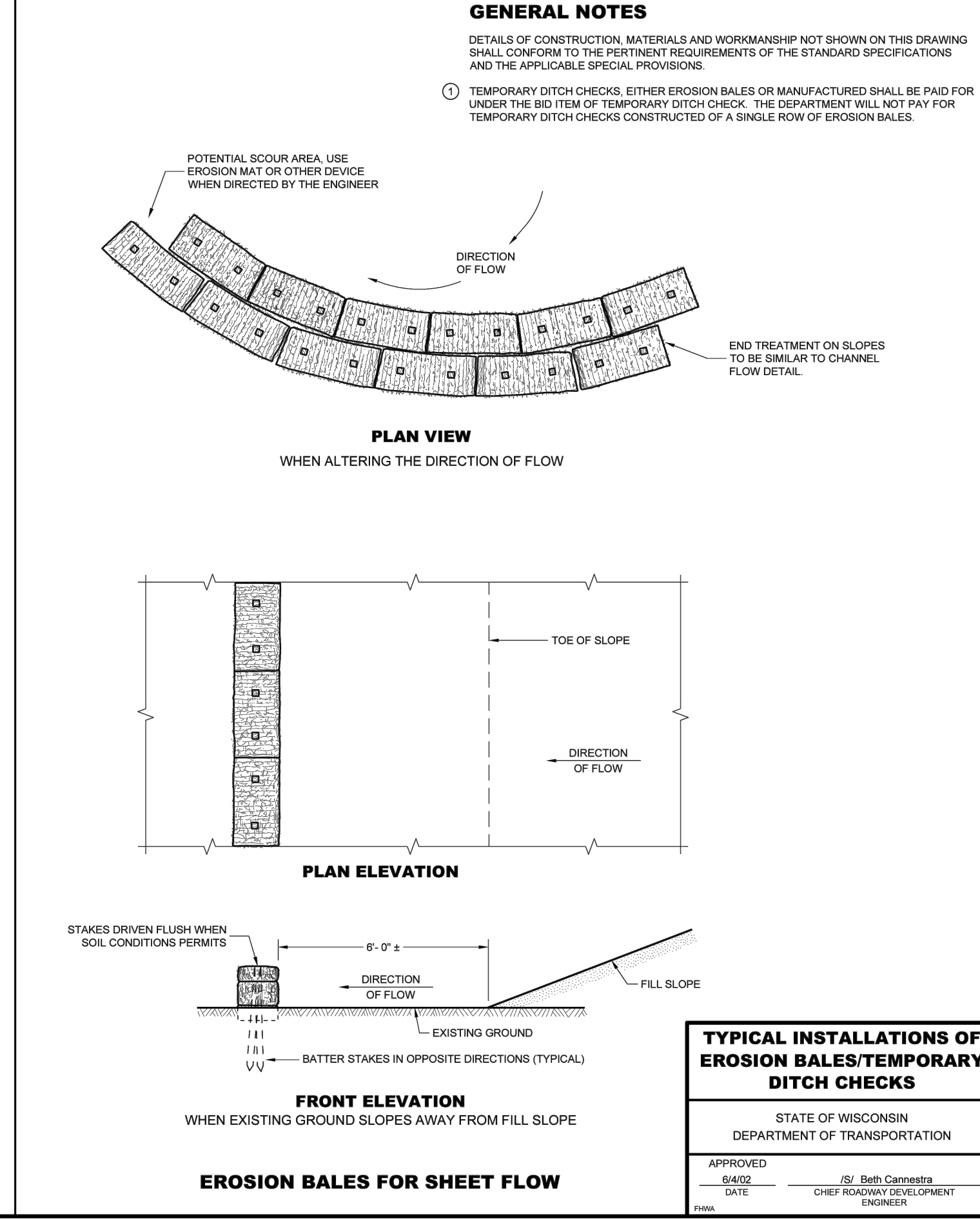
- NOTES:**
1. RIPRAP LIMITS SHALL EXTEND FROM APRON ENDWALL AND SWALE INVERT TO POND BOTTOM WHEN PIPE OR SWALE IS OUTLETTING TO POND

1
C121 RIPRAP HEAVY TREATMENT AT SPILLWAYS AND SWALE/PIPE OUTLETS
NTS



SDD 08E08 - 03

2
C121 DITCH CHECK DETAIL
NTS



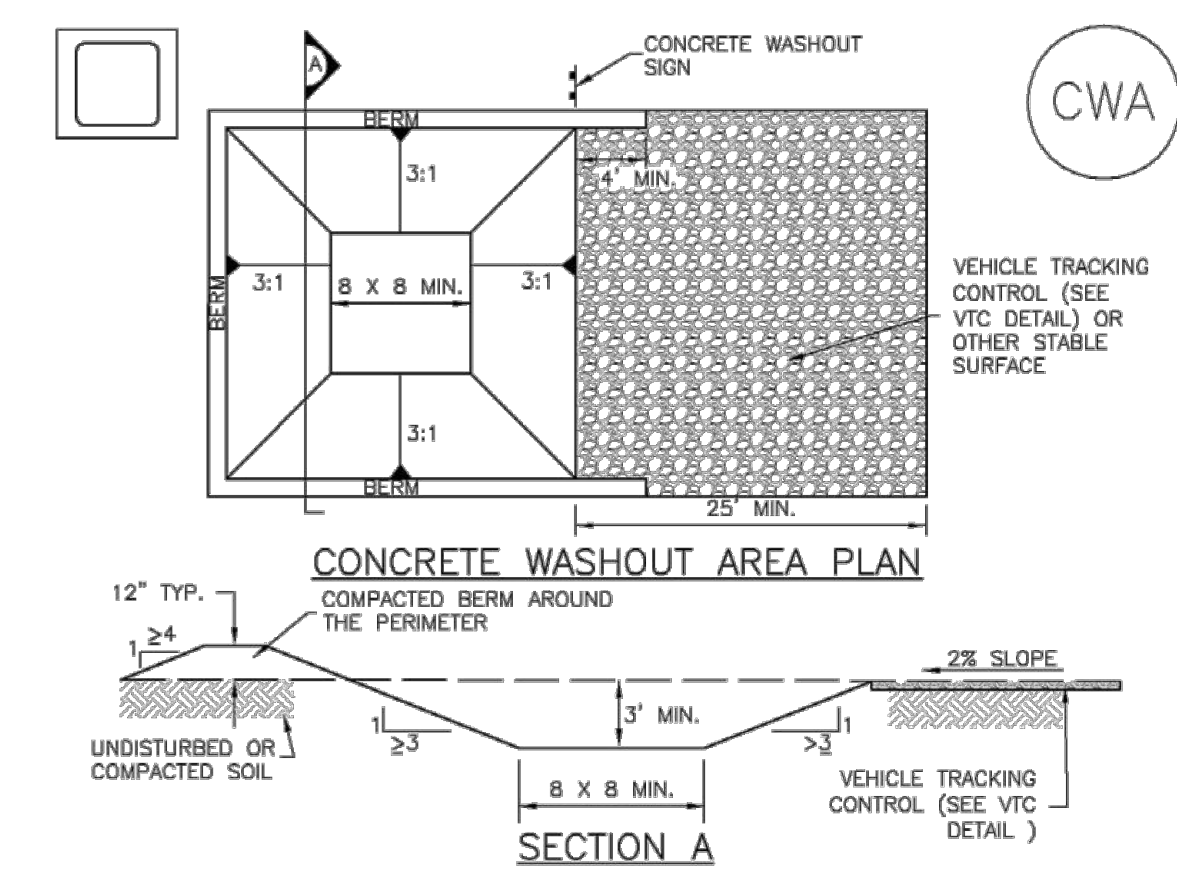
SDD 08E08 - 03

TYPICAL INSTALLATIONS OF EROSION BALES/TEMPORARY DITCH CHECKS

STATE OF WISCONSIN
DEPARTMENT OF TRANSPORTATION

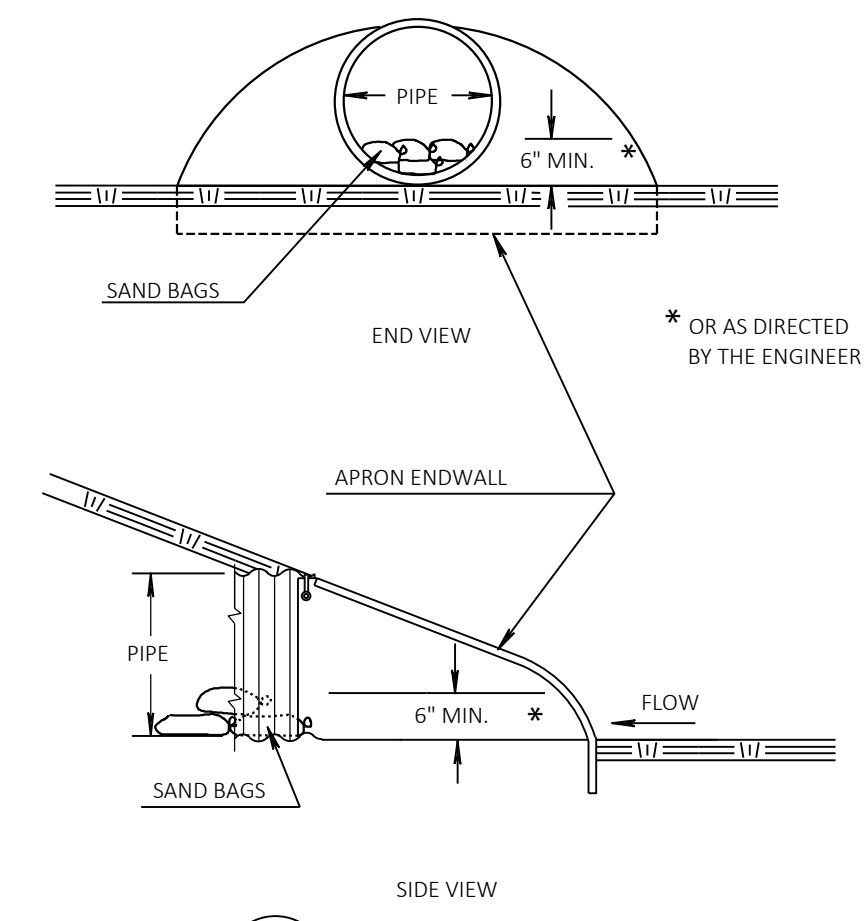
APPROVED: /s/ Beth Carnestras
DATE: _____ CHIEF ROADWAY DESIGNER/ENGINEER

Concrete Washout Area (CWA) MM-1



- CWA-1. CONCRETE WASHOUT AREA**
- CWA INSTALLATION NOTES**
1. SEE PLAN VIEW FOR: -CWA INSTALLATION LOCATION.
 2. DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1,000' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS INFEASIBLE, OR IF HIGHLY PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (16 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE SHOULD BE USED.
 3. THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
 4. CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8' SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3" DEEP.
 5. BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
 6. VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
 7. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
 8. USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

3
C121 CONCRETE WASH-OUT AREA (CWA)
NTS



4
C121 CULVERT PIPE DITCH CHECK
NTS

DPD SUBMITTAL

DRAWN BY RJT

CHECKED BY APS

EROSION CONTROL DETAILS

C121

CUDAHY FARMS - PHASE I

9050 N. Swan Rd.

Royal Capital Group
Cudahy Farms P1, LLC
710 N. Plankinton Ave., Suite 300
Milwaukee, WI.

PROJECT NUMBER 193051

ISSUED FOR:

DPD SUBMITTAL 04-04-2025

REVISION FOR:

NO. DESCRIPTION DATE

DPD SUBMITTAL

DRAWN BY RJT

CHECKED BY APS

DEMOLITION PLAN

C150

DEMOLITION GENERAL NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING, MAINTAINING, AND REPLACING EXISTING BENCHMARKS. CONTRACTOR SHALL BE RESPONSIBLE FOR TRANSFERRING BENCHMARKS, CONTROL POINTS, LINES AND GRADES TO THE PROJECT SITE AS NECESSARY TO COMPLETE WORK.
- EXISTING UTILITIES AND SITE FEATURES NOT MARKED FOR REMOVAL ON SHEETS C-150 SHALL BE PROTECTED AND REMAIN IN SERVICE DURING CONSTRUCTION. ENSURE PROPER SUPPORT OF EXISTING UTILITIES AT LOCATIONS WHERE EXISTING UTILITIES WILL BE EXPOSED.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS (VERTICALLY AND HORIZONTALLY) PRIOR TO CONSTRUCTION.
- ALL UTILITIES NOT INDICATED TO BE REMOVED/ABANDONED ARE CONSIDERED CRITICAL AND MUST BE MAINTAINED AND PROTECTED DURING CONSTRUCTION ACTIVITIES.
- DAMAGES TO UTILITIES RESULTING FROM CONSTRUCTION WORK AND EXCAVATION SHALL BE IMMEDIATELY REPORTED TO THE PROJECT REPRESENTATIVE, UTILITY OWNERS, AND CUDAHY YMCA STAFF. THE CONTRACTOR IS RESPONSIBLE FOR ALL WORK AND COSTS ASSOCIATED WITH CORRECTING THE DAMAGES.
- SITE FEATURES THAT ARE DETERMINED BY THE CONTRACTOR TO BE TEMPORARILY MOVED TO PROVIDE SUFFICIENT CLEARANCE FOR CONSTRUCTION ACTIVITIES SHALL BE REMOVED, SALVAGED AND REPLACED IN-KIND OR IN BETTER CONDITION UPON COMPLETION OF THE CONSTRUCTION WORK. COORDINATE SITE FEATURE TEMPORARY MOVE WITH PROJECT REPRESENTATIVE AND CUDAHY YMCA STAFF PRIOR TO STARTING THE WORK.
- ALL SITE RESTORATION SHALL BE TO THE LIMITS OF ACTUAL REMOVALS.
- SAWCUT EXISTING PAVEMENTS TO MAKE A FLUSH MATCH TO NEW PAVEMENTS.
- REMOVE AND REPLACE CONCRETE PAVEMENTS AND WALKS FROM JOINT-TO-JOINT.
- COORDINATE ALL UTILITY ABANDONMENT, REMOVALS, RELOCATIONS, SUPPORT AND REPLACEMENTS WITH EXISTING UTILITY OWNERS.
- CONTRACTOR SHALL REMOVE UTILITIES IF PREVIOUSLY ABANDONED AND ARE IN CONFLICT WITH PROPOSED CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN EXISTING STORM WATER DRAINAGE DURING CONSTRUCTION.
- ALL REMOVED ITEMS WILL BECOME PROPERTY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED.
- ANY ITEMS DAMAGED DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED TO THE PROJECT SPECIFICATIONS.
- STRIP AND SALVAGE TOPSOIL, AS NEEDED, FOR REUSE ON-SITE. DISPOSE OF ANY UNUSED STRIPPED TOPSOIL OFF SITE IN ACCORDANCE WITH THE SPECIFICATIONS.

PLAN NOTES: ○

- DEMOLITION REQUIRED IN RIGHT-OF-WAY TO CONSTRUCT UTILITY CONNECTIONS. RESTORATION SHALL BE TO CITY OF MILWAUKEE STANDARDS AND SHALL FOLLOW CITY PERMITTING REQUIREMENTS. TRAFFIC CONTROL PLAN TO BE SUBMITTED BY CONTRACTOR FOR WORK WITHIN THE RIGHT-OF-WAY

LEGEND


 REMOVE EXISTING ASPHALTIC SURFACE

 REMOVE EXISTING CONCRETE SURFACE

 CLEAR AND GRUB

 DRAIN & FILL EXISTING POND

 REMOVE EXISTING BUILDING

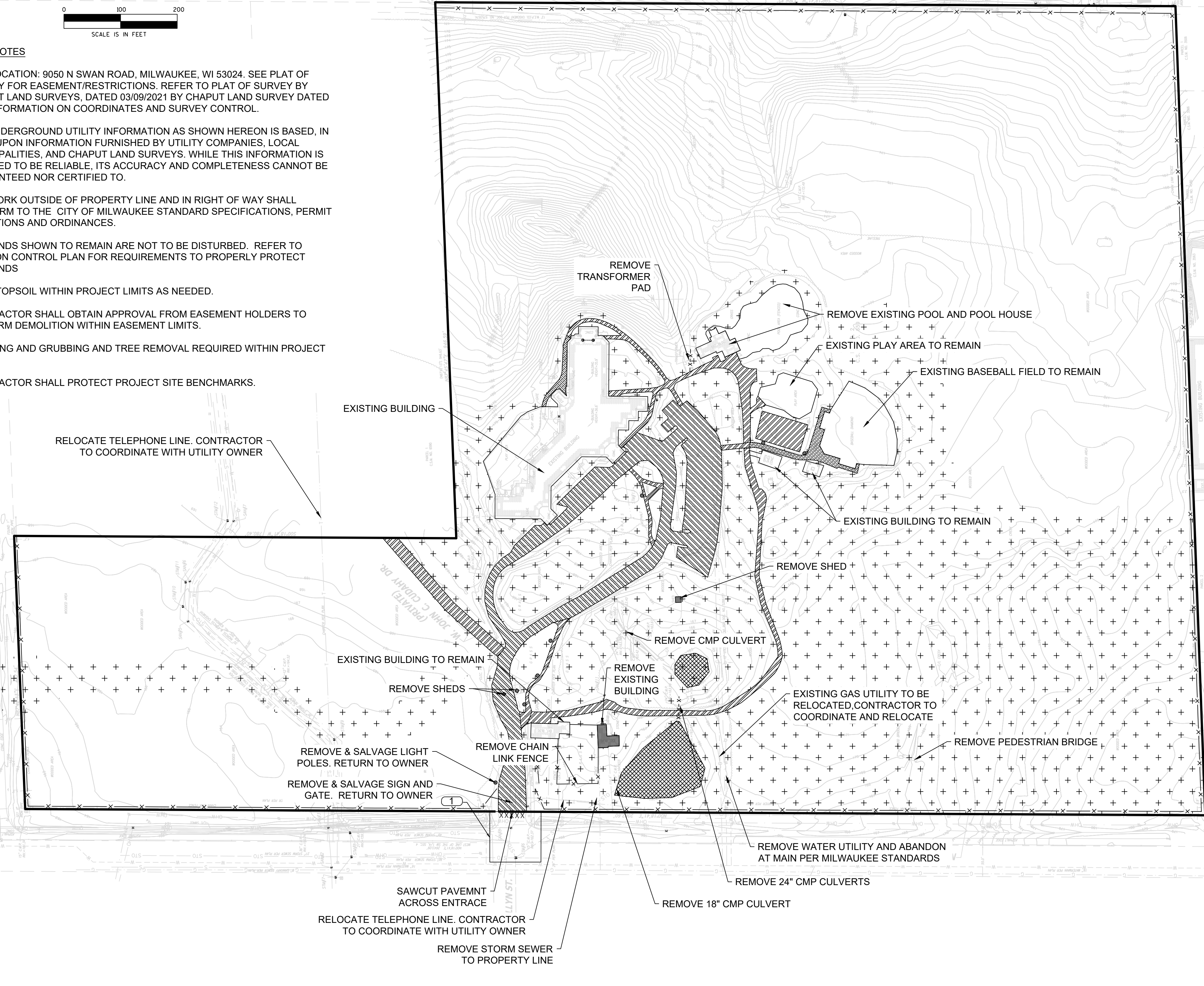
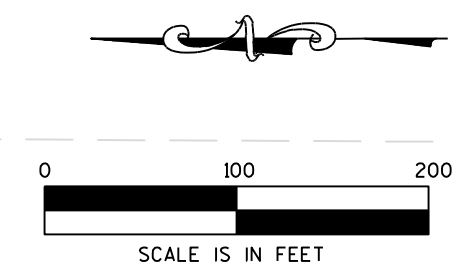
 REMOVE EXISTING STREET LIGHT (SEE NOTES)

 SAWCUT PAVEMENT

 REMOVE CHAIN LINK FENCE

GENERAL NOTES

- SITE LOCATION: 9050 N SWAN ROAD, MILWAUKEE, WI 53024. SEE PLAT OF SURVEY FOR EASEMENT/RESTRICTIONS. REFER TO PLAT OF SURVEY BY CHAPUT LAND SURVEYS, DATED 03/09/2021 BY CHAPUT LAND SURVEY DATED FOR INFORMATION ON COORDINATES AND SURVEY CONTROL.
- THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES, LOCAL MUNICIPALITIES, AND CHAPUT LAND SURVEYS. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
- ANY WORK OUTSIDE OF PROPERTY LINE AND IN RIGHT OF WAY SHALL CONFORM TO THE CITY OF MILWAUKEE STANDARD SPECIFICATIONS, PERMIT CONDITIONS AND ORDINANCES.
- WETLANDS SHOWN TO REMAIN ARE NOT TO BE DISTURBED. REFER TO EROSION CONTROL PLAN FOR REQUIREMENTS TO PROPERLY PROTECT WETLANDS
- STRIP TOPSOIL WITHIN PROJECT LIMITS AS NEEDED.
- CONTRACTOR SHALL OBTAIN APPROVAL FROM EASEMENT HOLDERS TO PERFORM DEMOLITION WITHIN EASEMENT LIMITS.
- CLEARING AND GRUBBING AND TREE REMOVAL REQUIRED WITHIN PROJECT LIMITS.
- CONTRACTOR SHALL PROTECT PROJECT SITE BENCHMARKS.



RELOCATE TELEPHONE LINE. CONTRACTOR TO COORDINATE WITH UTILITY OWNER

SAWCUT PAVEMNT ACROSS ENTRANCE
RELOCATE TELEPHONE LINE. CONTRACTOR TO COORDINATE WITH UTILITY OWNER
REMOVE STORM SEWER TO PROPERTY LINE

REMOVE & SALVAGE LIGHT POLES. RETURN TO OWNER
REMOVE & SALVAGE SIGN AND GATE. RETURN TO OWNER
REMOVE CHAIN LINK FENCE