

# BLOCK 7 - PARKING STRUCTURE

1215 NORTH 5th STREET MILWAUKEE, WI 53203

## DETAILED PLAN DEVELOPMENT SET



**GRÄEF**

**AMERICAN DESIGN  
INCORPORATED**  
Architectural Services

**HNTB**

**KAPUR**

**WALKER**  
PARKING CONSULTANTS





**SIGNIFICANT COMMUNITY FACILITIES:**

- A. BMO HARRIS BRADLEY CENTER
- B. UW MILWAUKEE PANTHER ARENA
- C. PARKING GARAGE
- D. MILWAUKEE THEATER
- E. MILWAUKEE AREA TECHNICAL COLLEGE

- F. POLICE ADMINISTRATION BUILDINGS
- G. TRINITY LUTHERAN CHURCH
- H. ZILBER PARK / UWM SCHOOL OF PUBLIC HEALTH
- I. BOYS & GIRLS CLUB OF GREATER MILWAUKEE
- J. HAYMARKET SQUARE PARK

- K. DR. MARTIN LUTHER KING DRIVE / OLD WORLD THIRD ST.
- L. PERE MARQUETTE PARK
- M. TURNER HALL

CONSULTANT: █

PROJECT TITLE: █  
**BLOCK 7  
 PARKING STRUCTURE**  
 1215 NORTH 5th STREET MILWAUKEE, WI  
 53203

PROJECT STATUS: █

**DETAILED PLAN  
 DEVELOPMENT SET**

REVISIONS:  
 NUMBER DATE DESC

SHEET INFORMATION: █  
 PROJECT NUMBER: 20150777  
 DATE: 5/9/2016  
 DRAWN BY: BLM  
 CHECKED BY: JG  
 APPROVED BY: DLH  
 SCALE: AS NOTED

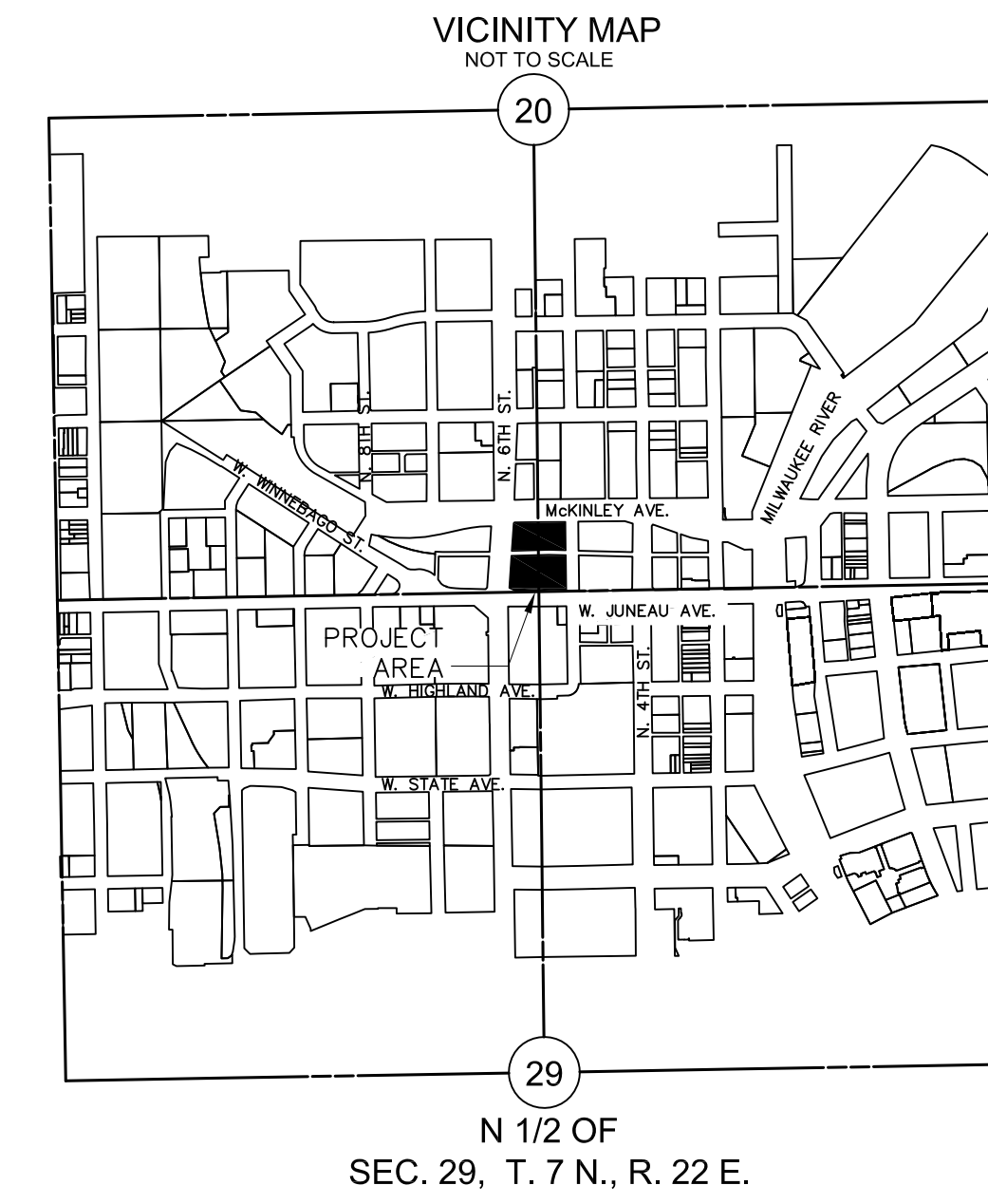
SHEET TITLE: █  
**VICINITY MAP**

SHEET NUMBER: █  
**B**  
 © 2014 GRAEF █

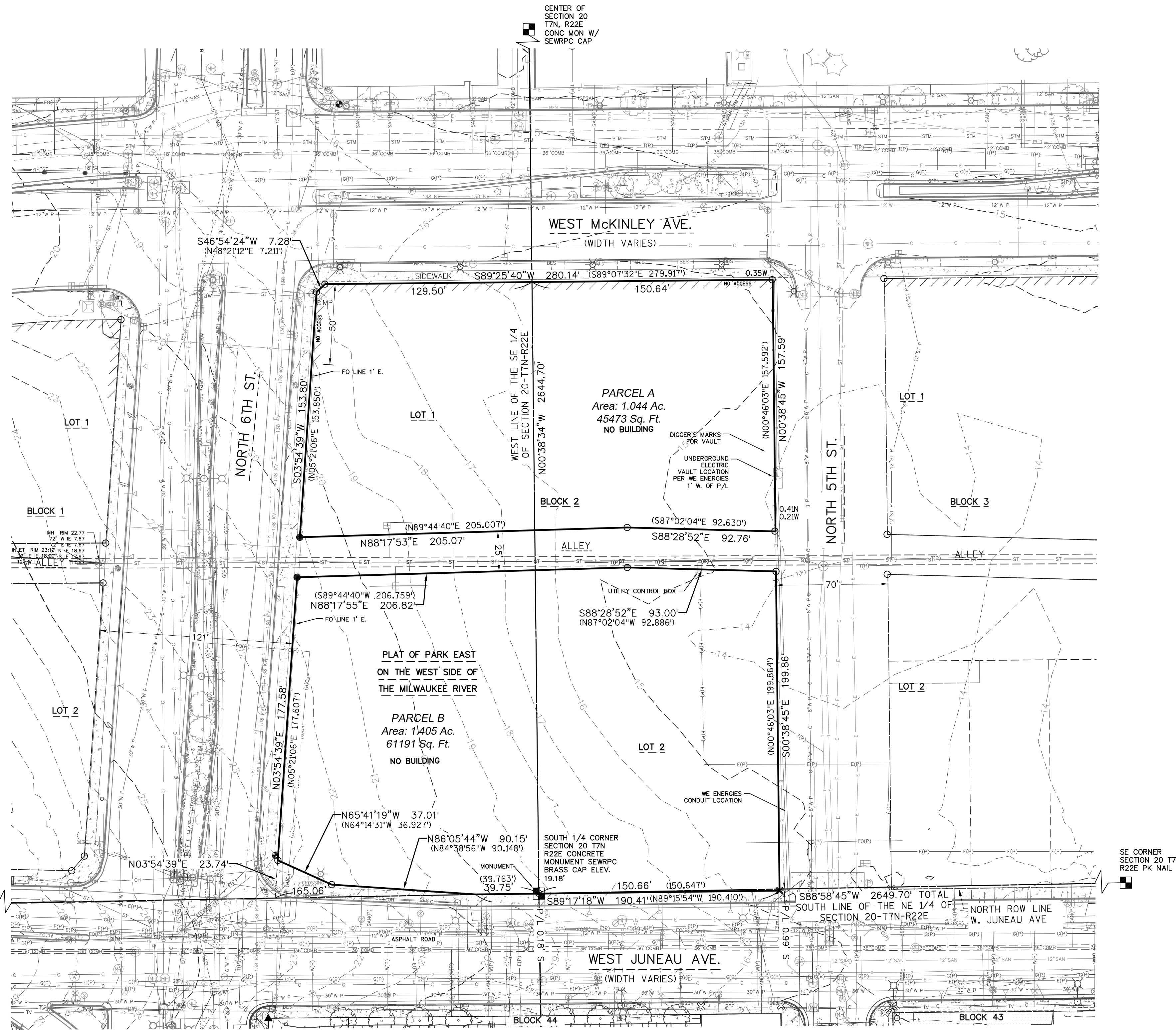


# PLAT OF SURVEY

BEING A PART OF THE SW 1/4 OF THE SE 1/4 AND THE SE 1/4 OF THE SW 1/4 OF SECTION 20, AND THE NW 1/4 OF THE NE 1/4 OF SECTION 29, ALL IN TOWN 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.



N 1/2 OF  
SEC. 29, T. 7 N., R. 22 E.



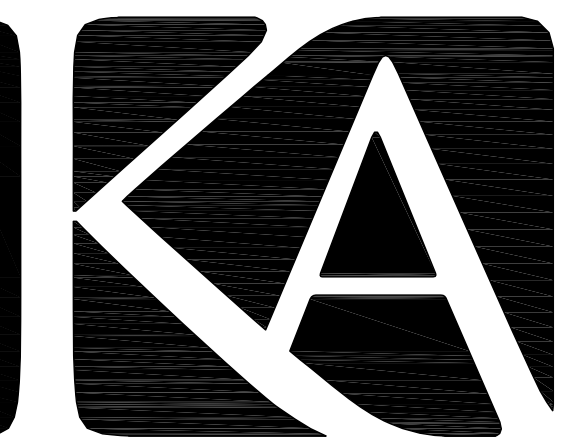
### NOTES

- All distances shown are ground measured distances.
- Grid to ground scale factor per SEWRPC is 0.99992542.
- All Lines Utility Services, LLC visited site and found no existing utilities.
- Title to the estate or interest in the land is at the Effective Date vested in: Milwaukee County.
- This survey was prepared based on Chicago Title Insurance Company Commitment For Title Insurance, Commitment No. CO-3559, Revision C, effective date January 7, 2016.

Note  
Underground Utilities Located by:  
**DIGGERS' HOTLINE**

Toll Free (800)242-8511  
Milwaukee Area (414)259-1891  
Hearing Impaired TDD (800)542-2289  
www.DiggersHotline.com  
REGISTERS HOTLINE TICKETS  
20152613473, 20152613494, 20152613523, 20152613528,  
20152613556, 20152613566, 20152613598, 20152613606,  
20152613669, 20152613674, 20152613748, 20152613752,  
20152613776, 20152613784

HORIZONTAL DATUM IS THE WISCONSIN STATE PLANE COORDINATE SYSTEM SOUTH ZONE NAD83. NORTH IS REFERENCED TO THE S. LINE OF THE SE 1/4 OF SECTION 20-7-22 PUBLISHED BY SEWRPC AS N88°58'45"E.  
VERTICAL DATUM IS CITY OF MILWAUKEE DATUM. BENCHMARK IS THE MONUMENT FOR THE N 1/4 CORNER OF SECTION 20-17N-R22E. ELEV = 19.18'



**KAPUR & ASSOCIATES, INC.**  
CONSULTING ENGINEERS  
7711 N. PORT WASHINGTON ROAD  
MILWAUKEE, WISCONSIN 53217  
Phone: 414.351.6668 Fax: 414.351.4117  
www.kapurengineers.com

PROJECT:  
**BLOCK 7  
PDD**

LOCATION:  
**MILWAUKEE,  
WISCONSIN**

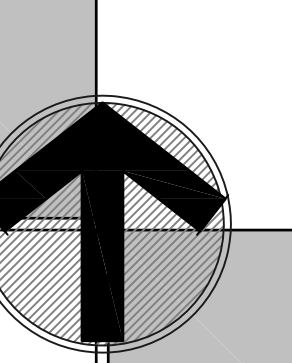
CLIENT:  
**MILWAUKEE  
BUCKS, LLC**

RELEASE:  
**FINAL**

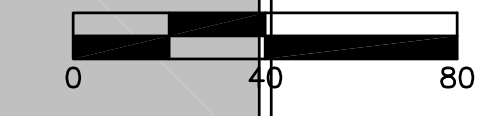
### REVISIONS:

#	DATE	DESCRIPTION

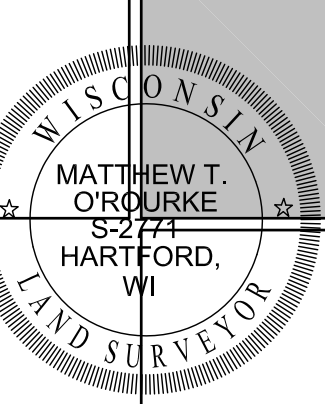
### NORTH ARROW:



SCALE: 1" = 40'



### SEAL:



### SHEET:

**PLAT OF SURVEY  
WITH TOPOGRAPHY**

DESIGNED BY: MO  
DRAWN BY: IM  
CHECKED BY: GS  
APPROVED BY: MO  
PROJECT NUMBER: 160067

SHEET NUMBER:

**C**

### LEGEND

- ⊕ = BENCH MARK
- △ = CONTROL POINT
- ⊗ = CHISELED MARK FOUND
- ✂ = CUT CROSS SET
- = FOUND REBAR OR MONUMENTATION AS NOTED
- = 1-1/4" O.D. x 24" LONG. IRON PIPE SET, WEIGHING 1.68 LBS./FT.
- = SECTION CORNER MON.
- ▲ = FOUND MAG./PK
- ▲ = SET MAG NAIL
- (R.A.) = RECORDED AS
- ⊗ = WATER VALVE
- ⊗ = FIRE HYDRANT
- ⊗ = SOIL BORING
- 970.90 = SPOT ELEVATION
- ⊗ = BUSH, SHRUB
- = POLE/POST/BOLLARD
- = BOULDER
- ⊗ = WINDMILL
- ⊗ = PULLBOX
- ⊗ = MANHOLE TYPE NOTED
- ⊗ = SANITARY SEWER MANHOLE
- ⊗ = STORM SEWER MANHOLE
- ⊗ = TELEPHONE MANHOLE
- ⊗ = ELECTRIC MANHOLE
- ⊗ = WATER MANHOLE
- ⊗ = UTILITY METER
- ⊗ = SPRINKLER
- ⊗ = GUY WIRE POLE
- ⊗ = LIGHT POLE
- ⊗ = PEDESTAL
- ⊗ = POWER POLE
- ⊗ = POWER/LIGHT POLE
- ⊗ = TRAFFIC SIGNAL
- ⊗ = CURB STOP
- ⊗ = INLET
- ⊗ = CURB INLET
- ⊗ = GAS VALVE
- ⊗ = LIGHT POLE WITH MAST
- ⊗ = TREE (CONIFEROUS) DRIP LINE SCALABLE
- ⊗ = TREE (DECIDUOUS) DRIP LINE SCALABLE
- ⊗ = TREE STUMP
- ⊗ = CLEANOUT
- ⊗ = FLAG POLE
- ⊗ = WELL
- ⊗ = MONITORING WELL
- ⊗ = SIGN ON POST
- ⊗ = PARKING METER
- ⊗ = UTILITY CONTROL BOX
- ⊗ = UNKNOWN UTILITY VALVE
- FL. EL. = FIRST FLOOR ELEVATION
- ▭ = BUILDING OUTLINE
- 3 --- = MINOR CONTOUR
- 5 --- = MAJOR CONTOUR
- --- = FENCE
- --- = BEAM GUARD
- --- = CHAINLINK FENCE
- --- = WOODED AREA/SHRUB EDGE
- --- = WATER MAIN
- --- = STORM SEWER
- --- = SANITARY SEWER
- --- = COMBINED SEWER
- --- = NATURAL GAS MAIN
- --- = UNDERGROUND TELEPHONE
- --- = UNDERGROUND ELECTRIC
- --- = OVERHEAD UTILITY LINES
- --- = UNDERGROUND FIBER OPTIC
- --- = UNDERGROUND CABLE TV
- --- = BUREAU OF ELEC. SERV. CI. MIL.
- --- = STEAM LINE
- --- = COMMUNICATION CONDUIT
- (P) IN LINE STYLE INDICATES, DRAWN PER EXISTING PLANS AND ARE APPROXIMATE
- ▭ = ASPHALT SURFACE
- ▭ = CONCRETE SURFACE
- ▭ = WETLANDS

### LEGAL DESCRIPTION PROVIDED PER CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NUMBER CO-3559, Revision B, Effective date December 10, 2015

**Parcel A:**  
Lot 1, Block 2, in the Plat of Park East on the West Side of the Milwaukee River, being a division of part of Lots 6 and 7 and Lots 10 thru 13 and all of Lots 1 thru 5 and Lots 8, 9, 14, 15 and 16 in Block 37, also all of Lots 1 thru 16 in Block 38, also part of Lot 13 and all of Lots 1 thru 12 and Lots 14 and 15 in Block 39, also part of Lot 5 and all of Lots 6 thru 10 in Block 40, also part of Lots 1 thru 14 in Block 129 and vacated alleys and streets adjacent in Plat of the Town of Milwaukee on the West Side of the River, also part of Lots 1 thru 13 and Lot 39 and all of Lots 14 thru 38 in Block 131 and vacated alleys adjacent in Plat of Block 131 and Lots in the Southwest 1/4 of the Southeast 1/4 and the Southeast 1/4 of the Southwest 1/4 of Section 20, and the Northwest 1/4 of the Northeast 1/4 of Section 29, all in Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin.

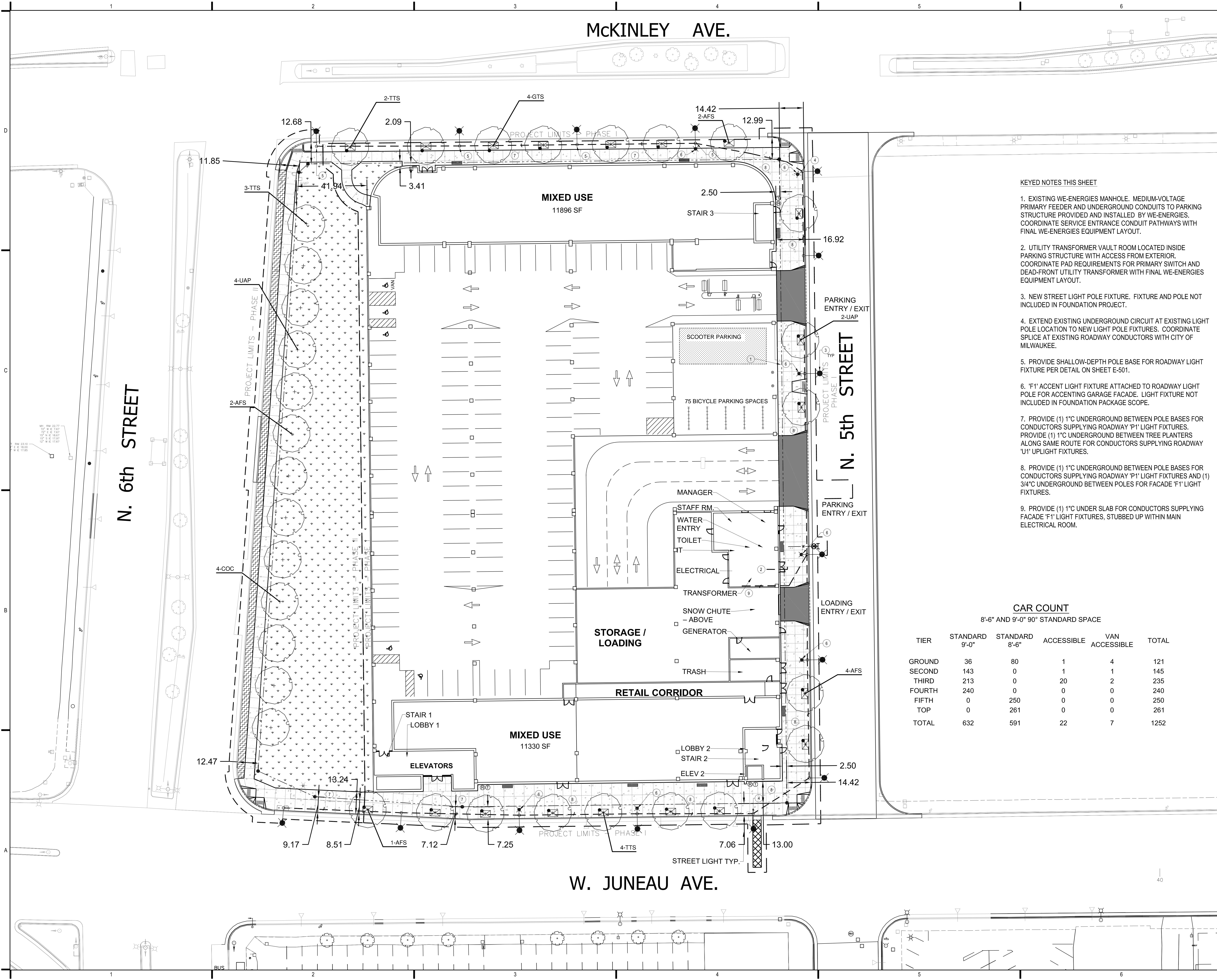
Tax Key No: 362-0464-3  
Address: 519 W. McKinley Avenue

### PARCEL B:

Lot 2, Block 2, in the Plat of Park East on the West Side of the Milwaukee River, being a division of part of Lots 6 and 7 and Lots 10 thru 13 and all of Lots 1 thru 5 and Lots 8, 9, 14, 15 and 16 in Block 37, also all of Lots 1 thru 16 in Block 38, also part of Lot 13 and all of Lots 1 thru 12 and Lots 14 and 15 in Block 39, also part of Lot 5 and all of Lots 6 thru 10 in Block 40, also part of Lots 1 thru 14 in Block 129 and vacated alleys and streets adjacent in Plat of the Town of Milwaukee on the West Side of the River, also part of Lots 1 thru 13 and Lot 39 and all of Lots 14 thru 38 in Block 131 and vacated alleys adjacent in Plat of Block 131 and Lots in the Southwest 1/4 of the Southeast 1/4 and the Southeast 1/4 of the Southwest 1/4 of Section 20, and the Northwest 1/4 of the Northeast 1/4 of Section 29, all in Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin.

Tax Key No: 362-0465-9  
Address: 516 W. Juneau Avenue





**KEYED NOTES THIS SHEET**

- EXISTING WE-ENERGIES MANHOLE. MEDIUM-VOLTAGE PRIMARY FEEDER AND UNDERGROUND CONDUITS TO PARKING STRUCTURE PROVIDED AND INSTALLED BY WE-ENERGIES. COORDINATE SERVICE ENTRANCE CONDUIT PATHWAYS WITH FINAL WE-ENERGIES EQUIPMENT LAYOUT.
- UTILITY TRANSFORMER VAULT ROOM LOCATED INSIDE PARKING STRUCTURE WITH ACCESS FROM EXTERIOR. COORDINATE PAD REQUIREMENTS FOR PRIMARY SWITCH AND DEAD-FRONT UTILITY TRANSFORMER WITH FINAL WE-ENERGIES EQUIPMENT LAYOUT.
- NEW STREET LIGHT POLE FIXTURE. FIXTURE AND POLE NOT INCLUDED IN FOUNDATION PROJECT.
- EXTEND EXISTING UNDERGROUND CIRCUIT AT EXISTING LIGHT POLE LOCATION TO NEW LIGHT POLE FIXTURES. COORDINATE SPLICE AT EXISTING ROADWAY CONDUCTORS WITH CITY OF MILWAUKEE.
- PROVIDE SHALLOW-DEPTH POLE BASE FOR ROADWAY LIGHT FIXTURE PER DETAIL ON SHEET E-501.
- 'F1' ACCENT LIGHT FIXTURE ATTACHED TO ROADWAY LIGHT POLE FOR ACCENTING GARAGE FACADE. LIGHT FIXTURE NOT INCLUDED IN FOUNDATION PACKAGE SCOPE.
- PROVIDE (1) 1" UNDERGROUND BETWEEN POLE BASES FOR CONDUCTORS SUPPLYING ROADWAY 'P1' LIGHT FIXTURES. PROVIDE (1) 1" UNDERGROUND BETWEEN TREE PLANTERS ALONG SAME ROUTE FOR CONDUCTORS SUPPLYING ROADWAY 'U1' UPLIGHT FIXTURES.
- PROVIDE (1) 1" UNDERGROUND BETWEEN POLE BASES FOR CONDUCTORS SUPPLYING ROADWAY 'P1' LIGHT FIXTURES AND (1) 3/4" UNDERGROUND BETWEEN POLES FOR FACADE 'F1' LIGHT FIXTURES.
- PROVIDE (1) 1" UNDER SLAB FOR CONDUCTORS SUPPLYING FACADE 'F1' LIGHT FIXTURES, STUBBED UP WITHIN MAIN ELECTRICAL ROOM.

**CAR COUNT**  
8'-6" AND 9'-0" 90° STANDARD SPACE

TIER	STANDARD 9'-0"	STANDARD 8'-6"	ACCESSIBLE	VAN ACCESSIBLE	TOTAL
GROUND	36	80	1	4	121
SECOND	143	0	1	1	145
THIRD	213	0	20	2	235
FOURTH	240	0	0	0	240
FIFTH	0	250	0	0	250
TOP	0	261	0	0	261
<b>TOTAL</b>	<b>632</b>	<b>591</b>	<b>22</b>	<b>7</b>	<b>1252</b>

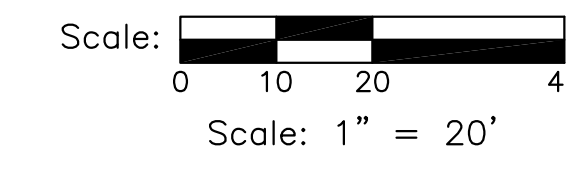
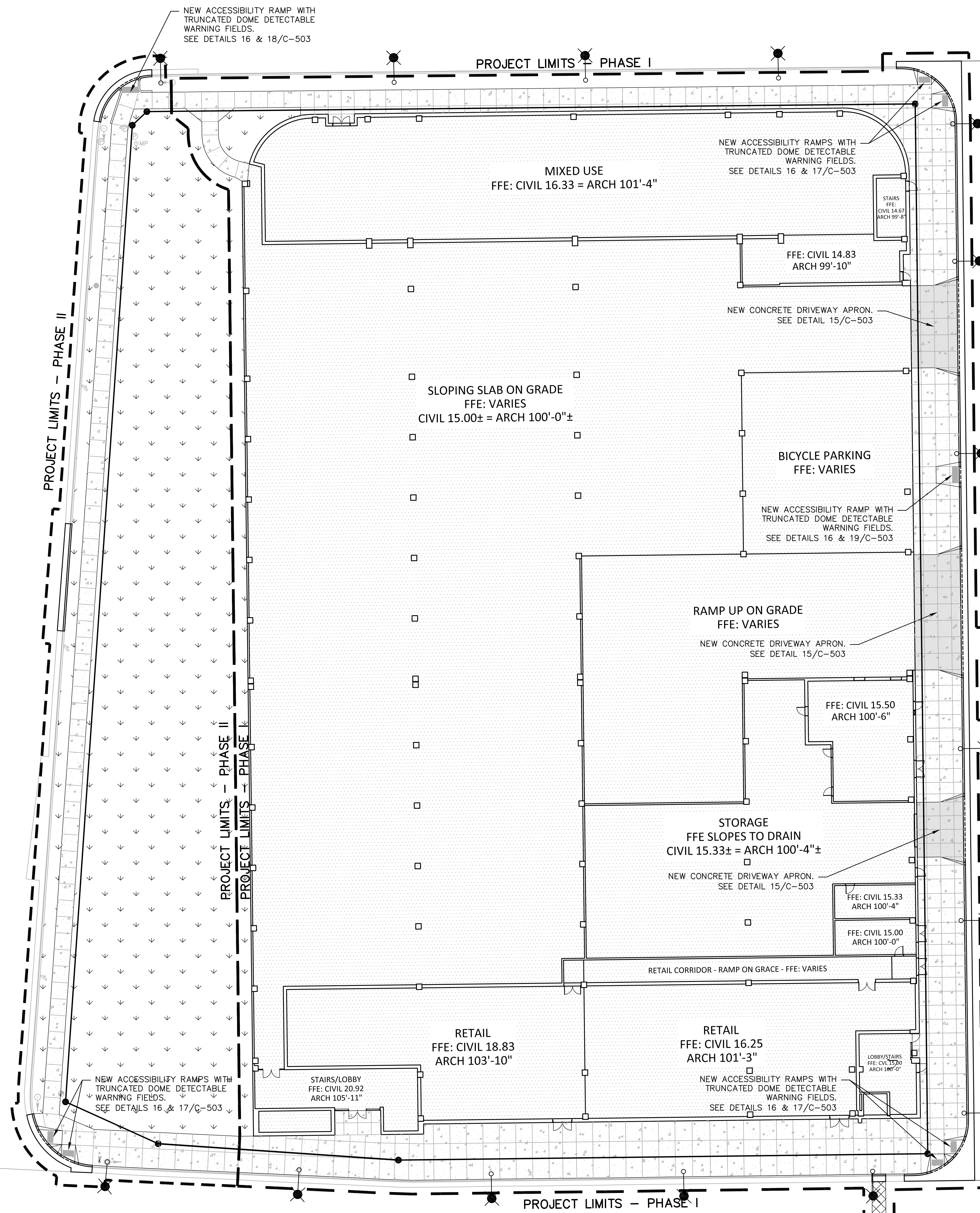


MCKINLEY AVE.

N. 6th STREET

N. 5th STREET

W. JUNEAU AVE.



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Dial 811 or (800)242-8511  
www.DiggersHotline.com

**HATCH LEGEND**

- AREAS DISTURBED BY CONSTRUCTION TO BE COVERED WITH A MINIMUM OF 6" OF CLEAN TOPSOIL PLACED ON TOP OF A GEOTEXTILE FABRIC. RESTORATION SHALL CONSIST OF SEED, FERTILIZER, AND MULCH (TYP). REFER TO LANDSCAPE PLANS FOR ADDITIONAL INFORMATION. ONLY CLEAN IMPORTED TOPSOIL SHALL BE USED. ANY EXISTING TOPSOIL ON THE SITE CAN NOT BE USED DUE TO CONTAMINATION.
- NEW PAVEMENT FOR CITY STREETS. CONTRACTOR SHALL MATCH EXISTING PAVEMENT THICKNESS AND BASE THICKNESS.
- NEW CONCRETE SLAB  
SEE DETAILS 11/C-503 & 12/C-503
- NEW HEAVY DUTY CONCRETE SLAB  
SEE DETAILS 11/C-503 & 12/C-503
- NEW HIGH-SIDE CURB & GUTTER  
SEE DETAIL 13/C-503 & 14/C-503
- NEW LOW-SIDE CURB & GUTTER  
SEE DETAIL 13/C-503 & 14/C-503

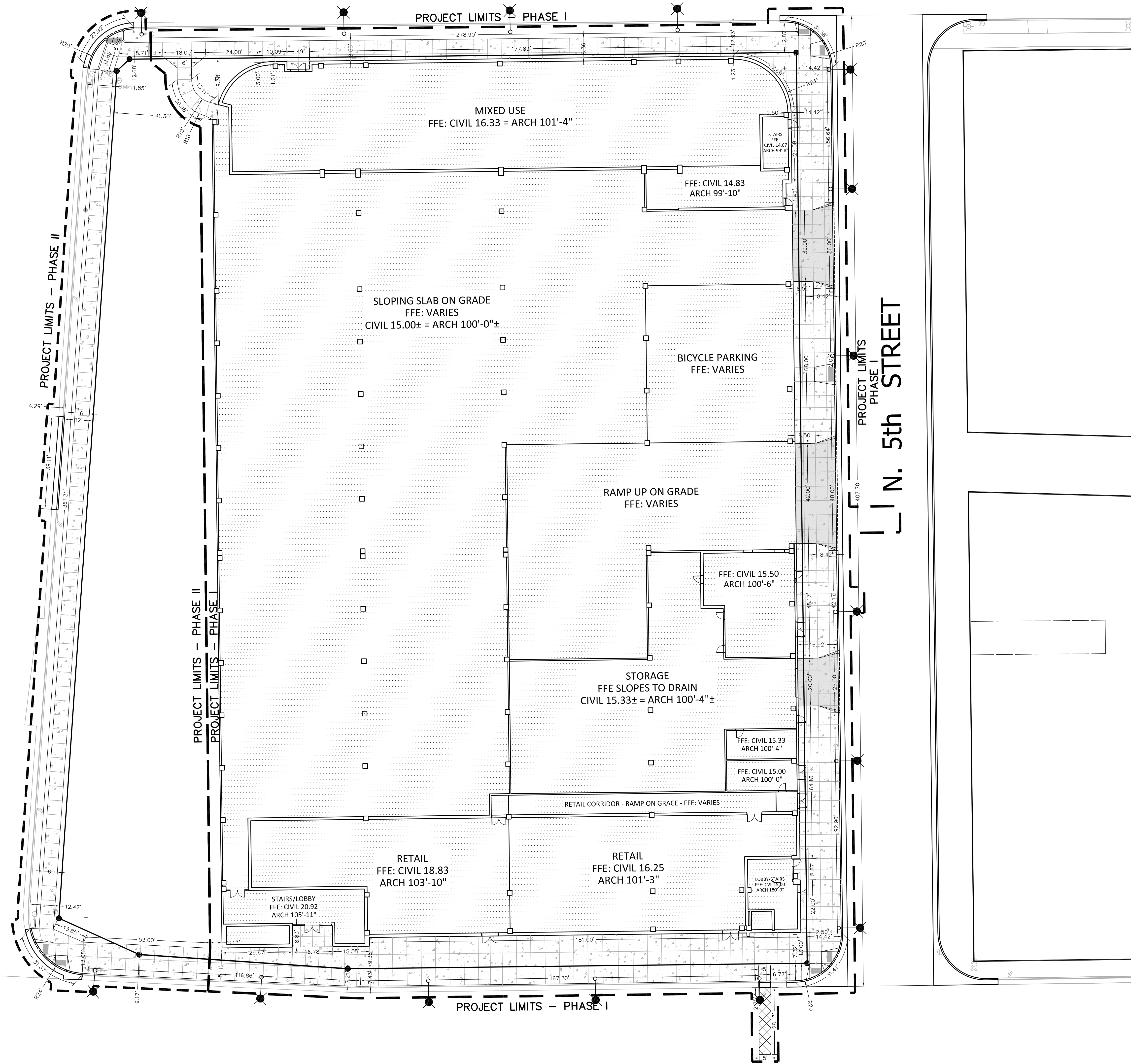


McKINLEY AVE.

N. 6th STREET

N. 5th STREET

W. JUNEAU AVE.



**GRAEF**  
 125 SOUTH 84TH STREET  
 SUITE 401  
 MILWAUKEE, WI 53214  
 414 / 259 1500  
 www.graef-usa.com

CONSULTANT:  
  
**KAPUR & ASSOCIATES, INC.**  
 CONSULTING ENGINEERS  
 7711 N. PORT WASHINGTON ROAD  
 MILWAUKEE, WISCONSIN 53217  
 Phone: 414.351.6668 Fax: 414.351.4117  
 www.kapurengineers.com

PROJECT TITLE:  
**BLOCK 7  
 PARKING STRUCTURE**

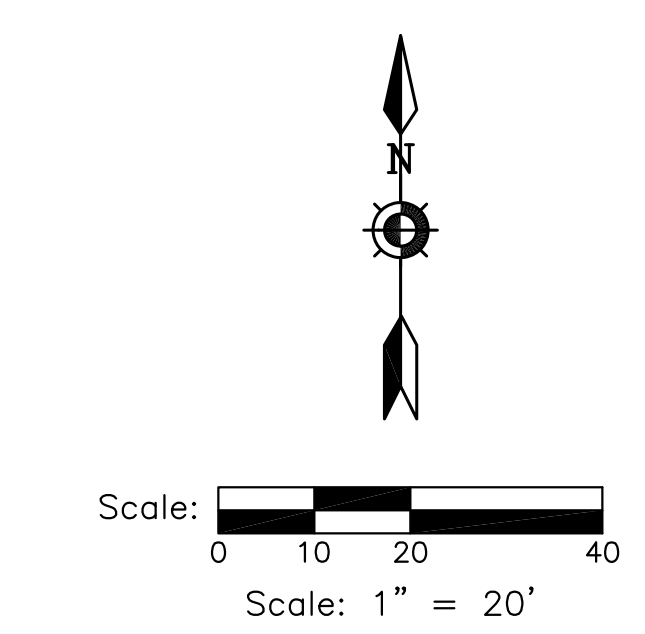
PROJECT STATUS:  
**DETAILED PLAN  
 DEVELOPMENT SET**

REVISIONS:  
 NUMBER DATE DESCRIPTION

SHEET INFORMATION:  
 PROJECT NUMBER: 20150777  
 DATE: 5/9/2016  
 DRAWN BY: TC  
 CHECKED BY: MJF  
 APPROVED BY: TP  
 SCALE: AS NOTED

SHEET TITLE:  
**SITE GEOMETRIC  
 PLAN**

SHEET NUMBER:  
**D3**  
 © 2014 GRAEF



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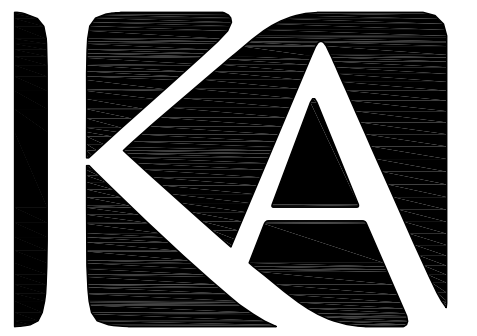
MCKINLEY AVE.

**GRAEF**

125 SOUTH 84TH STREET  
SUITE 401  
MILWAUKEE, WI 53214  
414 / 259 1500

www.graef-usa.com

CONSULTANT:



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MILWAUKEE, WISCONSIN 53217  
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**BLOCK 7  
PARKING STRUCTURE**

PROJECT STATUS:

**DETAILED PLAN  
DEVELOPMENT SET**

REVISIONS:

NUMBER DATE DESCRIPTION

SHEET INFORMATION:

PROJECT NUMBER: 20150777

DATE: 5/9/2016

DRAWN BY: TC

CHECKED BY: MJF

APPROVED BY: TP

SCALE: AS NOTED

SHEET TITLE:

**SITE GRADING  
PLAN**

SHEET NUMBER:

**E**

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PROJECT LIMITS - PHASE I

OLD FREEWAY  
PIER (TYP) MIXED USE  
FFE: CIVIL 16.33 = ARCH 101'-4"

SLOPING SLAB ON GRADE  
FFE: VARIES  
CIVIL 15.00± = ARCH 100'-0"±

BICYCLE PARKING  
FFE: VARIES

RAMP UP ON GRADE  
FFE: VARIES

FFE: CIVIL 15.50  
ARCH 100'-6"

STORAGE  
FFE SLOPES TO DRAIN  
CIVIL 15.33± = ARCH 100'-4"±

RETAIL  
FFE: CIVIL 16.25  
ARCH 101'-3"

RETAIL  
FFE: CIVIL 16.83  
ARCH 103'-10"

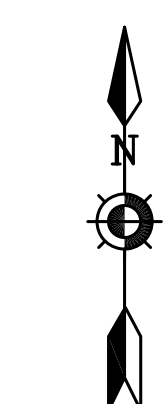
STAIRS/LOBBY  
FFE: CIVIL 20.92  
ARCH 105'-11"

W. JUNEAU AVE.

N. 6th STREET

N 5th STREET

PROJECT LIMITS - PHASE I

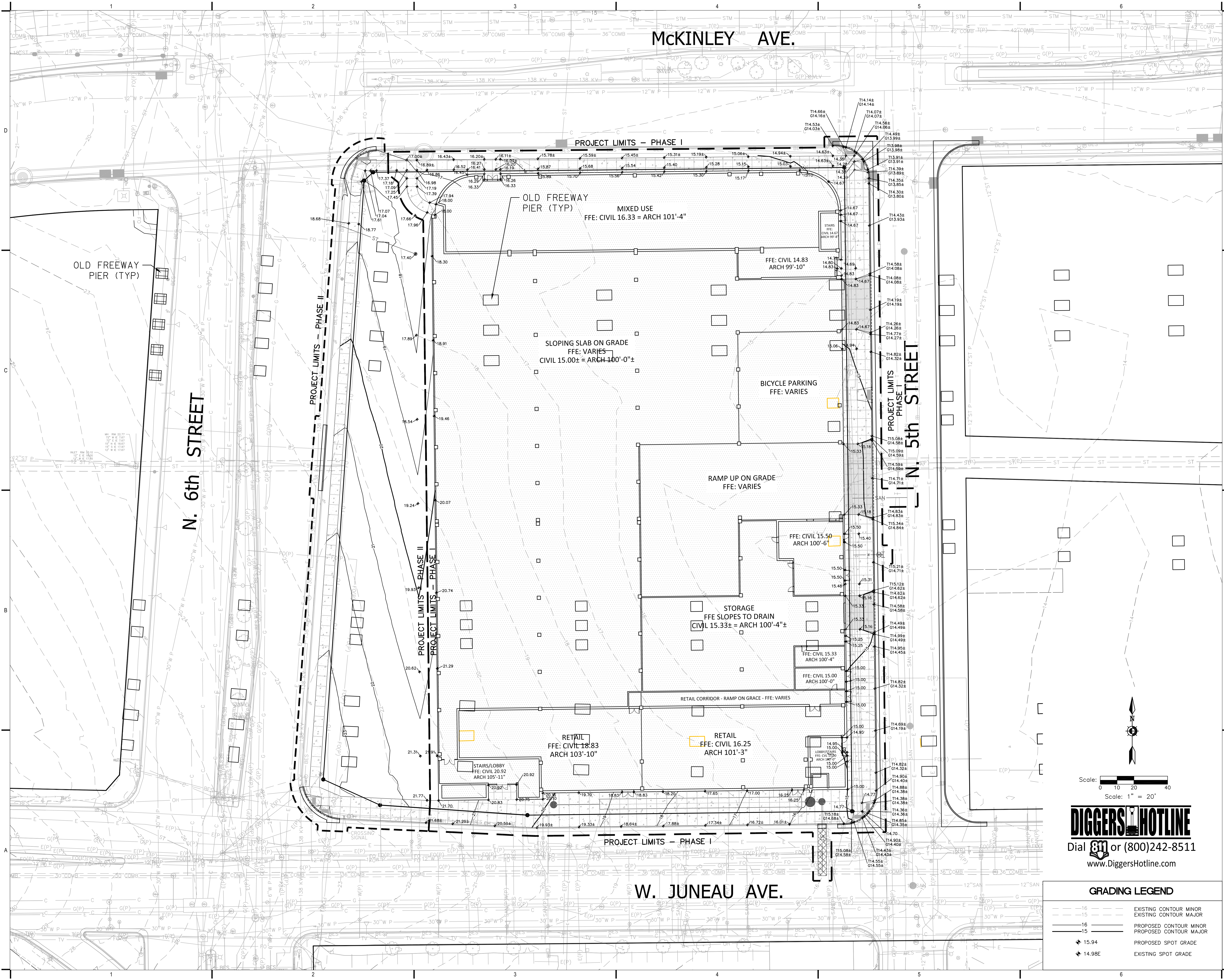


Scale: 1" = 20'

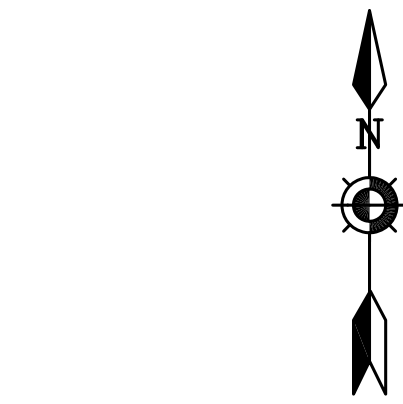
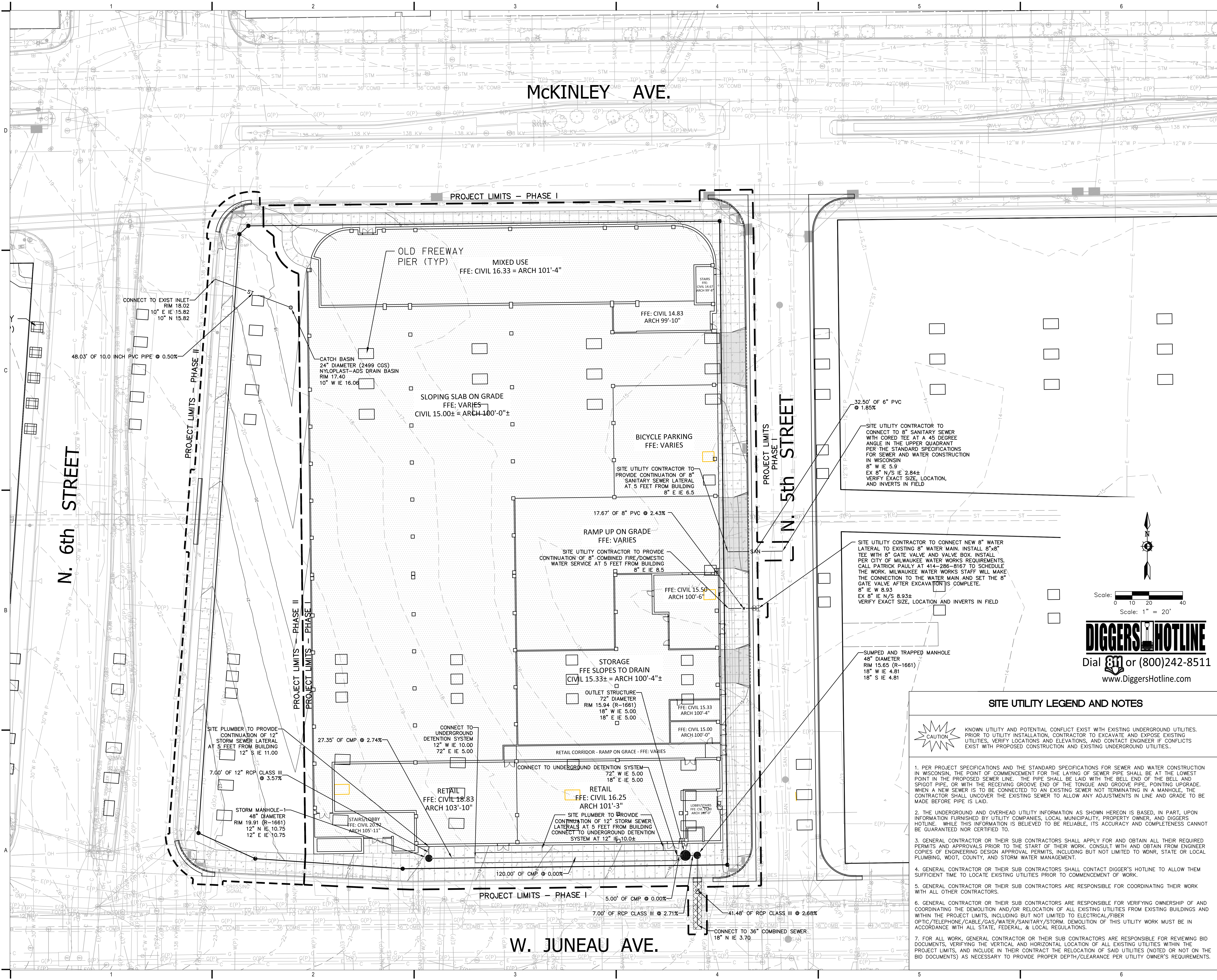
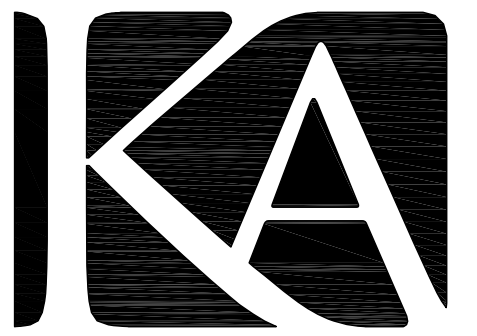
**DIGGERS HOTLINE**  
Dial 811 or (800)242-8511  
www.DiggersHotline.com

**GRADING LEGEND**

- - - - - 16 - - - - - EXISTING CONTOUR MINOR
- - - - - 15 - - - - - EXISTING CONTOUR MAJOR
- - - - - 16 - - - - - PROPOSED CONTOUR MINOR
- - - - - 15 - - - - - PROPOSED CONTOUR MAJOR
- ◆ 15.94 - - - - - PROPOSED SPOT GRADE
- ◆ 14.98E - - - - - EXISTING SPOT GRADE







Scale: 1" = 20'

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www.DiggersHotline.com

**SITE UTILITY LEGEND AND NOTES**

- CAUTION** KNOWN UTILITY AND POTENTIAL CONFLICT EXIST WITH EXISTING UNDERGROUND UTILITIES. PRIOR TO UTILITY INSTALLATION, CONTRACTOR TO EXCAVATE AND EXPOSE EXISTING UTILITIES, VERIFY LOCATIONS AND ELEVATIONS, AND CONTACT ENGINEER IF CONFLICTS EXIST WITH PROPOSED CONSTRUCTION AND EXISTING UNDERGROUND UTILITIES.
- PER PROJECT SPECIFICATIONS AND THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, THE POINT OF COMMENCEMENT FOR THE LAYING OF SEWER PIPE SHALL BE AT THE LOWEST POINT IN THE PROPOSED SEWER LINE. THE PIPE SHALL BE LAID WITH THE BELL END OF THE BELL AND SPIGOT PIPE, OR WITH THE RECEIVING GROOVE END OF THE TONGUE AND GROOVE PIPE, POINTING UPGRADE. WHEN A NEW SEWER IS TO BE CONNECTED TO AN EXISTING SEWER NOT TERMINATING IN A MANHOLE, THE CONTRACTOR SHALL UNCOVER THE EXISTING SEWER TO ALLOW ANY ADJUSTMENTS IN LINE TO BE MADE BEFORE PIPE IS LAID.
  - THE UNDERGROUND AND OVERHEAD UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, UPON INFORMATION FURNISHED BY UTILITY COMPANIES, LOCAL MUNICIPALITY, PROPERTY OWNER, AND DIGGERS HOTLINE. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
  - GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL APPLY FOR AND OBTAIN ALL THEIR REQUIRED PERMITS AND APPROVALS PRIOR TO THE START OF THEIR WORK. CONSULT WITH AND OBTAIN FROM ENGINEER COPIES OF ENGINEERING DESIGN APPROVAL PERMITS, INCLUDING BUT NOT LIMITED TO WDNR, STATE OR LOCAL PLUMBING, WDOT, COUNTY, AND STORM WATER MANAGEMENT.
  - GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS SHALL CONTACT DIGGER'S HOTLINE TO ALLOW THEM SUFFICIENT TIME TO LOCATE EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.
  - GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR COORDINATING THEIR WORK WITH ALL OTHER CONTRACTORS.
  - GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING OWNERSHIP OF AND COORDINATING THE DEMOLITION AND/OR RELOCATION OF ALL EXISTING UTILITIES FROM EXISTING BUILDINGS AND WITHIN THE PROJECT LIMITS, INCLUDING BUT NOT LIMITED TO ELECTRICAL/FIBER OPTIC/TELEPHONE/CABLE/GAS/WATER/SANITARY/STORM. DEMOLITION OF THIS UTILITY WORK MUST BE IN ACCORDANCE WITH ALL STATE, FEDERAL, & LOCAL REGULATIONS.
  - FOR ALL WORK, GENERAL CONTRACTOR OR THEIR SUB CONTRACTORS ARE RESPONSIBLE FOR REVIEWING BID DOCUMENTS, VERIFYING THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES WITHIN THE PROJECT LIMITS, AND INCLUDE IN THEIR CONTRACT THE RELOCATION OF SAID UTILITIES (NOTED OR NOT ON THE BID DOCUMENTS) AS NECESSARY TO PROVIDE PROPER DEPTH/CLEARANCE PER UTILITY OWNER'S REQUIREMENTS.

SHEET INFORMATION:  
PROJECT NUMBER: 20150777  
DATE: 5/9/2016  
DRAWN BY: TC  
CHECKED BY: MJF  
APPROVED BY: TP  
SCALE: AS NOTED

SHEET TITLE:  
**SITE UTILITY  
PLAN**

SHEET NUMBER:



SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	MATURE SIZE
<b>SHADE TREES</b>					
AFS	Acer x freemanii 'Sienna'	Sienna Glen Maple	3" BB	as shown	60" x 40"
COC	Celtis occidentalis 'ChicagoLand'	ChicagoLand Hackberry	2.5" BB	as shown	50" x 40"
GTS	Gleditsia triacanthos inermis 'Shademaster'	Shademaster Honeylocust	3" BB	as shown	45" x 35"
TTS	Tilia tomentosa 'Sterling'	Sterling Silver Linden	3" BB	as shown	40-50" x 20-30"
UAP	Ulmus americana 'Princeton'	Princeton American Elm	3" BB	as shown	60-80" x 40-60"

**LEGEND**

- STREET TREE WITH 4' X 6' DECORATIVE TREE GRATE - SEE WRITTEN SPECIFICATIONS
- STREET TREE
- MANICURED TURF SOD - SEE WRITTEN SPECIFICATIONS
- NO-MOW FESCUE TURF SEED - SEE WRITTEN SPECIFICATIONS
- STRUCTURAL SOIL AT STREET TREES - SEE WRITTEN SPECIFICATIONS

**SITE FURNISHINGS KEY:**

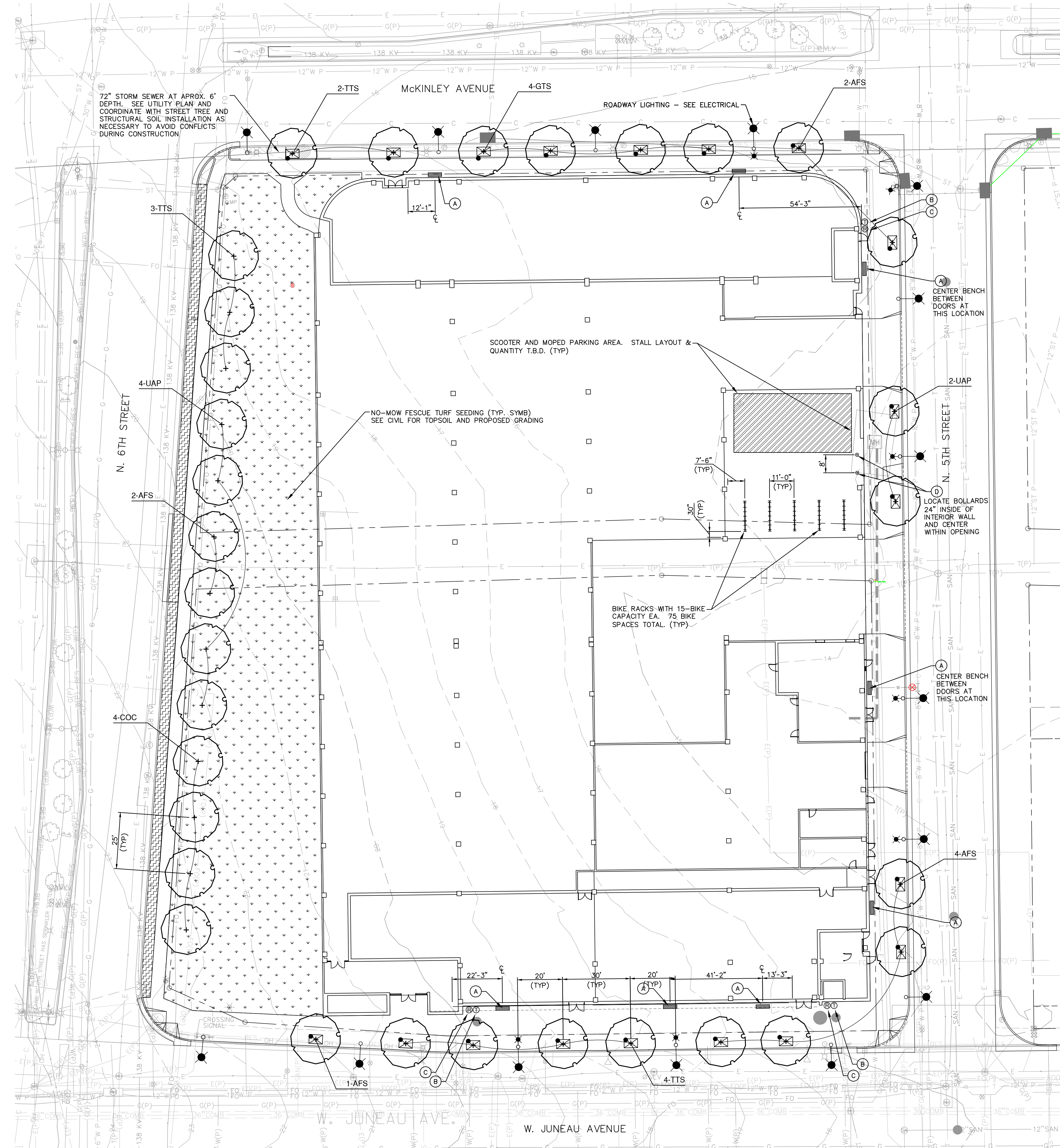
- BENCH
- TRASH RECEPTACLE
- RECYCLING RECEPTACLE
- DECORATIVE BOLLARD

**SITE FURNISHINGS NOTES:**

- WHERE FURNITURE IS LOCATED ADJACENT TO BUILDING, PROVIDE 4" GAP BETWEEN FURNITURE ITEM AND EXTERIOR FACADE.
- PROVIDE 4" GAP BETWEEN TRASH & RECYCLING RECEPTACLES
- DIMENSIONS FOR TRASH & RECYCLING RECEPTACLES SHOW DISTANCE TO CENTER POINT BETWEEN BOTH FIXTURES.
- REFER TO WRITTEN SPECIFICATIONS FOR MORE SPECIFIC INFORMATION.

**LAYOUT AND MATERIALS NOTES:**

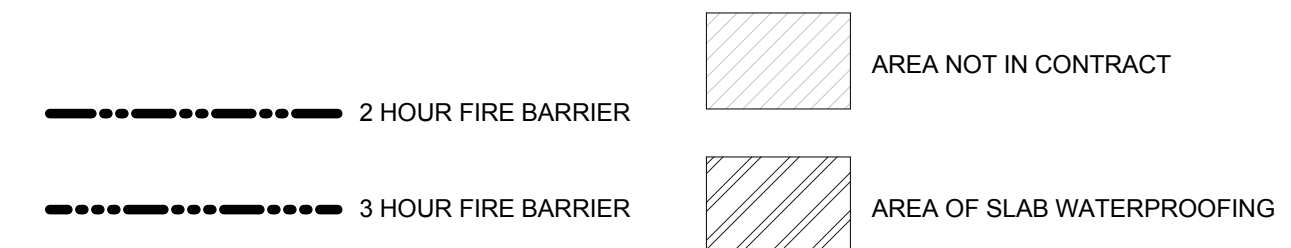
- UNLESS OTHERWISE INDICATED, DIMENSIONS PROVIDED ARE TO CENTER POINTS OF SITE ELEMENTS AND OUTSIDE FACE OF BUILDING.
- STREET TREES ARE TO BE LOCATED A MINIMUM OF 20' FROM ROADWAY LIGHT POLES AND TRAFFIC SIGNALS (TO MEET CITY REQUIREMENTS).
- STREET TREES SHOWN TO BE PLANTED IN DECORATIVE TREE GRATES SHALL BE PLANTED IN STRUCTURAL SOILS. REFER TO DRAWINGS AND APPROPRIATE DETAILS FOR EXTENTS OF STRUCTURAL SOILS BENEATH ADJACENT PAVEMENT.
- SITE FURNISHINGS SHALL MATCH THOSE BEING USED AT THE ADJACENT BUCKS ARENA PROJECT. DUE TO THE POTENTIAL THAT THE BUCKS ARENA FURNISHINGS SELECTIONS MAY CHANGE DURING CONSTRUCTION, CONTRACTOR SHALL COORDINATE AND CONFIRM ALL SITE FURNISHINGS FOR THIS PROJECT WITH THE FINAL SELECTIONS USED AT THE BUCKS ARENA.
- DECORATIVE TREE GRATES ARE TO INCLUDE ACCENT UP-LIGHTS. COORDINATE INSTALLATION OF TREES AND GRATES WITH ELECTRICAL WORK.



**NOTICE:**  
In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

**DISCLAIMER:**  
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.



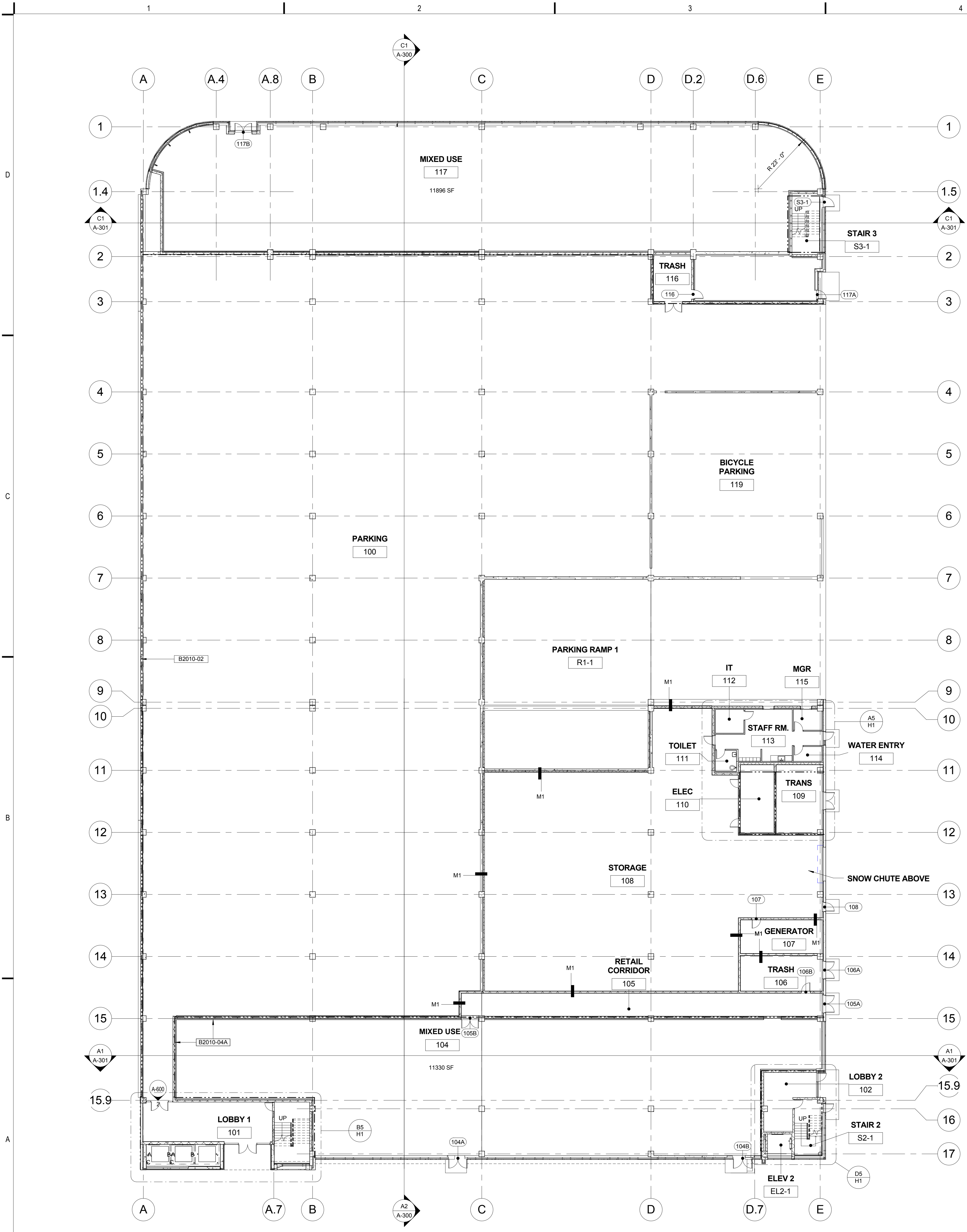
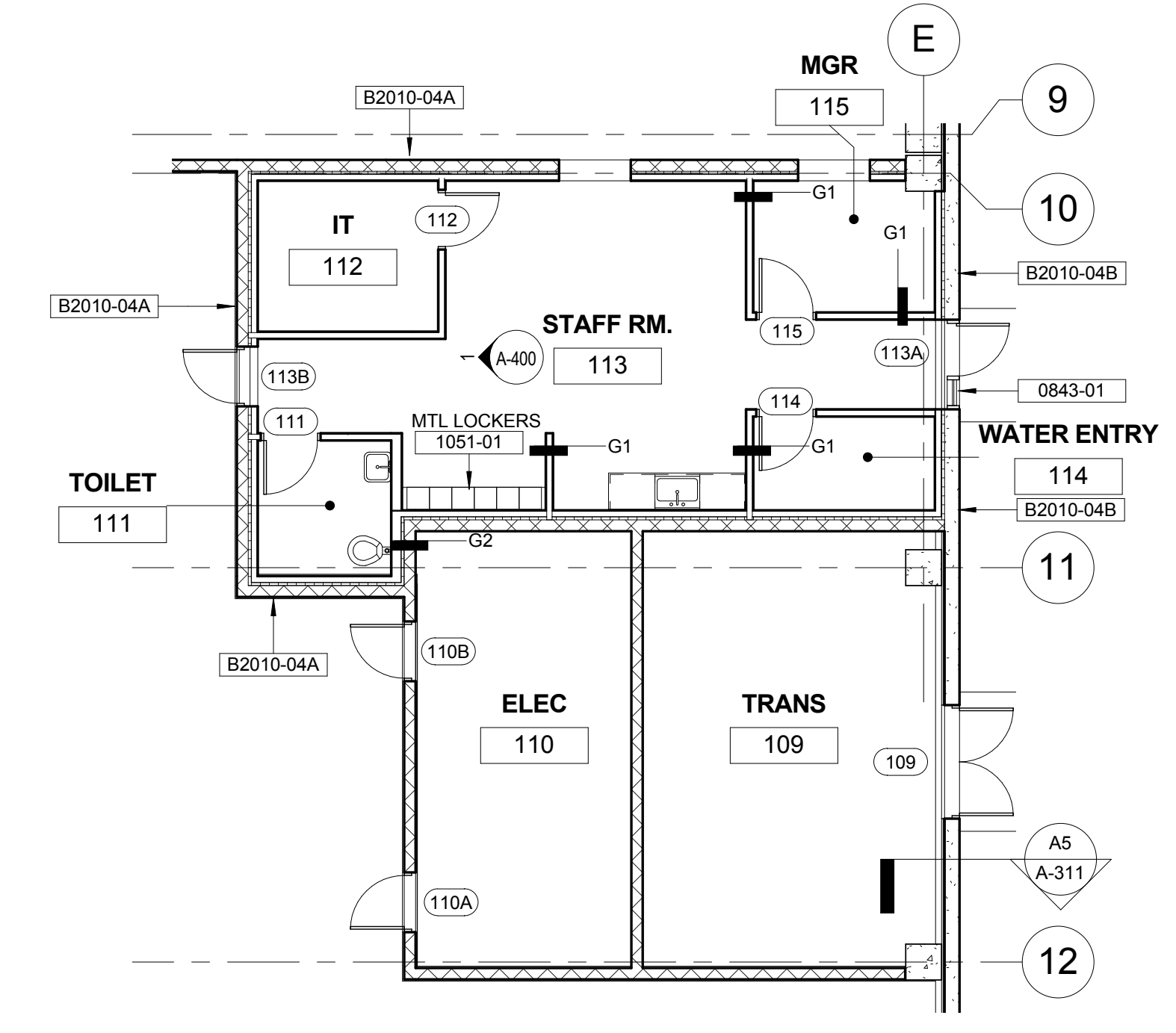
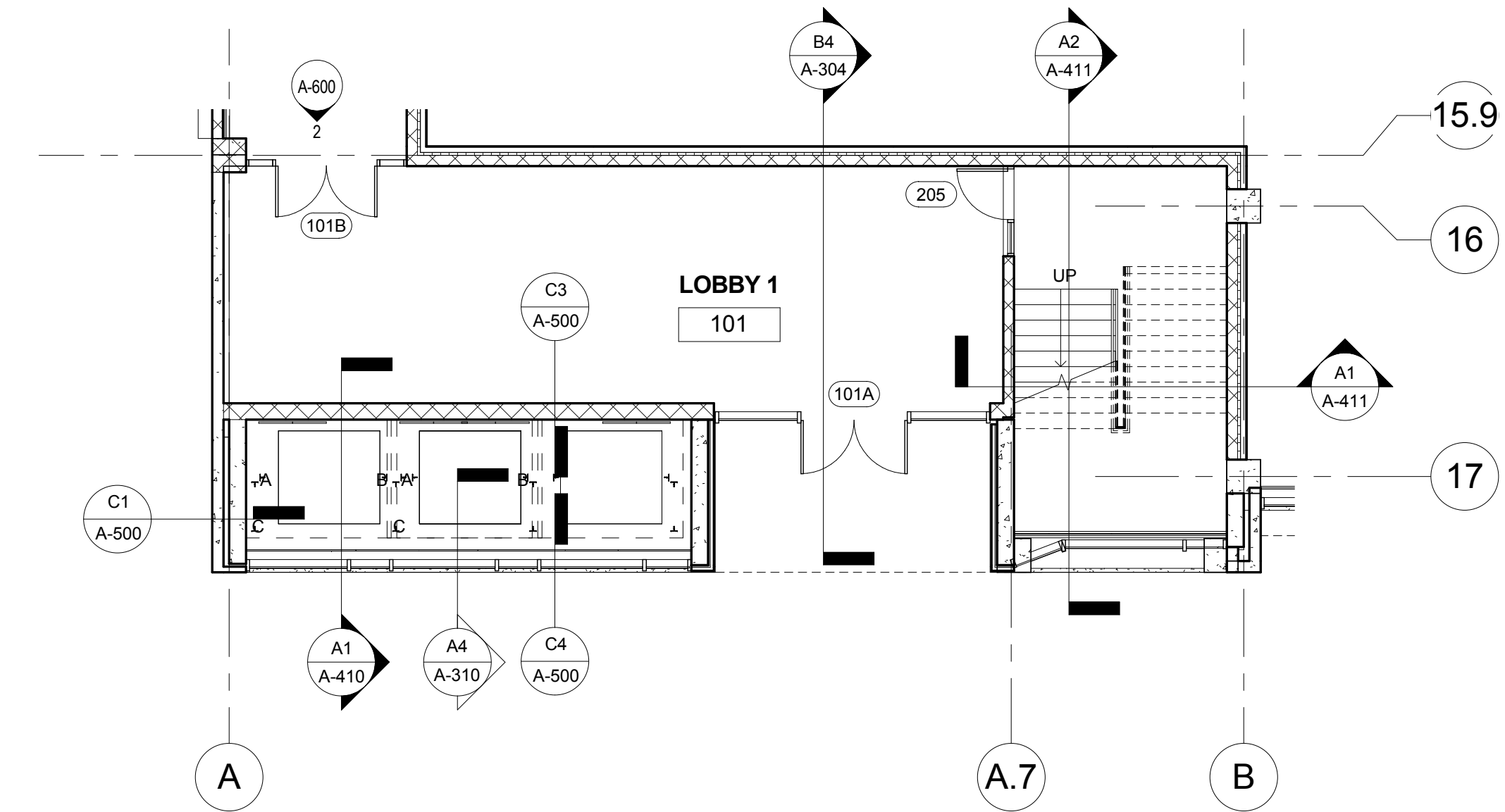
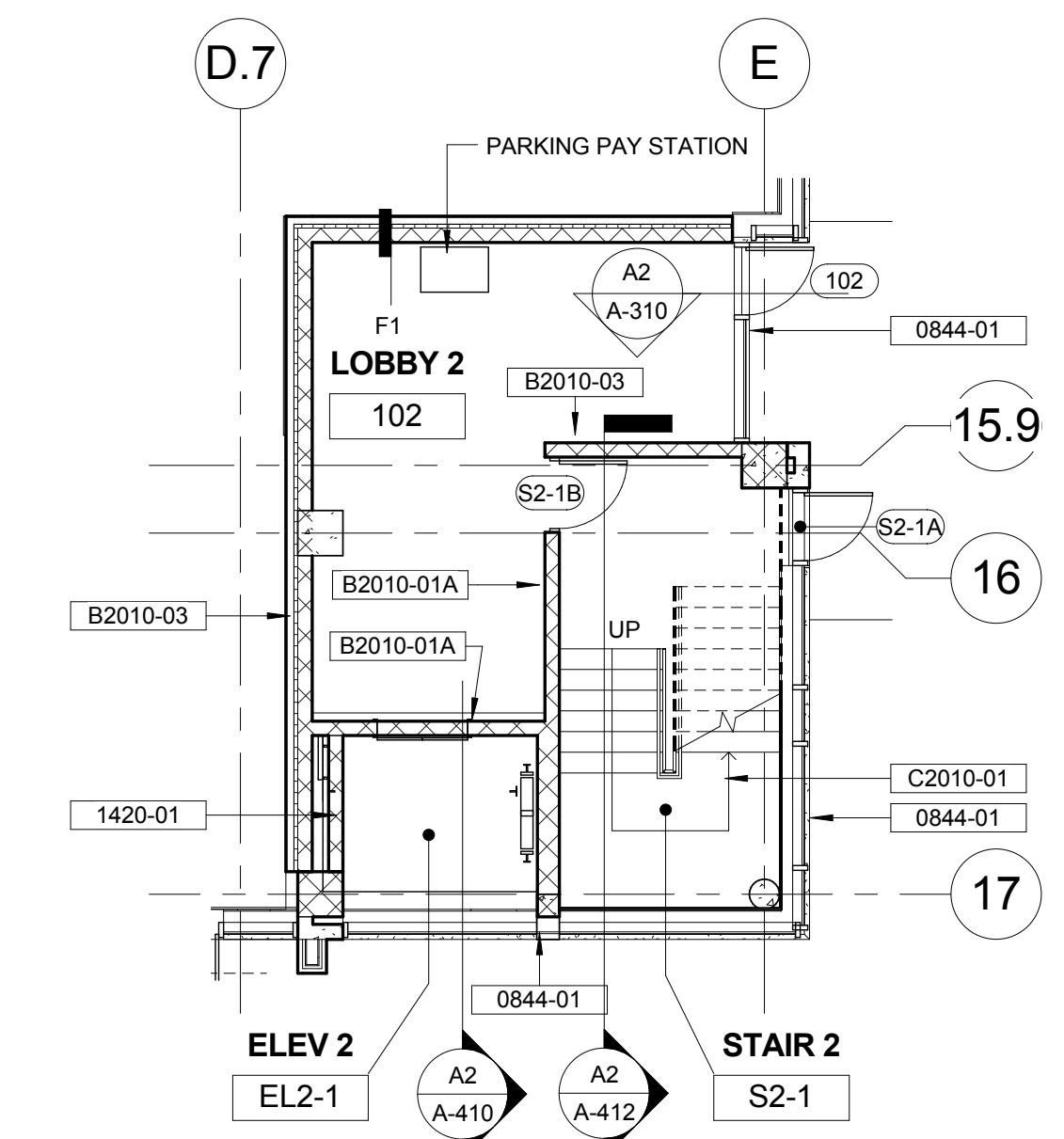


**FLOOR PLAN NOTES**

- REFER TO SHEET A-010 FOR PARTITION TYPES & ARCHITECTURAL BUILDING SYSTEMS.
- REFER TO ENLARGED PLANS FOR WALL TYPES NOT INDICATED ON 1/8" PLAN.
- REFER TO PARKING LAYOUT DRAWINGS FOR PARKING STRIPING & PARKING EQUIPMENT.

**KEYNOTES**

- 0843-01 ALUMINUM-FRAMED STOREFRONT
- 0844-01 ALUMINUM-FRAMED CURTAIN WALL
- 1051-01 METAL LOCKERS
- 1420-01 PASSENGER ELEVATOR
- B2010-01A PRECAST CONCRETE WALL (SEE A010 FOR ASSEMBLY DETAILS)
- B2010-02 SINGLE WYTHE CMU (SEE A010 FOR ASSEMBLY DETAILS)
- B2010-03 INSULATED PRECAST CONCRETE WALL PANEL (SEE A010 FOR ASSEMBLY DETAILS)
- B2010-04A INSULATED SINGLE WYTHE CMU W/ FURRING (SEE A010 FOR ASSEMBLY DETAILS)
- B2010-04B PRECAST CONCRETE WALL PANEL W/ FURRING (SEE A010 FOR ASSEMBLY DETAILS)
- C2010-01 CIP CONCRETE STAIR



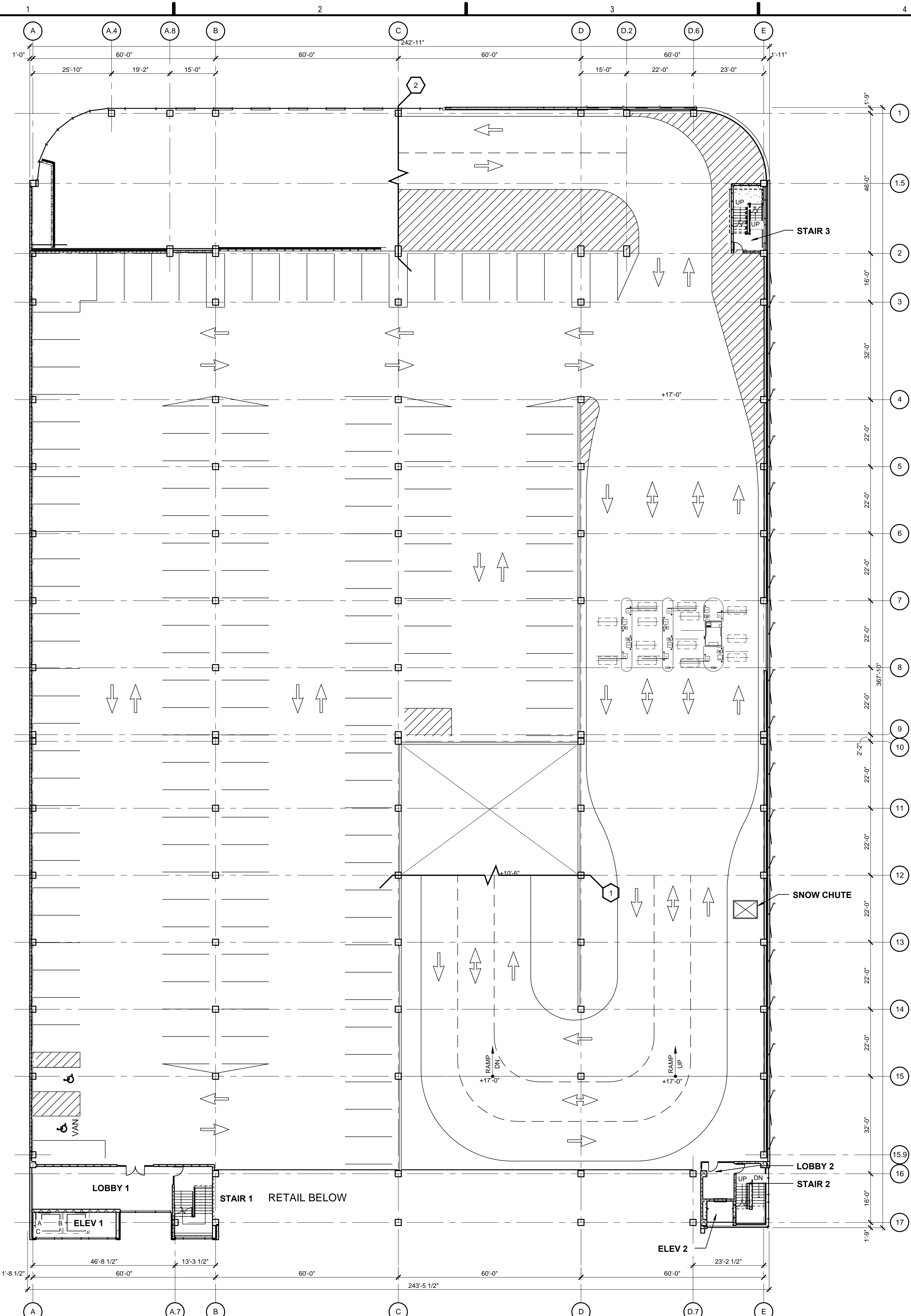
**A1 GROUND TIER FLOOR PLAN**  
1/8" = 1'-0"

**A5 ENLARGED PLAN - PARKING OFFICE**  
1/8" = 1'-0"

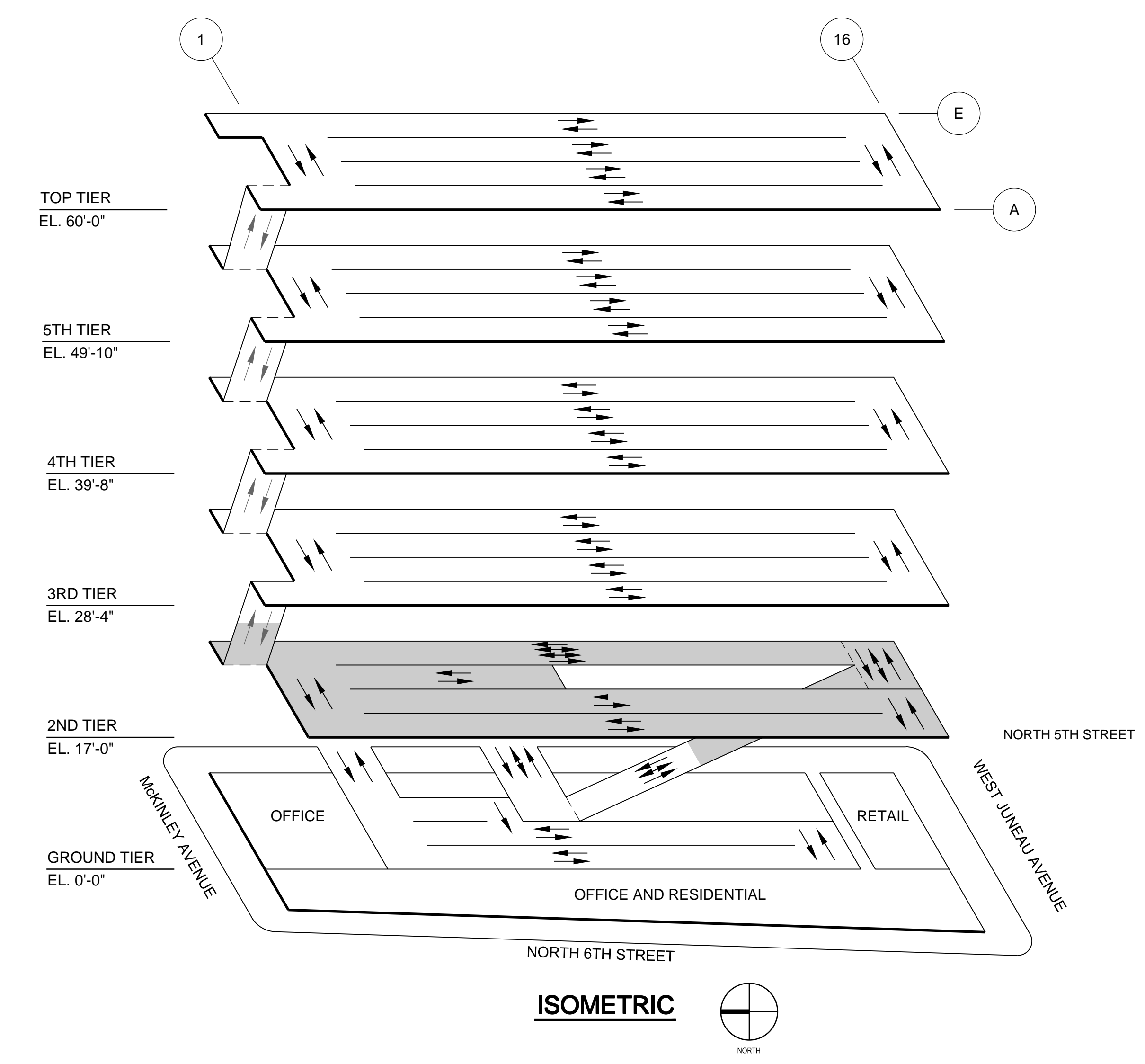






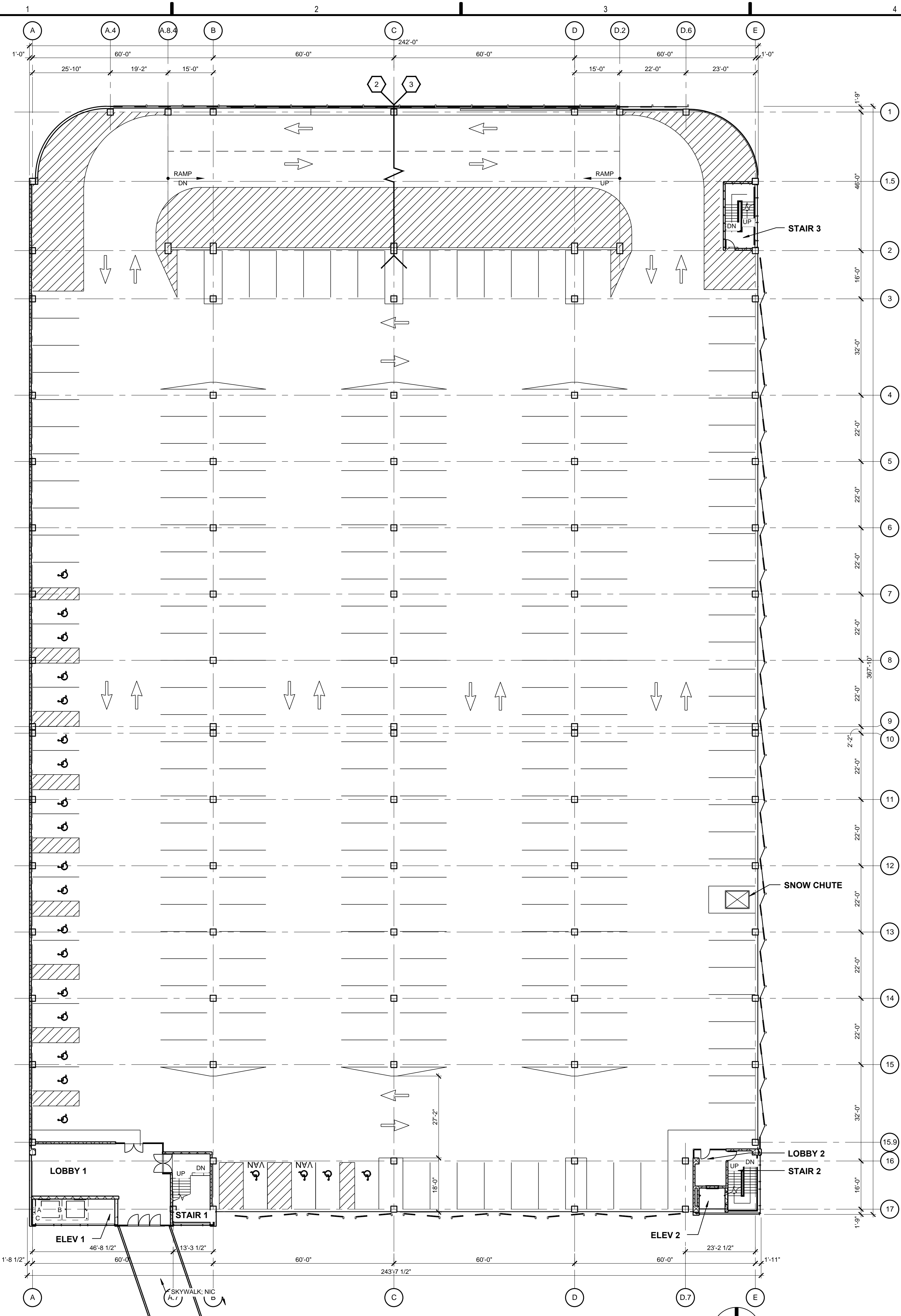


**1 SECOND TIER PLAN**

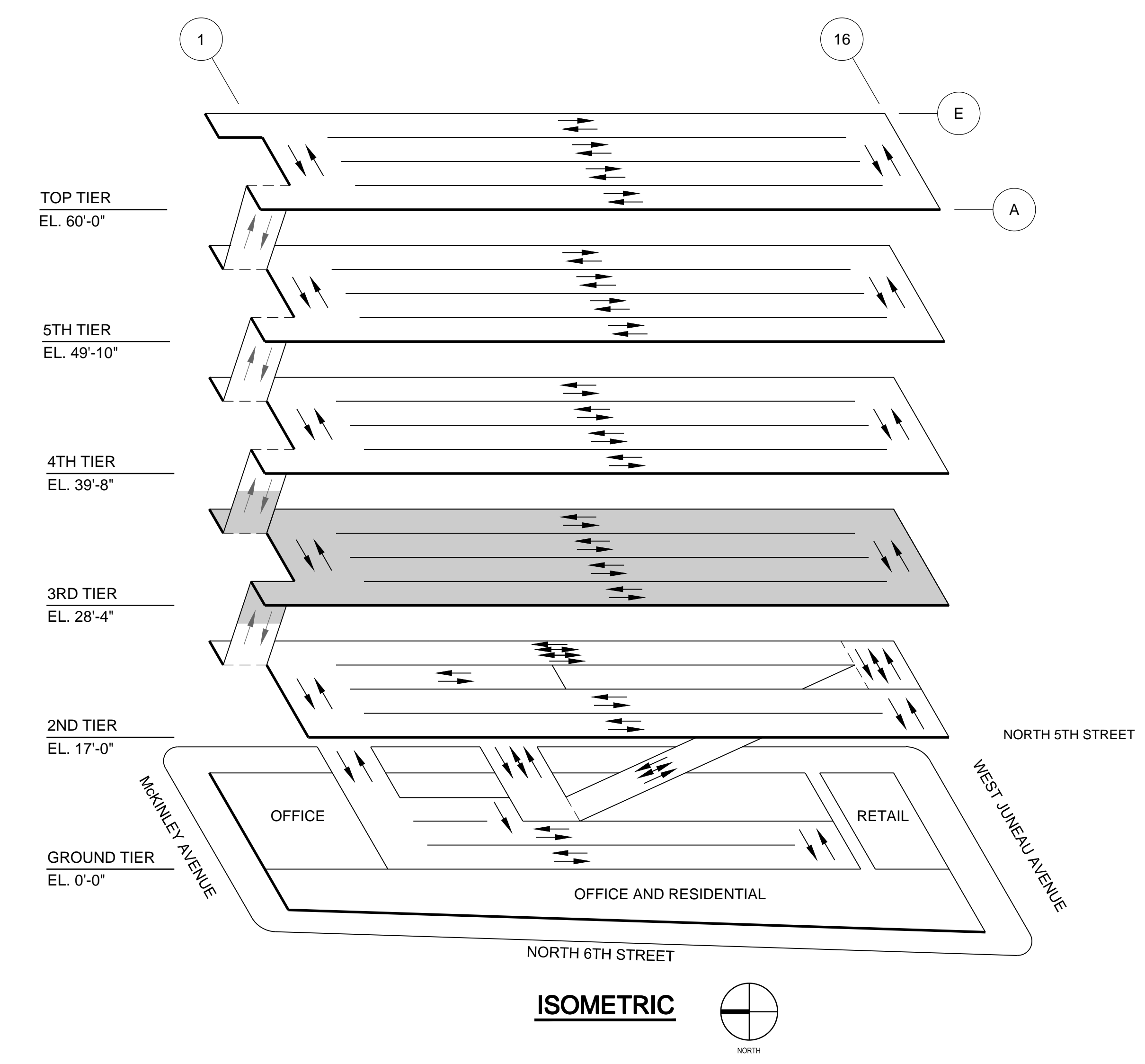


**ISOMETRIC**



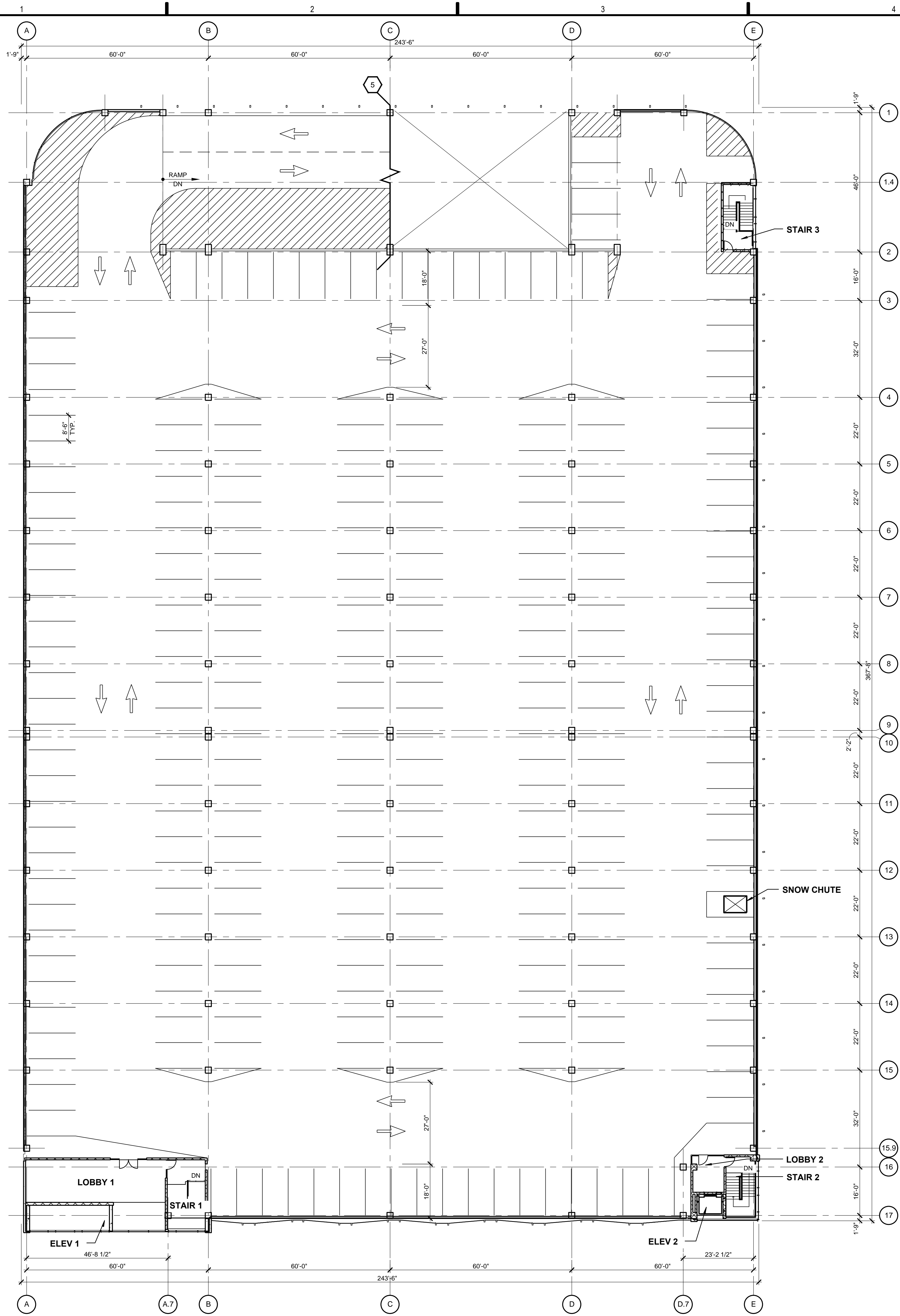


**1 THIRD TIER PLAN**



**ISOMETRIC**



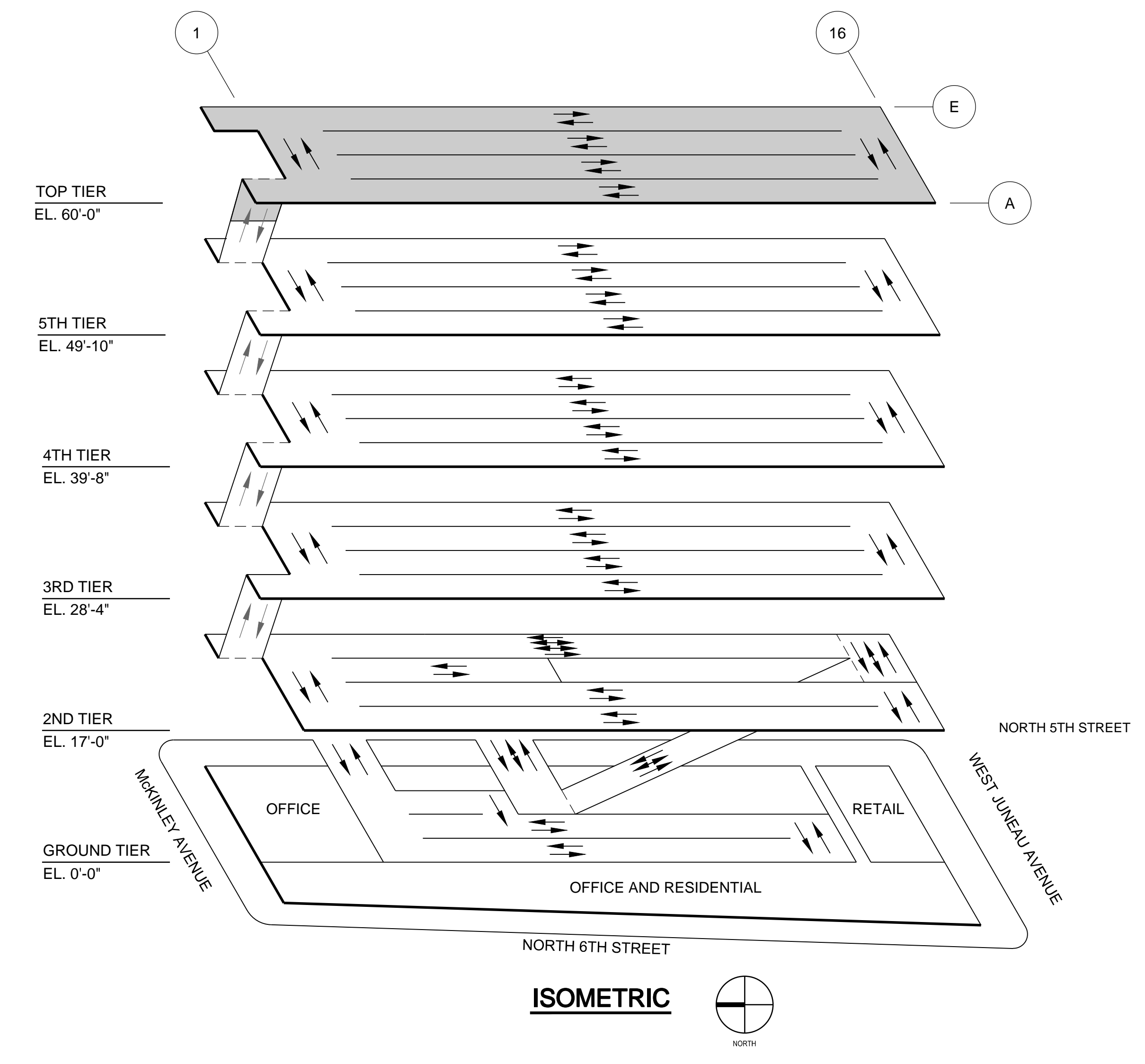


1 TOP TIER PLAN

0 8' 16' 32'

1/16" = 1'-0"

NORTH



REVISIONS:

NUMBER	DATE	DESCRIPTION

SHEET INFORMATION:

PROJECT NUMBER:	20150777
DATE:	5/9/2016
DRAWN BY:	BLM
CHECKED BY:	JG
APPROVED BY:	DLH
SCALE:	AS NOTED

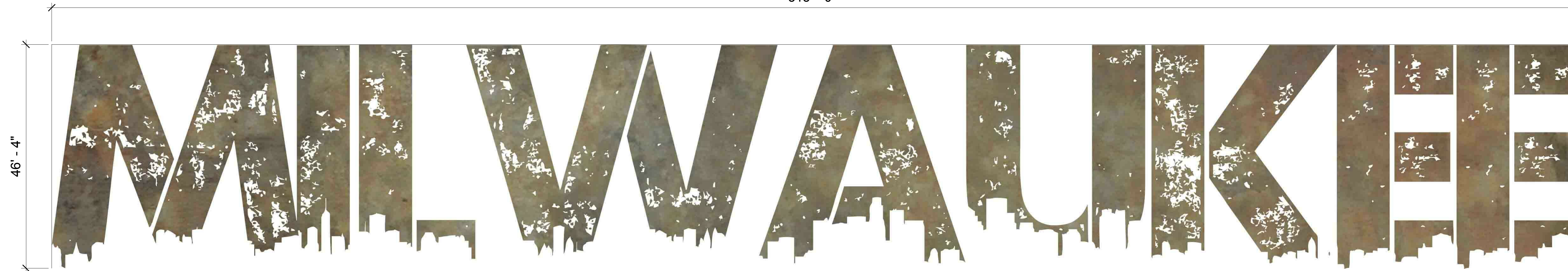
SHEET TITLE:

**TOP TIER  
PLAN**





315' - 0"



46' - 4"

PAINTED WALL SIGN

② MILWAUKEE SIGN

PAINTED LETTERING

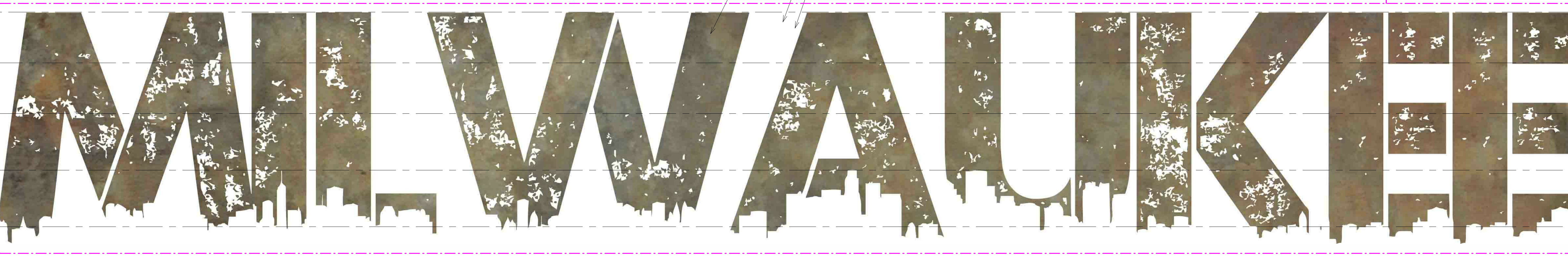
INSULATED PRECAST CONCRETE WALL PANEL

DIGITAL DISPLAY BOARD

VEHICLE BARRIER/PEDESTRIAN GUARDRAIL

CAST-IN-PLACE STRUCTURE

CONCRETE MASONRY UNIT INFILL



TOP TIER  
160' - 0"

5TH TIER  
149' - 10"

4TH TIER  
139' - 8"

3RD TIER  
128' - 4"

2ND TIER  
117' - 0"

GROUND TIER  
100' - 0"

LOBBY 2  
100' - 6"

① WEST ELEVATION



CONSULTANT:



AMERICAN DESIGN  
INCORPORATED  
Architectural Services

1243 N 10th St, Ste 100  
Milwaukee, WI 53205  
414/253-9220

PROJECT TITLE:

**BLOCK 7  
PARKING STRUCTURE**

1215 NORTH 5th STREET  
MILWAUKEE, WI 53203

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PROJECT STATUS:

**DETAILED PLAN  
DEVELOPMENT SET**

REVISIONS:

NUMBER	DATE	DESCRIPTION

SHEET INFORMATION:

PROJECT NUMBER:	20150777
DATE:	5/9/2016
DRAWN BY:	Author
CHECKED BY:	Checker
APPROVED BY:	Approver
SCALE:	AS NOTED

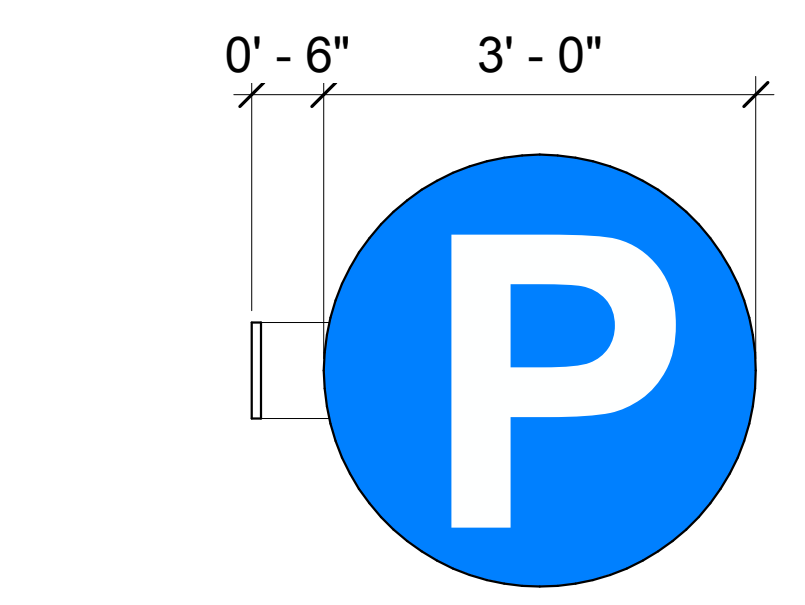
SHEET TITLE:

**North Elevation and  
Signage**

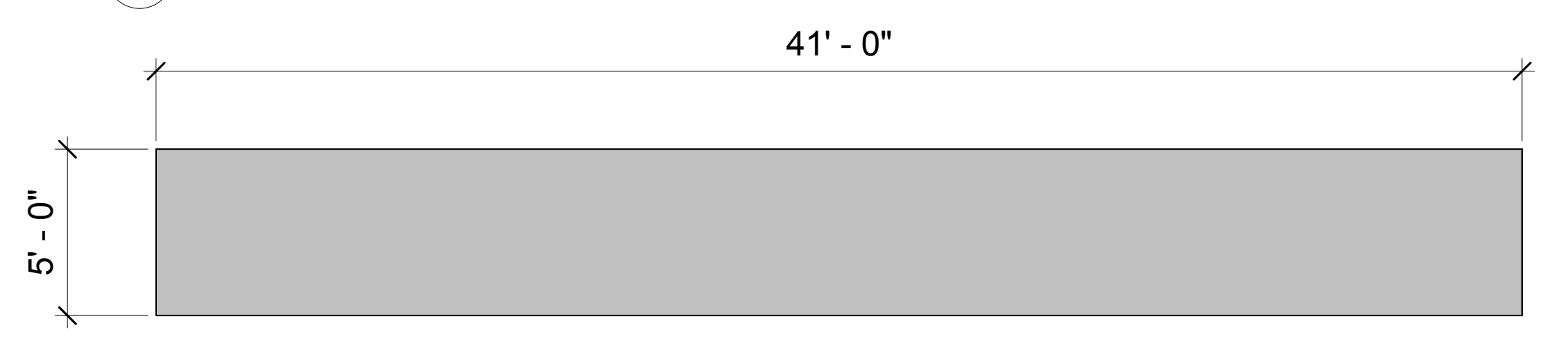
SHEET NUMBER:

**H7**

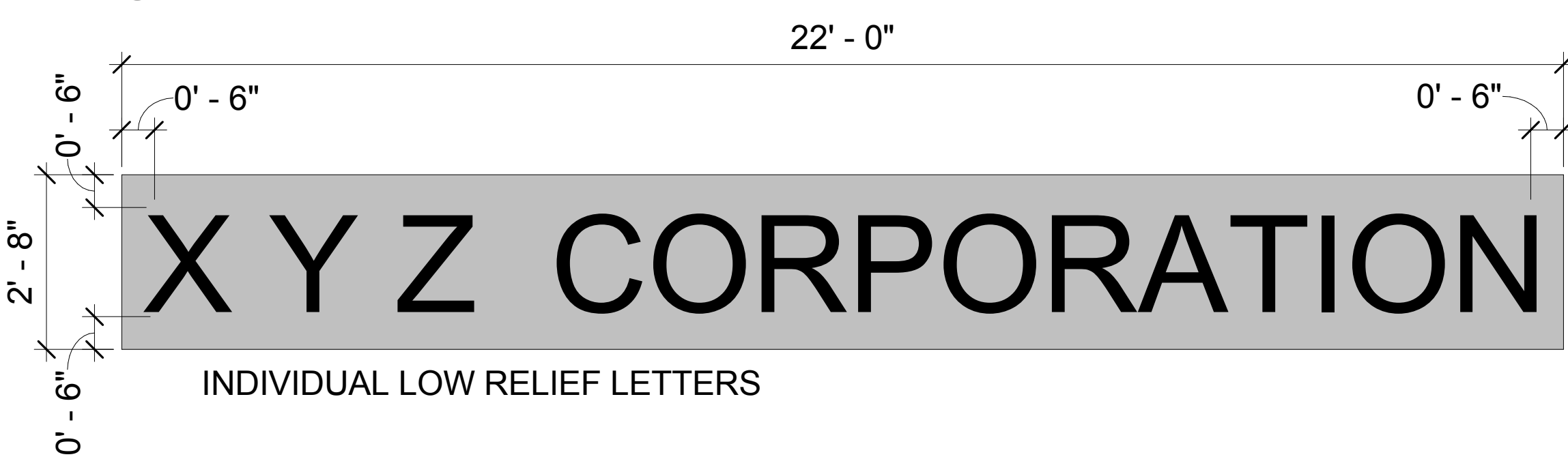
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6 PARK ONCE SIGN



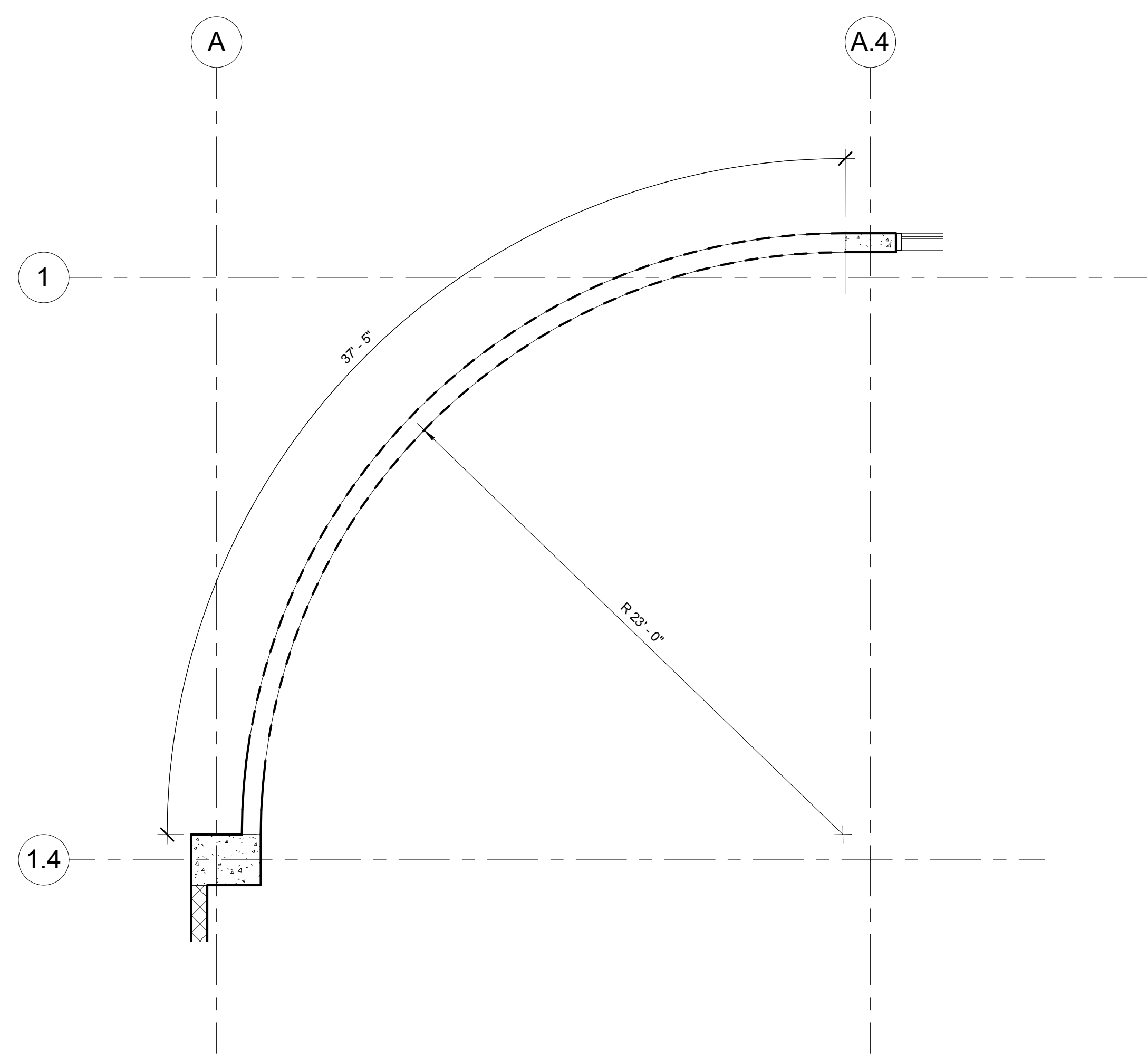
5 NAMING RIGHTS SIGN LIMITS - SEE A-D/DPD H9



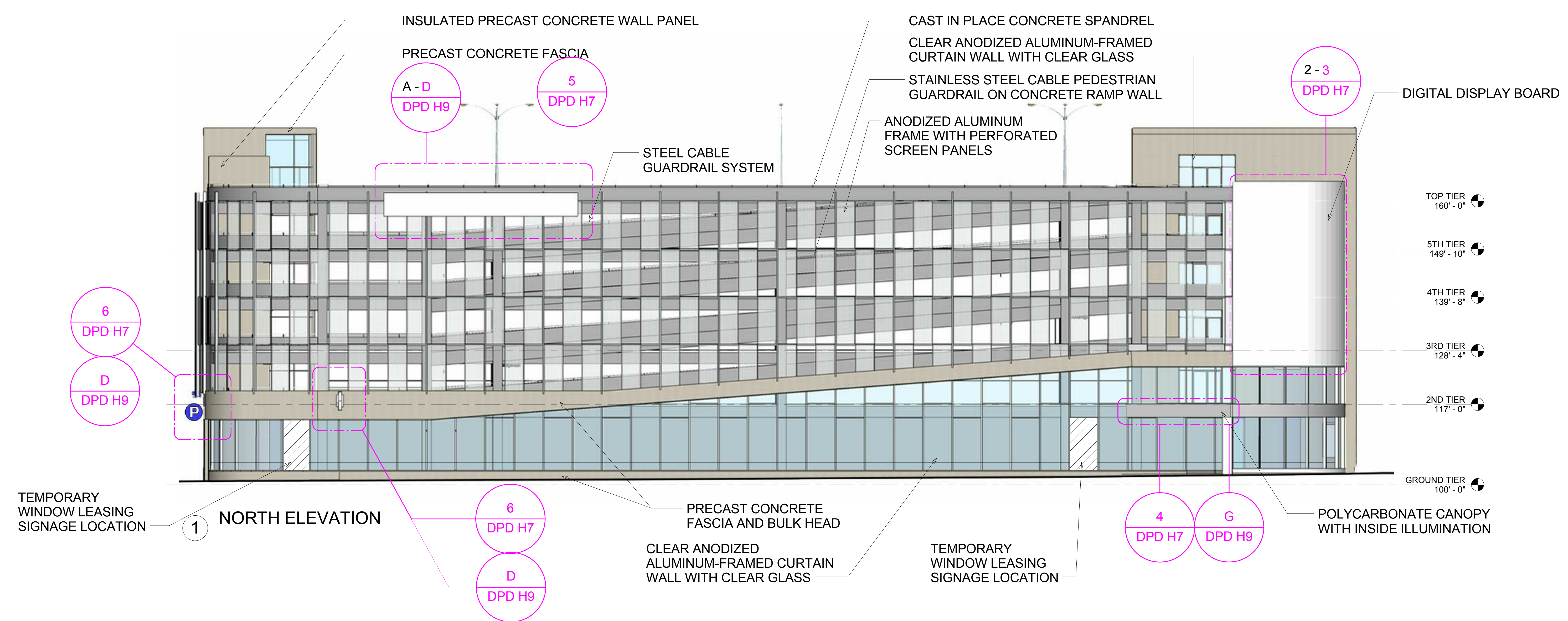
4 ILLUMINATED CANOPY TENANT SIGN LIMITS



3 DIGITAL DISPLAY BOARD - ELEVATION

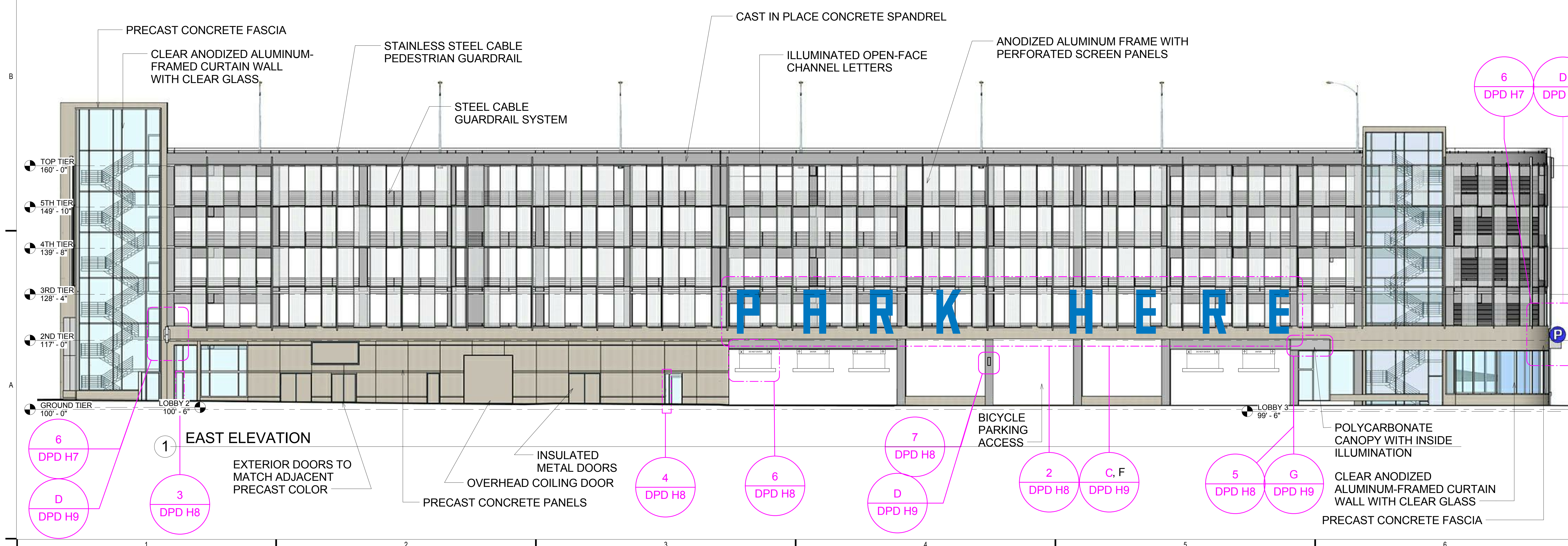
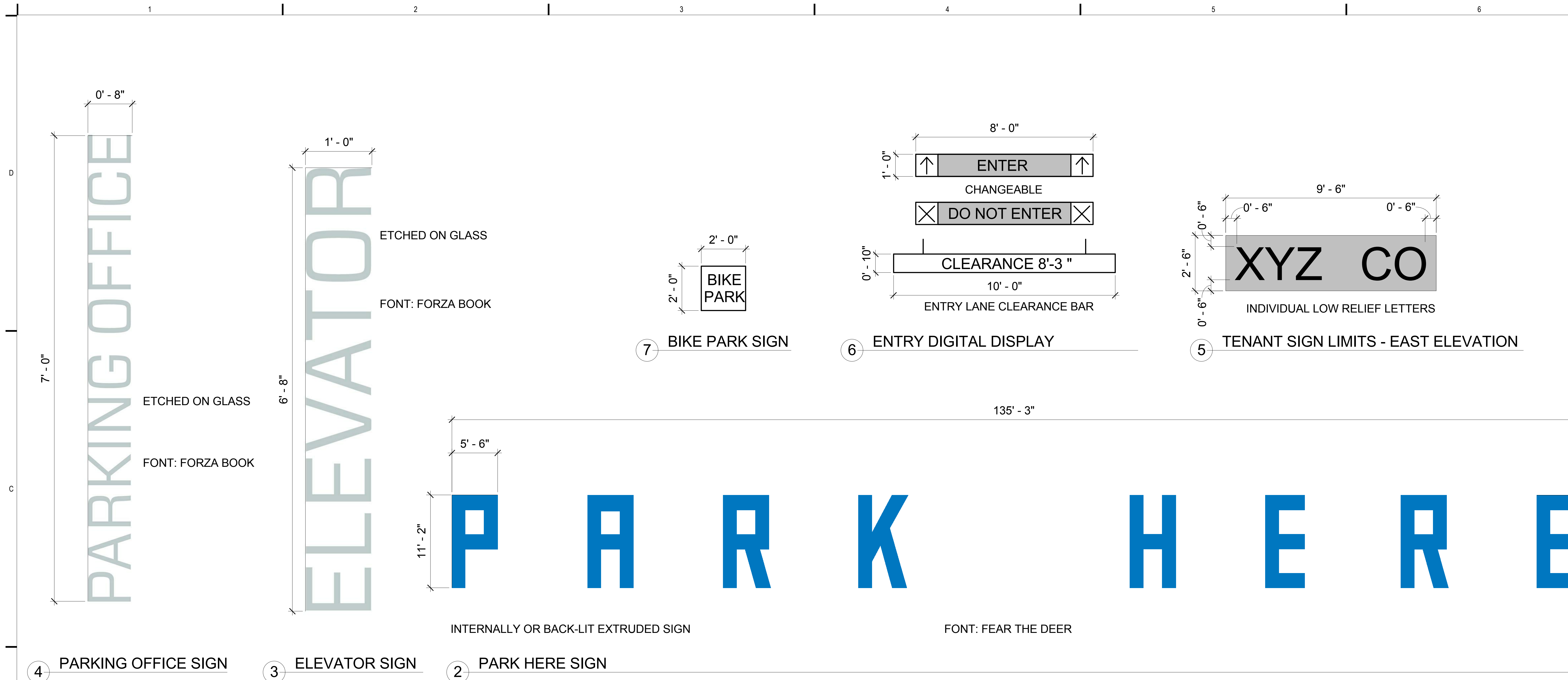


2 DIGITAL DISPLAY BOARD - PLAN



1 NORTH ELEVATION









H BLADE SIGN - TYPE



G ILLUMINATED CANOPY SIGN - TYPE



F FRONT LIT - TYPE



E STENCIL SIGN - TYPE



D PUSH THRU SIGN - TYPE



C OPEN FACE SIGN - TYPE

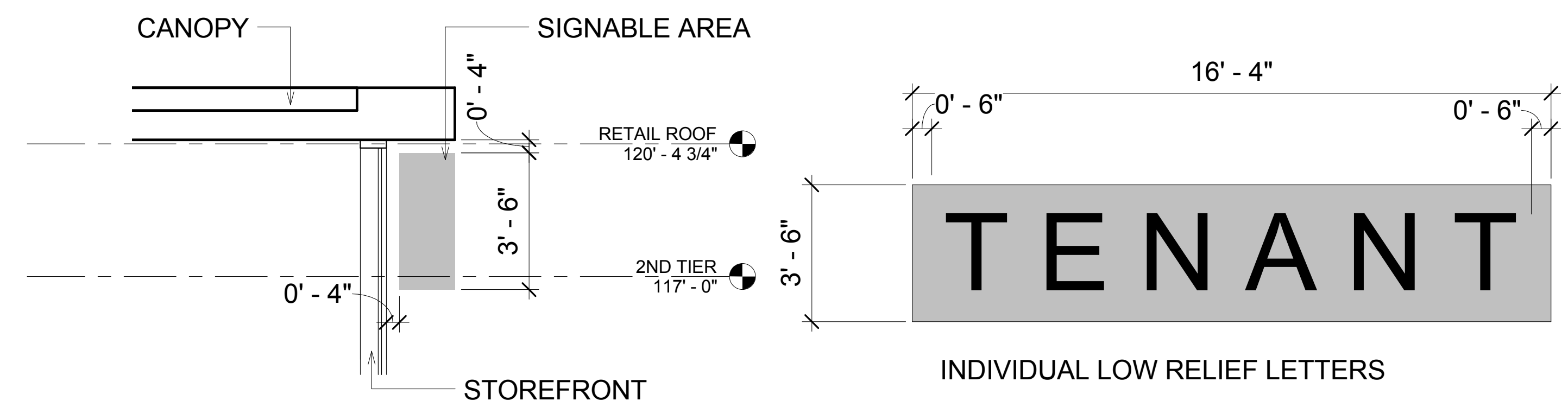


B REVERSE LIT SIGN - TYPE



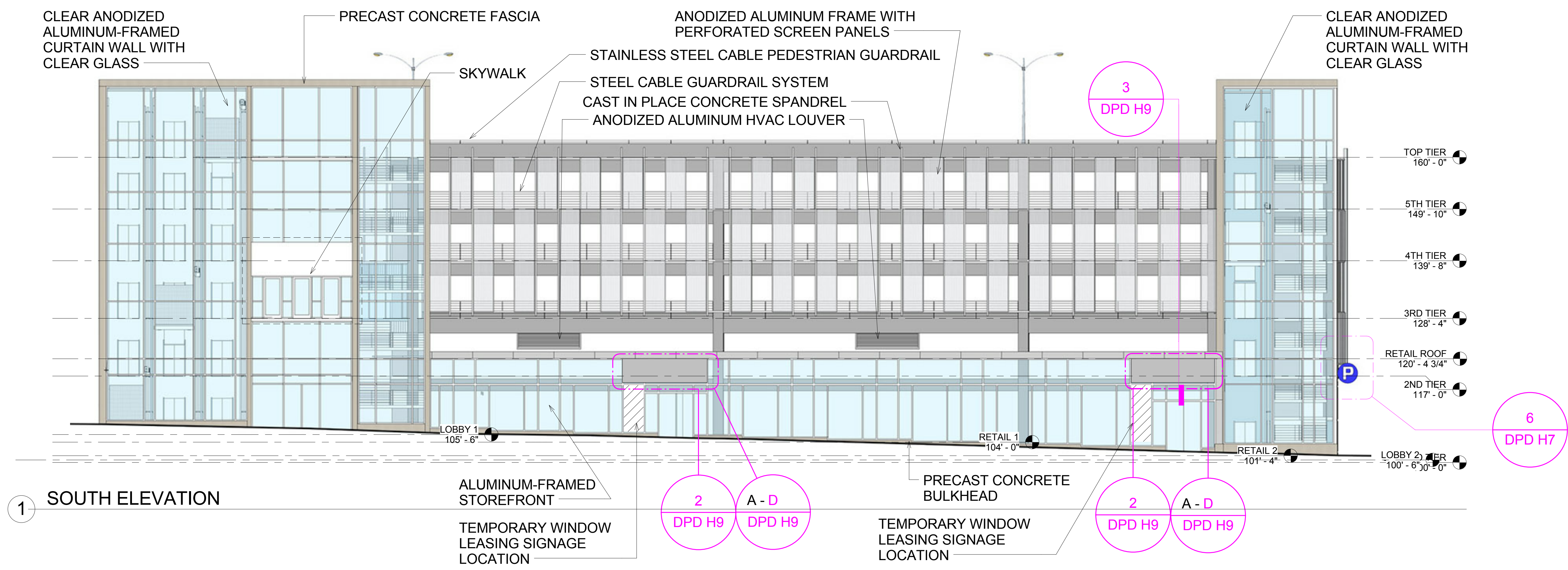
A FRONT/BACK LIT SIGN - TYPE

DETAILS WITH LETTER DESIGNATIONS ARE FOR SIGNAGE STYLE TYPES - FOR REFERENCE/EXAMPLE ONLY  
SEE DETAILS WITH NUMERICAL DESIGNATIONS FOR MORE SPECIFIC PARAMETERS FOR INDIVIDUAL LOCATIONS



3 SOUTH CANOPY SECTION

2 TENANT SIGN LIMITS - SOUTH ELEVATION



1 SOUTH ELEVATION

Enter address here

REVISIONS:	NUMBER	DATE	DESCRIPTION

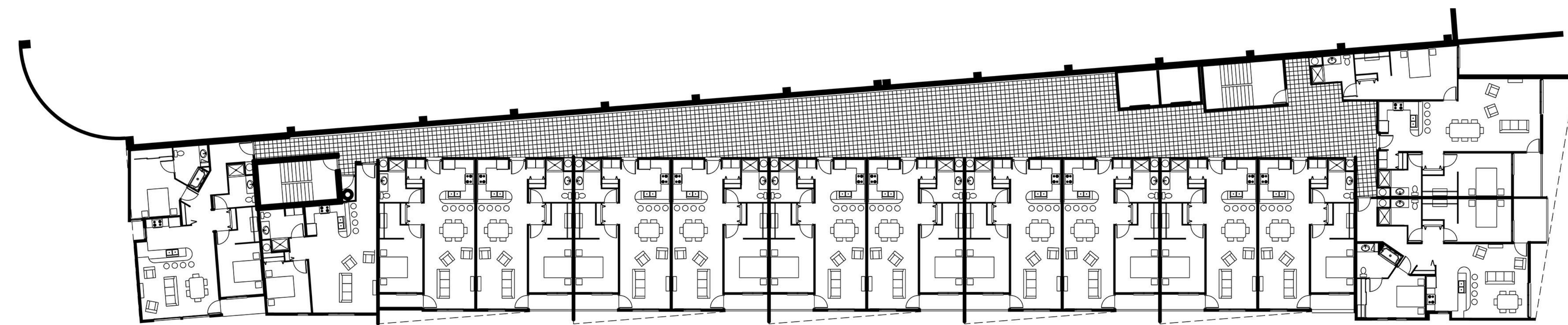
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CHECKED BY:	Checker
APPROVED BY:	Approver
SCALE:	AS NOTED

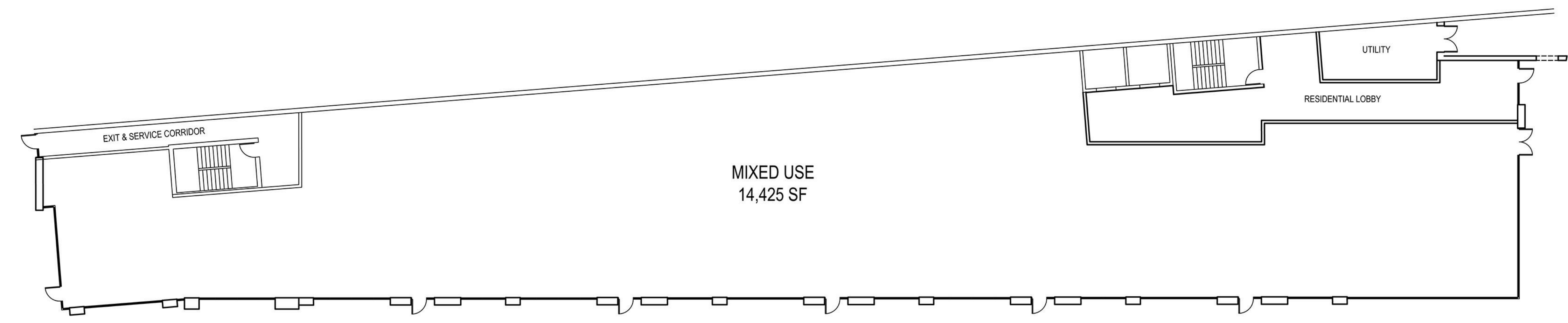
SHEET TITLE:  
**South Elevation and  
Signage**

SHEET NUMBER:

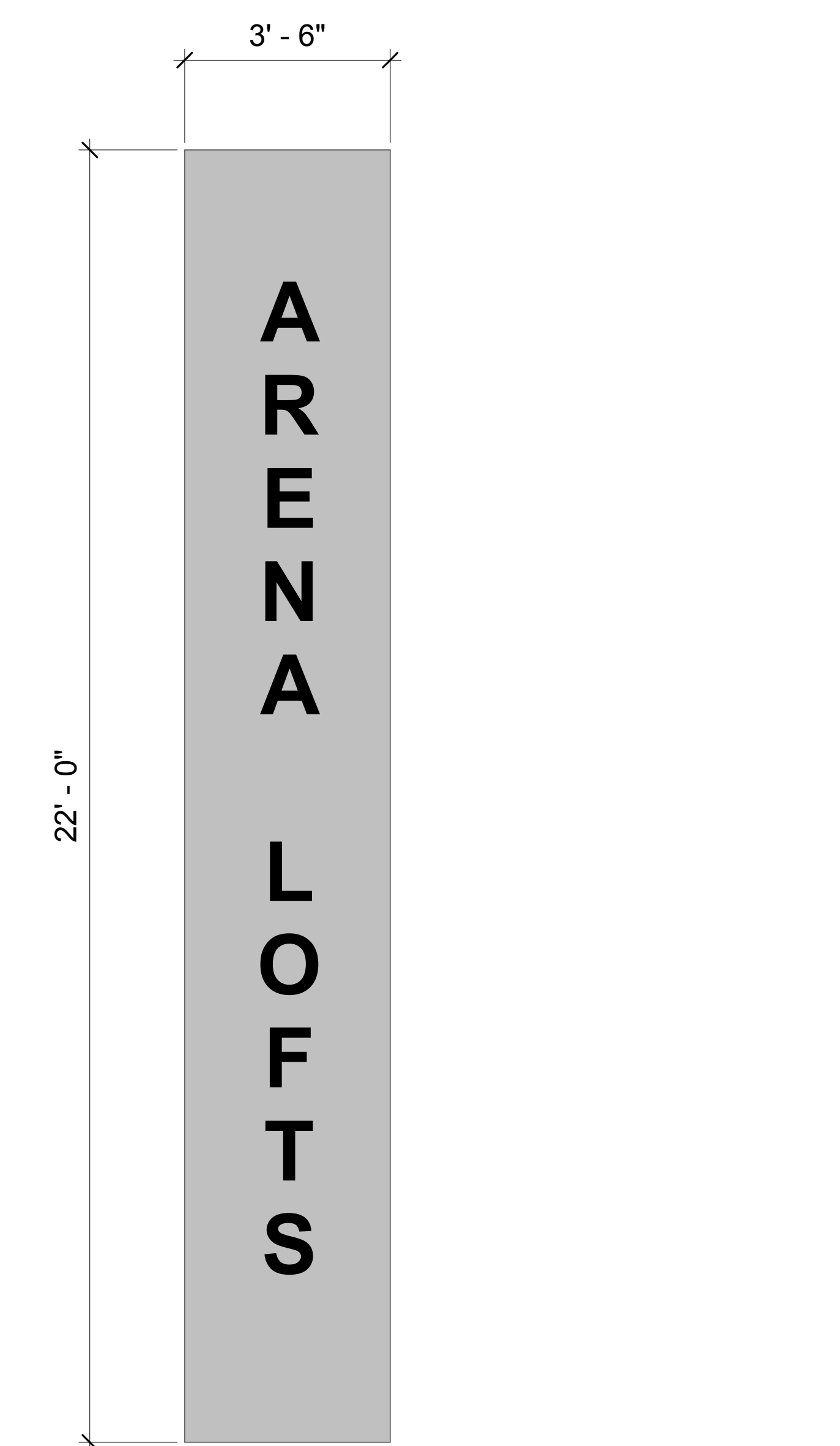




8 HOUSING FLOOR PLAN - TYPICAL UPPER LEVEL



7 HOUSING FLOOR PLAN - GROUND LEVEL



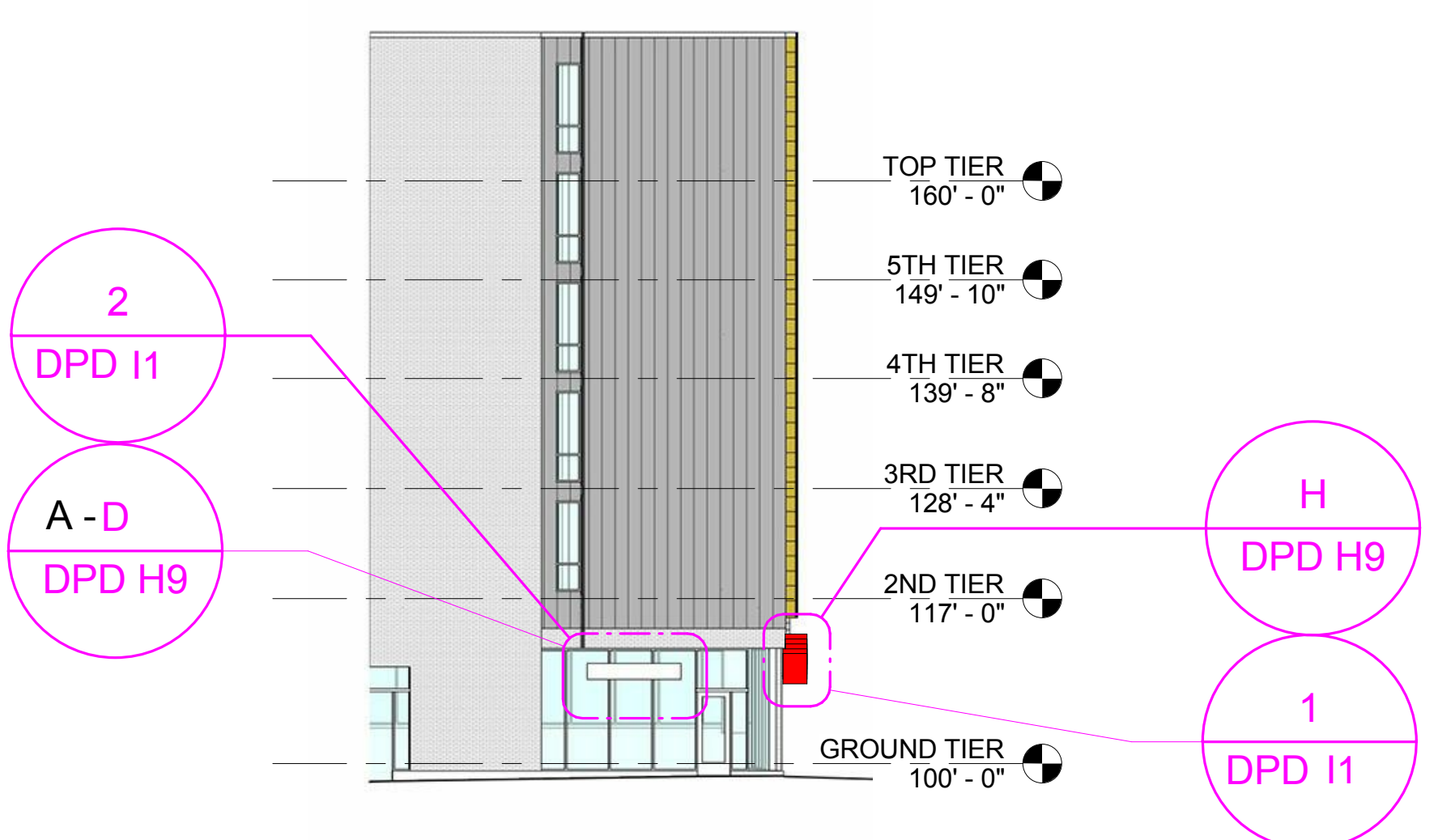
6 RESIDENTIAL SIGN  
 SEE 2-7/DPD A-203



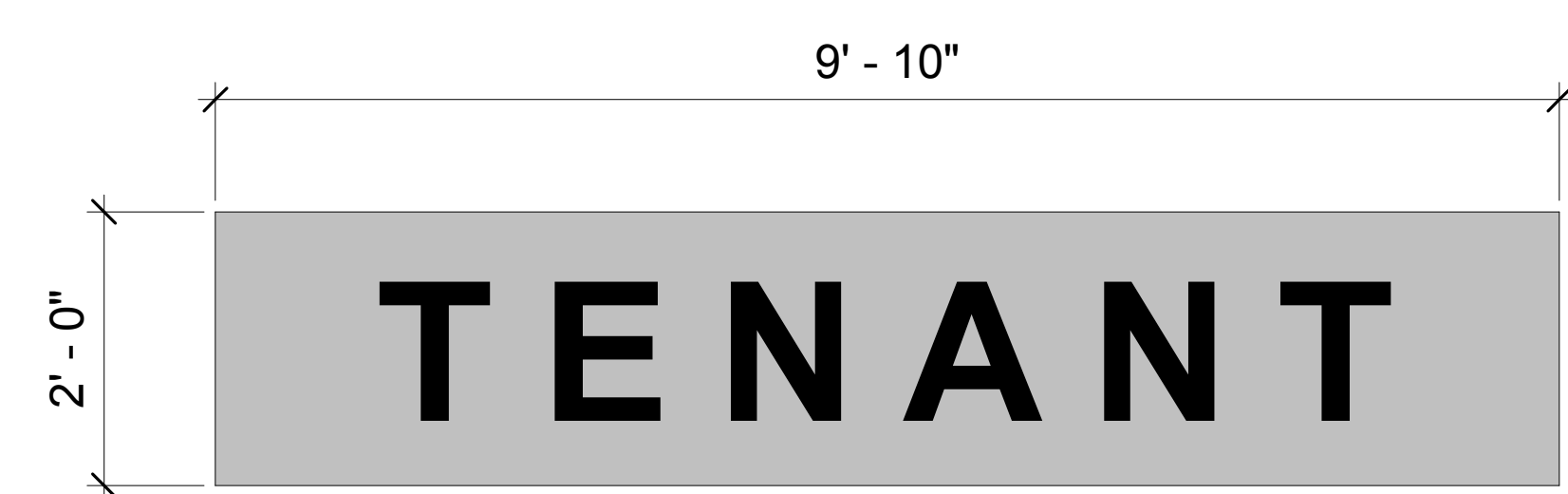
5 WEST ELEVATION WITH HOUSING (DPD)



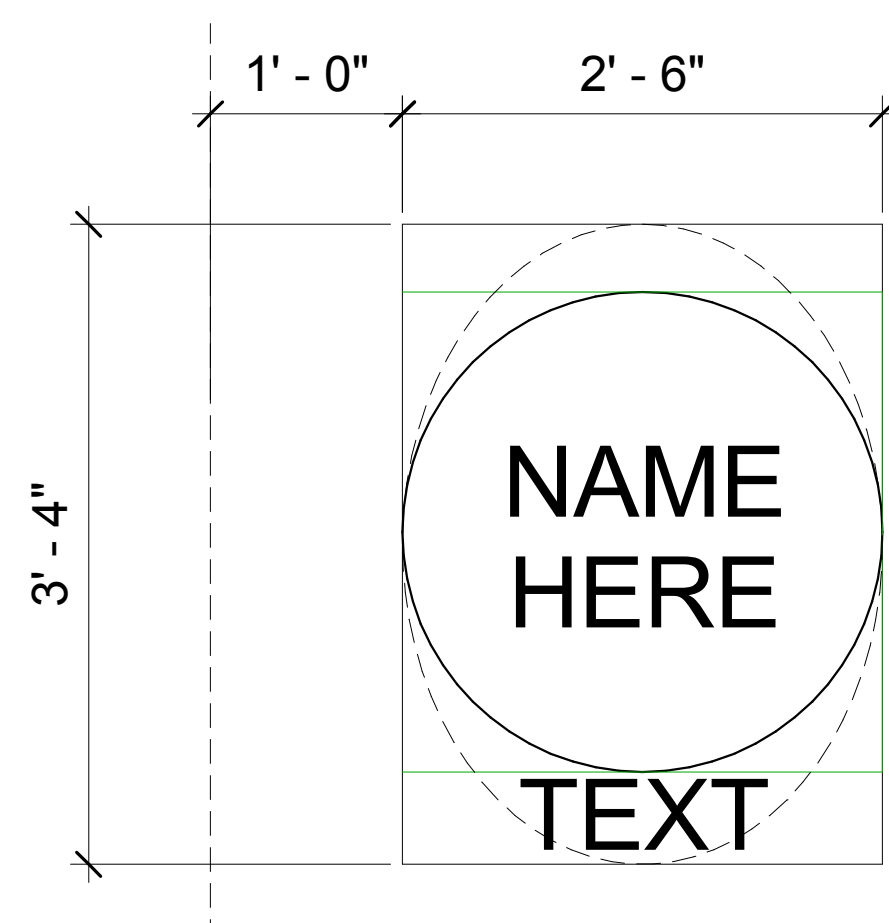
4 SOUTH ELEVATION OF HOUSING (DPD)



3 NORTH ELEVATION OF HOUSING



2 COMMERCIAL SIGN - NORTH AND SOUTH  
 SEE 2-5/DPD A-203



1 COMMERCIAL BLADE SIGN - WEST FACADE



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APPROVED BY:	Approver
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SHEET TITLE:

**Northwest Perspective -  
Housing**

SHEET NUMBER:

**12**

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NORTHWEST PERSPECTIVE VIEW



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SHEET TITLE:

**Southwest Perspective  
- Housing**

SHEET NUMBER:

**13**

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SOUTHWEST PERSPECTIVE VIEW - HOUSING