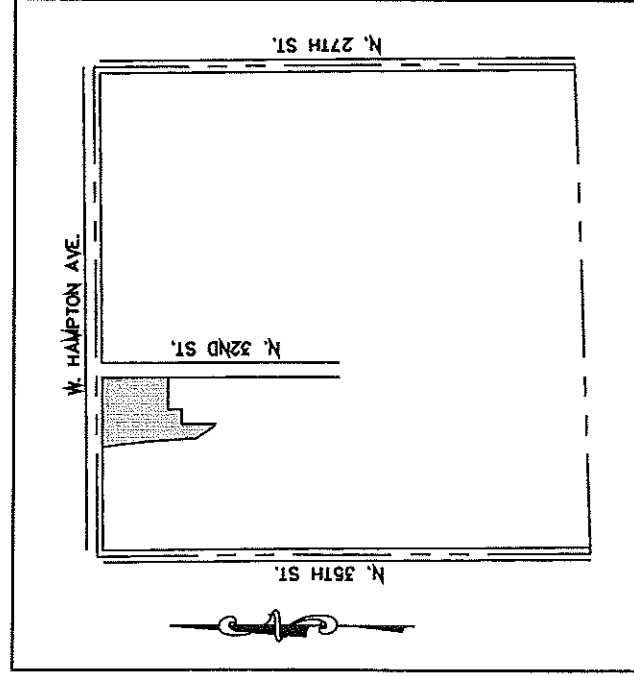


FN 110627
EXHIBIT A
09.21.11



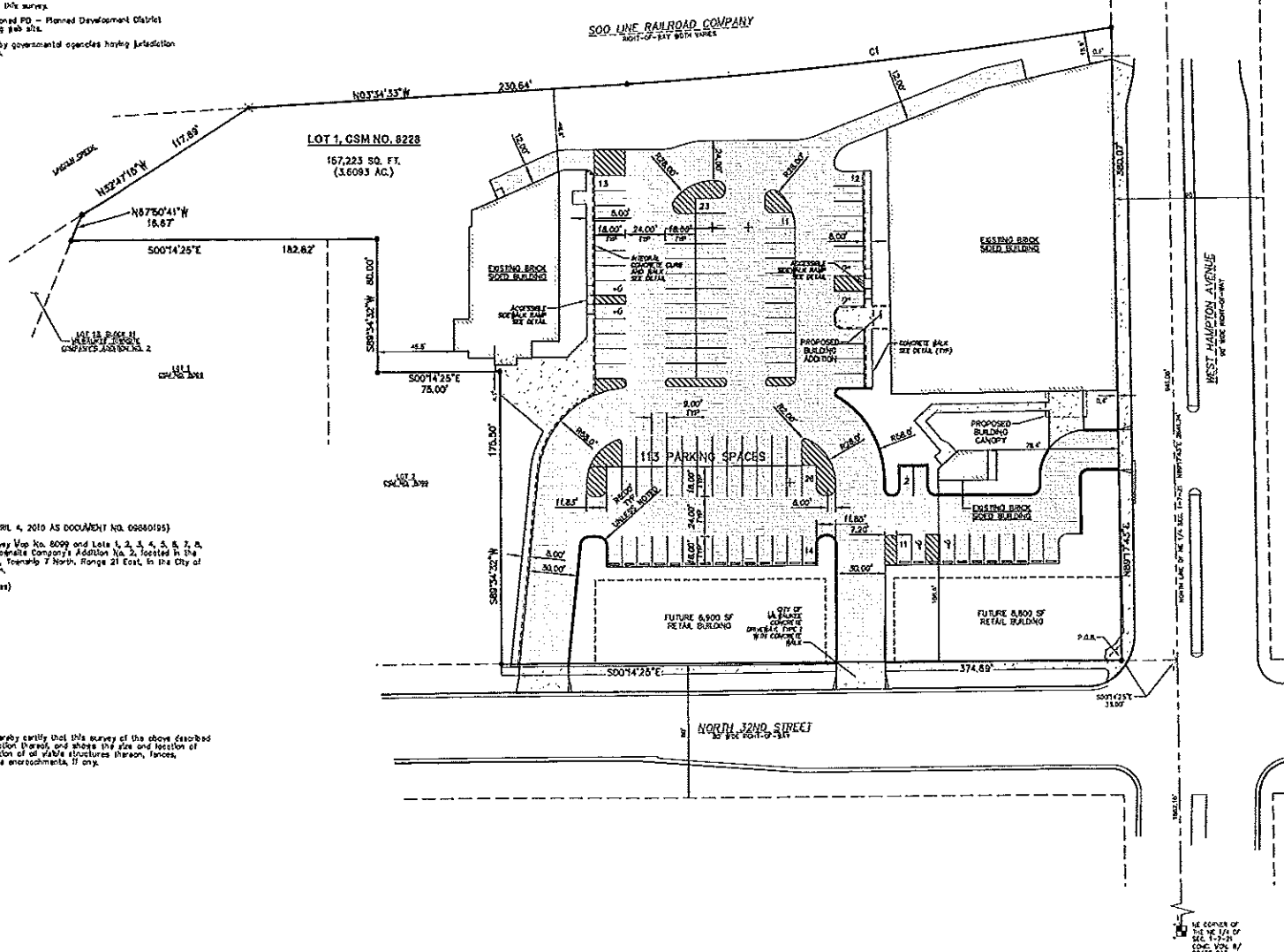
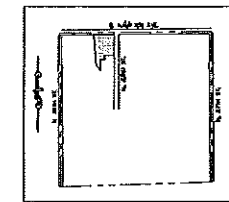
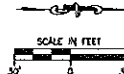
VICINITY MAP
NE 1/4 SEC. 1, T7N, R21E
SCALE 1" = 1000'

GENERAL NOTES

1. Bearings are referenced to the north line of the Northeast 1/4 of Section 1, Township 7 North, Range 21 East, as used on North 591743' East.
2. Project Conversion Factor $G/G_0 = 0.99991484 = \text{Ground}$
3. Horizontal Datum: North American Datum of 1983.
4. Ground Survey performed by JSD Professional Services, Inc. February, May and July and October 2009 and April 2010.
5. The Plat of Survey was prepared and based on a Letter Report prepared by Chicago Title Insurance Company, Letter Report No. 1242612, dated February 3, 2009 and Certified Survey Map No. 8228.
6. Right-of-way widths and locations for Ham Hampton Avenue and North 32nd Street are based on Certified Survey Map No. 8228.
7. "Copper's Holders" are not contacted as part of this survey.
8. At the time of this survey the properties are zoned PD - Planned Development District per the City of Milwaukee electronic GIS mapping web site.
9. Any future development is subject to approval by governmental agencies having jurisdiction and may require other setbacks and restrictions.

CURVE NO.	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH	CENTRAL ANGLE
C1	286.16'	2215.07'	N06°21'14" E	236.04'	81°57'18"

LEGEND
 SECTION CORNER
 1" IRON PIPE FOUND & ACCEPTED
 CHISELED CROSS FOUND & ACCEPTED



LEGAL DESCRIPTION:
 (PER CERTIFIED SURVEY MAP 8228, RECORDED APRIL 4, 2010 AS DOCUMENT NO. 06860195)
 Being a portion of all of Lot 1 of Certified Survey Map No. 8009 and Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, and 12, Block 21, in North Milwaukee Telephone Company Addition No. 2, located in the Northeast 1/4 of the Northeast 1/4 of Section 1, Township 7 North, Range 21 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin.
 Containing in all 157,223 square feet (3.6093 acres).

SURVEYOR'S CERTIFICATE:
 I, John P. Koropoki, Registered Land Surveyor, hereby certify that this survey of the above described property and the map thereon is a true representation thereof, and show the size and location of the property, its exterior boundaries and the location of all visible structures thereon, fences, apparent easements, and roadway and city utility encroachments, if any.
 Date: _____
 John P. Koropoki, R.L.S.
 Registered Land Surveyor, S-2441
 JSD Professional Services, Inc.
 122 West 25th Street, Suite 3
 Milwaukee, WI 53186
 262-612-0666

JSD Professional Services, Inc.
 "Engineers • Surveyors • Planners"
 1500 WEST HAMPTON AVENUE, SUITE 200
 MILWAUKEE, WISCONSIN 53227
 TEL: 262-612-0666 FAX: 262-612-0666
 WWW.JSDPROF.COM

DESIGNER: JPK
 DATE: 3-26-11

APPROVED: [Signature]
 DATE: 3-26-11

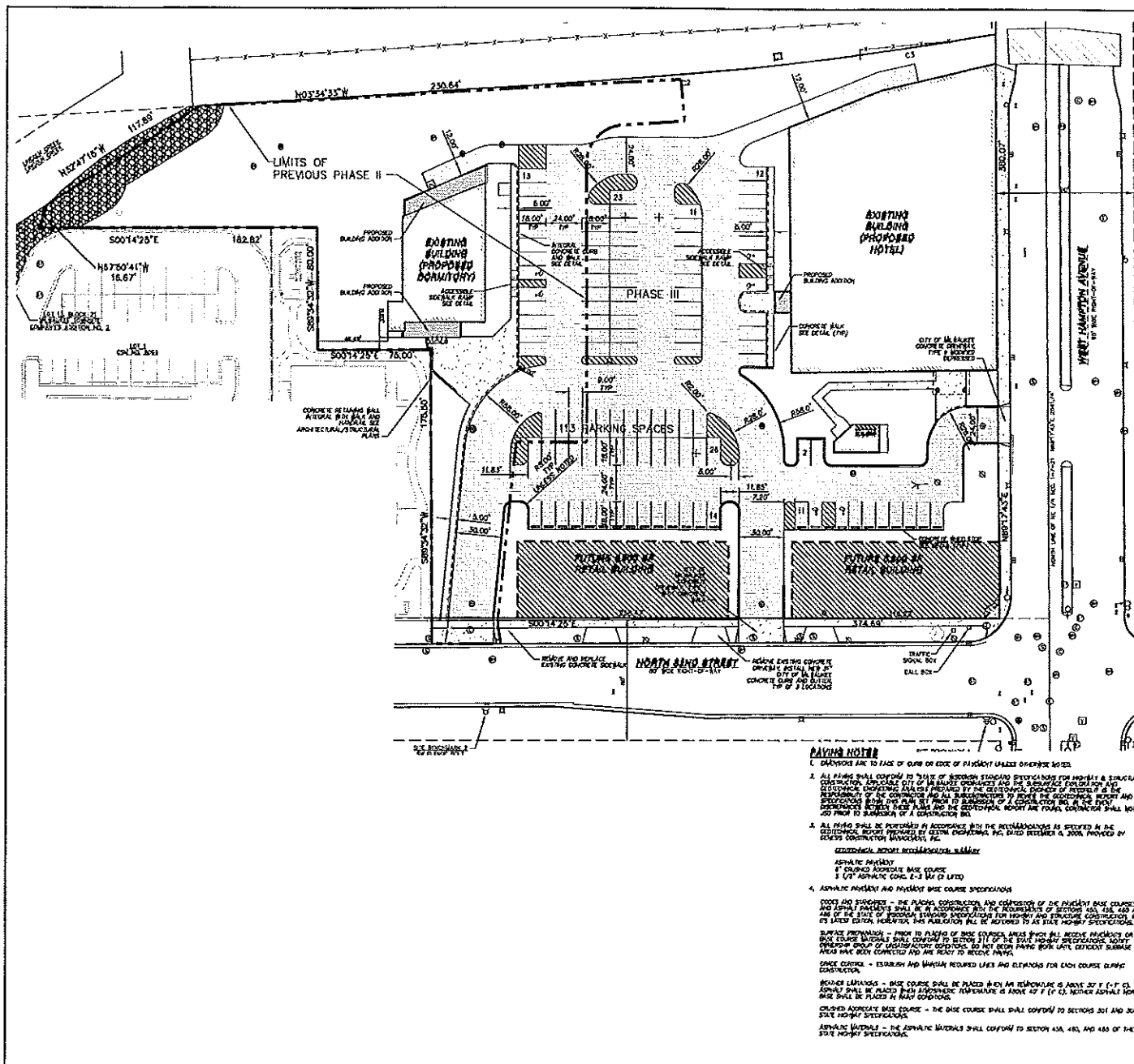
DEERS & HOTLINE
 Tel Free (800) 244-6591
 Milwaukee Area: 414-251-7131
 Fax: 414-251-7131
 www.deersandhotline.com

BISHOP'S CREEK COMMUNITY DEVELOPMENT CORPORATION
 3500 MOTHER DANIELS WAY
 MILWAUKEE, WI 53209

BISHOP'S CREEK DEVELOPMENT

PLAT OF SURVEY

SHEET NUMBER: **CS-1**



SCALE IN FEET
 30' 0 30'

LEGEND

- PROPOSED HOT MIX ASPHALT PAVEMENT
- PROPOSED CONCRETE SLAB PAVEMENT
- PROPOSED ASPHALT CURB/RAIL (SEE DETAIL)
- 10" CURB AND GUTTER (SEE DETAIL)

ALPHABETIC LISTINGS

- C-1.0 PAVEMENT ID & DIMENSION PLAN
- C-2.0 GRADING & EROSION CONTROL PLAN
- C-4.0 DETAILS AND NOTES
- C-4.2 DETAILS AND NOTES
- L-1.0 LANDSCAPE PLAN AND DETAILS

PAVING NOTES

1. DIMENSIONS ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
2. ALL PAVING SHALL CONFORM TO TABLE OF SPECIFICATIONS ESTABLISHED FOR HIGHWAY & STRUCTURE CONSTRUCTION, DIVISION OF HIGHWAY CONSTRUCTION AND THE SUPERVISOR SHALL BE RESPONSIBLE FOR THE CONTRACTOR AND ALL SUBCONTRACTORS TO VERIFY THE ACCURACY OF SURVEY AND INFORMATION FROM THESE PLANS AND THE CONTRACTOR SHALL NOTIFY AND PRIOR TO SUBMITTING OF A CONSTRUCTION SET.
3. ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS AS SPECIFIED IN THE TECHNICAL REPORT PREPARED BY GUSTAV ENGINEERING, INC. DATED DECEMBER 6, 2008, PROVIDED BY THE CITY OF MILWAUKEE, WISCONSIN.
4. ASPHALT PAVEMENT AND PAVEMENT BASE COURSE SPECIFICATIONS:
 - ASPHALT PAVEMENT - 1 1/2" ASPHALT CONC. E-3 MIX (2 LIFTS)
 - ASPHALT PAVEMENT AND PAVEMENT BASE COURSE SPECIFICATIONS

NOTES AND COMMENTS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE PAVEMENT BASE COURSE AND ASPHALT PAVEMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 443.443 AND 443.444 OF THE STATE OF WISCONSIN STATUTES, SUPPLEMENTED BY THE LOCAL ORDINANCES AND RESOLUTIONS IN EFFECT AT THE TIME OF CONSTRUCTION. THE PAVEMENT SHALL BE PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE SUPERVISOR.

PAVEMENT PREPARATION - PRIOR TO PLACING OF BASE COURSE, ALL AREAS SHALL BE PROPERLY PREPARED AND THE SURFACE SHALL BE CLEAN AND FREE OF ALL DEBRIS. THE SURFACE SHALL BE PROPERLY PREPARED AND THE SURFACE SHALL BE CLEAN AND FREE OF ALL DEBRIS.

PAVEMENT CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.

TEMPERATURES - BASE COURSE SHALL BE PLACED IN WET WEATHER AND THE SURFACE SHALL BE PLACED IN WET WEATHER. THE SURFACE SHALL BE PLACED IN WET WEATHER.

PAVEMENT MATERIALS - THE ASPHALT MATERIALS SHALL CONFORM TO SECTION 443.443 AND 443.444 OF THE STATE OF WISCONSIN STATUTES.

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING THE LOCATION AND LOCATION OF THE PROPERTY IS NOT GUARANTEED TO BE ACCURATE OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION AND LOCATION OF THE PROPERTY AS TO THE LOCATION AND LOCATION OF THE PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND LOCATION OF THE PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND LOCATION OF THE PROPERTY.

JSD Professional Services, Inc.
 "Engineers • Surveyors • Planners"

1100 W. WISCONSIN AVENUE
 SUITE 200
 MILWAUKEE, WISCONSIN 53233
 TEL: 414.224.1100
 FAX: 414.224.1101
 WWW.JSDINC.COM

PROJECT INFORMATION

PROJECT: BISHOP'S CREEK COMMUNITY DEVELOPMENT CORPORATION
 3500 MOTHER DANIELS WAY
 MILWAUKEE, WI 53208

PROJECT LOCATION: CITY OF MILWAUKEE, MILWAUKEE COUNTY, WI

PROJECT NO.: 09-3500

DATE: 08/11/09

DESIGNER: JSD
 DRAWN BY: JSD
 CHECKED BY: JSD
 APPROVED BY: JSD

REVISIONS

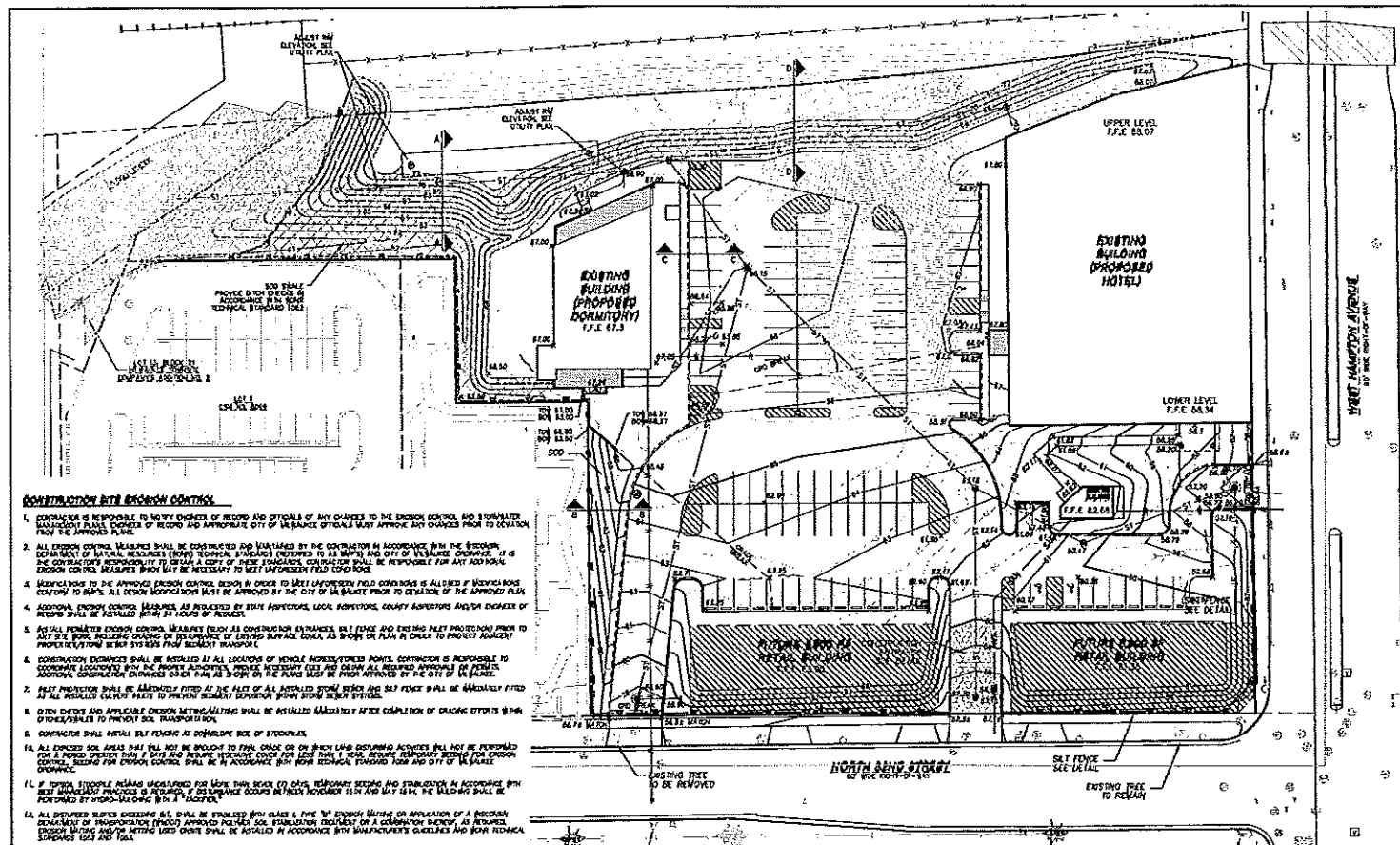
NO.	DATE	DESCRIPTION
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2	08/11/09	ISSUE FOR PERMIT
3	08/11/09	ISSUE FOR PERMIT
4	08/11/09	ISSUE FOR PERMIT
5	08/11/09	ISSUE FOR PERMIT

DIGGERS HOTLINE
 Toll Free (800) 242-8576
 1-800-242-8576
 www.DiggersHotline.com

PAVEMENT ID AND DIMENSION PLAN

DATE: 08/11/09

C-1.0



SCALE: 1" = 20'

PROPOSED LEGEND

- ⊙/⊙ PROPOSED CATCH BASIN
- ⊙ PROPOSED SLOTTED VAULT
- ⊙ PROPOSED SLOTTED PROTECTION
- SF — SILT FENCE (SEE DETAIL)
- S1 — PROPOSED SLOTTED SILEN
- S2 — PROPOSED T' CONTOUR
- S3 — PROPOSED B' CONTOUR
- ⊙ CAUTION UNDERGROUND GAS
- ⊙ CONSTRUCTION ENTRANCE (SEE DETAIL)
- CLASS 1 TYPE B EROSION MAT
- SECTION: SEE DETAIL SHEET

- CONSTRUCTION SITE EROSION CONTROL**
- CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND SEDIMENTATION CONTROL PLAN. ENGINEER OF RECORD AND APPROPRIATE CITY OF MILWAUKEE OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLAN.
 - ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE EROSION CONTROL PLAN. MEASURES SHALL BE CONSTRUCTED WITHIN 24 HOURS OF THE START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL EROSION CONTROL MEASURES THAT MAY BE NECESSARY TO MEET APPLICABLE FIELD CODES.
 - MEASURES TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET APPLICABLE FIELD CODES IS ALLOWED IF PROPOSALS CONFORM TO THE PLAN. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE CITY OF MILWAUKEE PRIOR TO DEVIATION OF THE APPROVED PLAN.
 - ADDITIONAL EROSION CONTROL MEASURES AS REQUESTED BY STATE AGENCIES, LOCAL AGENCIES, COUNTY AGENCIES AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
 - INSTALL PERMANENT EROSION CONTROL MEASURES FOLLOWING ALL CONSTRUCTION ACTIVITIES. SILT FENCE AND EXISTING PALET PROTECTION FROM TO THE SIDE SHALL BE INSTALLED TO PREVENT EROSION OF EXISTING SURFACE EROSION AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES AND NEARBY RESIDENTS FROM EROSION.
 - CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE ACCESS/EXIT POINTS. CONTRACTOR IS RESPONSIBLE TO OBTAIN APPROVAL FROM THE MOST APPROPRIATE AGENCY NEARBY (SEE DETAIL) AND OBTAIN ALL REQUIRED APPROVALS IN PERMIT APPLICATIONS. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AS SHOWN ON THE PLAN AND BE APPROVED BY THE CITY OF MILWAUKEE.
 - SILT PROTECTION SHALL BE INSTALLED AT THE END OF ALL EXISTING STORM SEWER AND SILT FENCE SHALL BE INSTALLED AT THE END OF ALL EXISTING STORM SEWER TO PREVENT SEDIMENT EROSION FROM STORM SEWER SYSTEMS.
 - EROSION CONTROL AND APPLICABLE EROSION CONTROL MEASURES SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WHICH EXPOSED AREAS TO PREVENT SOIL TRANSPORTATION.
 - CONTRACTOR SHALL INSTALL SILT FENCE AT DOWNHILL SIDE OF SLOPES.
 - ALL EXPOSED SOIL AREAS SHALL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERMITTED FOR A PERIOD EXCEEDING 30 DAYS AND REQUIRE PROTECTIVE COVER FOR LONG TERM EXPOSURE. IMMEDIATE REPAIRS FOR EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH STATE REGULATIONS, FEDERAL LAW AND CITY OF MILWAUKEE REGULATIONS.
 - IF STORM SEWER AREAS UNDESIRABLE FOR LONG TERM EXPOSURE, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF STABILIZATION OCCURS WITHIN 14 DAYS AND MAY BE 14, THE WEEDING SHALL BE PERFORMED BY HAND-WEEDING WITH A TACKLER.
 - ALL EXISTING TREES EXCEEDING 4" DBH SHALL BE STABILIZED WITH CLASS 1 TYPE B EROSION MATTING OR APPLICATION OF A BROWN DEBRIS MAT. TEMPORARY PROTECTIVE COVER SHALL BE INSTALLED TO PREVENT EROSION OF EXISTING SURFACE AS SHOWN IN PERMIT APPLICATIONS AND WITHIN 24 HOURS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WITH FEDERAL REGULATIONS 102 AND 103.
 - THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING EROSION (SILT) DURING CONSTRUCTION AT NEARBY EXISTING SITES NECESSARY BY REQUIRED BY LOCAL AGENCIES AND/OR ENGINEER OF RECORD.
 - EROSION CONTROL FOR EXISTING CONSTRUCTION SHALL BE MAINTAINED WITHIN 24 HOURS.
 - STABLE CONTACT AND STABILIZE THE EROSION IMMEDIATELY AFTER PILE CONSTRUCTION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING EROSION (SILT) FROM CONSTRUCTION AT NEARBY EXISTING SITES NECESSARY BY REQUIRED BY LOCAL AGENCIES AND/OR ENGINEER OF RECORD.
 - PLACE BRACKETS ALONG TO CONSTRUCTION SITE. BRACKETS SHALL BE INSTALLED AND BE RESPONSIBLE TO PREVENT ACCUMULATED SOIL DIRT AND/OR DIRT AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE CITY OF MILWAUKEE.
 - APPROVALS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE REVIEWED (ONCE PER WORK DAY) TO ENSURE PROPER FUNCTION OF EROSION CONTROL AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5 INCHES. IMMEDIATELY REPAIR ANY DAMAGE CAUSED DURING THE OPERATION.
 - EROSION CONTROL MEASURES SHALL BE MAINTAINED ONLY AT THE CONSTRUCTION SITE. ALL SOIL SURFACES SHALL BE IN ESTABLISHED VEGETATIVE COVER.

- GENERAL GRADING NOTES**
- CONTRACTOR SHALL VERIFY ALL GRADES. USE BLUE ALL AREAS (OWN PROPERTY) AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER OF RECORD PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
 - ALL PROPOSED GRADES SHALL BE FINISHED GRADES. FINISH LOT AND DRIVEWAY ELEVATIONS ARE FINISHED GRADES. NOT TOP OF CURB GRADES UNLESS OTHERWISE NOTED.
 - ROW: ROW IS THE RIGHT-OF-WAY BOUNDARY ON A SIDE STREET. RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE CITY OF MILWAUKEE OFFICIALS PRIOR TO CONSTRUCTION OF ANY CONSTRUCTION ACTIVITIES. ALL GRADES WITHIN THE ROW-OF-WAY IS SUBJECT TO APPROVAL BY SUD OFFICIALS.
 - THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE COMPLETION OF ALL GRADING QUALITY. ROW AND ATTEMPTS TO PROVIDE A POSITIVE DRAINAGE APPROACH TO EXISTING DRAINAGE. GRADE DESIGN IS BASED ON MANY FACTORS, INCLUDING WATER, METEOROLOGICAL, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE NO GUARANTEE CAN BE MADE FOR A GRADED SITE.

- CONSTRUCTION SITE REQUIREMENTS**
- INSTALL PERMANENT SILT FENCE AND TEMPORARY CONSTRUCTION ENTRANCE.
 - CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS WITH DAMAGE DITCHES AS NEEDED.
 - INSTALL UTILITY PIPES AND STRUCTURES. IMMEDIATELY INSTALL SILT PROTECTION.
 - COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PARAPETS, PAVES, ETC.
 - PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL MAT.
 - EROSION CONTROL SHALL NOT BE REMOVED UNTIL SITE IS FULLY STABILIZED OR SOIL VEGETATIVE COVER IS ESTABLISHED.
- CONTRACTOR SHALL NOTIFY ENGINEER AND CITY OF MILWAUKEE IMMEDIATELY TO COMPLETE CONSTRUCTION OF EROSION CONTROL MEASURES IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING THE TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO PROTECT THE PROPOSED CONSTRUCTION. UNDERGROUND UTILITIES ARE SHOWN AS THEY APPEAR IN THE RECORD DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DEPTH, LOCATION, AND TYPE OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DEPTH, LOCATION, AND TYPE OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DEPTH, LOCATION, AND TYPE OF ALL UTILITIES.

JSD Professional Services, Inc.
 Engineers • Surveyors • Planners

1200 WEST WISCONSIN AVENUE, SUITE 200
 MILWAUKEE, WISCONSIN 53233
 TEL: 414.224.1100 FAX: 414.224.1101
 WWW.JSDINC.COM

PROFESSIONAL ENGINEER
 CIVIL ENGINEERING
 SURVEYING & MAPPING
 CONSTRUCTION SERVICES
 WATER RESOURCES
 PLANNING & DEVELOPMENT
 TRANSPORTATION ENGINEERING
 LANDSCAPE ARCHITECTURE

MILWAUKEE REGIONAL OFFICE
 1200 WEST WISCONSIN AVENUE, SUITE 200
 MILWAUKEE, WISCONSIN 53233
 TEL: 414.224.1100 FAX: 414.224.1101
 WWW.JSDINC.COM

PROJECT: BISHOP'S CREEK COMMUNITY DEVELOPMENT CORPORATION
 3500 MOTHER DANIELS WAY
 MILWAUKEE, WI 53207

PREPARED FOR: CITY OF MILWAUKEE
 MILWAUKEE COUNTY, WI

JSD PROJECT NO.: 09-3500
 SHEET NO.: C-2.0

IN THROUGH OVER EFFORTS HAVE BEEN MADE TO PREPARE THESE PLANS AND CHECKING THEREFOR ACCURATE. THE CONTRACTOR AND SUBCONTRACTORS LISTED ON ALL DETAILS AND DIMENSIONS OF THESE PLANS, AND BE RESPONSIBLE FOR THE SAME.

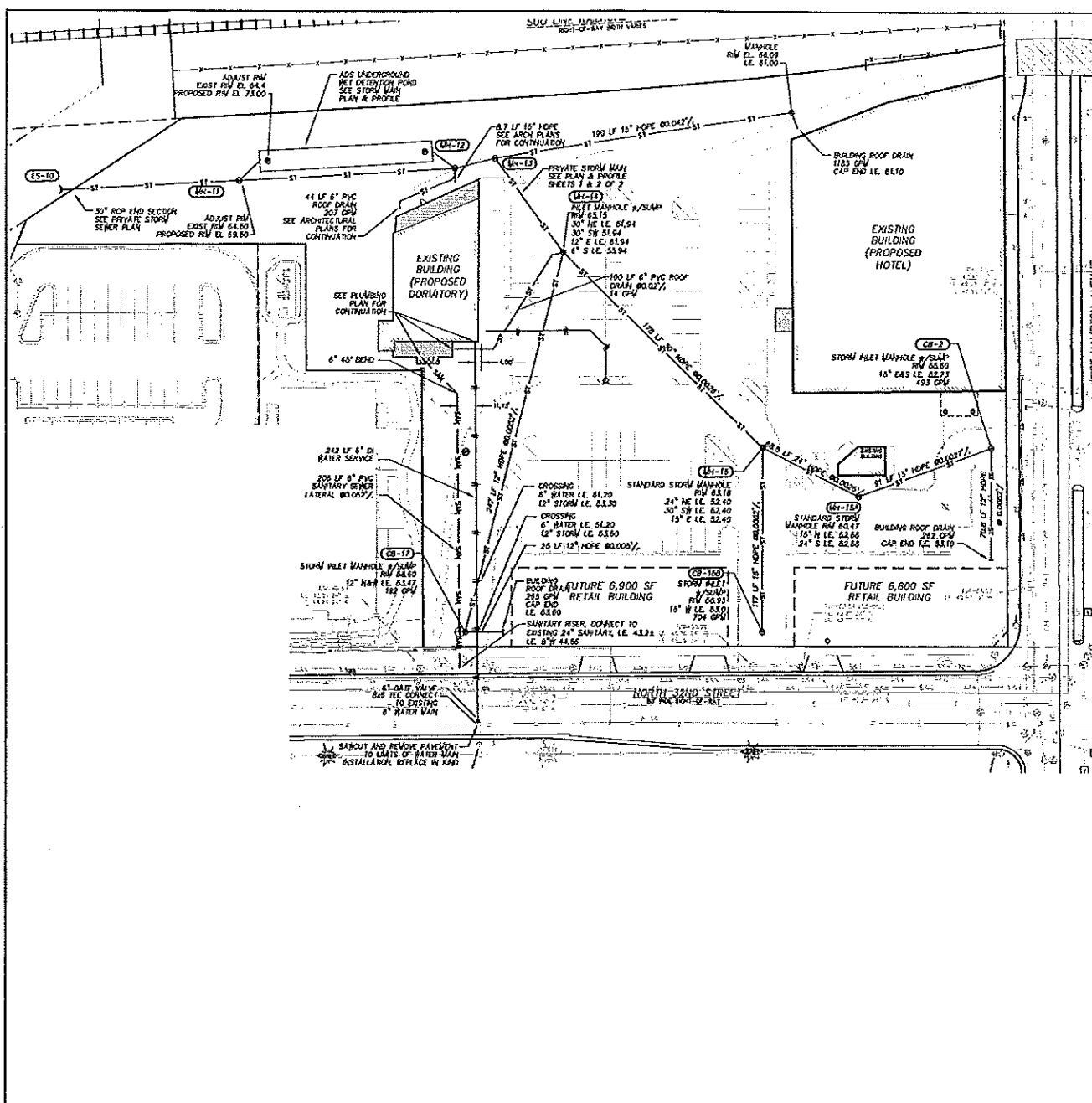
REVISION	DATE	BY	DATE
1	11-12-09	ES/MS	11-12-09
2	11-12-09	ES/MS	11-12-09

PLAN DESCRIPTIONS

NO.	DESCRIPTION	DATE
1	REVISIONS TO UNDERGROUND UTILITIES	11-12-09
2	CITY REVIEW COMMENTS	11-12-09
3	REVISED UNDERGROUND UTILITIES	11-12-09
4	REVISED UNDERGROUND UTILITIES	11-12-09
5	REVISED UNDERGROUND UTILITIES	11-12-09

OVERALL GRADING & EROSION CONTROL PLAN

C-2.0



JSD Professional Services, Inc.
 ENGINEERS • SURVEYORS • DESIGNERS

1800 W. WASHINGTON AVENUE
 MILWAUKEE, WISCONSIN 53233

TEL: 414.333.1111
 FAX: 414.333.1112
 WWW.JSDINC.COM

PROJECT PROVIDED TO
BISHOP'S CREEK COMMUNITY DEVELOPMENT CORPORATION
 3500 HATHER DANIELS WAY
 MILWAUKEE, WI 53203

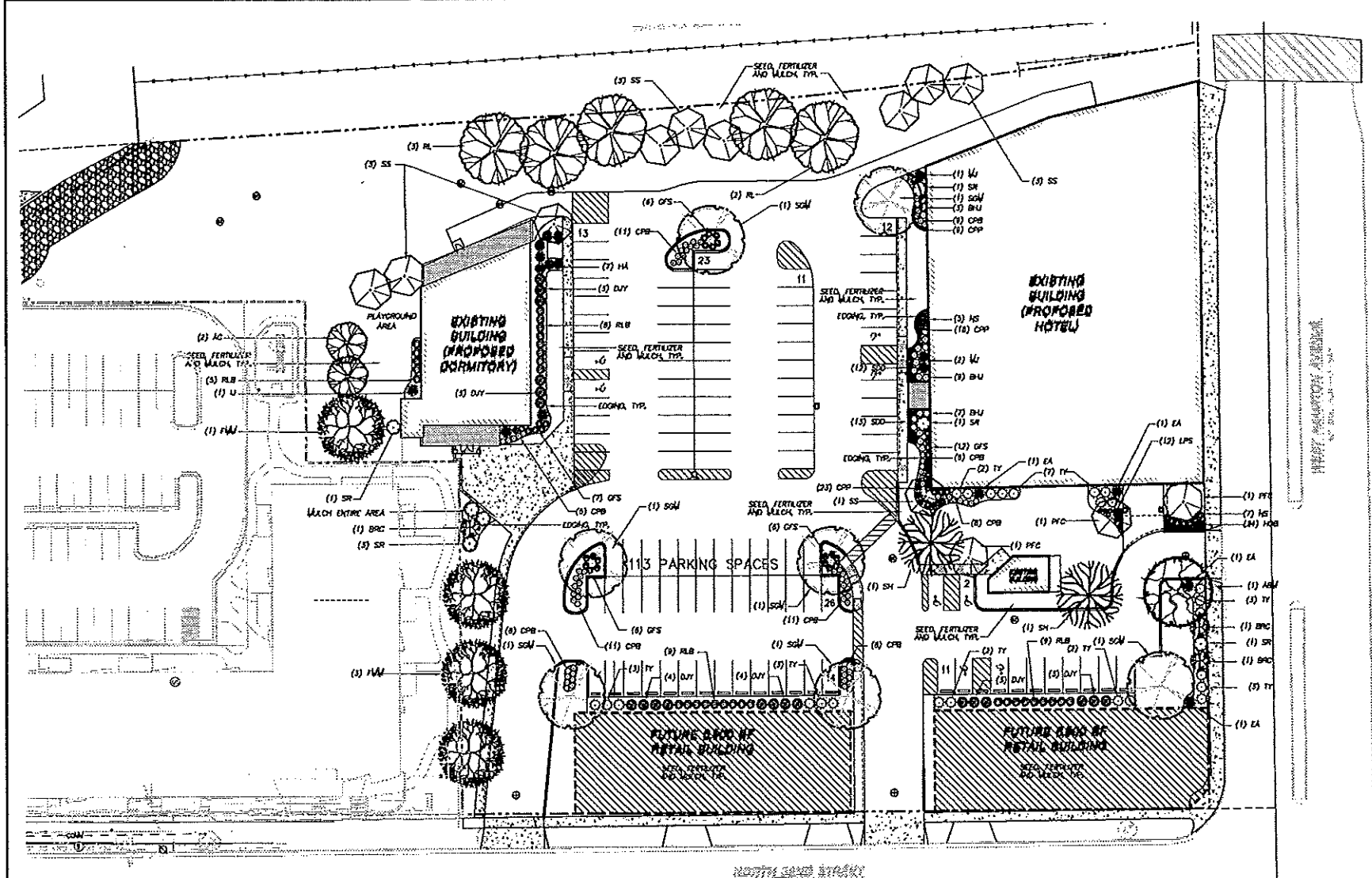
PROJECT: **BISHOP'S CREEK DEVELOPMENT**

PROJECT LOCATION: **CITY OF MILWAUKEE, MILWAUKEE COUNTY, WI**

JSD PROJECT NO.: **09-3500**

SHEET NO.: **C-3.0**

UTILITY PLAN

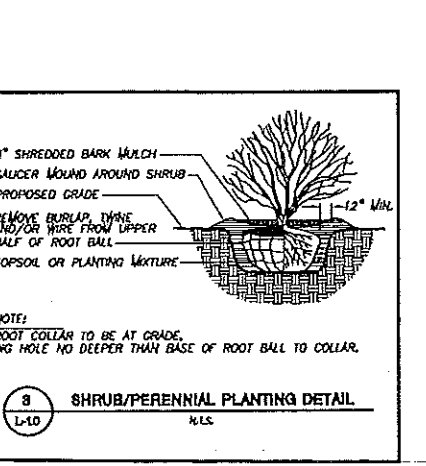
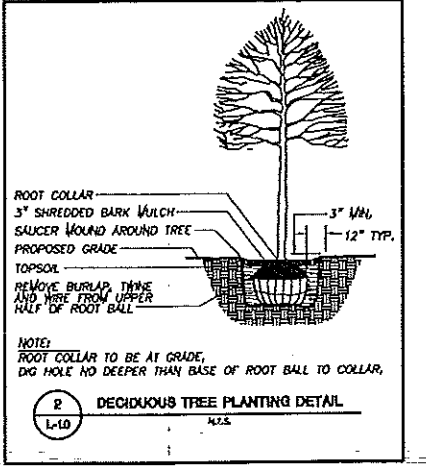
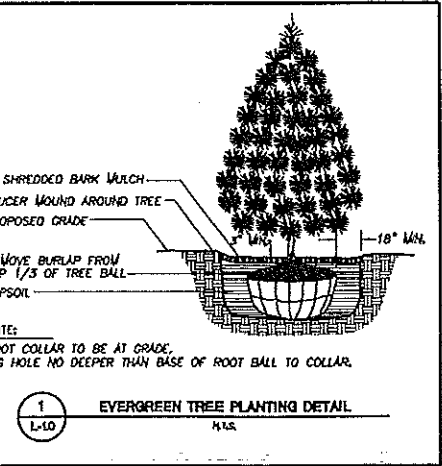


LANDSCAPE NOTES AND SPECIFICATIONS

- GENERAL: ALL WORK IN THE R-O-S AND PUBLIC PLACEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF MILWAUKEE REQUIREMENTS. SO SHALL BE HELD HARMLESS AND DOES NOT WAIVE ANY OBLIGATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION AND DOES NOT WAIVE ANY RIGHTS BY ANY OF ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-363-0000 FOR UTILITY LOCATIONS AT LEAST 10 DAYS PRIOR TO BEGINS. HAND LOC AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR PLANTING PRIOR TO BEGINS AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL THE GRADING AND RESTORATION WITH THE CIVIL CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER LIVE PLANT MATERIALS THAT CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL PLANTS SHALL BE PLANTED ON THE DAY OF DELIVERY. IF PLANTS ARE PLANTED CAN NOT BE PLANTED ON THE DAY, STORE NOT PLANTED STOCK IN A SHADY AREA PROTECTING THE ROOT MASS WITH NET SOL. LOSS OR OTHER DAMAGE FROM WEATHER, DO NOT REMOVE CONTAINERS OR BULLED PLANTS BY STEW OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HUNG FROM THE BOTTOM OF THE BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICES.
- QUANTITIES: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY PLANTS THAT ARE DEAD OR NOT IN A WOODS-LIKE CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT. FOLLOWING BUT NOT LIMITED TO: EDGING, MULCH, GRASS, ETC. REPAIR DAMAGE TO OTHER PLANTS OR LAWN DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A 2-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK AND MUST BE PLANTED WITHIN 10 DAYS OF DELIVERY. PLANTS SHALL BE FREELY DIVIDED DURING THE MOST RECENT SEASONABLE HARVEST SEASON. PLANTS SHALL BE FREELY DIVIDED IN DEVELOPING AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPLETENESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, WOODRICK, WELL BRANCHED AND DENSELY FOLIAGED WHEN IN LEAF, AND FREE OF DISEASE AND INSECT DAMAGE. PLANTS SHALL BE PLANTED WITHIN 10 DAYS OF DELIVERY. PLANTS SHALL BE PLANTED AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT TYPICAL GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES, BE SOUND, HEALTHY, WOODRICK AND FREE OF DISEASE AND INSECT DAMAGE.
- MATERIALS - SOIL: PLANTING SOIL/COMPACTED TOPSOIL SHALL MEET THESE REQUIREMENTS:
 1. SETBACK AREAS = 6"
 2. DRIVEWAYS = 18"
 3. TREE BEDS AND PITS = SEE DETAILS
 PLANTING SOIL TO BE A MINIMUM OF 6" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRAGILE LOW FROM LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 1/4" IN DIAMETER AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE ALLOWED TO MEET THESE SPECIFICATIONS. DO NOT PLACE TOXIC OR HAZY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE BEDS PER SOIL TEST.
- MATERIALS - FERTILIZER AND MULCH: ALL PLANT BEDS, TREE BEDS, AND PLANTED PARCHE ISLANDS SHALL RECEIVE 3" OF MUSHROOM COMPOST, TILLED INTO THE TOP 1" OF ALL PLANTING BEDS. ALL PLANTING BEDS, TREE BEDS, AND PLANTED PARCHE ISLANDS SHALL RECEIVE 3" DEPTH, FINELY SHREDDED, WET FINE, HARDWOOD BARK MULCH (DYE-FREE) OVER ENTIRE BED, UNLESS OTHERWISE SPECIFIED ON PLANS. FERTILIZER SHALL BE IN ACCORDANCE WITH MILWAUKEE COUNTY AND STATE OF WISCONSIN REQUIREMENTS.
- MATERIALS - SEEDS: ALL DISTURBED AREAS SHALL BE SEEDING WITH EARTH CARE'S "SPRINKLE GRADE A" SEED MIX AT A MINIMUM RATE OF 5 LBS/1000 SQ. FT. AND SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LIME SEEDING, MULCH SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZER AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
- MATERIALS - EDGING: ALL EDGING SHALL BE BLACK DURA-DUR POLYETHYLENE EDGING (OR EQUIVALENT) INSTALLED PER MANUFACTURER'S INSTRUCTIONS. ALL TREES NOT WITHIN PLANT BEDS SHALL BE INSTALLED WITH A 3" DIAMETER TREE RING EDGING BORDER.
- PLANTING OPERATIONS: PLANTING OPERATIONS SHALL BE IN ACCORDANCE WITH SECTION 11 OF THE WISCONSIN OR TREE PLANTING AND PLANTING SPECIFICATIONS. PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL LANDSCAPE BEDS, WHEN INSTALLED PLANTS AROUND TREES. DO NOT INSTALL PLANTS ANY CLOSER THAN 2" FROM THE CENTER OF THE TREE. PRE-EMERGENT HERBICIDE TO BE APPLIED TO ALL LANDSCAPE BEDS.
- PLANTING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY DAMAGES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK OPERATIONS AND PRACTICES. PRUNE TREES IN ACCORDANCE WITH NFA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CLEARING AND BRUSHES OR SCARS ON BARK, TRACE THE BARKED CHANNEL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHARP EDGES SO AS NOT TO RETAIN WATER AND COOL THE TREATED AREA WITH AN APPROVED ANTISEPTIC TREE PAINT.
- CLEANUP: DISPOSAL OF EXCESS SOIL, REMOVE ALL OUTRIGS AND EXISTING MATERIALS. SOIL BRUSHES, BRANES, AND BRUSHING MATERIALS COLLECTED IN PITS OR OTHER BEDS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED FROM WORK AREA. WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRUSHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC HIGHWAY OR IN SUCH A MANNER AS TO RESULT IN A PUBLIC HAZARD. EXCESS UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- MAINTENANCE FOR PLANTING AND LAWN SEED: THE CONTRACTOR SHALL MAINTAIN PLANTINGS AND LAWN FOR 30 DAYS OR LONGER FROM ACCEPTANCE. THE CONTRACTOR SHALL MAINTAIN PLANTINGS AND LAWN FOR 30 DAYS PERIOD. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHMENT OF HEALTHY WOODRICK LAWN GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY BRUSH, AND/OR BRUSH AND/OR DEBRIS OF DEFUNCT BARK MULCH. LONG TERM MAINTENANCE IS THE RESPONSIBILITY OF THE OWNER.

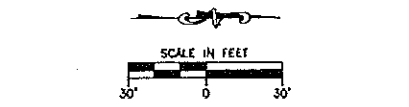
PLANT SCHEDULE

SYM	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
TALL DECIDUOUS CANOPY TREES					
SCM	7	Shorea Elm Maple	ACER Freemanii Sieberia (PFF1326)	2 1/2" Cal.	849
ABM	7	Autumn Blaze Maple	ACER Freemanii Variegated	2 1/2" Cal.	859
FMB	4	River Birch Maple	ACER saccharinum Flax Mill Maples	2 1/2" Cal.	859
SH	2	Shyne Honeylocust	GLADSTONIA triflorata (var. 1000)	2 1/2" Cal.	849
RL	3	Redmond Larch	TRILIX + Redmond	2 1/2" Cal.	849
MEDIUM EVERGREEN TREES					
WU	3	Windsor Juniper	JUNIPERUS chinensis 'Windsor'	3-4' Ht.	848
U	1	Just Angier	JUNIPERUS chinensis 'Just Angier'	2-3' Ht.	848
EA	2	Brandon Arborvitae	THUJA occidentalis 'Brandon'	3-4' Ht.	848
HA	7	Highway Arborvitae	THUJA occidentalis 'Hollmeyer'	3-4' Ht.	848
EA	4	Emerald Arborvitae	THUJA occidentalis 'Sivraga'	3-4' Ht.	848
LOW DECIDUOUS TREES					
AC	2	Adams Crab Apple	MALUS Adams'	1 1/2" Cal.	848
PPC	3	Prunella Crab Apple	MALUS Prunifolia	1 1/2" Cal.	848
SS	10	Spring Snow Crab Apple	MALUS Spring Snow	1 1/2" Cal.	848
TALL DECIDUOUS SHRUBS					
BRC	3	Brilliant Red Crape Myrtle	LAGERSTROMIA speciosa 'Brilliant Red'	18" Ht.	# 3 Cont.
MEDIUM DECIDUOUS SHRUBS					
SR	1	Spring Red Crape Myrtle	LAGERSTROMIA speciosa 'Spring Red'	18" Ht.	# 3 Cont.
MEDIUM EVERGREEN SHRUBS					
DY	25	Dwarf Jay View (Branched)	TAXUS canadensis 'Jay View'	15-18" Ht.	# 3 Cont.
TY	15	Fantasia Yew	TAXUS media 'Fantasia'	15-18" Ht.	# 3 Cont.
LOW DECIDUOUS SHRUBS					
RLB	31	Red of Barbony	SERBENIA floribunda var. 'Red of Barbony'	15" Ht.	# 2 Cont.
CPB	37	Cypripedium Barbony	SERBENIA floribunda var. 'Cypripedium Barbony'	15" Ht.	# 2 Cont.
QSP	37	Golden Spirea	SPIRAEA japonica 'Goldflame'	15" Ht.	# 2 Cont.
LPS	12	Little Princess Spirea	SPIRAEA japonica 'Little Princess'	15" Ht.	# 2 Cont.
NS	12	Nipon Splash Spirea	SPIRAEA japonica 'Nipon Splash'	15" Ht.	# 2 Cont.
LOW EVERGREEN SHRUBS					
BHJ	15	Blue Harbor Juniper	JUNIPERUS chinensis 'Blue Harbor'	15-18" Ht.	# 3 Cont.
PERENNIALS					
SD	15	Shasta Daisy	HELIOPSALIS Shasta Daisy	10"-12" Ht.	# 1 Cont.
CPP	20	Corolla Purple Phlox	HEUCHERA moraniana 'Purple Phlox'	10"-12" Ht.	# 1 Cont.
HO	24	Born Cup Hosta	HOSTA Blue Chip	15"-20" Ht.	# 4 Cont.



PLANT SYMBOLS LEGEND

- PERENNIALS
- EVERGREEN SHRUB
- MEDIUM AND TALL DECIDUOUS SHRUBS
- MEDIUM EVERGREEN TREE
- LOW DECIDUOUS TREE
- TALL DECIDUOUS TREES



NOTE: THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS NECESSARY TO AVOID DAMAGE TO EXISTING UTILITIES. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST IN THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.

JSD Professional Services, Inc.
Engineers • Surveyors • Planners

"BUILDING RELATIONSHIPS WITH A COMMITMENT TO CLIENT SATISFACTION THROUGH TRUST, QUALITY AND EXPERIENCE"

- CIVIL ENGINEERING
- SURVEYING & MAPPING
- CONSTRUCTION SERVICES
- WATER RESOURCES
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- TRANSPORTATION ENGINEERING
- LANDSCAPE ARCHITECTURE

MADISON REGIONAL OFFICE
181 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.848.5000 PHONE | 608.848.2255 FAX
MADISON | MILWAUKEE | KENOSHA
www.jsdinc.com

SERVICES PROVIDED TO:
BISHOP'S CREEK COMMUNITY DEVELOPMENT CORPORATION
3500 MOTHER DANIELS WAY
MILWAUKEE, WI 53209

PROJECT:
BISHOP'S CREEK DEVELOPMENT

PROJECT LOCATION:
CITY OF MILWAUKEE
MILWAUKEE COUNTY, WI

JSD PROJECT NO.: 09-3500

DESIGNER: JAS 10-26-09

DRAWN: MAS 10-26-09

APPROVED: MAS 10-26-09

PLAN MODIFICATIONS:

NO.	DATE
1	06-15-11
2	08-17-11
3	09-16-11

DIGGERS HOTLINE
Toll Free (800) 242-8211
Milwaukee Area (414) 253-1151
Faxing In (414) 253-2229
www.DiggersHotline.com

SHEET TITLE:
LANDSCAPE PLAN AND SPECIFICATIONS

SHEET NUMBER:
L-1

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BISHOP'S CREEK COMMUNITY DEVELOPMENT CORPORATION

BISHOP'S CREEK COMMERCIAL/HOTEL

4759 NORTH 32ND & HAMPTON STREETS
MILWAUKEE, WISCONSIN 53209

AUGUST 16, 2011

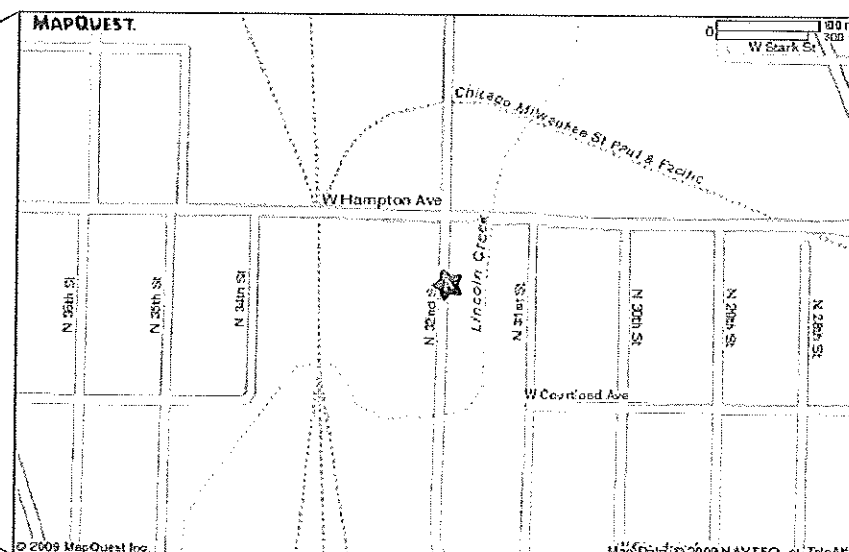
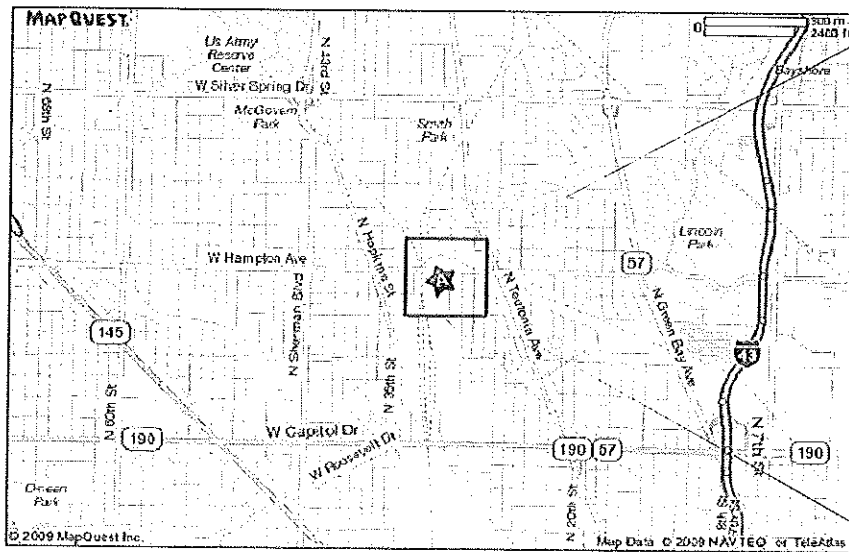
ARCHITECT / ENGINEER

THOMAS J. KLOIBER & ASSOCIATES, Inc.
389 Wellhouse Drive
Kimberly, WI 54136
Phone: (920) 734-4972
Fax: (920) 882-7725
E-Mail: tjkassoc@new.rr.com

STRUCTURAL ENGINEER

RICHARD W. SCHALK P.E.
1085 Ridgeway Road
Brookfield, WI 53045
Phone: 1-414-745-9160
Fax: 1-262-786-6261
E-Mail: richardwshalk@yahoo.com

VICINITY MAPS



OWNER'S CONSTRUCTION REPRESENTATIVE

GENESIS CONSTRUCTION MANAGEMENT, LLC
Gordon M. Corrus
W354 N6029 Bayshore Circle
Oconomowoc, WI 53066
Phone: (262) 569-9100
Fax: (262) 569-9101
Cell: (262) 490-7607
E-Mail: genesiscm@wi.rr.com

CIVIL ENGINEER

JSD Professional Services, Inc.
Milwaukee Regional Office
N22 W22931 Nancy's Court
Suite 3
Waukesha, WI 53186
Phone: 262.513.0666
Fax: 262.513.1232
www.jsdinc.com

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- (A.2.0) (SEE CIVIL FOR LANDSCAPE PLAN)
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- A.3.5 FIFTH FLOOR PLAN
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- C-2 GRADING PLAN
- C-3 UTILITY PLAN
- C-4 DETAILS AND NOTES
- C-5 DETAILS AND NOTES
- L-1 LANDSCAPE PLAN
- L-2 LANDSCAPE DETAILS AND SPECIFICATIONS

STRUCTURAL

- S106 FIRE & WATER DAMAGE ROOF REPAIR PLAN

PRELIMINARY PLANS - NOT TO BE USED FOR CONSTRUCTION PURPOSES

BUILDING OCCUPANCY CLASSIFICATION: R-2
TYPE OF CONSTRUCTION: 1-B

EXISTING BUILDING SQ. FT.:

FIRST FLOOR	- 4,767 SQ. FT.
SECOND FLOOR	- 4,767
THIRD FLOOR	- 4,767
FOURTH FLOOR	- 4,767
FIFTH FLOOR	- 4,767
TOTAL EXIST. BLDG.	- 23,835 SQ. FT.

NEW BUILDING ADDITION(S) SQ. FT.

FIRST FLOOR	- 1,003 SQ. FT.
SECOND FLOOR	- 1,003 SQ. FT.
THIRD FLOOR	- 1,003 SQ. FT.
FOURTH FLOOR	- 1,003 SQ. FT.
FIFTH FLOOR	- 1,003 SQ. FT.
TOTAL NEW BLDG.	- 5,012 SQ. FT.

TOTAL BUILDING - 28,847 SQ. FT.

NOTE:
CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE

8-16-2011

PROJECT NO: 9940

FILE NO:

DATE: 8-16-2011

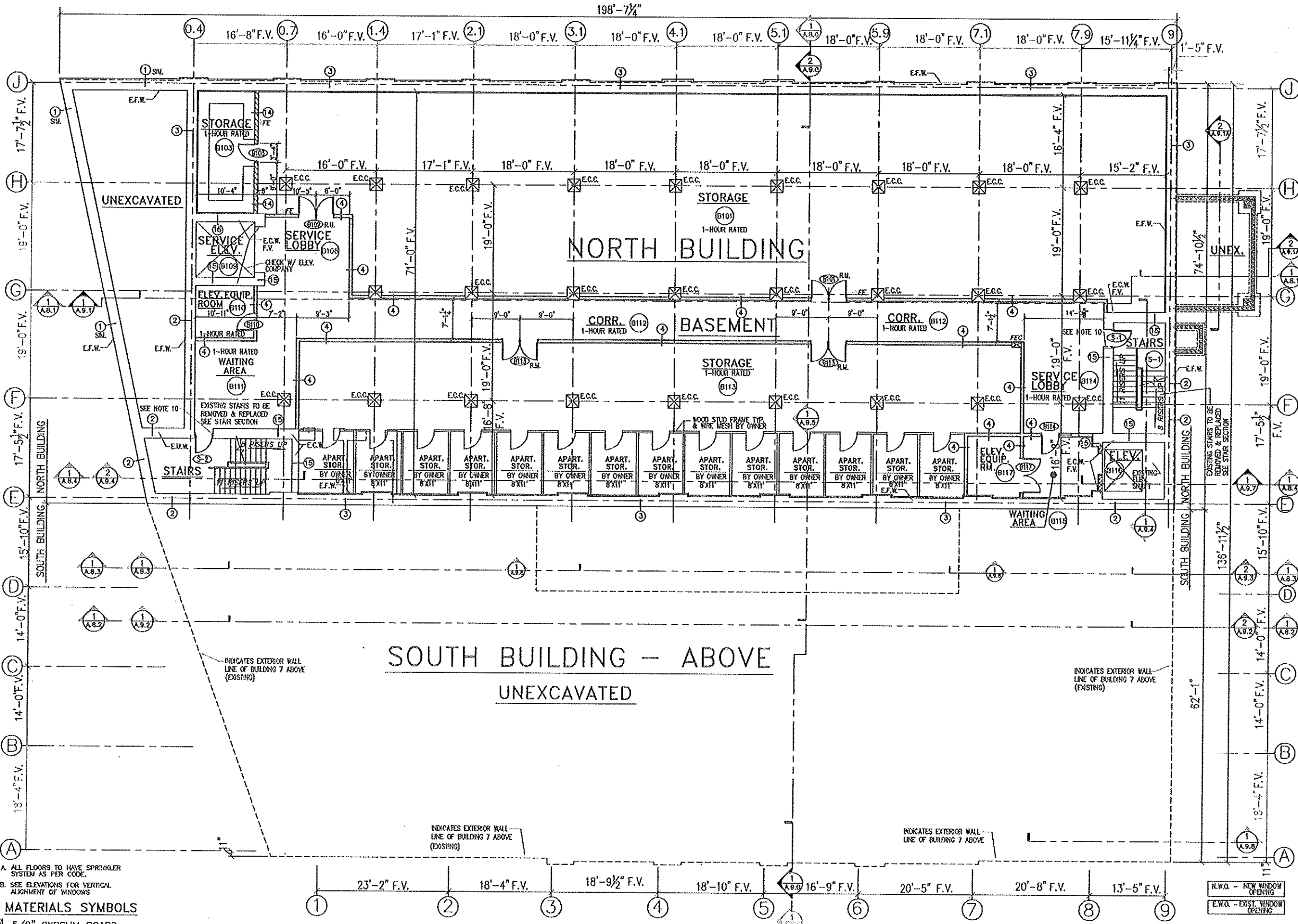
SHEET NO. A.0

- NOTE 1:**
REMOVE EXISTING WINDOW AND CONC. SILL. ENLARGE VERTICAL WINDOW HEIGHT BY CUTTING EXISTING CONC. FOUND. WALL BELOW EXISTING WINDOW WIDTH. SEE WINDOW TYPES & FRAMES SHEET A.6.0 FOR NEW WINDOW SIZE OPENING. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING.
- NOTE 2:**
REMOVE EXISTING DOOR & FRAME. FILL OPENING WITH CONC. BLOCK WITH 1-1/2" CONCRETE COVER AT THE EXTERIOR PATCH TO MATCH EXISTING CONC. WALL.
- NOTE 3:**
REMOVE EXISTING WINDOW AND CONCRETE SILL. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING. SEE WINDOW TYPES & FRAMES SHEET A.6.0.
- NOTE 4:**
REMOVE EXISTING DOOR & FRAME. FILL OPENING BELOW NEW WINDOW WITH BRICK MASONRY TO MATCH EXISTING BRICK. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING. SEE WINDOW TYPES & FRAMES SHEET A.6.0.
- NOTE 5:**
REMOVE EXISTING WINDOW AND CONCRETE SILL. CUT NEW OPENING IN EXTERIOR WALL FOR NEW WINDOW OPENING. INSTALL NEW LINTEL ABOVE NEW WINDOW. SEE STRUCTURAL. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING. SEE WINDOW TYPES & FRAMES SHEET A.6.0.
- NOTE 6:**
REMOVE EXISTING DOOR & FRAME. CUT EXISTING MASONRY TO WIDEN DOOR OPENING TO 3'-4" WIDTH. INSTALL NEW LINTEL FOR 7'-4" HIGH DOOR FRAME. SEE STRUCTURAL. INSTALL NEW DOOR & FRAME. SEE DOOR/FRAME SCHEDULE.
- NOTE 7:**
A/C LOUVER & STRUCTURAL BOX BY HVAC CONTRACTOR. VERIFY EACH SIZE, LOCATION & HEIGHT A.F.F. (T.P.)
- NOTE 8:**
REFILL BRICK MASONRY AT EXISTING OPENING AROUND NEW WINDOW OPENING. INSTALL LINTEL ABOVE. SEE STRUCTURAL. SEE SOUTH ELEVATION. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING. SEE WINDOW TYPES & FRAMES SHEET A.6.0.
- NOTE 9:**
CUT OPENING IN EXISTING MASONRY WALL FOR NEW WINDOW OPENING. INSTALL LINTEL ABOVE. SEE STRUCTURAL. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING. SEE WINDOW TYPES & FRAMES SHEET A.6.0.
- NOTE 10:**
REMOVE EXISTING DOOR & FRAME. CUT MASONRY TO WIDEN EXISTING DOOR OPENING FOR A 3'-4" WIDE DOOR FRAME. INSTALL NEW DOOR & FRAME. FRAME HEIGHT TO MATCH EXISTING. SEE STRUCTURAL FOR NEW LINTEL AS REQUIRED. PATCH WALL TO MATCH EXISTING.
- NOTE 11:**
REMOVE EXISTING WALL INFILL SECOND FLOOR AT RECEIVING. SEE STRUCTURAL PLANS.

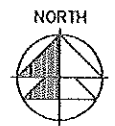
- LEGEND**
- E.M.W. EXISTING MASONRY WALL
 - E.W.O. EXISTING WINDOW OPENING
 - N.W.O. NEW WINDOW OPENING
 - E.D.O. EXISTING DOOR OPENING
 - N.D.O. NEW DOOR OPENING
 - E.W.C. EXISTING WOOD COLUMN
 - E.C.C. EXISTING CONCRETE COLUMN
 - E.C.W. EXISTING CONCRETE WALL
 - E.F.W. EXISTING FOUND. WALL
 - E.C.P. EXISTING CONCRETE PIER
 - V.W.S. VERIFY WITH STRUCTURAL
 - T.O.B. TOP OF BEAM
 - T.O.S. TOP OF STEEL

- CT, CPT FLOOR MATERIAL TRANSITION: CERAMIC TILE TO CARPET
- FEC-1 FIRE EXTINGUISHER CABINET (SURFACE-MOUNTED)
- FE FIRE EXTINGUISHER
- FEC FIRE EXTINGUISHER CABINET (SEMI-RECESSED)
- F.D. FLOOR DRAIN
- ROOM ROOM NAME AND NUMBER
- WALL TYPE
- WINDOW TYPE
- S&P SHELF & POLE
- FV FIELD VERIFY
- 1 DETAIL NUMBER
- 2 SHEET NUMBER
- D.F. DRINKING FOUNTAIN
- DOOR NUMBER

- MATERIALS SYMBOLS**
- 5/8" GYPSUM BOARD (SEE PLAN FOR FIRE-RATING)
 - 2'X2' SUSPENDED ACOUSTICAL TILE CEILING
 - CONCRETE BLOCK MASONRY
 - FACE BRICK (TO MATCH EXISTING)
 - 6" METAL STUD WALLS (NEW)
 - 3-5/8" METAL STUD WALLS (NEW)
 - RIGID INSULATION



BASEMENT FLOOR PLAN
 NORTH & SOUTH BUILDINGS
 SCALE: 1/8"=1'-0" NORTH BLDG. - 12 SUITES SOUTH BLDG. - 7 APARTMENTS
 PRELIMINARY PLAN - NOT TO BE USED FOR CONSTRUCTION PURPOSES



NOTE:
CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE

REVISIONS

PROJECT
 BISHOP'S CREEK DEVELOPMENT
 4763 NORTH 32ND STREET
 MILWAUKEE, WISCONSIN 53209

DESIGNER
 THOMAS KLOIBER & ASSOCIATES, Inc. (Fax) 882-7755
 Architects - Designers - Planners

JOB NO.
 FILE NO.
 DRAWN BY
 DATE
 8-16-2011
 SHEET NO.
 A.3.0
 of SHTS

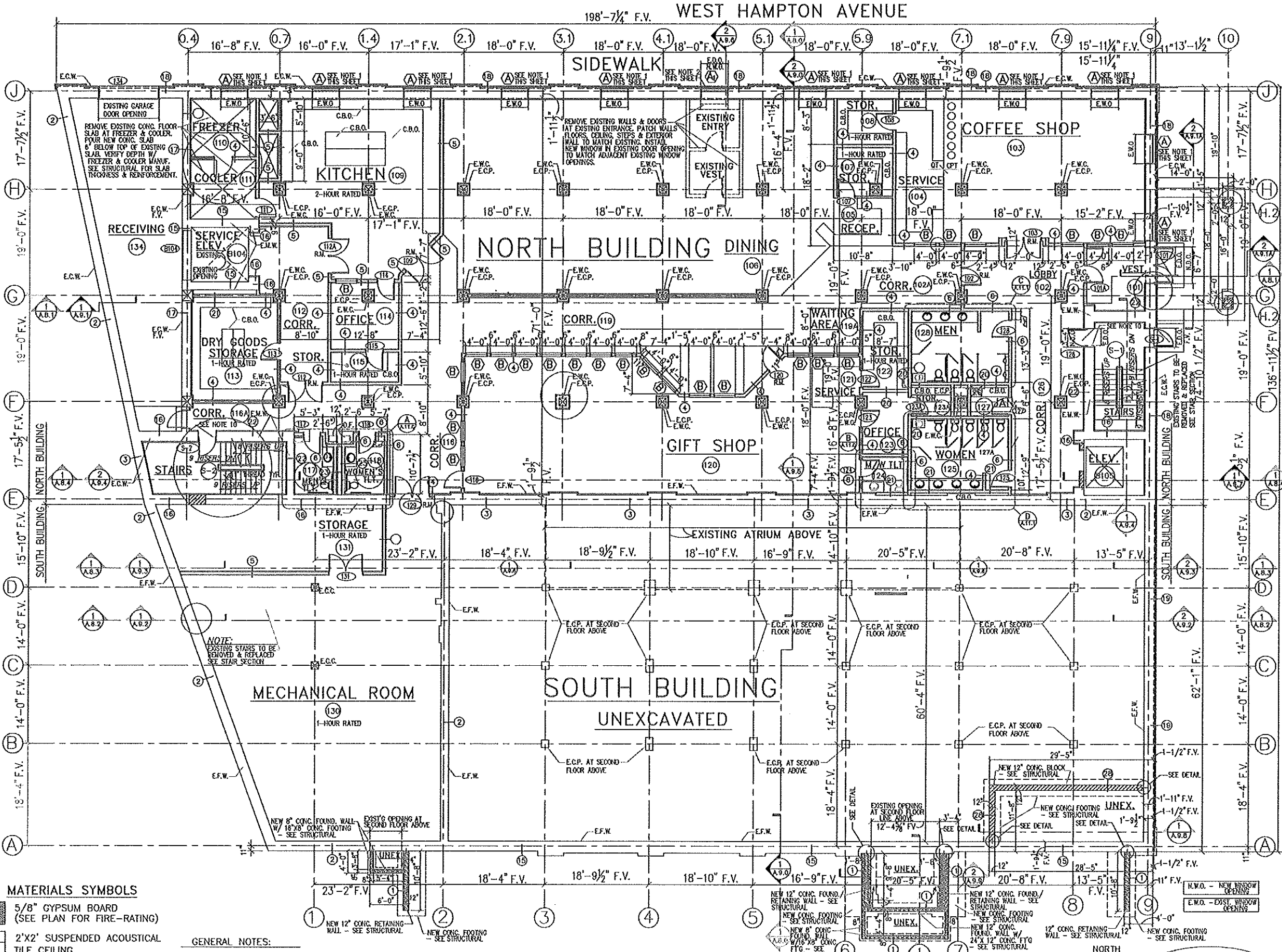
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- NOTE 2:**
EXISTING DOOR, FRAME & WALL AT DOOR TO BE REMOVED- PATCH TO MATCH EXISTING SEE SECTION 2-A.9.6 FOR WALL INFILL AT EXISTING STEPS & BOTTOM OF NEW WINDOW
- NOTE 3:**
REMOVE EXISTING WINDOW AND CONCRETE SILL INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING. SEE WINDOW TYPES & FRAMES SHEET A.8.0.
- NOTE 4:**
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A/G LOUVER & STRUCTURAL BOX BY HVAC CONTRACTOR. VERIFY EACH SIZE, LOCATION & HEIGHT A.F.F. (TYP.)
- NOTE 8:**
INFILL BRICK MASONRY AT EXISTING OPENING AROUND NEW WINDOW OPENING. INSTALL LINTEL ABOVE- SEE STRUCTURAL. SEE SOUTH ELEVATION. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING. SEE WINDOW TYPES & FRAMES SHEET A.8.0.
- NOTE 9:**
CUT OPENING IN EXISTING MASONRY WALL FOR NEW WINDOW OPENING. INSTALL LINTEL ABOVE- SEE STRUCTURAL. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING. SEE WINDOW TYPES & FRAMES SHEET A.8.0.
- NOTE 10:**
REMOVE EXISTING DOOR & FRAME. CUT MASONRY TO WIDEN EXISTING DOOR OPENING FOR A 3'-4" WIDE DOOR FRAME. INSTALL NEW DOOR & FRAME. FRAME HEIGHT TO MATCH EXISTING. SEE STRUCTURAL FOR NEW LINTEL AS REQUIRED. PATCH WALL TO MATCH EXISTING
- NOTE 11:**
REMOVE EXISTING WALL INFILL SECOND FLOOR AT RECEIVING. SEE STRUCTURAL PLANS

- LEGEND**
- E.M.W. EXISTING MASONRY WALL
 - E.W.O. EXISTING WINDOW OPENING
 - N.W.O. NEW WINDOW OPENING
 - E.D.O. EXISTING DOOR OPENING
 - N.D.O. NEW DOOR OPENING
 - E.W.C. EXISTING WOOD COLUMN
 - E.C.C. EXISTING CONCRETE COLUMN
 - E.C.W. EXISTING CONCRETE WALL
 - E.F.W. EXISTING FOUND. WALL
 - E.C.P. EXISTING CONCRETE PIER
 - V.W.S. VERIFY WITH STRUCTURAL
 - T.O.B. TOP OF BEAM
 - T.O.S. TOP OF STEEL
 - R.M. REMOVEABLE MULLION

- ROOM**
- CT, OPT. FLOOR MATERIAL TRANSITION: CERAMIC TILE TO CARPET
 - FEC-1 FIRE EXTINGUISHER CABINET (SURFACE-MOUNTED)
 - FE FIRE EXTINGUISHER
 - FEC FIRE EXTINGUISHER CABINET (SEMI-RECESSED)
 - F.D. FLOOR DRAIN
- ROOM NAME AND NUMBER**
- WALL TYPE
 - WINDOW TYPE
 - S&P SHELF & POLE
 - FV FIELD VERIFY
 - DETAIL NUMBER
 - SHEET NUMBER
 - D.F. DRINKING FOUNTAIN
 - DOOR NUMBER

- MATERIALS SYMBOLS**
- 5/8" GYPSUM BOARD (SEE PLAN FOR FIRE-RATING)
 - 2'X2' SUSPENDED ACOUSTICAL TILE CEILING
 - CONCRETE BLOCK MASONRY
 - FACE BRICK (TO MATCH EXISTING)
 - 6" METAL STUD WALLS (NEW)
 - 3-5/8" METAL STUD WALLS (NEW)
 - RIGID INSULATION

- GENERAL NOTES:**
- ALL FLOORS TO HAVE SPRINKLER SYSTEM AS PER CODE.
 - SEE ELEVATIONS FOR VERTICAL ALIGNMENT OF WINDOWS



RESTAURANT-COFFEE SHOP-GIFT SHOP
FIRST FLOOR PLAN
 NORTH & SOUTH BUILDINGS
 SCALE: 1/8"=1'-0" NORTH BLDG. - 12 SUITES SOUTH BLDG. - 7 APARTMENTS
 PRELIMINARY PLAN - NOT TO BE USED FOR CONSTRUCTION PURPOSES
 8-16-2011

REVISIONS

PROJECT
 BISHOP'S CREEK COMMUNITY DEVELOPMENT CORP.
 4759 NORTH 32ND STREET
 RAMP
 MILWAUKEE, WISCONSIN 53208

THOMAS KLOIBER & ASSOCIATES, INC.
 389 Welhouse Dr.
 Kimberly, WI 54136
 (920) 734-4972
 (Fax) 882-7725
 Architects - Designers - Planners

JOB NO.
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 A.3.1
 of SHTS

- NOTE 1:**
REMOVE EXISTING WINDOW AND CONC. SILL
ENLARGE VERTICAL WINDOW HEIGHT BY CUTTING
EXISTING CONC. FOUND. WALL BELOW EXISTING
WINDOW WIDTH. SEE WINDOW TYPES & FRAMES
SHEET A.6.0 FOR NEW WINDOW SIZE OPENING.
INSTALL NEW WINDOW & FRAME IN NEW WINDOW
OPENING.
- NOTE 2:**
REMOVE EXISTING DOOR & FRAME
FILL BRICK OPENING W/ CONCRETE BLOCK
- NOTE 3:**
REMOVE EXISTING WINDOW AND CONCRETE SILL
INSTALL NEW WINDOW & FRAME IN NEW WINDOW
OPENING. SEE WINDOW TYPES & FRAMES SHEET A.6.0.
- NOTE 4:**
REMOVE EXISTING DOOR & FRAME
FILL OPENING BELOW NEW WINDOW WITH BRICK
MASSARY TO MATCH EXISTING BRICK.
INSTALL NEW WINDOW & FRAME IN NEW WINDOW
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- NOTE 5:**
REMOVE EXISTING WINDOW AND CONCRETE SILL.
CUT NEW OPENING IN EXTERIOR WALL FOR NEW
WINDOW OPENING.
INSTALL NEW LINTEL ABOVE NEW WINDOW
SEE STRUCTURAL.
INSTALL NEW WINDOW & FRAME IN NEW WINDOW
OPENING. SEE WINDOW TYPES & FRAMES SHEET A.6.0.
- NOTE 6:**
REMOVE EXISTING DOOR & FRAME. CUT EXISTING
MASONRY TO WIDEN DOOR OPENING TO 3'-4" WIDTH.
INSTALL NEW LINTEL FOR 7'-4" HIGH DOOR FRAME.
SEE STRUCTURAL.
INSTALL NEW DOOR & FRAME. SEE DOOR/FRAME
SCHEDULE
- NOTE 7:**
A/C LOUVER & STRUCTURAL BOX BY
HVAC CONTRACTOR.
VERIFY PANEL SIZE, LOCATION &
HEIGHT A.F.F. (TYP.)
- NOTE 8:**
FILL BRICK MASONRY AT EXISTING OPENING
AROUND NEW WINDOW OPENING. INSTALL LINTEL
ABOVE. SEE STRUCTURAL. SEE SOUTH ELEVATION
INSTALL NEW WINDOW & FRAME IN NEW WINDOW
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INSTALL NEW WINDOW & FRAME IN NEW WINDOW
OPENING. SEE WINDOW TYPES & FRAMES SHEET A.6.0.
- NOTE 10:**
REMOVE EXISTING DOOR & FRAME. CUT MASONRY
TO WIDEN EXISTING DOOR OPENING FOR A 3'-4"
WIDE DOOR FRAME. INSTALL NEW DOOR & FRAME.
FRAME HEIGHT TO MATCH EXISTING.
SEE STRUCTURAL FOR NEW LINTEL AS REQUIRED.
PATCH WALL TO MATCH EXISTING
- NOTE 11:**
REMOVE EXISTING WALL INFILL SECOND FLOOR
AT RECEIVING. SEE STRUCTURAL PLANS

- LEGEND**
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 - E.W.O. EXISTING WINDOW OPENING
 - N.W.O. NEW WINDOW OPENING
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 - E.C.P. EXISTING CONCRETE PIER
 - V.W.S. VERIFY WITH STRUCTURAL
 - T.O.B. TOP OF BEAM
 - T.O.S. TOP OF STEEL

- CT, OPT. FLOOR MATERIAL TRANSITION:
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- FEC-1 FIRE EXTINGUISHER CABINET
(SURFACE-MOUNTED)
- FE FIRE EXTINGUISHER
- FEC FIRE EXTINGUISHER CABINET
(SEMI-RECESSED)
- F.D. FLOOR DRAIN
- ROOM ROOM NAME
AND NUMBER
- WALL TYPE
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- S&P SHELF & POLE
- FV FIELD VERIFY
- DETAIL NUMBER
- SHEET NUMBER
- D.F. DRINKING FOUNTAIN
- DOOR NUMBER

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- 5/8" GYPSUM BOARD
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 - 3-5/8" METAL STUD WALLS (NEW)
 - RIGID INSULATION

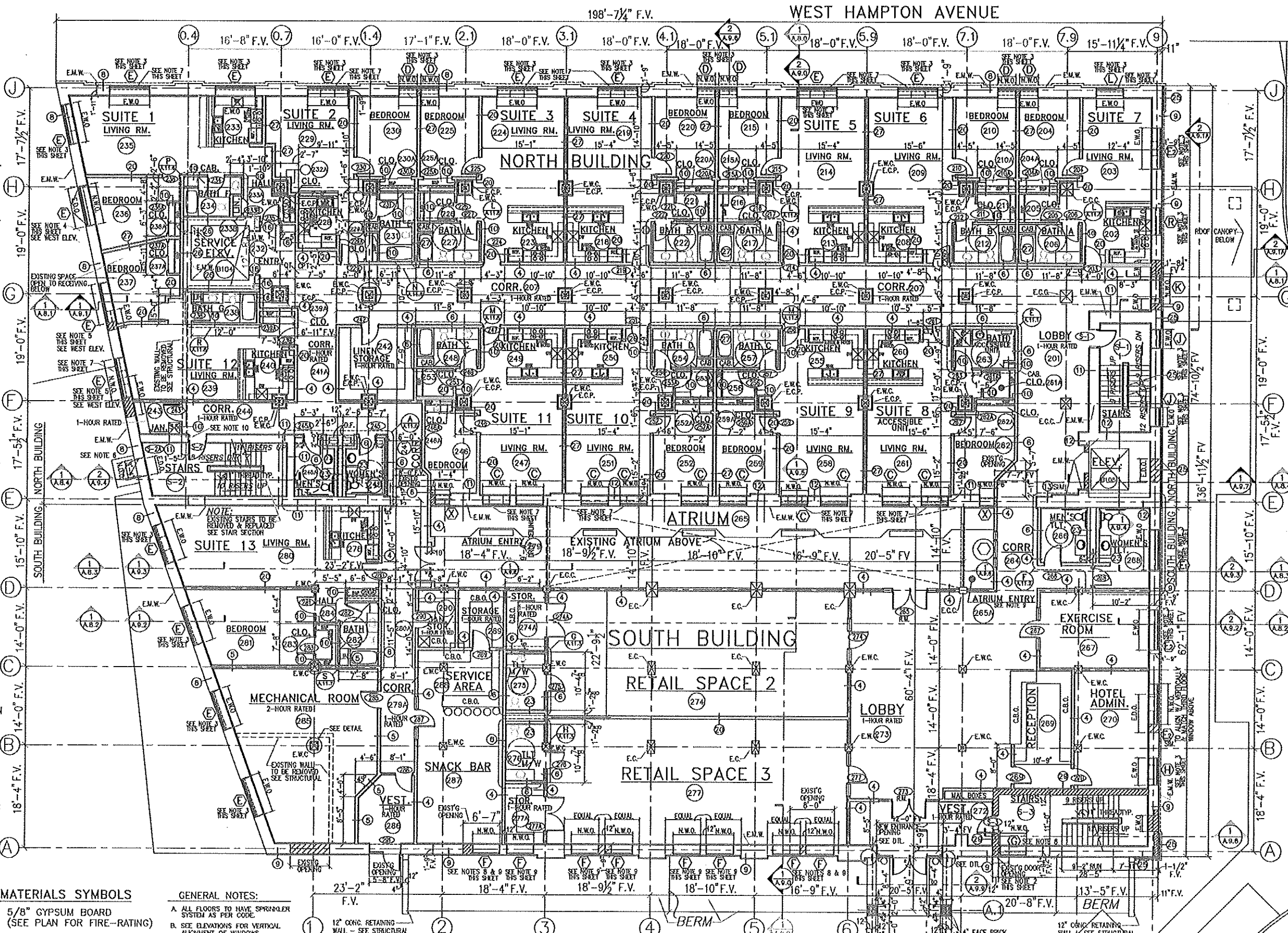
- GENERAL NOTES:**
- A. ALL FLOORS TO HAVE SPRINKLER
SYSTEM AS PER CODE.
 - B. SEE ELEVATIONS FOR VERTICAL
ALIGNMENT OF WINDOWS

BISHOP'S CREEK COMMERCIAL/HOTEL

SECOND FLOOR PLAN

NORTH & SOUTH BUILDINGS

SCALE: 1/8"=1'-0" NORTH BLDG. - 12 SUITES SOUTH BLDG. - 7 APARTMENTS



Vertical dimensions on these elevations shall be measured from the finished floor level unless otherwise indicated. Dimensions shall be taken from the exterior face of the masonry or concrete unless otherwise indicated. All window and door openings shall be shown in their true location and height. All window and door openings shall be shown in their true location and height. All window and door openings shall be shown in their true location and height.

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT
BISHOP'S CREEK COMMUNITY DEVELOPMENT CORP.
4759 NORTH 32ND STREET
MILWAUKEE, WISCONSIN 53208

THOMAS KLOIBER & ASSOCIATES, Inc.
389 Welhouse Dr.
Kimberly, WI 54156
(920) 734-4972
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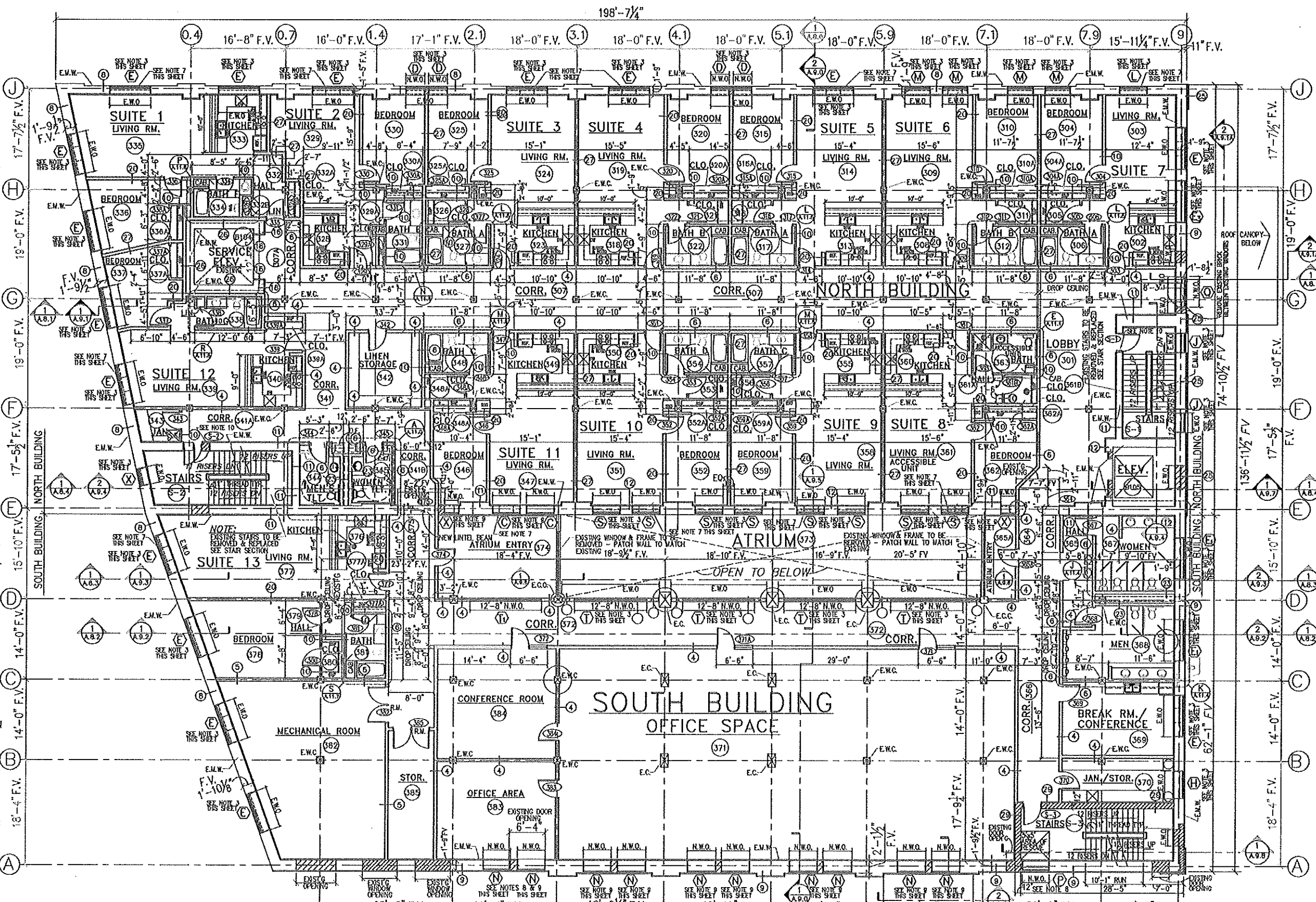
PRELIMINARY PLAN - NOT TO BE USED FOR CONSTRUCTION PURPOSES

- NOTE 1:**
REMOVE EXISTING WINDOW AND CONC. SILL
ENLARGE VERTICAL WINDOW HEIGHT BY CUTTING
EXISTING CONC. FOUND. WALL BELOW EXISTING
WINDOW WITH. SEE WINDOW TYPES & FRAMES
SHEET A.8.0 FOR NEW WINDOW SIZE OPENING.
INSTALL NEW WINDOW & FRAME IN NEW WINDOW
OPENING.
- NOTE 2:**
REMOVE EXISTING DOOR & FRAME
FILL OPENING WITH CONC. BLOCK
WITH 1-1/2" CONCRETE COVER
AT THE EXTERIOR. PATCH TO MATCH
EXISTING CONC. WALL.
- NOTE 3:**
REMOVE EXISTING WINDOW AND CONCRETE SILL
INSTALL NEW WINDOW & FRAME IN NEW WINDOW
OPENING. SEE WINDOW TYPES & FRAMES SHEET A.8.0.
- NOTE 4:**
REMOVE EXISTING DOOR & FRAME
FILL OPENING BELOW NEW WINDOW WITH BRICK
MASONRY TO MATCH EXISTING BRICK
INSTALL NEW WINDOW & FRAME IN NEW WINDOW
OPENING. SEE WINDOW TYPES & FRAMES SHEET A.8.0.
- NOTE 5:**
REMOVE EXISTING WINDOW AND CONCRETE SILL.
CUT NEW OPENING IN EXTERIOR WALL FOR NEW
WINDOW OPENING.
INSTALL NEW LINTEL ABOVE NEW WINDOW
SEE STRUCTURAL
INSTALL NEW WINDOW & FRAME IN NEW WINDOW
OPENING. SEE WINDOW TYPES & FRAMES SHEET A.8.0.
- NOTE 6:**
REMOVE EXISTING DOOR & FRAME. CUT EXISTING
MASONRY TO WIDEN DOOR OPENING TO 3'-4" WIDTH.
INSTALL NEW LINTEL FOR 7'-4" HIGH DOOR FRAME.
SEE STRUCTURAL
INSTALL NEW DOOR & FRAME. SEE DOOR/FRAME
SCHEDULE.
- NOTE 7:**
A/C LOUVER & STRUCTURAL BOX BY
MECH. CONTRACTOR.
VERIFY EACH SIZE, LOCATION &
HEIGHT A.F.F. (TYP.)
- NOTE 8:**
REIN. BRICK MASONRY AT EXISTING OPENING
AROUND NEW WINDOW OPENING. SEE SOUTH ELEVATION
INSTALL NEW WINDOW & FRAME IN NEW WINDOW
OPENING. SEE WINDOW TYPES & FRAMES SHEET A.8.0.
- NOTE 9:**
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INSTALL NEW WINDOW & FRAME IN NEW WINDOW
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- NOTE 10:**
REMOVE EXISTING DOOR & FRAME. CUT MASONRY
TO WIDEN EXISTING DOOR OPENING TO 3'-4" WIDEN
DOOR FRAME. INSTALL NEW DOOR & FRAME.
FRAME HEIGHT TO MATCH EXISTING.
SEE STRUCTURAL FOR NEW LINTEL AS REQUIRED.
PATCH WALL TO MATCH EXISTING
- NOTE 11:**
REMOVE EXISTING WALL IN 2ND FLOOR
AT RECEIVING. SEE STRUCTURAL PLANS

- LEGEND**
- E.M.W. EXISTING MASONRY WALL
E.W.O. EXISTING WINDOW OPENING
N.W.O. NEW WINDOW OPENING
E.D.O. EXISTING DOOR OPENING
N.D.O. NEW DOOR OPENING
E.W.C. EXISTING WOOD COLUMN
E.C.C. EXISTING CONCRETE COLUMN
E.C.W. EXISTING CONCRETE WALL
E.F.W. EXISTING FOUND. WALL
E.C.P. EXISTING CONCRETE PIER
V.W.S. VERIFY WITH STRUCTURAL
T.O.B. TOP OF BEAM
T.O.S. TOP OF STEEL
- CF, CPT. FLOOR MATERIAL TRANSITION:
CERAMIC TILE TO CARPET
- FEC-1 FIRE EXTINGUISHER CABINET
(SURFACE-MOUNTED)
FE FIRE EXTINGUISHER
FEC FIRE EXTINGUISHER CABINET
(SEMI-RECESSED)
- F.D. FLOOR DRAIN
ROOM NAME
AND NUMBER
- WALL TYPE
- WINDOW TYPE
- S&P SHELF & POLE
- FV FIELD VERIFY
- DETAIL NUMBER
- SHEET NUMBER
- D.F. DRINKING FOUNTAIN
DOOR NUMBER

- MATERIALS SYMBOLS**
- 5/8" GYPSUM BOARD
(SEE PLAN FOR FIRE-RATING)
- 2'X2' SUSPENDED ACOUSTICAL
TILE CEILING
- CONCRETE BLOCK MASONRY
- FACE BRICK (TO MATCH EXISTING)
- 6" METAL STUD WALLS (NEW)
- 3-5/8" METAL STUD WALLS (NEW)
- RIGID INSULATION

- GENERAL NOTES:**
- A. ALL FLOORS TO HAVE SPRINKLER
SYSTEM AS PER CODE.
- B. SEE ELEVATIONS FOR VERTICAL
ALIGNMENT OF WINDOWS



BISHOP'S CREEK COMMERCIAL/HOTEL
THIRD FLOOR PLAN NORTH & SOUTH BUILDINGS
SCALE: 1/8"=1'-0" NORTH BLDG. - 12 SUITES SOUTH BLDG. - 7 APARTMENTS

PRELIMINARY PLAN - NOT TO BE USED FOR CONSTRUCTION PURPOSES

NOTE:
CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE.

REVISIONS

PROJECT: BISHOP'S CREEK COMMUNITY DEVELOPMENT CORP.
4759 NORTH 32ND STREET
MILWAUKEE, WISCONSIN 53208

THOMAS KLOIBER & ASSOCIATES, INC. (FAX) 862-7725
Architects - Designers - Planners

389 Welhouse Dr. Kimberly, WI 54136
(920) 734-4872

JOB NO. FILE NO. DRAWN BY DATE 8-16-2011 SHEET NO. A.3.3 of SHTS

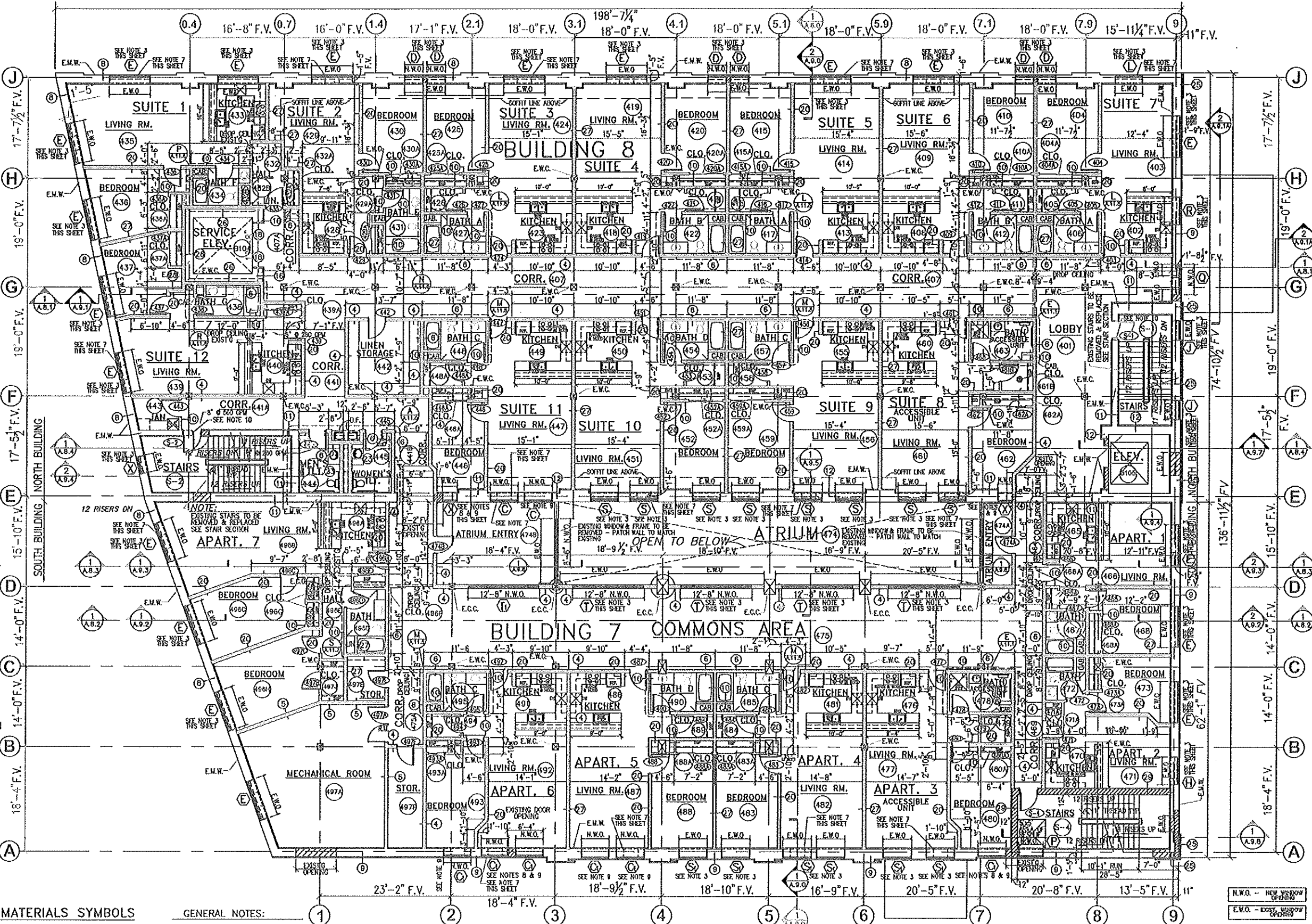
- NOTE 1:**
REMOVE EXISTING WINDOW AND CONC. SILL. ENLARGE VERTICAL WINDOW HEIGHT BY CUTTING EXISTING CONC. FOUND. WALL BELOW EXISTING WINDOW WIDTH. SEE WINDOW TYPES & FRAMES SHEET A.6.0 FOR NEW WINDOW SIZE OPENING. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING.
- NOTE 2:**
REMOVE EXISTING DOOR & FRAME. FILL OPENING WITH CONC. BLOCK WITH 1-1/2" CONCRETE COVER AT THE EXTERIOR PATCH TO MATCH EXISTING CONC. WALL.
- NOTE 3:**
REMOVE EXISTING WINDOW AND CONCRETE SILL. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING. SEE WINDOW TYPES & FRAMES SHEET A.6.0.
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- NOTE 6:**
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- NOTE 7:**
A/C LOUVER & STRUCTURAL BOX BY HVAC CONTRACTOR. VERIFY EACH SIZE, LOCATION & HEIGHT A.F.F. (T.Y.)
- NOTE 8:**
FILL BRICK MASONRY AT EXISTING OPENING AROUND NEW WINDOW OPENING. INSTALL LINTEL ABOVE. SEE STRUCTURAL. SEE SOUTH ELEVATION. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING. SEE WINDOW TYPES & FRAMES SHEET A.6.0.
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- NOTE 11:**
REMOVE EXISTING WALL. RE-PILE SECOND FLOOR AT RECEIVING. SEE STRUCTURAL PLANS.

- LEGEND**
- E.M.W. EXISTING MASONRY WALL
 - E.W.O. EXISTING WINDOW OPENING
 - N.W.O. NEW WINDOW OPENING
 - E.D.O. EXISTING DOOR OPENING
 - N.D.O. NEW DOOR OPENING
 - E.W.C. EXISTING WOOD COLUMN
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 - V.W.S. VERIFY WITH STRUCTURAL
 - T.O.B. TOP OF BEAM
 - T.O.S. TOP OF STEEL

- CT, OPT FLOOR MATERIAL TRANSITION: CERAMIC TILE TO CARPET
- FEC-1 FIRE EXTINGUISHER CABINET (SURFACE-MOUNTED)
- FE FIRE EXTINGUISHER
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- F.D. FLOOR DRAIN
- ROOM ROOM NAME AND NUMBER
- WALL TYPE
- WINDOW TYPE
- S&P SHELF & POLE
- FV FIELD VERIFY
- DETAIL NUMBER
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- DOOR NUMBER

- MATERIALS SYMBOLS**
- 5/8" GYPSUM BOARD (SEE PLAN FOR FIRE-RATING)
 - 2'X2' SUSPENDED ACOUSTICAL TILE CEILING
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- GENERAL NOTES:**
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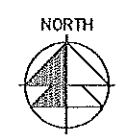


BISHOP'S CREEK HOUSING

FOURTH FLOOR PLAN

BUILDING 7 & 8

SCALE: 1/8"=1'-0" BLDG. 7 - 8 APARTMENTS BLDG. 8 - 12 SUITES



NOTE:
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PRELIMINARY PLAN - NOT TO BE USED FOR CONSTRUCTION PURPOSES

REVISIONS

PROJECT
BISHOP'S CREEK COMMUNITY DEVELOPMENT CORP.
4750 NORTH 32ND STREET
MILLWAUKEE, WISCONSIN 53209

389 Welhouse Dr.
Kimberly, WI 54136
(920) 734-4972
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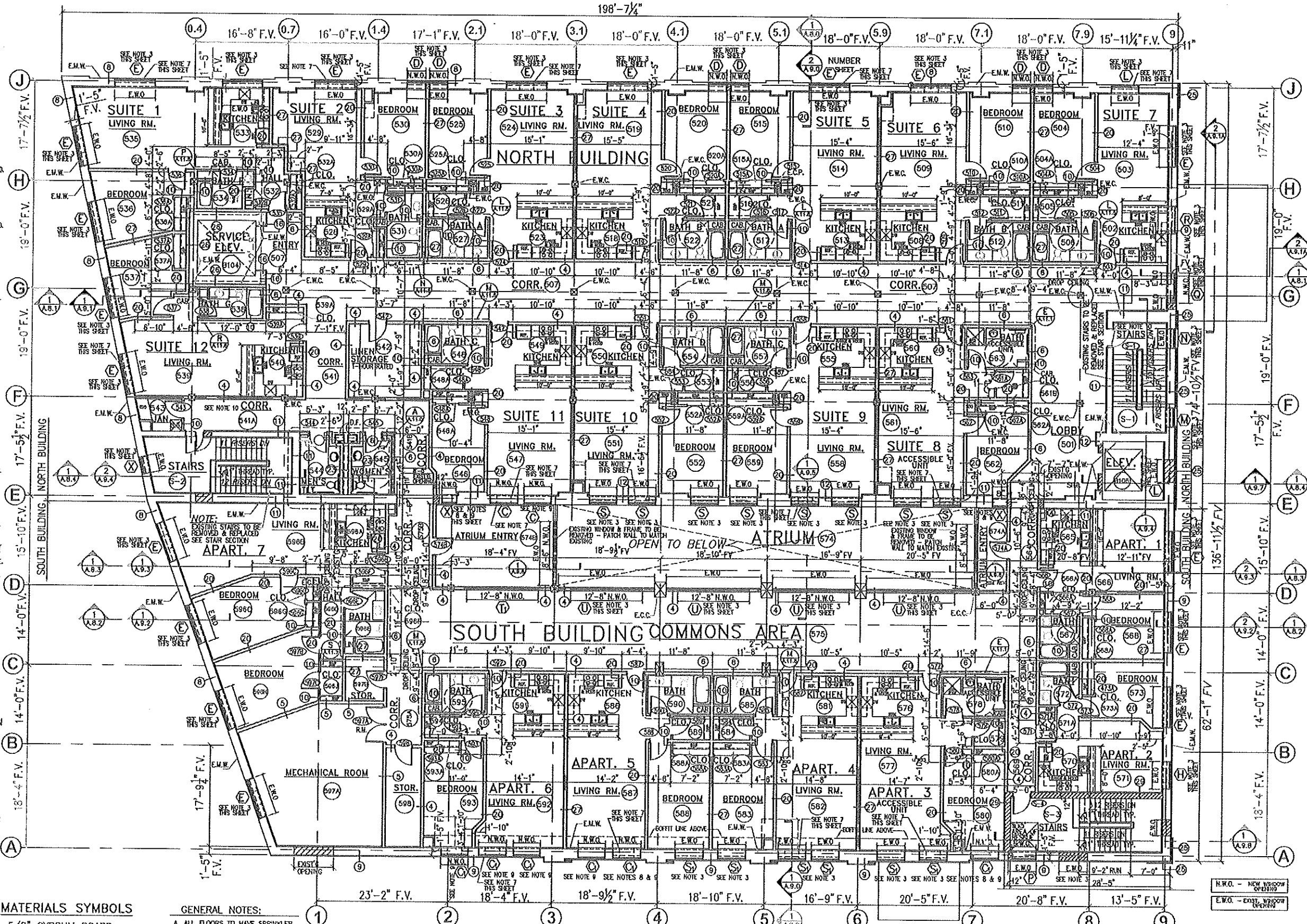
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 - FACE BRICK (TO MATCH EXISTING)
 - 6" METAL STUD WALLS (NEW)
 - 3-5/8" METAL STUD WALLS (NEW)
 - RIGID INSULATION

- GENERAL NOTES:**
- A. ALL FLOORS TO HAVE SPRINKLER SYSTEM AS PER CODE.
 - B. SEE ELEVATIONS FOR VERTICAL ALIGNMENT OF WINDOWS.



BISHOP'S CREEK HOUSING

FIFTH FLOOR PLAN

NORTH & SOUTH BUILDINGS

SCALE: 1/8"=1'-0" NORTH BLDG. - 12 SUITES SOUTH BLDG. - 7 APARTMENTS

8-16-2011

PRELIMINARY PLAN - NOT TO BE USED FOR CONSTRUCTION PURPOSES

NOTE:
CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE

REVISIONS

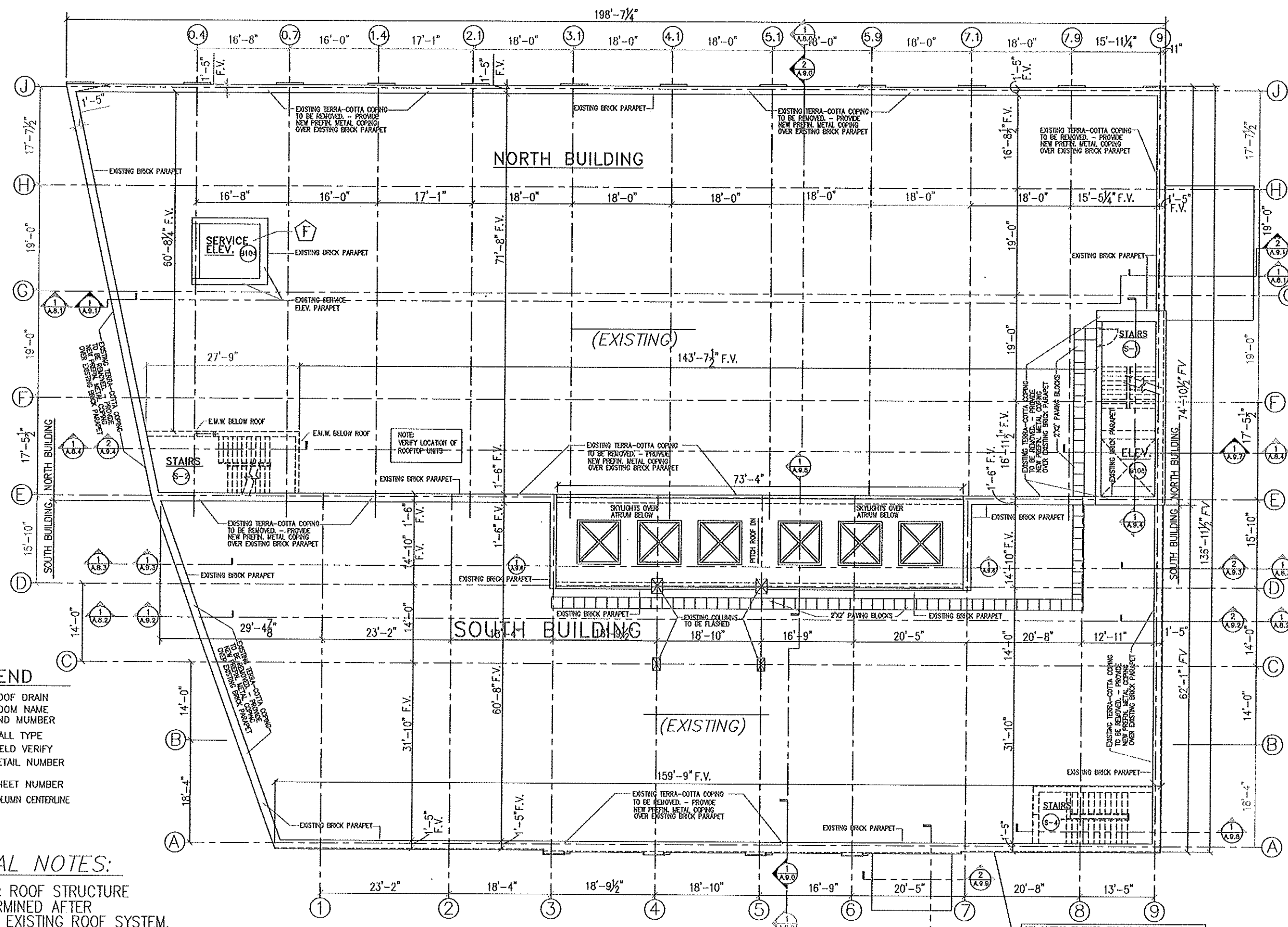
NO.	DESCRIPTION

PROJECT
BISHOP'S CREEK COMMUNITY DEVELOPMENT CORP.
4759 NORTH 32ND STREET
MILWAUKEE, WISCONSIN 53209

DESIGNER
THOMAS KLOIBER & ASSOCIATES, INC.
Architects - Designers - Planners

380 W. Wellesch Dr.
Kimberly, WI 54136
(920) 734-4972
(Fax) 882-7725

JOB NO.
FILE NO.
DRAWN BY
DATE 8-16-2011
SHEET NO. A.3.5
of SHTS



- LEGEND**
- ⊗ R.D. ROOF DRAIN
 - Ⓜ ROOM NAME AND NUMBER
 - WALL TYPE
 - FV FIELD VERIFY
 - ① DETAIL NUMBER
 - ① SHEET NUMBER
 - COLUMN CENTERLINE

STRUCTURAL NOTES:
 (F) - NEW ROOF & ROOF STRUCTURE TO BE DETERMINED AFTER REMOVAL OF EXISTING ROOF SYSTEM.

BISHOP'S CREEK HOUSING FIRE & WATER DAMAGE ROOF REPAIR PLAN

SCALE: 1/8"=1'-0" PRELIMINARY PLAN - NOT TO BE USED FOR CONSTRUCTION PURPOSES BUILDING 7 & 8

GEN. CONTR. TO SHRE, STABILIZE, AND REPAIR EXISTING WALL DURING REMOVAL OF EXISTING 5TH FLOOR & ROOF FRAMING. STABILIZING FORMS TO REMAIN IN PLACE UNTIL THE FLOOR AND ROOF FRAMING HAS BEEN FULLY INSTALLED AND ANCHORED TO THE WALL.



8-16-2011

When dimensions are shown, they shall be taken from the finished floor unless otherwise noted. Dimensions shall verify and be responsible for all dimensions and conditions as the job progresses. The Architect shall be notified of any variations from the dimensions and conditions shown by these drawings prior to the execution of any work. The drawings are the property of Thomas Kloiber & Associates, Inc. and shall remain the property of Thomas Kloiber & Associates, Inc. unless otherwise stated. No part of these drawings shall be used for any purpose whatsoever without the written permission of Thomas Kloiber & Associates, Inc.

REVISIONS

NO.	DESCRIPTION

PROJECT
 BISHOP'S CREEK COMMUNITY DEVELOPMENT CORP.
 4759 NORTH 32ND STREET
 MILWAUKEE, WISCONSIN 53209

369 Welhouse Dr.
 Kimberly, WI 54136
THOMAS KLOIBER & ASSOCIATES, Inc.
 (920) 734-4972
 (fax) 982-7725
 Architects - Designers - Planners

JOB NO.
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 DRAWN BY
 DATE 8-16-2011
 SHEET NO. A.3.6
 of SHTS

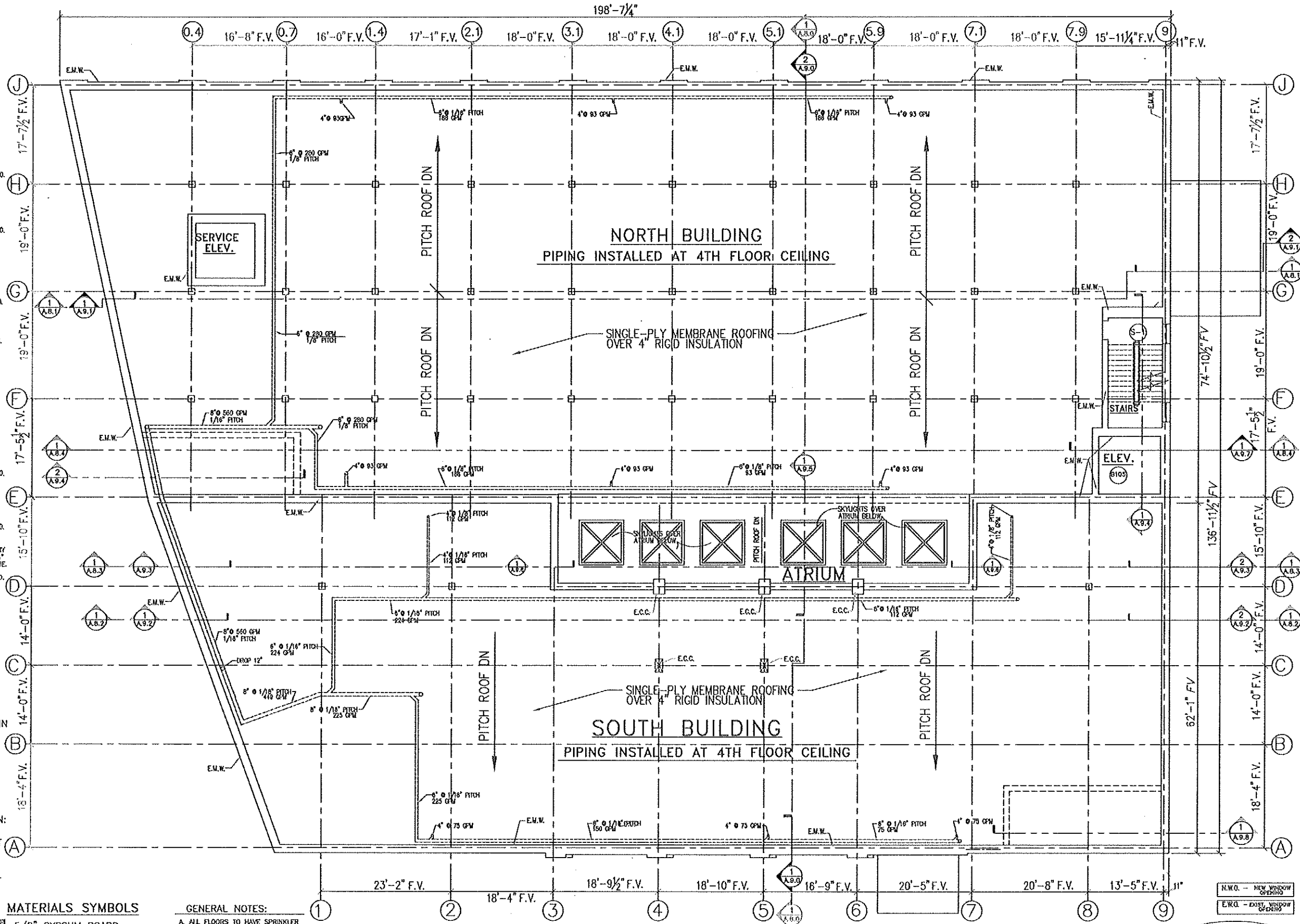
- NOTE 1:**
REMOVE EXISTING WINDOW AND CONC. SILL ENLARGE VERTICAL WINDOW HEIGHT BY CUTTING EXISTING CONC. FOUND. WALL BELOW EXISTING WINDOW WIDTH. SEE WINDOW TYPES & FRAMES SHEET A.6.0 FOR NEW WINDOW SIZE OPENING. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING.
- NOTE 2:**
REMOVE EXISTING DOOR & FRAME. FILL OPENING WITH CONC. BLOCK WITH 1-1/2" CONCRETE COVER AT THE EXTERIOR. PATCH TO MATCH EXISTING CONC. WALL.
- NOTE 3:**
REMOVE EXISTING WINDOW AND CONCRETE SILL. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING. SEE WINDOW TYPES & FRAMES SHEET A.6.0.
- NOTE 4:**
REMOVE EXISTING DOOR & FRAME. FILL OPENING BELOW NEW WINDOW WITH BRICK MASONRY TO MATCH EXISTING BRICK. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING. SEE WINDOW TYPES & FRAMES SHEET A.6.0.
- NOTE 5:**
REMOVE EXISTING WINDOW AND CONCRETE SILL. CUT NEW OPENING IN EXTERIOR WALL FOR NEW WINDOW OPENING. INSTALL NEW LINTEL ABOVE NEW WINDOW. SEE STRUCTURAL. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING. SEE WINDOW TYPES & FRAMES SHEET A.6.0.
- NOTE 6:**
REMOVE EXISTING DOOR & FRAME. CUT EXISTING MASONRY TO WIDEN DOOR OPENING TO 3'-4" WIDTH. INSTALL NEW LINTEL FOR 7'-4" HIGH DOOR FRAME. SEE STRUCTURAL. INSTALL NEW DOOR & FRAME. SEE DOOR/FRAME SCHEDULE.
- NOTE 7:**
A/C LOUVER & STRUCTURAL BOX BY HVAC CONTRACTOR. VERIFY EACH SIZE, LOCATION & HEIGHT A.F.F. (TYP.)
- NOTE 8:**
INFILL BRICK MASONRY AT EXISTING OPENING AROUND NEW WINDOW OPENING. INSTALL LINTEL ABOVE - SEE STRUCTURAL. SEE SOUTH ELEVATION. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING. SEE WINDOW TYPES & FRAMES SHEET A.6.0.
- NOTE 9:**
CUT OPENING IN EXISTING MASONRY WALL FOR NEW WINDOW OPENING. INSTALL LINTEL ABOVE - SEE STRUCTURAL. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING. SEE WINDOW TYPES & FRAMES SHEET A.6.0.
- NOTE 10:**
REMOVE EXISTING DOOR & FRAME. CUT MASONRY TO WIDEN EXISTING DOOR OPENING FOR A 3'-4" WIDE DOOR FRAME. INSTALL NEW DOOR & FRAME. FRAME HEIGHT TO MATCH EXISTING. SEE STRUCTURAL FOR NEW LINTEL AS REQUIRED. PATCH WALL TO MATCH EXISTING.
- NOTE 11:**
REMOVE EXISTING WALL INFILL SECOND FLOOR AT RECEIVING. SEE STRUCTURAL PLANS.

- LEGEND**
- E.M.W. EXISTING MASONRY WALL
 - E.W.O. EXISTING WINDOW OPENING
 - N.W.O. NEW WINDOW OPENING
 - E.D.O. EXISTING DOOR OPENING
 - N.D.O. NEW DOOR OPENING
 - E.W.C. EXISTING WOOD COLUMN
 - E.C.C. EXISTING CONCRETE COLUMN
 - E.C.W. EXISTING CONCRETE WALL
 - E.F.W. EXISTING FOUND. WALL
 - E.C.P. EXISTING CONCRETE PIER
 - V.W.S. VERIFY WITH STRUCTURAL
 - T.O.B. TOP OF BEAM
 - T.O.S. TOP OF STEEL

- CT1 OPT FLOOR MATERIAL TRANSITION: CERAMIC TILE TO CARPET
- FEC-1 FIRE EXTINGUISHER CABINET (SURFACE-MOUNTED)
- FE FIRE EXTINGUISHER
- FEC FIRE EXTINGUISHER CABINET (SEMI-RECESSED)
- F.D. FLOOR DRAIN
- ROOM ROOM NAME AND NUMBER
- WALL TYPE
- WINDOW TYPE
- S&P SHELF & POLE
- FV FIELD VERIFY
- DETAIL NUMBER
- SHEET NUMBER
- D.F. DRINKING FOUNTAIN
- DOOR NUMBER

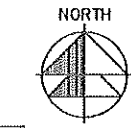
- MATERIALS SYMBOLS**
- 5/8" GYPSUM BOARD (SEE PLAN FOR FIRE-RATING)
 - 2'X2' SUSPENDED ACOUSTICAL TILE CEILING
 - CONCRETE BLOCK MASONRY
 - FACE BRICK (TO MATCH EXISTING)
 - 6" METAL STUD WALLS (NEW)
 - 3-5/8" METAL STUD WALLS (NEW)
 - RIGID INSULATION

- GENERAL NOTES:**
- A. ALL FLOORS TO HAVE SPRINKLER SYSTEM AS PER CODE.
 - B. SEE ELEVATIONS FOR VERTICAL ALIGNMENT OF WINDOWS.



BISHOP'S CREEK HOUSING
ROOF DRAINAGE PLAN NORTH & SOUTH BUILDINGS

SCALE: 1/8"=1'-0"



NOTE:
CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE

PRELIMINARY PLAN - NOT TO BE USED FOR CONSTRUCTION PURPOSES

When dimensions are shown on these drawings and have precedence over verbal directions, the dimensions shall prevail and the contractor shall be responsible for all dimensions and conditions at the job site. The contractor shall verify all dimensions and conditions at the job site prior to construction. At all times, the contractor shall maintain strict adherence to the conditions and specifications shown on these drawings and shall be held responsible for any errors or omissions. The contractor shall be held responsible for any errors or omissions in the drawings and shall be held responsible for any errors or omissions in the construction. The contractor shall be held responsible for any errors or omissions in the construction. The contractor shall be held responsible for any errors or omissions in the construction.

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		

PROJECT
BISHOP'S CREEK COMMUNITY DEVELOPMENT CORP.
4755 NORTH 32ND STREET
MILWAUKEE, WISCONSIN 53209

389 Welhouse Dr.
Kimberly, WI 54136
(920) 784-4972
(920) 784-4972
(Fax) 862-7725

THOMAS KLOIBER & ASSOCIATES, Inc.
Architects - Designers - Planners

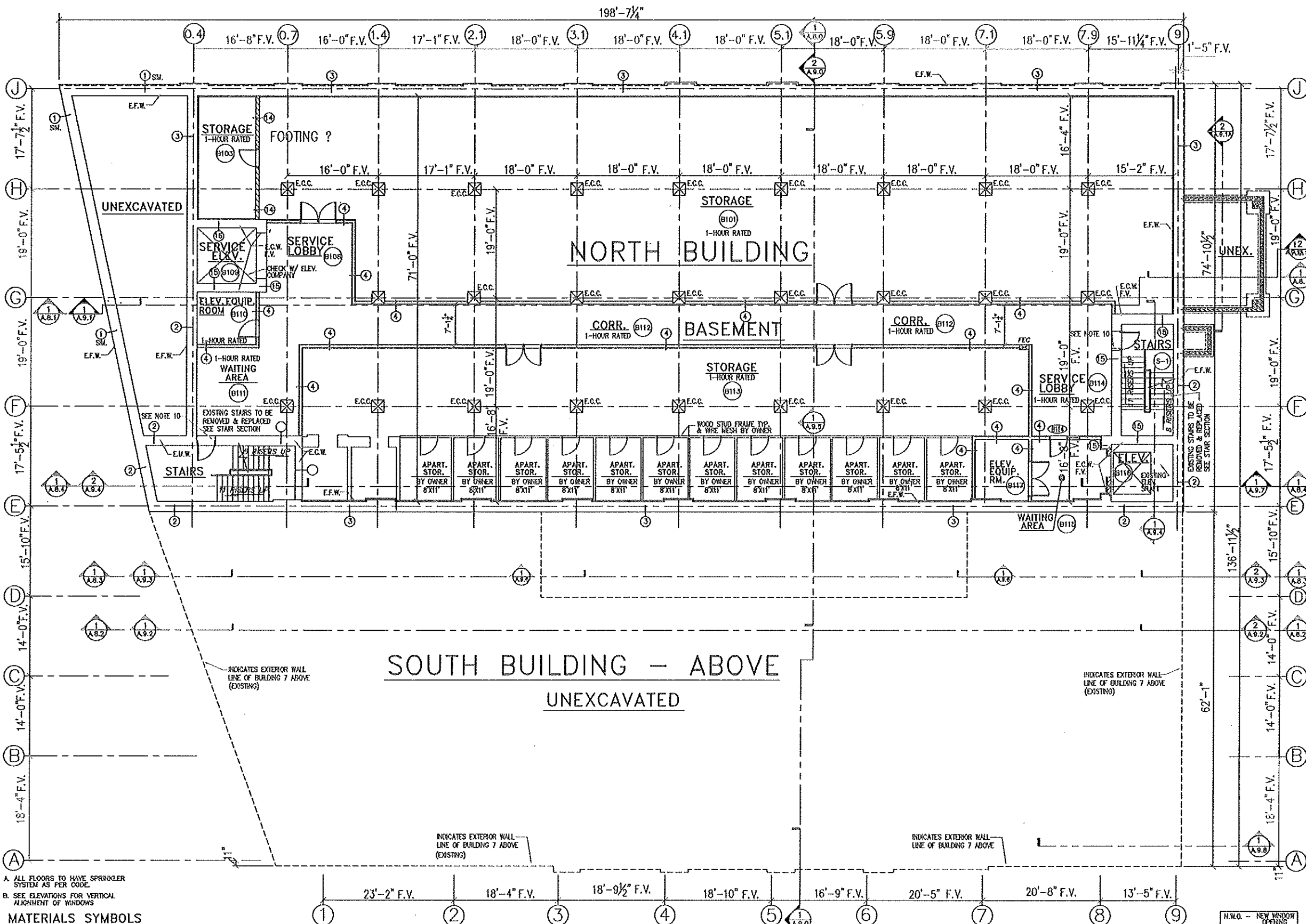
JOB NO.
FILE NO.
DRAWN BY
DATE
8-16-2011
SHEET NO.
A.3.7
of SHTS

- NOTE 1:**
REMOVE EXISTING WINDOW AND CONC. SILL
ENLARGE VERTICAL WINDOW HEIGHT BY CUTTING
EXISTING CONC. FOUND. WALL BELOW EXISTING
WINDOW WIDTH. SEE WINDOW TYPES & FRAMES
SHEET A.6.0 FOR NEW WINDOW SIZE OPENING.
INSTALL NEW WINDOW & FRAME IN NEW WINDOW
OPENING.
- NOTE 2:**
REMOVE EXISTING DOOR & FRAME
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OPENING. SEE WINDOW TYPES & FRAMES SHEET A.6.0.
- NOTE 4:**
REMOVE EXISTING DOOR & FRAME
FILL OPENING BELOW NEW WINDOW WITH BRICK
MASONRY TO MATCH EXISTING BRICK.
INSTALL NEW WINDOW & FRAME IN NEW WINDOW
OPENING. SEE WINDOW TYPES & FRAMES SHEET A.6.0.
- NOTE 5:**
REMOVE EXISTING WINDOW AND CONCRETE SILL
CUT NEW OPENING IN EXTERIOR WALL FOR NEW
WINDOW OPENING.
INSTALL NEW LINTEL ABOVE NEW WINDOW
SEE STRUCTURAL.
INSTALL NEW WINDOW & FRAME IN NEW WINDOW
OPENING. SEE WINDOW TYPES & FRAMES SHEET A.6.0.
- NOTE 6:**
REMOVE EXISTING DOOR & FRAME. CUT EXISTING
MASONRY TO WIDEN DOOR OPENING TO 3'-4" WIDTH.
INSTALL NEW LINTEL FOR 7'-4" HIGH DOOR FRAME.
SEE STRUCTURAL.
INSTALL NEW DOOR & FRAME. SEE DOOR/FRAME
SCHEDULE.
- NOTE 7:**
A/C LOUVER & STRUCTURAL BOX BY
HVAC CONTRACTOR.
VERIFY EACH SIZE, LOCATION &
HEIGHT A.F.F. (H.P.)
- NOTE 8:**
INFILL BRICK MASONRY AT EXISTING OPENING
AROUND NEW WINDOW OPENING. INSTALL LINTEL
ABOVE—SEE STRUCTURAL. SEE SOUTH ELEVATION
INSTALL NEW WINDOW & FRAME IN NEW WINDOW
OPENING. SEE WINDOW TYPES & FRAMES SHEET A.6.0.
- NOTE 9:**
CUT OPENING IN EXISTING MASONRY WALL FOR
NEW WINDOW OPENING. INSTALL LINTEL ABOVE—
SEE STRUCTURAL.
INSTALL NEW WINDOW & FRAME IN NEW WINDOW
OPENING. SEE WINDOW TYPES & FRAMES SHEET A.6.0.
- NOTE 10:**
REMOVE EXISTING DOOR & FRAME. CUT MASONRY
TO WIDEN EXISTING DOOR OPENING FOR A 3'-4"
WIDE DOOR FRAME. INSTALL NEW DOOR & FRAME.
FRAME HEIGHT TO MATCH EXISTING
SEE STRUCTURAL FOR NEW LINTEL AS REQUIRED.
PATCH WALL TO MATCH EXISTING
- NOTE 11:**
REMOVE EXISTING WALL IN REAR SECOND FLOOR
AT RECEIVING. SEE STRUCTURAL PLANS

- LEGEND**
- E.M.W. EXISTING MASONRY WALL
 - E.W.O. EXISTING WINDOW OPENING
 - N.W.O. NEW WINDOW OPENING
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 - E.W.C. EXISTING WOOD COLUMN
 - E.C.C. EXISTING CONCRETE COLUMN
 - E.C.W. EXISTING CONCRETE WALL
 - E.F.W. EXISTING FOUND. WALL
 - E.C.P. EXISTING CONCRETE PIER
 - V.W.S. VERIFY WITH STRUCTURAL
 - T.O.B. TOP OF BEAM
 - T.O.S. TOP OF STEEL

- CT, CPT FLOOR MATERIAL TRANSITION:
CERAMIC TILE TO CARPET
- FEC-1 FIRE EXTINGUISHER CABINET
(SURFACE-MOUNTED)
- FE FIRE EXTINGUISHER
- FEC FIRE EXTINGUISHER CABINET
(SEMI-RECESSED)
- F.D. FLOOR DRAIN
- ROOM ROOM NAME
AND NUMBER
- WALL TYPE
- W WINDOW TYPE
- S&P SHELF & POLE
- FV FIELD VERIFY
- 1 DETAIL NUMBER
- 1 SHEET NUMBER
- D.F. DRINKING FOUNTAIN
DOOR NUMBER

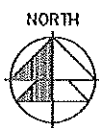
- MATERIALS SYMBOLS**
- 5/8" GYPSUM BOARD
(SEE PLAN FOR FIRE-RATING)
 - 2'X2' SUSPENDED ACOUSTICAL
TILE CEILING
 - CONCRETE BLOCK MASONRY
 - FACE BRICK (TO MATCH EXISTING)
 - 6" METAL STUD WALLS (NEW)
 - 3-5/8" METAL STUD WALLS (NEW)
 - RIGID INSULATION



BASEMENT REFLECTED CEILING PLAN

SCALE: 1/8"=1'-0"

PRELIMINARY PLAN - NOT TO BE USED FOR CONSTRUCTION PURPOSES



8-16-2011

NOTE:
CONTRACTOR SHALL VERIFY ALL EXISTING
CONDITIONS AND DIMENSIONS AT THE SITE

REVISIONS

PROJECT
BISHOP'S CREEK DEVELOPMENT
4763 NORTH 32ND STREET
MILWAUKEE, WISCONSIN 53209

ARCHITECTS - DESIGNERS - PLANNERS
THOMAS KLOIBER & ASSOCIATES, INC.
399 Welhouse Dr.
Kimberly, WI 54136
(920) 734-4972
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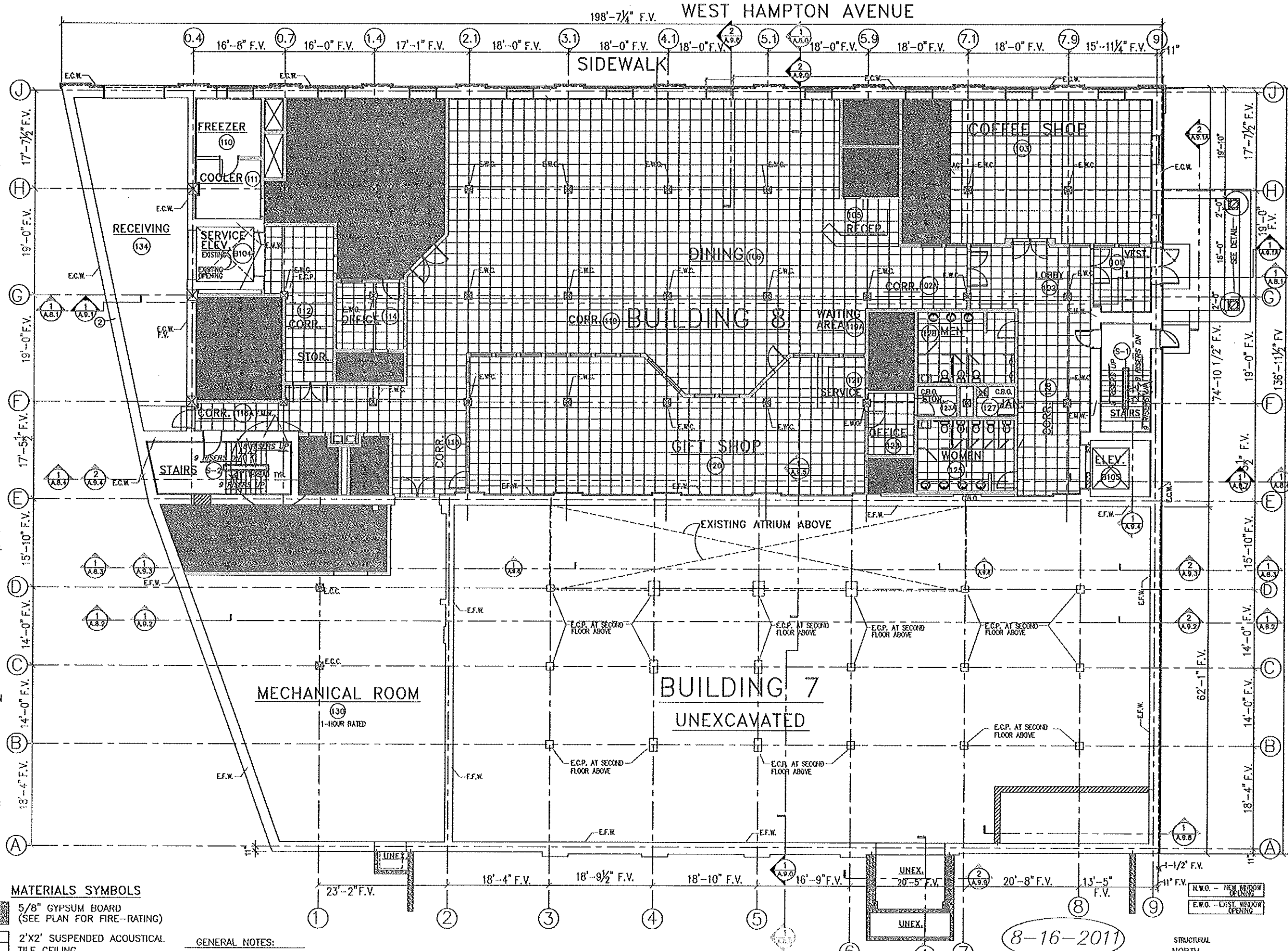
- NOTE 1:**
REMOVE EXISTING WINDOW AND CONC. SILL ENLARGE VERTICAL WINDOW HEIGHT BY CUTTING EXISTING CONC. FOUND. WALL BELOW EXISTING WINDOW MOUTH. SEE WINDOW TYPES & FRAMES SHEET A.4.0 FOR NEW WINDOW SIZE OPENING. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING.
- NOTE 2:**
EXISTING DOOR, FRAME & WALL AT DOOR TO BE REMOVED. PATCH TO MATCH EXISTING. SEE SECTION 2-A.9.6 FOR WALL INFILL AT EXISTING STEPS & BOTTOM OF NEW WINDOW.
- NOTE 3:**
REMOVE EXISTING WINDOW AND CONCRETE SILL. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING. SEE WINDOW TYPES & FRAMES SHEET A.4.0.
- NOTE 4:**
REMOVE EXISTING DOOR & FRAME. FILL OPENING BELOW NEW WINDOW WITH BRICK MASONRY TO MATCH EXISTING BRICK. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING. SEE WINDOW TYPES & FRAMES SHEET A.4.0.
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- NOTE 6:**
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- NOTE 7:**
A/C LOUVER & STRUCTURAL BOX BY HVAC CONTRACTOR. VERIFY EXACT LOCATION & HEIGHT A.F.F. (TYP.)
- NOTE 8:**
REFILL BRICK MASONRY AT EXISTING OPENING AROUND NEW WINDOW OPENING. INSTALL LINTEL ABOVE - SEE STRUCTURAL. SEE SOUTH ELEVATION. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING. SEE WINDOW TYPES & FRAMES SHEET A.4.0.
- NOTE 9:**
CUT OPENING IN EXISTING MASONRY WALL FOR NEW WINDOW HERE. INSTALL LINTEL ABOVE - SEE STRUCTURAL. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING. SEE WINDOW TYPES & FRAMES SHEET A.4.0.
- NOTE 10:**
REMOVE EXISTING DOOR & FRAME. CUT MASONRY TO WIDEN EXISTING DOOR OPENING FOR A 3'-4" WIDE DOOR FRAME. INSTALL NEW DOOR & FRAME. FRAME HEIGHT TO MATCH EXISTING. SEE STRUCTURAL FOR NEW LINTEL AS REQUIRED. PATCH WALL TO MATCH EXISTING.
- NOTE 11:**
REMOVE EXISTING WALL INFILL SECOND FLOOR AT RECEIVING. SEE STRUCTURAL PLANS.

- LEGEND**
- E.M.W. EXISTING MASONRY WALL
 - E.W.O. EXISTING WINDOW OPENING
 - N.W.O. NEW WINDOW OPENING
 - E.D.O. EXISTING DOOR OPENING
 - N.D.O. NEW DOOR OPENING
 - E.W.C. EXISTING WOOD COLUMN
 - E.C.C. EXISTING CONCRETE COLUMN
 - E.C.W. EXISTING CONCRETE WALL
 - E.F.W. EXISTING FOUND. WALL
 - E.C.P. EXISTING CONCRETE PIER
 - V.W.S. VERIFY WITH STRUCTURAL
 - T.O.B. TOP OF BEAM
 - T.O.S. TOP OF STEEL
 - R.M. REMOVEABLE MULLION

- CT, OPT FLOOR MATERIAL TRANSITION: CERAMIC TILE TO CARPET
- FEC-1 FIRE EXTINGUISHER CABINET (SURFACE-MOUNTED)
- FE FIRE EXTINGUISHER
- FEC FIRE EXTINGUISHER CABINET (SEMI-RECESSED)
- F.D. FLOOR DRAIN
- ROOM ROOM NAME AND NUMBER
- WALL TYPE
- WINDOW TYPE
- S&P SHELF & POLE
- FV FIELD VERIFY
- DETAIL NUMBER
- SHEET NUMBER
- D.F. DRINKING FOUNTAIN
- DOOR NUMBER

- MATERIALS SYMBOLS**
- 5/8" GYPSUM BOARD (SEE PLAN FOR FIRE-RATING)
 - 2'X2' SUSPENDED ACOUSTICAL TILE CEILING
 - CONCRETE BLOCK MASONRY
 - FACE BRICK (TO MATCH EXISTING)
 - 6" METAL STUD WALLS (NEW)
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 - RIGID INSULATION

- GENERAL NOTES:**
- ALL FLOORS TO HAVE SPRINKLER SYSTEM AS PER CODE.
 - SEE ELEVATIONS FOR VERTICAL ALIGNMENT OF WINDOWS



RESTAURANT-COFFEE SHOP-GIFT SHOP
FIRST FLOOR REFLECTED CEILING PLAN
 SCALE: 1/8"=1'-0"
 BUILDING 7 & 8
 PRELIMINARY PLAN - NOT TO BE USED FOR CONSTRUCTION PURPOSES

REVISIONS

NO.	DESCRIPTION

PROJECT
 BISHOP'S CREEK COMMUNITY DEVELOPMENT CORP.
 4759 NORTH 2ND STREET
 MILWAUKEE, WISCONSIN 53209

ARCHITECTS - DESIGNERS - PLANNERS
THOMAS KLOIBER & ASSOCIATES, INC.
 389 Weibouse Dr.
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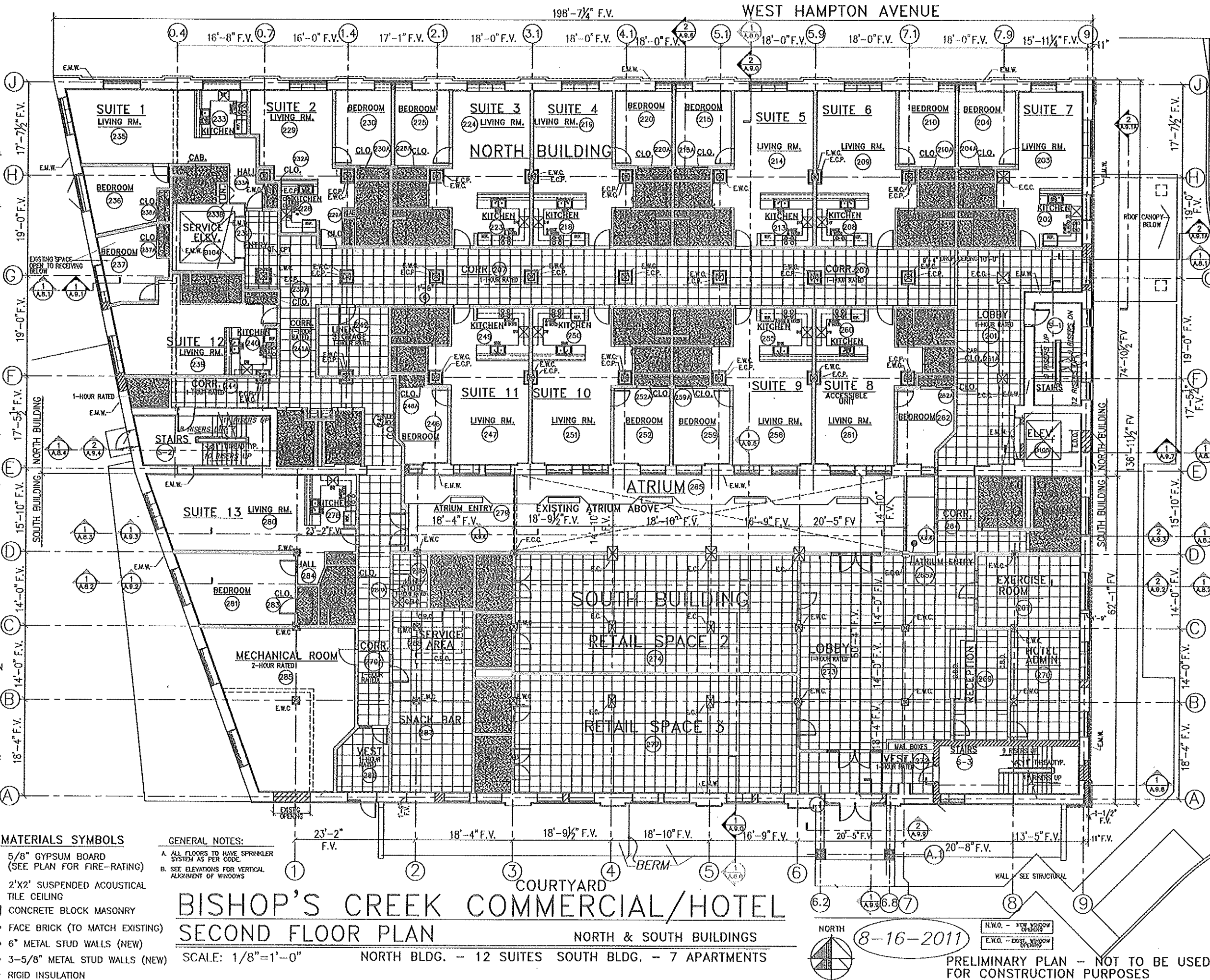
- NOTE 1:**
REMOVE EXISTING WINDOW AND CONC. SILL
ENLARGE VERTICAL WINDOW HEIGHT BY CUTTING
EXISTING CONC. FOUND. WALL BELOW EXISTING
WINDOW MOUTH. SEE WINDOW TYPES & FRAMES
SHEET A.6.0 FOR NEW WINDOW SIZE OPENING.
INSTALL NEW WINDOW & FRAME IN NEW WINDOW
OPENING.
- NOTE 2:**
REMOVE EXISTING DOOR & FRAME
FILL BRICK OPENING W/ CONCRETE BLOCK
- NOTE 3:**
REMOVE EXISTING WINDOW AND CONCRETE SILL
INSTALL NEW WINDOW & FRAME IN NEW WINDOW
OPENING. SEE WINDOW TYPES & FRAMES SHEET A.6.0.
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REMOVE EXISTING DOOR & FRAME
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OPENING. SEE WINDOW TYPES & FRAMES SHEET A.6.0.
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REMOVE EXISTING WINDOW AND CONCRETE SILL.
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WINDOW OPENING.
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- NOTE 6:**
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MASONRY TO WIDEN DOOR OPENING TO 3'-4" WIDTH.
INSTALL NEW LINTEL FOR 7'-4" HIGH DOOR FRAME.
SEE STRUCTURAL
INSTALL NEW DOOR & FRAME. SEE DOOR/FRAME
SCHEDULE
- NOTE 7:**
A/C LOUVER & STRUCTURAL BOX BY
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VERIFY EACH SIZE, LOCATION &
HEIGHT A.F.F. (TYP.)
- NOTE 8:**
REFILL BRICK MASONRY AT EXISTING OPENING
AROUND NEW WINDOW OPENING. INSTALL LINTEL
ABOVE - SEE STRUCTURAL. SEE SOUTH ELEVATION
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- NOTE 9:**
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SEE STRUCTURAL.
INSTALL NEW WINDOW & FRAME IN NEW WINDOW
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- NOTE 10:**
REMOVE EXISTING DOOR & FRAME. CUT MASONRY
TO WIDEN EXISTING DOOR OPENING TO A 3'-4"
HIGH DOOR FRAME. INSTALL NEW DOOR & FRAME.
FRAME HEIGHT TO MATCH EXISTING.
SEE STRUCTURAL FOR NEW LINTEL AS REQUIRED.
PATCH WALL TO MATCH EXISTING
- NOTE 11:**
REMOVE EXISTING WALL INFILL SECOND FLOOR
AT RECEIVING. SEE STRUCTURAL PLANS

- LEGEND**
- E.M.W. EXISTING MASONRY WALL
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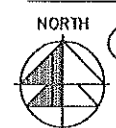
- CT, CPT. FLOOR MATERIAL TRANSITION:
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- ROOM ROOM NAME
AND NUMBER
- WALL TYPE
- S&P SHELF & POLE
- FV FIELD VERIFY
- 1 A.6.2 DETAIL NUMBER
- D.F. DRINKING FOUNTAIN
- DOOR NUMBER

- MATERIALS SYMBOLS**
- 5/8" GYPSUM BOARD
(SEE PLAN FOR FIRE-RATING)
 - 2'X2' SUSPENDED ACOUSTICAL
TILE CEILING
 - CONCRETE BLOCK MASONRY
 - FACE BRICK (TO MATCH EXISTING)
 - 6" METAL STUD WALLS (NEW)
 - 3-5/8" METAL STUD WALLS (NEW)
 - RIGID INSULATION

- GENERAL NOTES:**
- ALL FLOORS TO HAVE SPRINKLER SYSTEM AS PER CODE
 - SEE ELEVATIONS FOR VERTICAL ALIGNMENT OF WINDOWS



BISHOP'S CREEK COMMERCIAL/HOTEL
SECOND FLOOR PLAN
NORTH & SOUTH BUILDINGS
SCALE: 1/8"=1'-0" NORTH BLDG. - 12 SUITES SOUTH BLDG. - 7 APARTMENTS



8-16-2011

N.W.O. - NEW WINDOW OPENING
E.W.O. - EXISTING WINDOW OPENING

PRELIMINARY PLAN - NOT TO BE USED FOR CONSTRUCTION PURPOSES

THOMAS KLOIBER & ASSOCIATES, Inc.
Architects - Designers - Planners

389 Welhouse Dr.
Kimberly, WI 54136
(920) 734-4972
(920) 734-4972
(Fax) 982-7725

PROJECT:
BISHOP'S CREEK COMMUNITY DEVELOPMENT CORP.
4750 NORTH 22ND STREET
MILWAUKEE, WISCONSIN 53208

REVISIONS

NO.	DESCRIPTION

JOB NO.
FILE NO.
DRAWN BY
DATE
8-16-2011
SHEET NO.
A.4.2
of SHTS

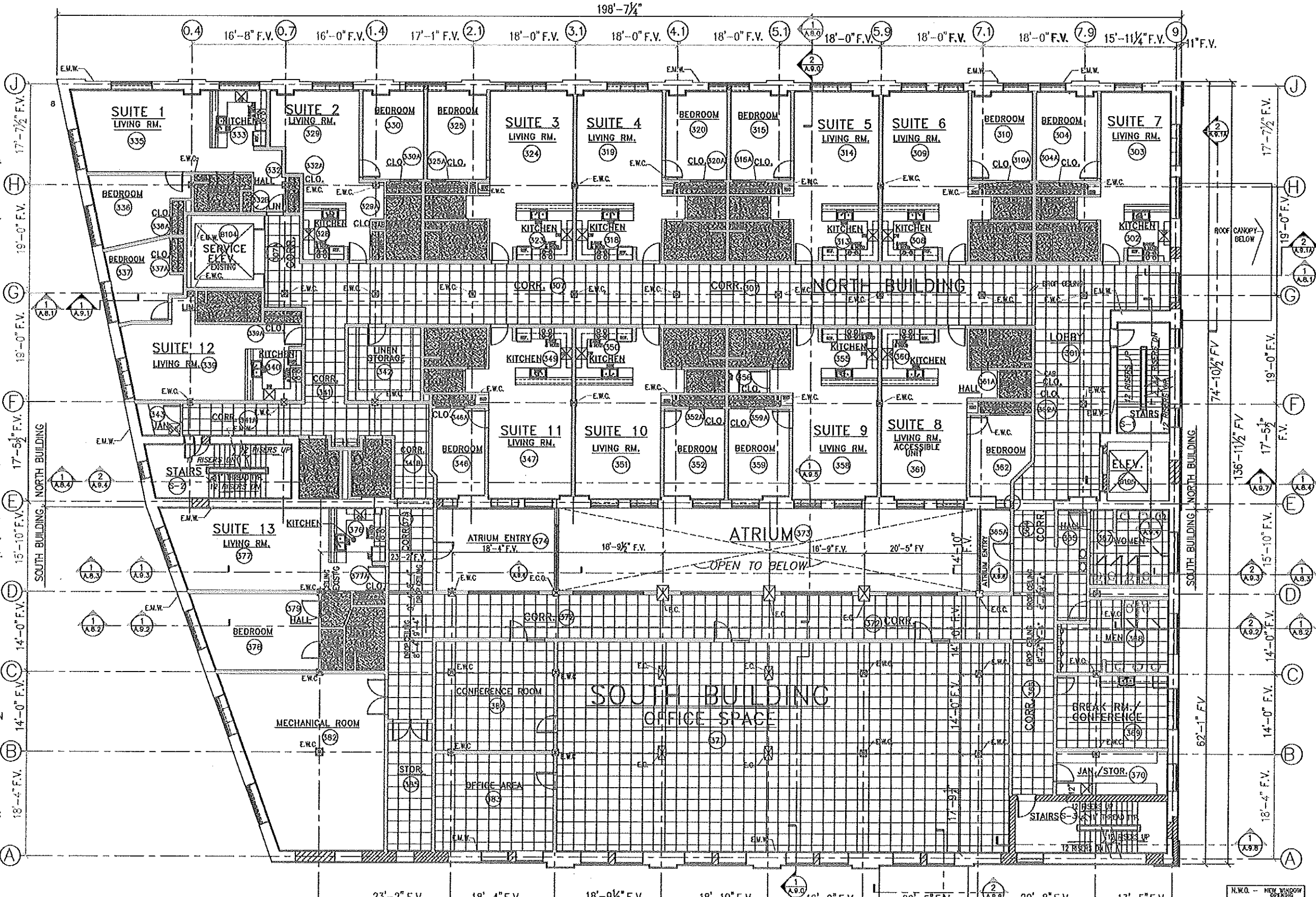
- NOTE 1:**
REMOVE EXISTING WINDOW AND CONC. SILL ENLARGE VERTICAL WINDOW HEIGHT BY CUTTING EXISTING CONC. FOUND. WALL BELOW EXISTING WINDOW WIDTH. SEE WINDOW TYPES & FRAMES SHEET A.6.0 FOR NEW WINDOW SIZE OPENING. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING.
- NOTE 2:**
REMOVE EXISTING DOOR & FRAME. FILL OPENING WITH CONC. BLOCK WITH 1-1/2" CONCRETE COVER AT THE EXTERIOR. PATCH TO MATCH EXISTING CONC. WALL.
- NOTE 3:**
REMOVE EXISTING WINDOW AND CONCRETE SILL. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING. SEE WINDOW TYPES & FRAMES SHEET A.6.0.
- NOTE 4:**
REMOVE EXISTING DOOR & FRAME. FILL OPENING BELOW NEW WINDOW WITH BRICK MASONRY TO MATCH EXISTING BRICK. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING. SEE WINDOW TYPES & FRAMES SHEET A.6.0.
- NOTE 5:**
REMOVE EXISTING WINDOW AND CONCRETE SILL. CUT NEW OPENING IN EXTERIOR WALL FOR NEW WINDOW OPENING. INSTALL NEW LINTEL ABOVE NEW WINDOW. SEE STRUCTURAL. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING. SEE WINDOW TYPES & FRAMES SHEET A.6.0.
- NOTE 6:**
REMOVE EXISTING DOOR & FRAME. CUT EXISTING MASONRY TO WIDEN DOOR OPENING TO 3'-4" WIDTH. INSTALL NEW LINTEL FOR 7'-4" HIGH DOOR FRAME. SEE STRUCTURAL. INSTALL NEW DOOR & FRAME. SEE DOOR/FRAME SCHEDULE.
- NOTE 7:**
A/C LOUVER & STRUCTURAL BOX BY HVAC CONTRACTOR. VERIFY EXIST. LOCATION & HEIGHT A.F.F. (T.R.)
- NOTE 8:**
FILL BRICK MASONRY AT EXISTING OPENING AROUND NEW WINDOW OPENING. INSTALL LINTEL ABOVE. SEE STRUCTURAL. SEE SOUTH ELEVATION. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING. SEE WINDOW TYPES & FRAMES SHEET A.6.0.
- NOTE 9:**
CUT OPENING IN EXISTING MASONRY WALL FOR NEW WINDOW OPENING. INSTALL LINTEL ABOVE. SEE STRUCTURAL. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING. SEE WINDOW TYPES & FRAMES SHEET A.6.0.
- NOTE 10:**
REMOVE EXISTING DOOR & FRAME. CUT MASONRY TO WIDEN EXISTING DOOR OPENING FOR A 3'-4" WIDE DOOR FRAME. INSTALL NEW DOOR & FRAME. FRAME HEIGHT TO MATCH EXISTING. SEE STRUCTURAL FOR NEW LINTEL AS REQUIRED. PATCH WALL TO MATCH EXISTING.
- NOTE 11:**
REMOVE EXISTING WALL INFILL SECOND FLOOR AT RECEIVING. SEE STRUCTURAL PLANS.

- LEGEND**
- E.M.W. EXISTING MASONRY WALL
 - E.W.O. EXISTING WINDOW OPENING
 - N.W.O. NEW WINDOW OPENING
 - E.D.O. EXISTING DOOR OPENING
 - N.D.O. NEW DOOR OPENING
 - E.W.C. EXISTING WOOD COLUMN
 - E.C.C. EXISTING CONCRETE COLUMN
 - E.C.W. EXISTING CONCRETE WALL
 - E.F.W. EXISTING FOUND. WALL
 - E.C.P. EXISTING CONCRETE PIER
 - V.W.S. VERIFY WITH STRUCTURAL
 - T.O.B. TOP OF BEAM
 - T.O.S. TOP OF STEEL

- CT1/PT FLOOR MATERIAL TRANSITION: CERAMIC TILE TO CARPET
- FEC-1 FIRE EXTINGUISHER CABINET (SURFACE-MOUNTED)
- FE FIRE EXTINGUISHER
- FEC FIRE EXTINGUISHER CABINET (SEMI-RECESSED)
- F.D. FLOOR DRAIN
- ROOM ROOM NAME AND NUMBER
- WALL TYPE
- WINDOW TYPE
- S&P SHELF & POLE
- FV FIELD VERIFY
- DETAIL NUMBER
- SHEET NUMBER
- D.F. DRINKING FOUNTAIN
- DOOR NUMBER

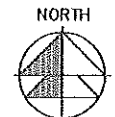
- MATERIALS SYMBOLS**
- 5/8" GYPSUM BOARD (SEE PLAN FOR FIRE-RATING)
 - 2'X2' SUSPENDED ACOUSTICAL TILE CEILING
 - CONCRETE BLOCK MASONRY
 - FACE BRICK (TO MATCH EXISTING)
 - 6" METAL STUD WALLS (NEW)
 - 3-5/8" METAL STUD WALLS (NEW)
 - RIGID INSULATION

- GENERAL NOTES:**
- A. ALL FLOORS TO HAVE SPRINKLER SYSTEM AS PER CODE.
 - B. SEE ELEVATIONS FOR VERTICAL ALIGNMENT OF WINDOWS.



BISHOP'S CREEK COMMERCIAL/HOTEL
THIRD FLOOR REFLECTED CEILING PLAN NORTH & SOUTH BUILDINGS
 SCALE: 1/8"=1'-0" NORTH BLDG. - 12 SUITES SOUTH BLDG. - 7 APARTMENTS

PRELIMINARY PLAN - NOT TO BE USED FOR CONSTRUCTION PURPOSES



NOTE:
CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE.

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REVISIONS

NO.	DATE	DESCRIPTION

PROJECT
 BISHOP'S CREEK COMMUNITY DEVELOPMENT CORP.
 4759 NORTH 32ND STREET
 MILWAUKEE, WISCONSIN 53209

389 Welhouse Dr.
 Kimberly, WI 54136
 (920) 754-4972
 & ASSOCIATES, INC. (Fax) 862-7725
 Architects - Designers - Planners

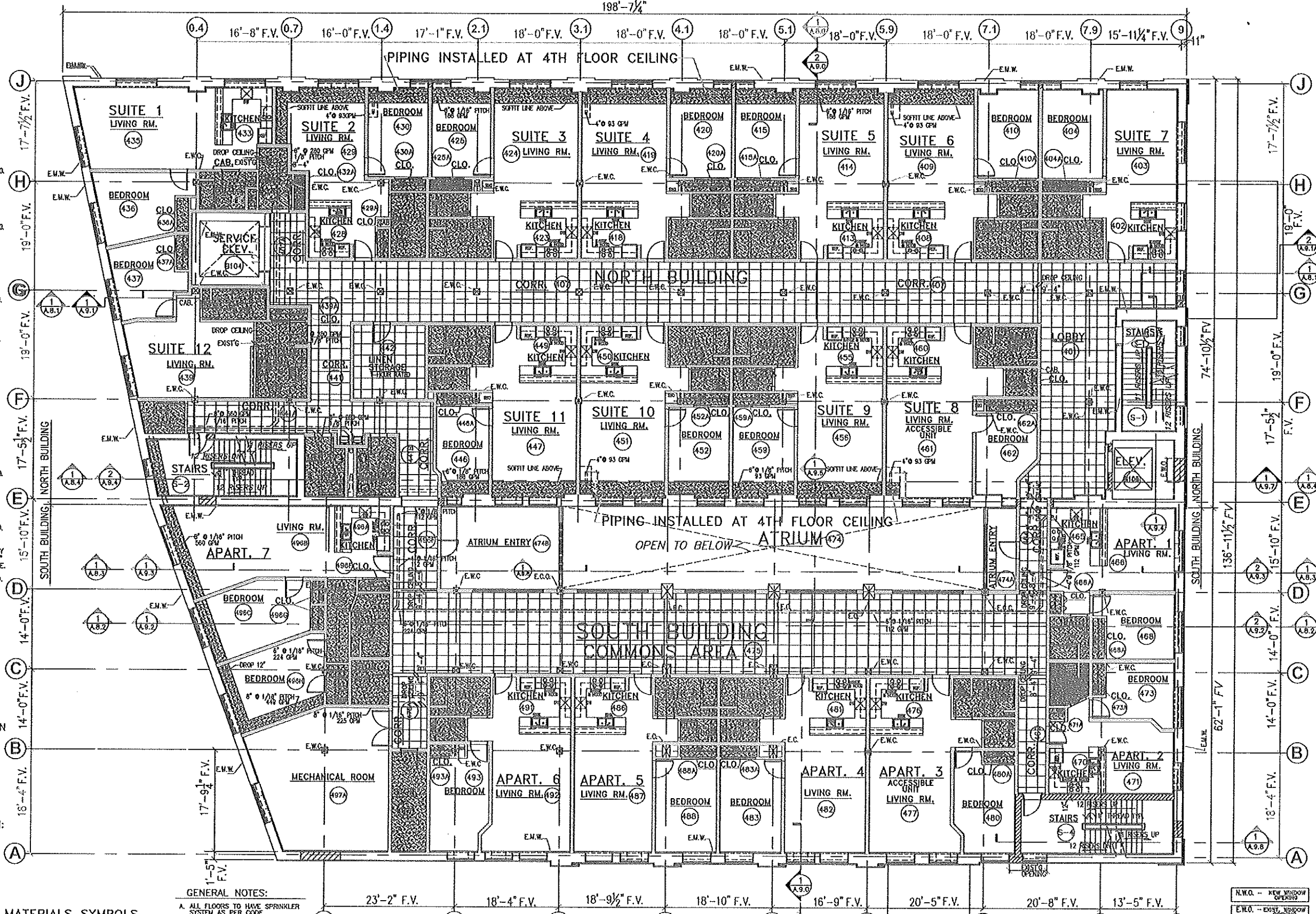
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FILE NO.
DRAWN BY
DATE
SHEET NO.
A.4.3
 of SHTS

8-16-2011

- NOTE 1:**
REMOVE EXISTING WINDOW AND CONC. SILL. ENLARGE VERTICAL WINDOW HEIGHT BY CUTTING EXISTING CONC. FOUND. WALL BELOW EXISTING WINDOW HEAD. SEE WINDOW TYPES & FRAMES SHEET A.4.0 FOR NEW WINDOW SIZE OPENING. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING.
- NOTE 2:**
REMOVE EXISTING DOOR & FRAME. FILL OPENING WITH CONC. BLOCK WITH 1-1/2" CONCRETE COVER AT THE EXTERIOR. PATCH TO MATCH EXISTING CONC. WALL.
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- NOTE 5:**
REMOVE EXISTING WINDOW AND CONCRETE SILL. CUT NEW OPENING IN EXTERIOR WALL FOR NEW WINDOW OPENING. INSTALL NEW LINTEL ABOVE NEW WINDOW. SEE STRUCTURAL. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING. SEE WINDOW TYPES & FRAMES SHEET A.4.0.
- NOTE 6:**
REMOVE EXISTING DOOR & FRAME. CUT EXISTING MASONRY TO WIDEN DOOR OPENING TO 3'-4" WIDTH. INSTALL NEW LINTEL FOR 7'-4" HIGH DOOR FRAME. SEE STRUCTURAL. INSTALL NEW DOOR & FRAME. SEE DOOR/FRAME SCHEDULE.
- NOTE 7:**
A/C LOUVER & STRUCTURAL BOX BY HVAC CONTRACTOR. VERIFY EACH SIZE, LOCATION & HEIGHT A.P.F. (T.P.).
- NOTE 8:**
INFILL BRICK MASONRY AT EXISTING OPENING AROUND NEW WINDOW OPENING. INSTALL LINTEL ABOVE - SEE STRUCTURAL. SEE SOUTH ELEVATION. INSTALL NEW WINDOW & FRAME IN NEW WINDOW OPENING. SEE WINDOW TYPES & FRAMES SHEET A.4.0.
- NOTE 9:**
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- NOTE 11:**
REMOVE EXISTING WALL INFILL SECOND FLOOR AT RECEIVING. SEE STRUCTURAL PLANS.

- LEGEND**
- E.M.W. EXISTING MASONRY WALL
 - E.W.O. EXISTING WINDOW OPENING
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 - E.C.P. EXISTING CONCRETE PIER
 - V.W.S. VERIFY WITH STRUCTURAL
 - T.O.B. TOP OF BEAM
 - T.O.S. TOP OF STEEL

- MATERIALS SYMBOLS**
- 5/8" GYPSUM BOARD (SEE PLAN FOR FIRE-RATING)
 - 2'X2' SUSPENDED ACOUSTICAL TILE CEILING
 - CONCRETE BLOCK MASONRY
 - FACE BRICK (TO MATCH EXISTING)
 - 6" METAL STUD WALLS (NEW)
 - 3-5/8" METAL STUD WALLS (NEW)
 - RIGID INSULATION
- ROOM** ROOM NAME AND NUMBER
- WALL TYPE**
- WINDOW TYPE**
- S&P** SHELF & POLE
- FV** FIELD VERIFY
- DETAIL NUMBER**
- FLOOR MATERIAL TRANSITION:** CERAMIC TILE TO CARPET
- FEC-1** FIRE EXTINGUISHER CABINET (SURFACE-MOUNTED)
- FE** FIRE EXTINGUISHER
- FEC** FIRE EXTINGUISHER CABINET (SEMI-RECESSED)
- F.D.** FLOOR DRAIN
- ROOM** ROOM NAME AND NUMBER
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GENERAL NOTES:
A. ALL FLOORS TO HAVE SPRINKLER SYSTEM AS PER CODE.
B. SEE ELEVATIONS FOR VERTICAL ALIGNMENT OF WINDOWS.

BISHOP'S CREEK HOUSING

FOURTH FLOOR REFLECTED CEILING PLAN NORTH & SOUTH BUILDINGS

SCALE: 1/8"=1'-0"

NORTH BLDG. - 12 SUITES SOUTH BLDG. - 7 APARTMENTS

PRELIMINARY PLAN - NOT TO BE USED FOR CONSTRUCTION PURPOSES

NOTE:
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REVISIONS

NO.	DESCRIPTION

PROJECT
BISHOP'S CREEK COMMUNITY DEVELOPMENT CORP.
4750 NORTH 32ND STREET
MILLWAUKEE, WISCONSIN 53009

THOMAS KLOIBER & ASSOCIATES, INC.
Architects - Designers - Planners
389 Welhouse Dr.
Kimberly, WI 54136
(920) 734-4972
FAX: 920-735-7725

JOB NO.

FILE NO.

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DATE
8-16-2011

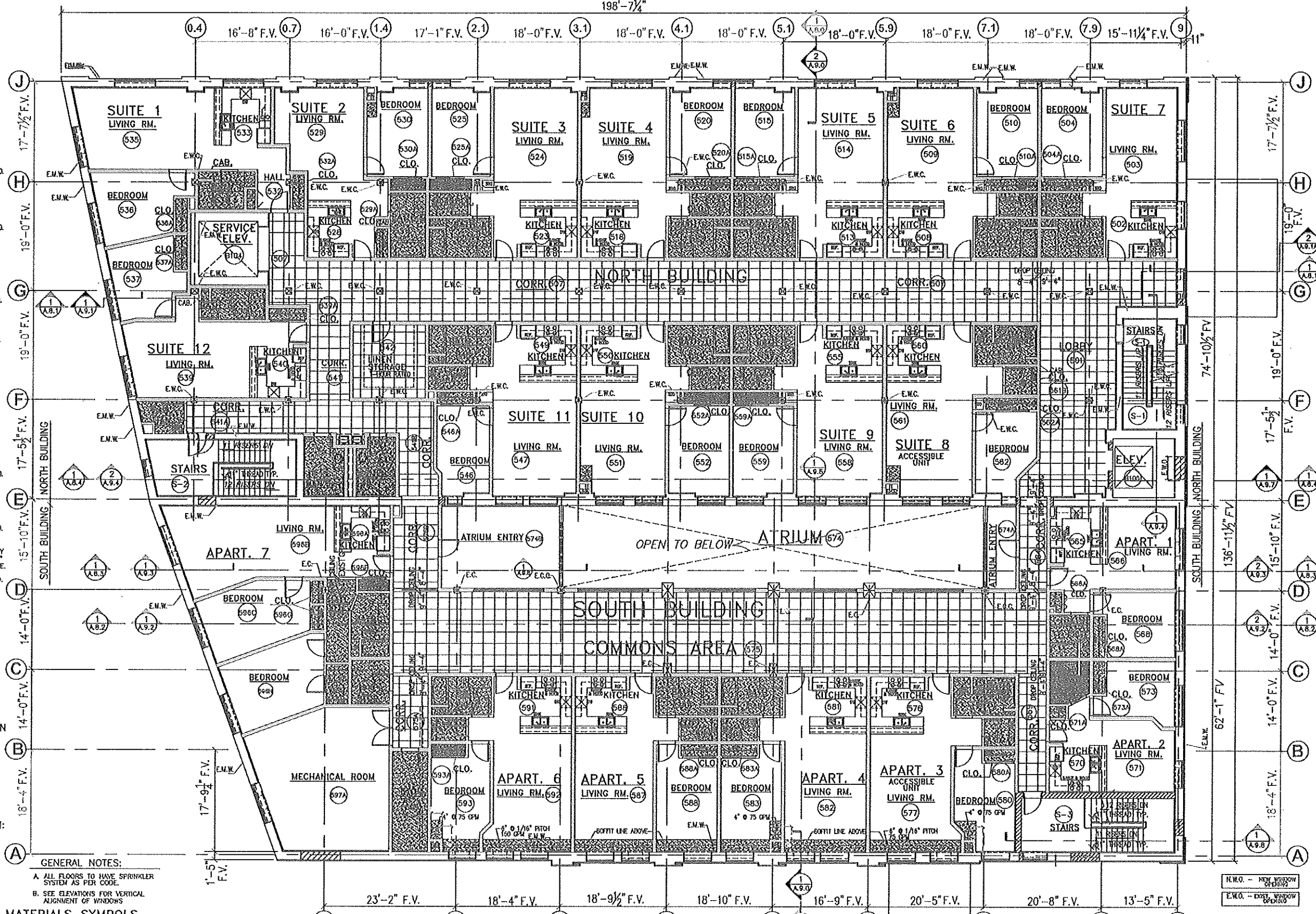
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of SHTS

- NOTE 1:**
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- NOTE 11:**
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 - E.C.P. EXISTING CONCRETE PIER
 - V.W.S. VERIFY WITH STRUCTURAL
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 - T.O.S. TOP OF STEEL

- GENERAL NOTES:**
- A. ALL FLOORS TO HAVE SPRINKLER SYSTEM AS PER CODE.
 - B. SEE ELEVATIONS FOR VERTICAL ALIGNMENT OF WINDOWS.
- MATERIALS SYMBOLS**
- 5/8" GYPSUM BOARD (SEE PLAN FOR FIRE-RATING)
 - 2'X2' SUSPENDED ACOUSTICAL TILE CEILING
 - CONCRETE BLOCK MASONRY
 - FACE BRICK (TO MATCH EXISTING)
 - 6" METAL STUD WALLS (NEW)
 - 3-5/8" METAL STUD WALLS (NEW)
 - RIGID INSULATION
- ROOM NAME AND NUMBER**
- WALL TYPE
 - WINDOW TYPE
 - S&P SHELF & POLE
 - FV FIELD VERIFY
 - DETAIL NUMBER
 - SHEET NUMBER
 - D.F. DRINKING FOUNTAIN
 - DOOR NUMBER



BISHOP'S CREEK HOUSING

FIFTH FLOOR REFLECTED CEILING PLAN NORTH & SOUTH BUILDINGS

SCALE: 1/8"=1'-0" NORTH BLDG. - 12 SUITES SOUTH BLDG. - 7 APARTMENTS

PRELIMINARY PLAN - NOT TO BE USED FOR CONSTRUCTION PURPOSES

NOTE:
CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE

Within dimensions of these drawings and their production over said dimensions. Contractor shall verify and be responsible for all dimensions and conditions in the field. Contractor shall be notified of any variations from the drawings and specifications at the time of construction. All dimensions shall be in feet and inches unless otherwise noted. All dimensions shall be to the center of the member unless otherwise noted. All dimensions shall be to the finished surface unless otherwise noted. All dimensions shall be to the center of the member unless otherwise noted. All dimensions shall be to the finished surface unless otherwise noted.

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT
BISHOP'S CREEK COMMUNITY DEVELOPMENT CORP.
4759 NORTH 22ND STREET
MILLWAUKEE, WISCONSIN 53009

380 Welhouse Dr.
Kimberly, WI 54136
(920) 734-4972
THOMAS KLOIBER & ASSOCIATES, Inc. (Fax) 882-7725

THOMAS KLOIBER & ASSOCIATES, Inc.
Architects - Designers - Planners

JOB NO.
FILE NO.
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DATE
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SHEET NO.
A.4.5
of SHTS

COMMERCIAL/HOTEL DEVELOPMENT - BUILDING 7/8

ROOM FINISH SCHEDULE Third Floor Plan

ROOM FINISH SCHEDULE Third Floor Plan (Continued)

Table with columns: Room No., Cap., Room Name, Floor, Base, Wall Finish, Ceiling, Fire, Notes. Rows include rooms like LOBBY, KITCHEN, LIVING RM., BEDROOM, CLO., BATH, CORRL, etc.

Table with columns: Room No., Cap., Room Name, Floor, Base, Wall Finish, Ceiling, Fire, Notes. Rows include rooms like OFFICE SPACE, CORR., ATRIUM, MECHANICAL ROOM, OFFICE, CONFERENCE RM., STORAGE, STAIRS, etc.

Ceiling GWB to be Water-Resistant Type
CT Welcoat 4"-0" High W/ 1 Row of CT-1 Above Enamel-Sert Glass
WD Wood, stained & varnished
QT Quarry Tile (Bullnose-6)

ABBREVIATIONS
CEILING: ACT Suspended Acoustical Tile 2x2 Grid with Revealed Edge, GWB Gypsum Wall Board, etc.
WALLS: PT-1 Paint(1-coat), PT-2 Paint(2 coats), CMU Concrete Masonry Units, etc.
FLOOR: QT Quarry Tile (8x8), CPT Carpet, VCT Vinyl Composition Tile, etc.
BASE: RB-1 Rubber Base 4, RB-2 Rubber Base 6, etc.

NOTE: ALLOWABLE WINDOW MANHOLE TO PROVIDE REQUIRED WIND LOAD CALC. AND INCREASE FRAME REINFORCEMENT AS REQ'D FOR STATE APPROVAL.

8-16-2011

NOTE: FOR UL DETAILS & DESCRIPTIONS SEE SHEETS - A.5.1 - A.5.2 - A.5.3 - A.5.4 - A.5.5

Vertical dimensions on these drawings are to finished conditions... unless otherwise indicated.

REVISIONS table with columns for date, description, and initials.

PROJECT: BISHOP'S CREEK COMMUNITY DEVELOPMENT CORP. 4758 NORTH 32ND STREET MILWAUKEE, WISCONSIN 53208

389 Welthouse Dr. Kimberly, WI 54136 (920) 734-4872 THOMAS KLOIBER & ASSOCIATES, Inc. (Fax) 882-7725 Architects - Designers - Planners

JOB NO. FILE NO. DRAWN BY DATE 8-16-2011 SHEET NO. A.5.1 of SHTS

COMMERCIAL/HOTEL DEVELOPMENT - BUILDING 7/8

ROOM FINISH SCHEDULE Fourth Floor Plan

Table with columns: Room No., Cap., Room Name, Floor, Base, Wall Finish (Mat'l, North, South, East, West), Ceiling (Finish, Height), Fire, Notes. Contains room schedule for rooms 401-456.

ROOM FINISH SCHEDULE Fourth Floor Plan

Table with columns: Room No., Cap., Room Name, Floor, Base, Wall Finish (Mat'l, North, South, East, West), Ceiling (Finish, Height), Fire, Notes. Contains room schedule for rooms 457-506.

NOTE: 1
SEE FOURTH FLOOR REFLECTED CEILING PLAN SHEET NO. A.4.4 FOR LOCATION OF DRYWALL SOFFIT.

Ceiling GWB to be Water-Resistant Type
CT Walnut 4'-0" High W/ 1 Row of CT-1 Above. Enamel-Semi Gloss
WD Wood, stained & varnished
QT Quarry Tile (Bullnose-6)
Note: All painted CMU shall receive a coat of "block filler" primer.

Unless otherwise noted, do not paint exposed interior brick.
PT Latex Paint
CO Sealed Concrete

ABBREVIATIONS

Table of abbreviations for CEILINGS, WALLS, FLOOR, and BASE. Includes terms like ACT, GWB, MTL, PT-1, etc.

NOTE: ALLIUM WINDOW MANUFACTURER TO PROVIDE REQUIRED WIND LOAD CALC. AND BRIGATE FRAME REINFORCEMENT AS REQ'D FOR STATE APPROVAL.

8-16-2011

Vertical text on the right side of the page, likely a revision or project note.

REVISIONS

BISHOP'S CREEK COMMUNITY DEVELOPMENT CORP.
4759 NORTH 32ND STREET
MILLWAUKEE, WISCONSIN 53209

PROJECT

389 Wellesley Dr.
Kimberly, WI 54136
(920) 734-4972
(FAX) 852-7725

THOMAS KLOIBER & ASSOCIATES, INC.
Architects - Designers - Planners

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of SHTS

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COMMERCIAL/HOTEL DEVELOPMENT - BUILDING 7/8

ROOM FINISH SCHEDULE Fifth Floor Plan A.3.5 (Continued)

Table with columns: Room No., Cap., Room Name, Floor, Base, Wall Finish, Ceiling, Fire, Notes. Rows 501-556.

ROOM FINISH SCHEDULE Fifth Floor Plan A.3.5 (Continued)

Table with columns: Room No., Cap., Room Name, Floor, Base, Wall Finish, Ceiling, Fire, Notes. Rows 557-597, S-1, S-2, S-3.

Ceiling GWB to be Water-Resistant Type
CT Watercot 4'-0" High W/ 1 Row of CT-1 Above. Enamel-Semi Gloss
WD Wood, stained & varnished
QT Quarry Tile (Bullnose-6)
Note: All painted CMU shall receive a coat of "block filler" primer.
Unless otherwise noted, do not paint exposed interior brick.
PT Latex Paint
CO Sealed Concrete

ABBREVIATIONS

- CEILINGS
ACT Suspended Acoustical Tile 2x2 Grid with Revealed Edge (Typically washable in restroom areas)
GWB Gypsum Wall Board (PT-2) (Susp. Grid System)
MTL Metal Deck - Paint Black (PT-3)
WALLS
PT-1 Paint(1-coat)
PT-2 Paint(2 coats)
CMU Concrete Masonry Units (block)
GWB Gypsum Wall Board
CB Cement Board
CT Ceramic Tile-4x4 (Color as selected)
CT-1 Ceramic Tile-4x4 (Different Color as selected)
CT-2 Ceramic Tile-6x6 (Cove & Bullnose)
PL Plastic Panels
MRCB Moisture Resistant Cement Board
FLOOR
QT Quarry Tile (8x8)
CPT Carpet
VCT Vinyl Composition Tile
SV Sheet Vinyl
CT-3 Ceramic Tile-6x6 (Un glazed)
CT-4 Ceramic Tile-4x4 (Un glazed)
PCT Porcelain Ceramic Tile (non-slip)
PL Concrete (Sealed)
STC Stain Conc.
RB Rubber Flooring (Non-Slip)
E EPOXY
BASE
RB-1 Rubber Base 4
RB-2 Rubber Base 6
QT Quarry Tile Bullnose-6
CT Ceramic Tile 6" Bullnose
WD Wood Base

NOTE: ALUMINUM WINDOW MANUF'R TO PROVIDE REQUIRED WIND LOAD CALCS. AND INDICATE FRAME REINFORCEMENT AS REQ'D FOR STATE APPROVAL.

8-16-2011

NOTE: FOR UL DETAILS & DESCRIPTIONS SEE SHEETS - A.5.1 - A.5.2 - A.5.3 - A.5.4 - A.5.5

When dimensions are given in feet and inches, the decimal equivalent shall be used for all dimensions and conditions on the drawings. Contractors shall verify all dimensions and conditions on the drawings and shall be responsible for any variations from the drawings and specifications. The drawings and specifications are the property of Thomas Kloiber & Associates, Inc. and shall not be reproduced or used in any manner without the written permission of Thomas Kloiber & Associates, Inc.

REVISIONS table with columns for date, description, and initials.

PROJECT: BISHOPS CREEK COMMUNITY DEVELOPMENT CORP. 4759 NORTH 32ND STREET MILWAUKEE, WISCONSIN 53209

THOMAS KLOIBER & ASSOCIATES, INC. Architects • Designers • Planners 380 Wellhouse Dr. Kimberly, WI 54136 (920) 734-4972 (FAX) 882-7725

JOB NO. FILE NO. DRAWN BY DATE 8-16-2011 SHEET NO. A.5.3 of SHTS

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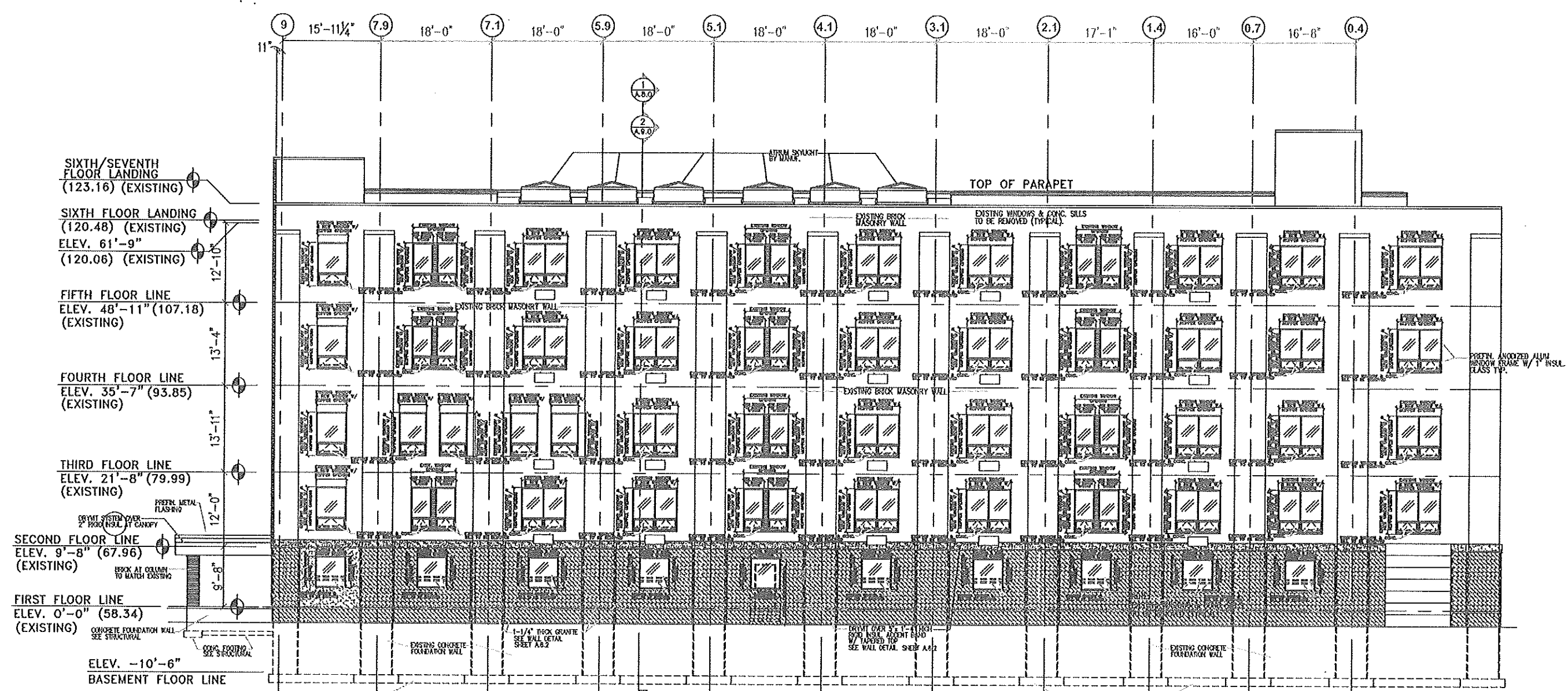
Written dimensions on these drawings shall have precedence over verbal dimensions. The Architect shall be responsible for the accuracy of the dimensions shown on the drawings. The Contractor shall be responsible for the accuracy of the dimensions shown on the drawings. The Contractor shall be responsible for the accuracy of the dimensions shown on the drawings. The Contractor shall be responsible for the accuracy of the dimensions shown on the drawings.

NO.	DATE	DESCRIPTION

PROJECT
 BISHOP'S CREEK COMMUNITY DEVELOPMENT CORP.
 4750 NORTH 32ND STREET
 MILWAUKEE, WISCONSIN 53209

THOMAS KLOIBER & ASSOCIATES, Inc.
 Architects - Designers - Planners
 380 W. Wisconsin Dr.
 Kimberly, WI 54136
 (920) 734-4972
 (Fax) 882-7725

JOB NO.
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 A.7.0
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BISHOP'S CREEK COMMERCIAL/HOTEL
NORTH ELEVATION **NORTH BUILDING**
 SCALE: 1/8" = 1'-0"

PRELIMINARY PLAN - NOT TO BE USED
 FOR CONSTRUCTION PURPOSES

8-16-2011

NOTE:
 CONTRACTOR SHALL VERIFY ALL EXISTING
 CONDITIONS AND DIMENSIONS AT THE SITE

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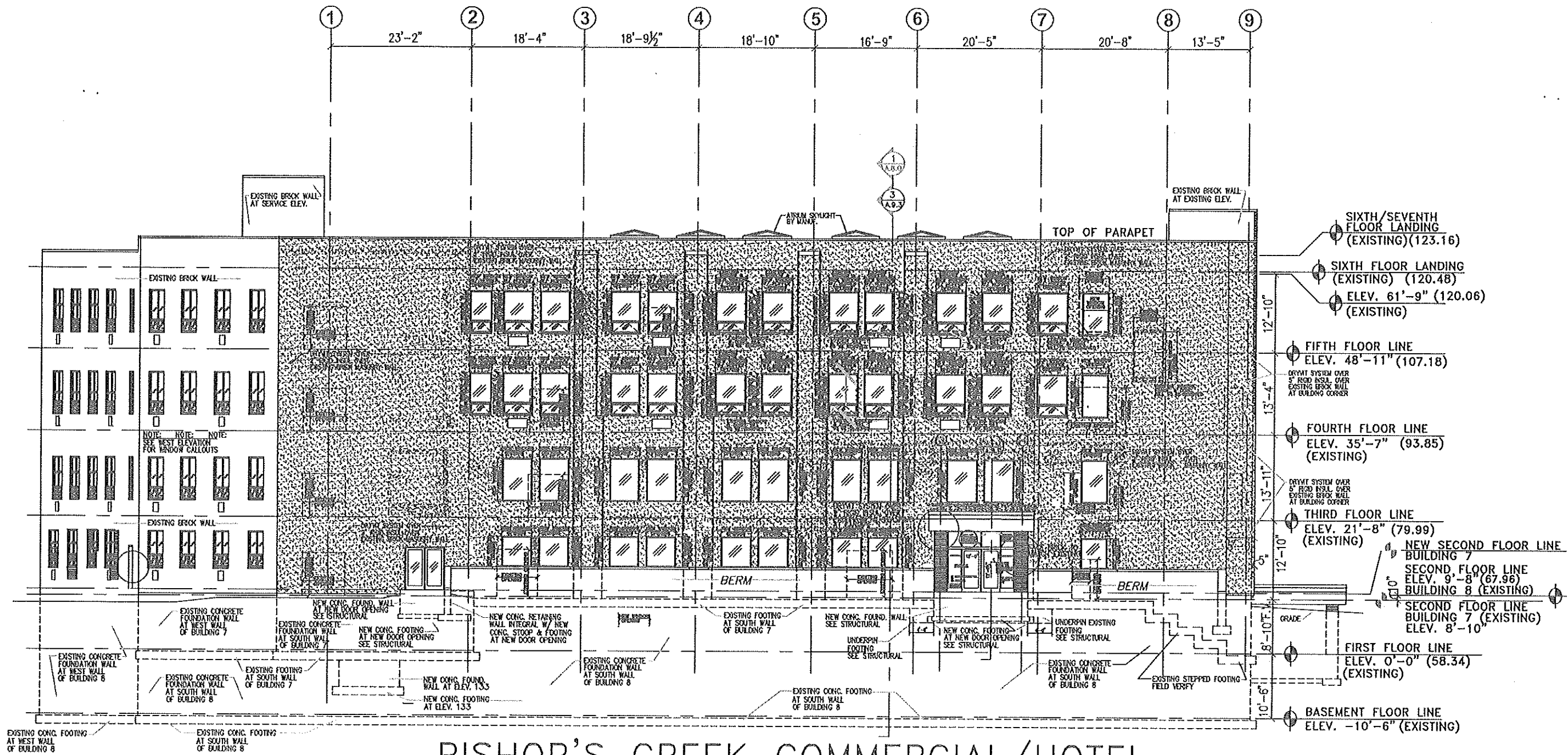
When dimensions on these drawings show provisions over existing dimensions, the contractor shall verify and be responsible for all dimensions and locations on the job. Conditions shown by these drawings prior to the execution of any work. All lines, design, arrangements, and plans indicated or represented by this drawing shall be the responsibility of the contractor. None of the items, arrangements, or plans shall be construed as a warranty of any kind. The contractor shall be responsible for obtaining all necessary permits and approvals for the purpose of this drawing without the written permission of Thomas & Kloiber & Associates.

NO.	DESCRIPTION

PROJECT
 BISHOP'S CREEK COMMUNITY DEVELOPMENT CORP.
 4750 NORTH 22ND STREET
 MILLWAUKEE, WISCONSIN 53009

380 Wellhouse Dr.
 Kimberly, WI 54136
 (920) 734-0972
 THOMAS & ASSOCIATES, INC. (Fax) 882-7725
 Architects - Designers - Planners

JOB NO.
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BISHOP'S CREEK COMMERCIAL/HOTEL

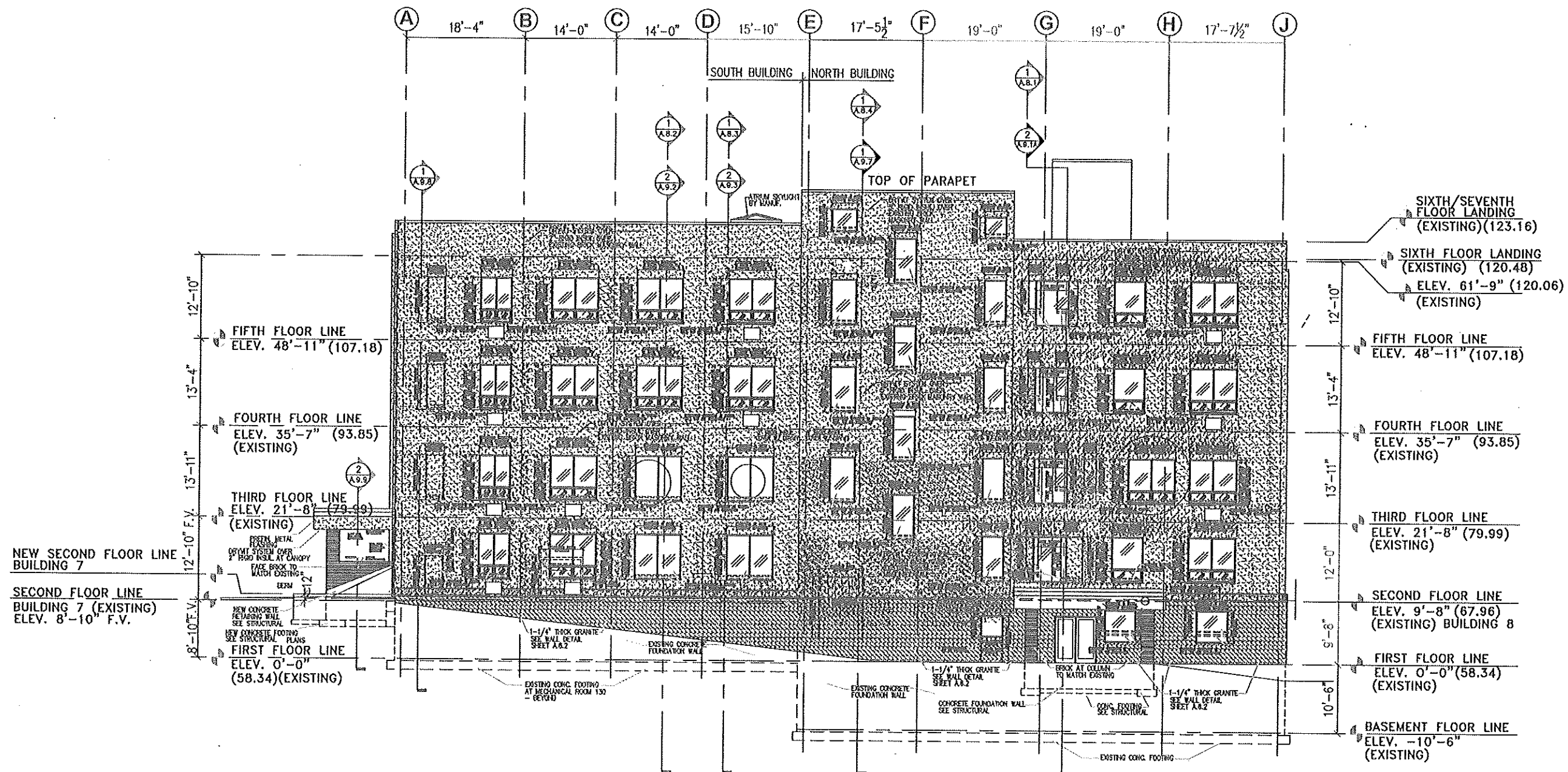
SOUTH ELEVATION SOUTH BUILDING

SCALE: 1/8"=1'-0" SCALE: 1/8"=1'-0" PRELIMINARY PLAN - NOT TO BE USED FOR CONSTRUCTION PURPOSES

NOTE:
 CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE

8-16-2011

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BISHOP'S CREEK COMMERCIAL/HOTEL
EAST ELEVATION NORTH & SOUTH BUILDING
 SCALE: 1/8" = 1'-0"

PRELIMINARY PLAN - NOT TO BE USED FOR CONSTRUCTION PURPOSES

8-16-2011

NOTE:
 CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE

Vertical dimensions and level elevations are shown in feet and inches. Contractors shall verify all dimensions and conditions on the job. Conditions shown by these drawings shall be the responsibility of the contractor. All lines, designs, arrangements, and plans indicated or represented by this drawing are the property of Kloiber & Associates, Inc. No part of this drawing shall be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the written permission of Kloiber & Associates, Inc.

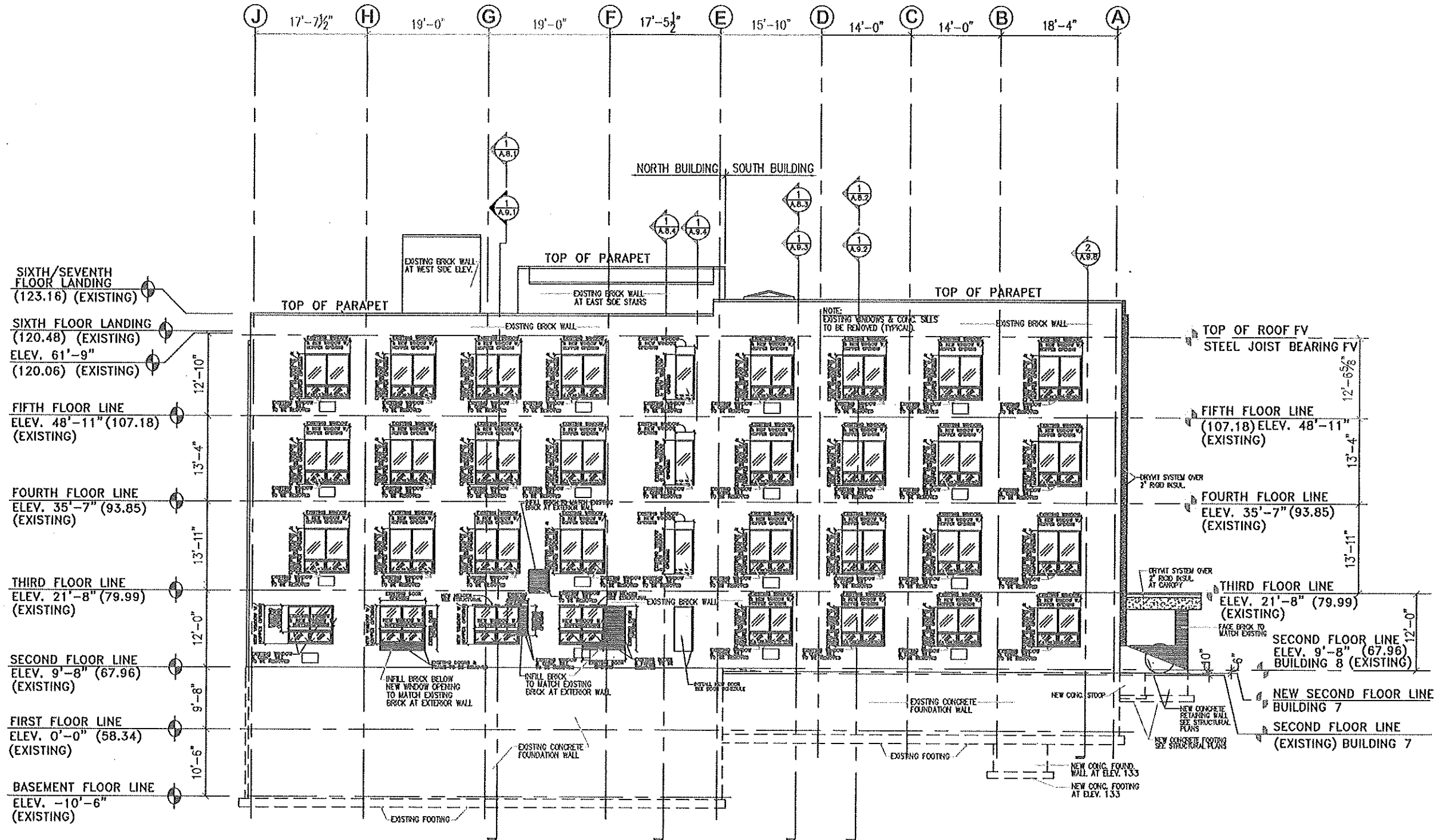
NO.	DESCRIPTION	DATE

PROJECT:
 BISHOP'S CREEK COMMUNITY DEVELOPMENT CORP.
 4759 NORTH 32ND STREET
 MILLWAUKEE, WISCONSIN 53209

THOMAS KLOIBER & ASSOCIATES, INC.
 Architects - Designers - Planners
 389 W. Lakeside Dr.
 Kimberly, WI 54136
 (920) 734-4972
 (Fax) 882-7725

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Written dimensions on these drawings shall have precedence over verbal dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job. The dimensions and conditions shown on these drawings are based on the information provided to the architect. The architect is not responsible for any errors or omissions in these drawings or for any conditions not shown on these drawings. The architect is not responsible for any conditions not shown on these drawings. The architect is not responsible for any conditions not shown on these drawings.



BISHOP'S CREEK COMMERCIAL/HOTEL

WEST ELEVATION NORTH & SOUTH BUILDING

SCALE: 1/8" = 1'-0"

PRELIMINARY PLAN - NOT TO BE USED FOR CONSTRUCTION PURPOSES

8-16-2011

NOTE:
CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE

NO.	DESCRIPTION

PROJECT
BISHOP'S CREEK COMMUNITY DEVELOPMENT CORP.
4750 NORTH 38ND STREET
MILLWAUKEE, WISCONSIN 53209

389 Welhouse Dr.
Kimberly, WI 54136
(920) 734-4972
(Fax) 892-7725

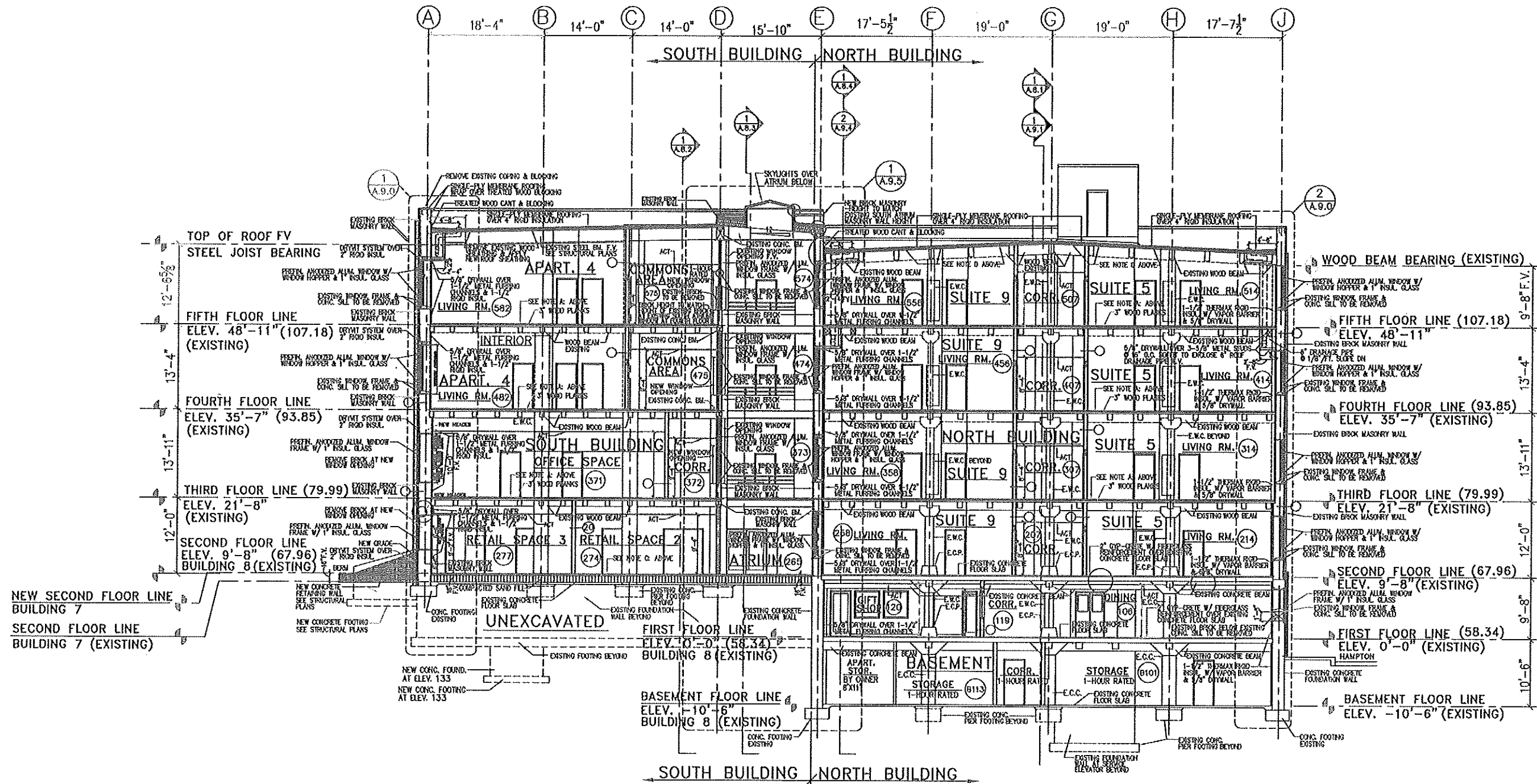
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Architects - Designers - Planners

JOB NO.
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SHEET NO.
A.7.3
of SHTS

NOTE A:
 REMOVE EXISTING WOOD SHEATHING
 REPLACE DAMAGED OR ROTTED
 EXISTING WOOD PLANKS -
 COVER W/ 2" GYP-CRETE
 W/ FIBERGLASS REINFORCEMENT
 OVER NEW 5/8" PLYWOOD SHEATHING
 OVER NEW & EXISTING 3" WOOD PLANKS

NOTE C:
 4" GYP-CRETE W/ REINFER
 GLASS REINFORCEMENT
 FLOOR TOPPING OVER
 COMPACTED SAND FILL
 OVER EXISTING CONC. FLOOR
 TOP OF CONC. SLAB
 TO MATCH TOP OF
 2" GYP-CRETE FLOOR
 TOPPING AT BUILDING 8

NOTE D:
 REMOVE EXISTING WOOD SHEATHING
 REPLACE DAMAGED OR ROTTED
 EXISTING WOOD SHEATHING
 SAND BLAST EXISTING WOOD SHEATHING
 TO REMAIN & PAINT EXISTING & NEW
 WOOD SHEATHING



BISHOP'S CREEK COMMERCIAL/HOTEL
1 BUILDING SECTION - THRU NORTH & SOUTH BUILDING
 A.8.0 SCALE: 1/8"=1'-0" (LOOKING WEST)

PRELIMINARY PLAN - NOT TO BE USED FOR CONSTRUCTION PURPOSES

NOTE:
 CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE

Written conditions on these drawings and how provisions are made dimensions. All dimensions are in feet and inches unless otherwise noted. The Architect and Engineer shall not be responsible for any conditions of any work not shown on these drawings. All items, materials, equipment, and processes to be used in the construction of the project shall be approved by the Architect and Engineer. All items shall be used in accordance with the written permission of the Architect & Association.

REVISIONS

PROJECT
 BISHOP'S CREEK COMMUNITY DEVELOPMENT CORP.
 4759 NORTH 32ND STREET

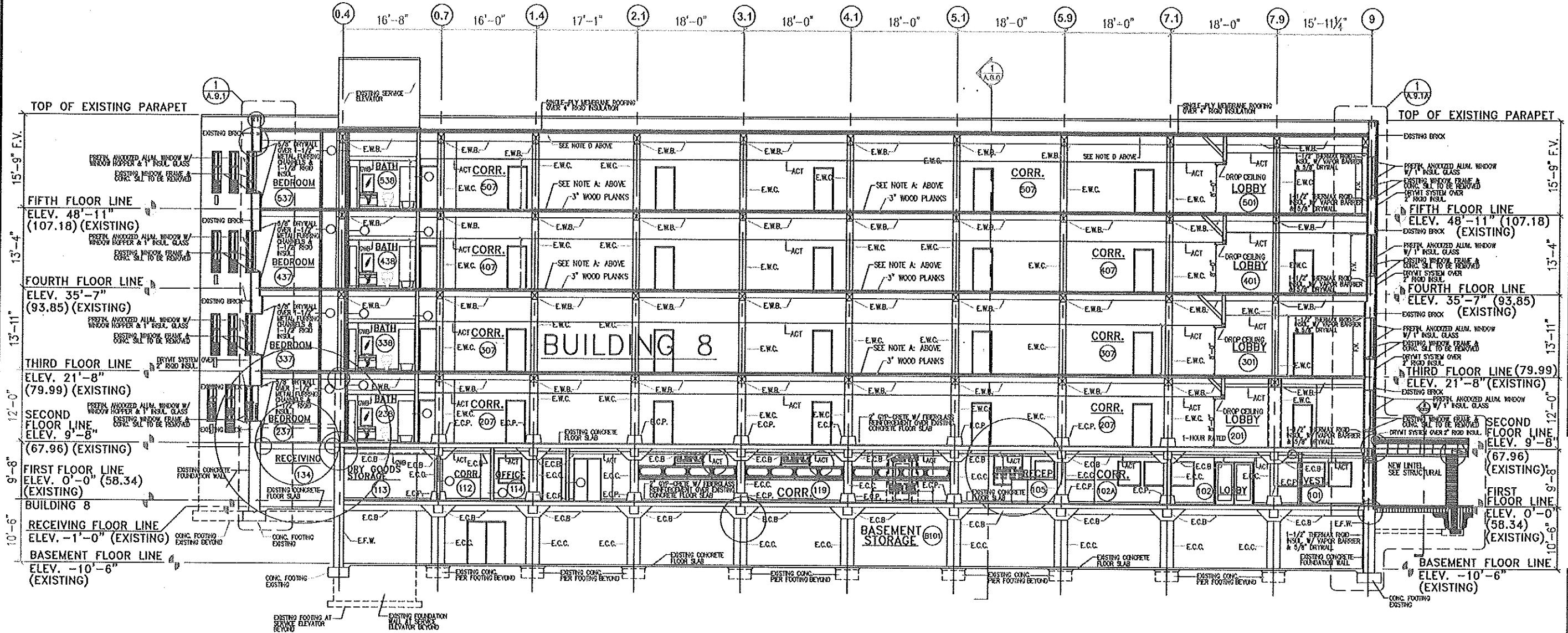
389 Welhouse Dr.
 Kimberly, WI 54136
 (920) 734-4872
 & ASSOCIATES, Inc. (Fax) 862-7725

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 Architects - Designers - Planners

JOB NO.
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A.8.0
 of SHTS

NOTE A:
 REMOVE EXISTING WOOD SHEATHING
 REPLACE DAMAGED OR ROTTED
 EXISTING WOOD PLANKS -
 COVER W/ 2" GYP-CRETE
 W/ FIBERGLASS REINFORCEMENT
 OVER NEW 5/8" PLYWOOD SHEATHING
 OVER NEW & EXISTING 3" WOOD PLANKS

NOTE D:
 REMOVE EXISTING WOOD SHEATHING
 REPLACE DAMAGED OR ROTTED
 EXISTING WOOD SHEATHING
 SAND BLAST EXISTING WOOD SHEATHING
 TO REMAIN & PAINT EXISTING & NEW
 WOOD SHEATHING



BISHOP'S CREEK COMMERCIAL/HOTEL

1 BUILDING SECTION - THRU EAST/WEST CORRIDOR OF NORTH BUILDING
 A.8.1 SCALE: 1/8"=1'-0" (LOOKING NORTH)

8-16-2011

PRELIMINARY PLAN - NOT TO BE USED FOR CONSTRUCTION PURPOSES

NOTE:
 CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE

Written dimensions on these drawings shall prevail over verbal dimensions. The contractor shall be responsible for the accuracy of all dimensions on the job. The contractor shall verify all existing conditions and dimensions at the site. All items, details, arrangements, and plans indicated or represented by this drawing shall be used by or obtained by any person, firm, or corporation for any purpose whatsoever without the written permission of Thomas Kloiber & Associates.

REVISIONS

PROJECT
 BISHOP'S CREEK COMMUNITY DEVELOPMENT CORP.
 4750 NORTH 32ND STREET
 MILLWAUKEE, WISCONSIN 53009

389 Wellesburg Dr.
 Kimberly, WI 54136
 (920) 734-4972
 (FAX) 882-7725

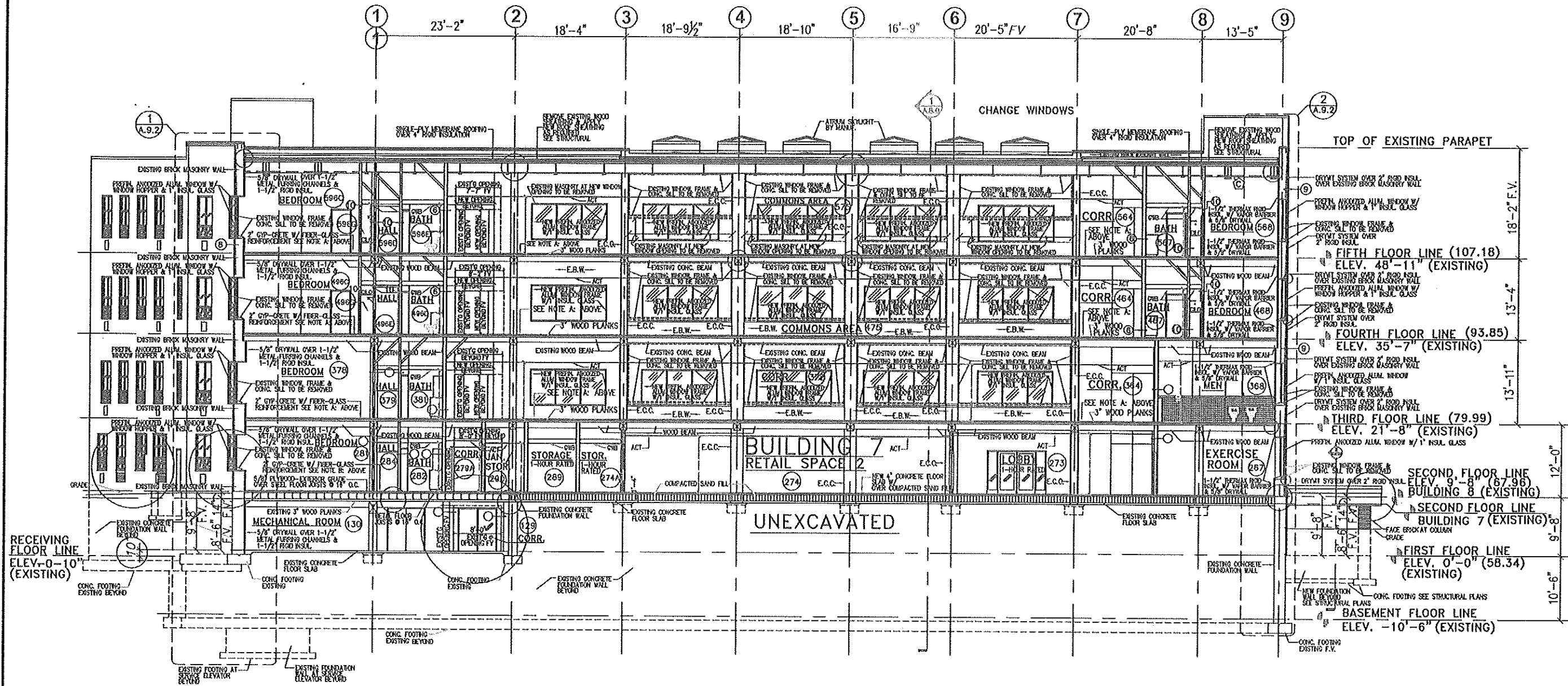
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NOTE A:
 W/ FIBERGLASS REINFORCEMENT OVER EXTERIOR GRADE 5/8" PLYWOOD SHEATHING OVER NEW & EXISTING 3" WOOD PLANKS

NOTE B:
 COVER W/ 2" GYP-CRETE
 W/ FIBERGLASS REINFORCEMENT
 OVER 5/8" EXTERIOR GRADE PLYWOOD
 SHEATHING OVER METAL FLOOR JOISTS
 @ 16" O.C. OVER NEW & EXISTING 3" WOOD PLANKS



BISHOP'S CREEK COMMERCIAL/HOTEL

1 BUILDING SECTION - THRU COMMONS AREA OF SOUTH BUILDING
 A.8.2 SCALE: 1/8"=1'-0" (LOOKING NORTH)

8-1-2011

PRELIMINARY PLAN - NOT TO BE USED FOR CONSTRUCTION PURPOSES

NOTE:
 CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE

When dimensions on these drawings and live precedence over verbal observations. All dimensions shall be taken from the drawings as shown. The contractor shall be responsible for verifying all dimensions and conditions shown by these drawings prior to the execution of any work. All items, details, arrangements, and notes indicated or represented by this drawing shall be used as shown or as detailed by any notes, form, or completion for any purpose whatsoever without the written permission of Klobber & Associates.

REVISIONS

PROJECT
 BISHOP'S CREEK COMMUNITY DEVELOPMENT CORP.
 4759 NORTH 32ND STREET
 MILLWAUKEE, WISCONSIN 53009

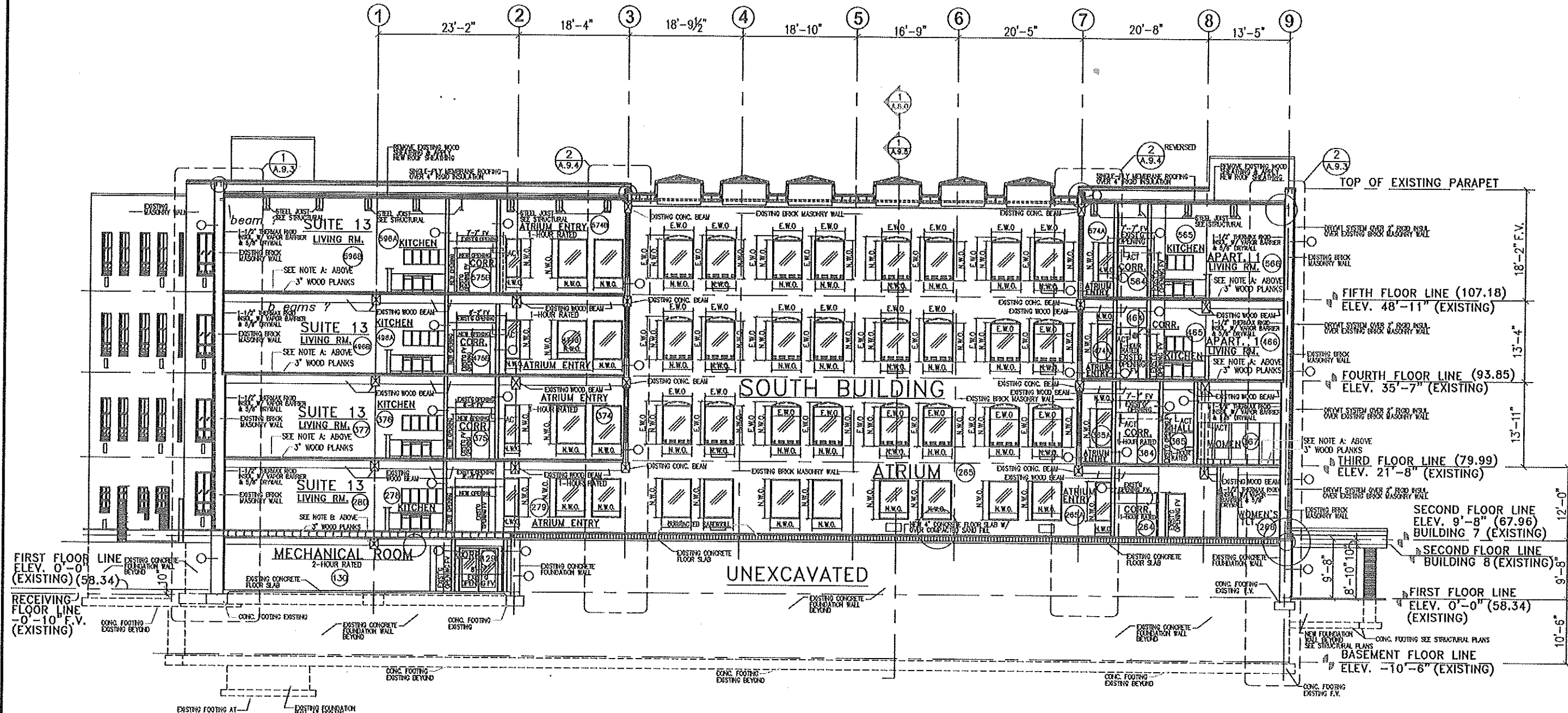
380 Welfarise Dr.
 Kimberly, WI 54136
 (920) 734-4972
 (Fax) 882-7725

THOMAS KLOIBER & ASSOCIATES, Inc.
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NOTE A:
 REMOVE EXISTING WOOD SHEATHING
 REPLACE DAMAGED OR ROTTED EXISTING WOOD PLANKS - COVER W/ 2" GYP-CRETE W/ FIBERGLASS REINFORCEMENT OVER EXTERIOR GRADE 5/8" PLYWOOD SHEATHING OVER NEW & EXISTING 3" WOOD PLANKS

NOTE B:
 REMOVE EXISTING WOOD SHEATHING
 REPLACE DAMAGED OR ROTTED EXISTING WOOD PLANKS - COVER W/ 2" GYP-CRETE W/ FIBERGLASS REINFORCEMENT OVER EXTERIOR GRADE PLYWOOD SHEATHING OVER NEW & EXISTING 3" WOOD PLANKS



BISHOP'S CREEK COMMERCIAL/HOTEL
BUILDING SECTION - THRU ATRIUM OF BUILDING 7
 (LOOKING NORTH)
 SCALE: 1/8"=1'-0"

PRELIMINARY PLAN - NOT TO BE USED FOR CONSTRUCTION PURPOSES

NOTE:
 CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE

Written dimensions on these drawings and have precedence over scaled dimensions. Contractor shall verify all dimensions and conditions on the job. All work shall be done in accordance with the approved plans and specifications. All materials and workmanship shall be subject to inspection and approval by the architect. All work shall be done in accordance with the approved plans and specifications. All materials and workmanship shall be subject to inspection and approval by the architect.

NO.	DESCRIPTION

PROJECT:
 BISHOP'S CREEK COMMUNITY DEVELOPMENT CORP.
 4759 NORTH 92ND STREET
 MILLWAUKEE, WISCONSIN 53209

380 Wellhouse Dr.
 Kimberly, WI 54136
 (920) 734-4972
 (FAX) 882-7725

THOMAS KLOIBER & ASSOCIATES, INC.
 Architects - Designers - Planners

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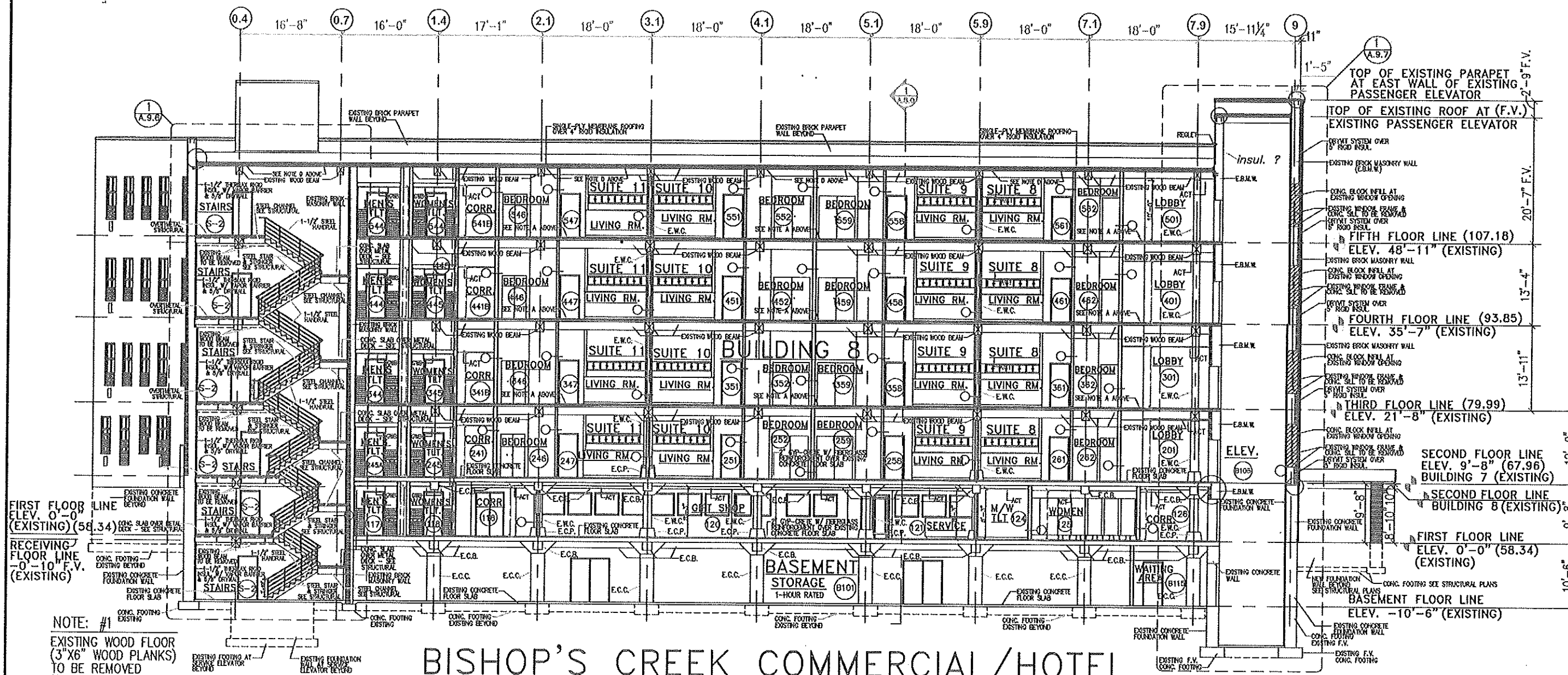
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NOTE A:

REMOVE EXISTING WOOD SHEATHING
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 EXISTING WOOD PLANKS -
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 W/ FIBERGLASS REINFORCEMENT
 OVER NEW 5/8" PLYWOOD SHEATHING
 OVER NEW & EXISTING 3" WOOD PLANKS

NOTE D:

REMOVE EXISTING WOOD SHEATHING
 REPLACE DAMAGED OR ROTTED
 EXISTING WOOD SHEATHING
 SAND BLAST EXISTING WOOD SHEATHING
 TO REMAIN & PAINT EXISTING & NEW
 WOOD SHEATHING



BISHOP'S CREEK COMMERCIAL/HOTEL

1 BUILDING SECTION - THRU EXISTING STAIRS S-2 TO EXISTING ELEVATOR B105 OF BUILDING 8 (LOOKING NORTH)
 A.8.4 SCALE: 1/8"=1'-0"

PRELIMINARY PLAN - NOT TO BE USED FOR CONSTRUCTION PURPOSES

NOTE:
 CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE SITE

8-16-2011

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REVISIONS

PROJECT
 BISHOP'S CREEK COMMUNITY DEVELOPMENT CORP.
 4750 NORTH 32ND STREET
 MILLWAUKEE, WISCONSIN 53009

380 Wellesley Dr.
 Kimberly, WI 54136
 (920) 734-4972
 (Fax) 882-7725

THOMAS KLOIBER & ASSOCIATES, Inc.
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