



LIVING WITH HISTORY

Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property	817-819 N. Marshall St.	Charles Koeffler Jr. House
Description of work	The house will be converted to a commercial boutique hotel and supporting cocktail lounge. General rehabilitation and maintenance will be performed. Exterior alterations include an attached rear deck connecting to an accessible entry in a bay window and a commercial kitchen hood on the rear.	
Date issued	7/26/2019	PTS ID 114772 COA: hotel conversion

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

- 1. Details regarding the installation of the sign are required. Submit for separate review.**
- 2. Paint or opaque stain on fence. Fence may be constructed at any height allowed by base zoning.**
- 3. Paint wheelchair lift a color complementary to the colors of the building and its trim.**
- 4. Match square/octagon pattern of front porch floor with new materials, masonry condition below apply to the porch tile.**
- 5. Any new mortar applied as a result of tuckpointing must match the chemical composition and color of the existing mortar and is subject to future HPC approval. New mortar must match original mortar in terms of color, texture, grain size, joint width, and joint finish/profile. The compressive strength of the repointing mortar shall be equal of less than the compressive strength of the original mortar and surrounding brick or stone. The replacement mortar shall contain approximately the same ingredient proportions of the original mortar. Mortar that is too hard is subject to premature failure and could damage the masonry. See the city's books *As Good As New* and *Good for Business, Masonry Chapters*, for**

more information. In most cases, this means a lime mortar with natural hydraulic cement rather than Portland cement. No joint of a width less than 3/8" may be cleaned of damaged/decomposed mortar with power disc grinders. No over-cutting of the joints is permitted. Remove decomposed mortar back into the wall 2.5 times the height of the joint before repointing. New brick must match as closely as possible the color, texture, size, and finish of the original brick.

A sample panel of brick and mortar must be reviewed and approved by HPC staff prior to general installation of the material.

UNDER NO CIRCUMSTANCE SHALL UNPAINTED MASONRY BE PAINTED, BE GIVEN A WATERPROOFING TREATMENT, OR CLEANED BY ABRASIVE MEANS.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Historic Preservation staff as follows: Phone: (414) 286-5712 E-mail: hpc@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.milwaukee.gov/build, or call (414) 286-8210.



City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Russell W. Stamper, II



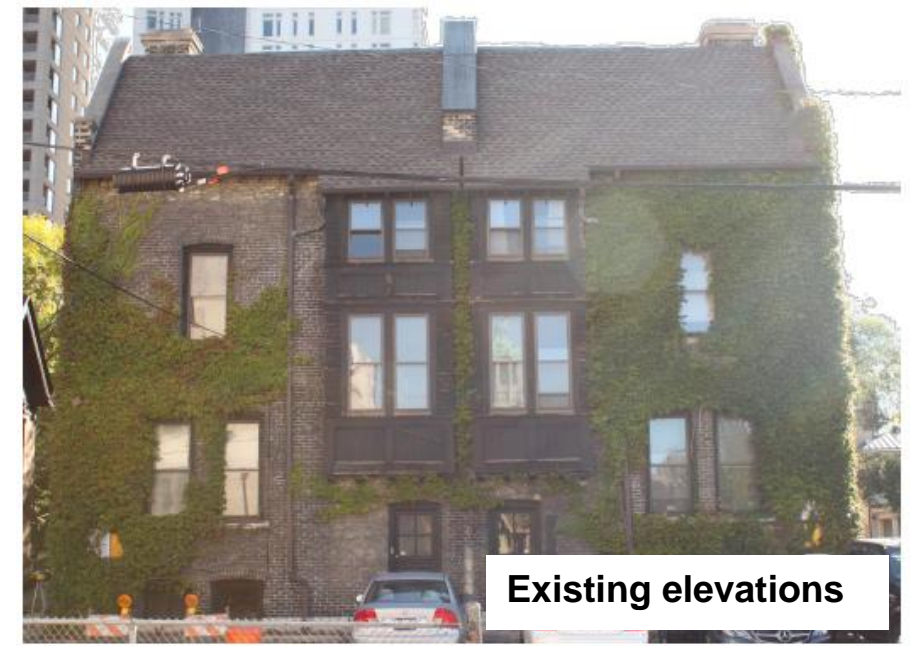
1 EAST ELEVATION
P1.1



2 SOUTH ELEVATION
P1.1



3 PARTIAL NORTH ELEVATION
P1.1



Existing elevations

4 WEST ELEVATION
P1.1

East Elevation

Work to be done on this elevation includes general rehab and maintenance of brick and stone (**masonry conditions apply**), paint existing wood windows, replace pipe handrail with iron rail, replace/repair existing porch tiles (**MUST match square/octagon pattern of tiles with new materials, masonry conditions apply**) and add new canopy sign above the entrance with ground placed spotlight (**details regarding the installation of the sign are REQUIRED – submit for separate review**)



ELEVATION NOTES

GENERAL NOTES

REPAIR AND RE-PAINT EXISTING WOOD TRIM BLACK

TUCK POINT BRICK IN LIMITED AREAS W/ MORTAR TO MATCH TYPE AND COLOR OF EXISTING

REFURBISH EXISTING WINDOWS AS REQUIRED FOR FULL OPERATION, PAINT BLACK TO MATCH EXISTING

KEY NOTES

- 1 REPLACE EXISTING PIPE RAIL WITH NEW OR RECLAIMED WROUGHT IRON OR BRONZE HANDRAIL
- 2 REPAIR / REPLACE BROKEN IN KIND, EXISTING CLAY TILE PORCH FLOOR. LEVEL ENTIRE SURFACE, PITCH TO DRAIN.
- 3 REPAIR AND REPAINT EXISTING WOOD BOX COLUMNS, CONSIDER FUTURE REPLACEMENT WITH COLUMNS TO MATCH HISTORIC PHOTOGRAPHS
- 4 NEW CANOPY/HOOD SIGN 7" X 120" = 6.75 SF BRASS OR BRONZE LETTERS W/ GROUND PLACED SPOT UPLIGHTS



South Elevation

Work to be done on this elevation includes painting the existing wood windows and trim, tuck-pointing brick and stone (**masonry conditions apply**), and minimal landscaping.

West Elevation

Work to be done on this elevation includes painting the existing wood windows and trim, tuckpointing brick and stone (**masonry conditions apply**), the conversion of an existing bay window into an accessible entrance (see partial section and detail drawings), and a new exhaust fan for a kitchen hood to be painted black to match the windows and trim.



KEY NOTES

1

NEW RAISED PANEL WOOD DOOR WITH HALF LITE AND ACCESSIBLE THRESHOLD, WOOD FRAMED SIDE LIGHT(S) AND TRANSOM SEE A3.2 FOR DOOR IN CONTEXT

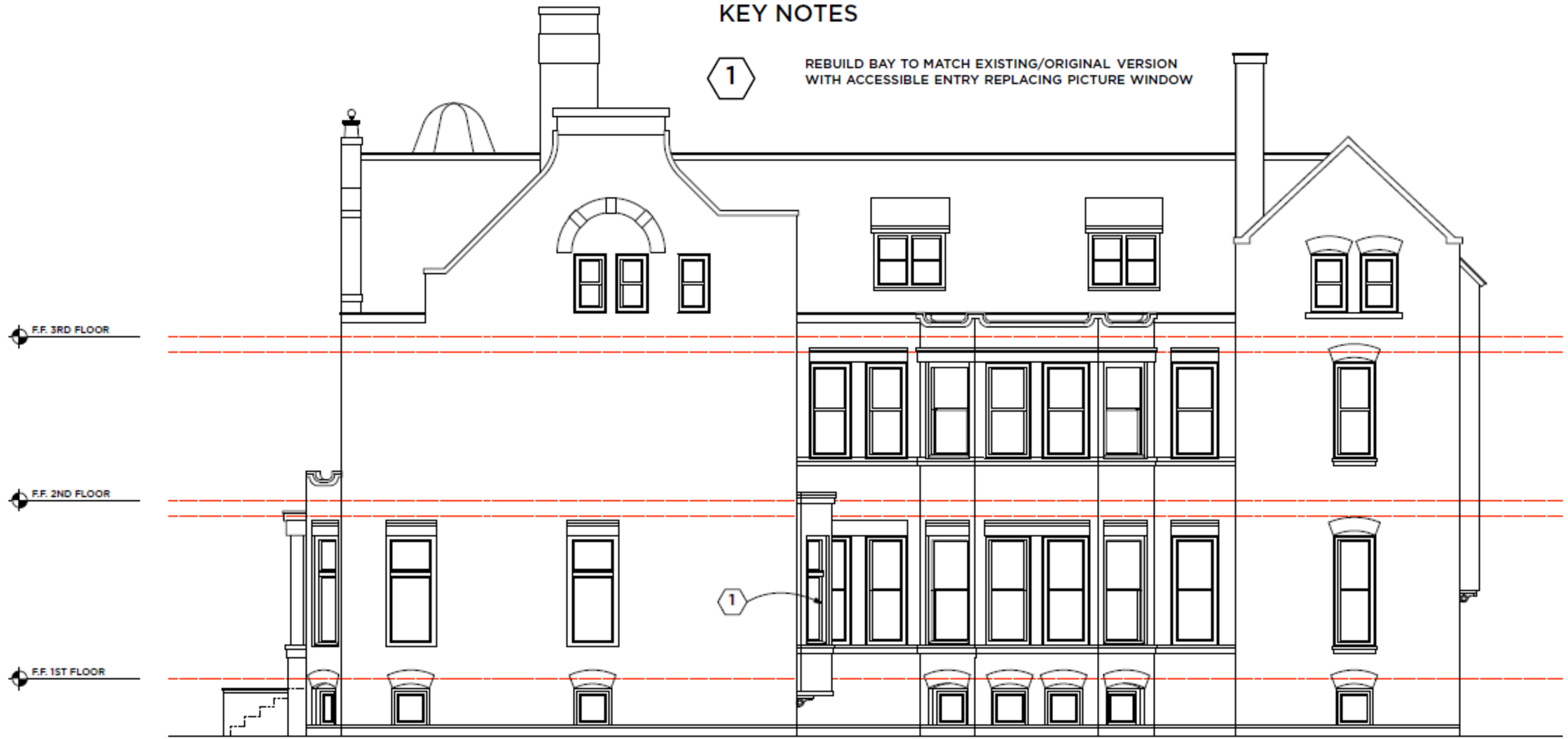
2

NEW EXHAUST FAN FOR KITCHEN HOOD, PAINTED BLACK TO MATCH TRIM AND DETAIL

KEY NOTES

1

REBUILD BAY TO MATCH EXISTING/ORIGINAL VERSION
WITH ACCESSIBLE ENTRY REPLACING PICTURE WINDOW



North Elevation

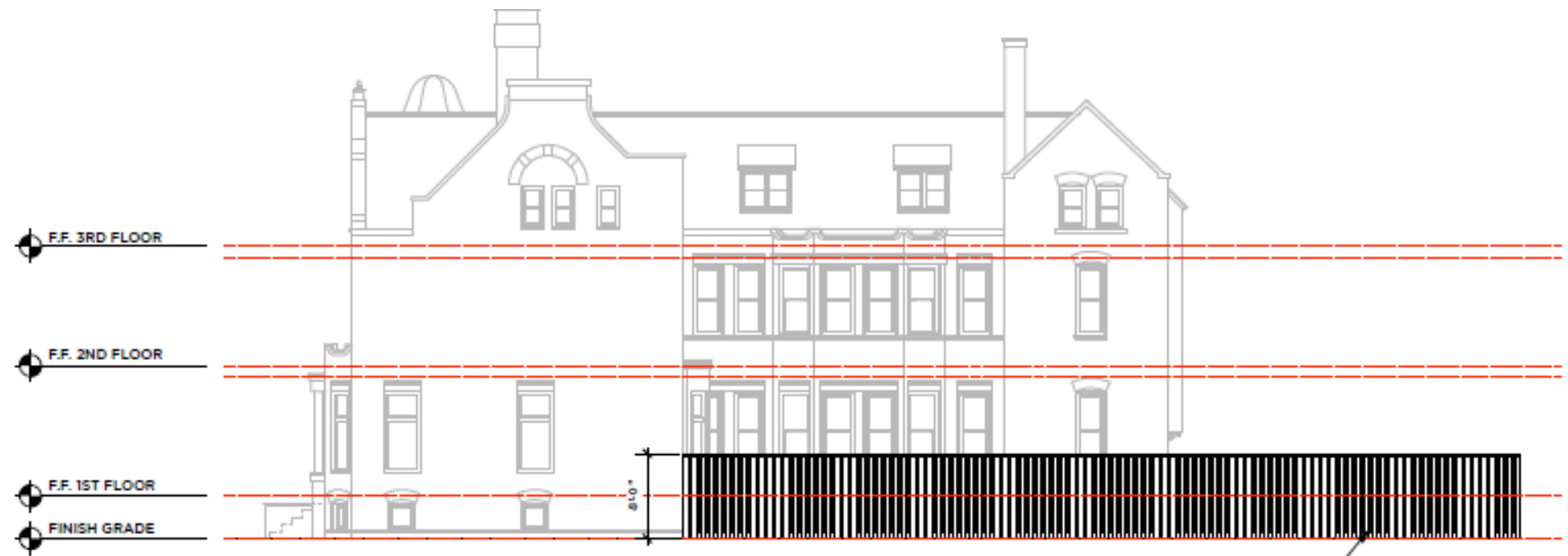
Work to be done on this elevation includes painting the existing wood windows and trim, tuckpointing brick and stone (**masonry conditions apply**), and the conversion of an existing bay window into an accessible entrance (see partial section and detail drawings).



8'-0"
 8' TALL CEDAR PRIVACY FENCE
 ALTERNATING VERTICAL 1X6
 AND 1X3 PICKETS SUPPORTED
 ON 4X4 CEDAR POSTS W/ (3)
 2X4 CEDAR HORIZONTAL
 MEMBERS

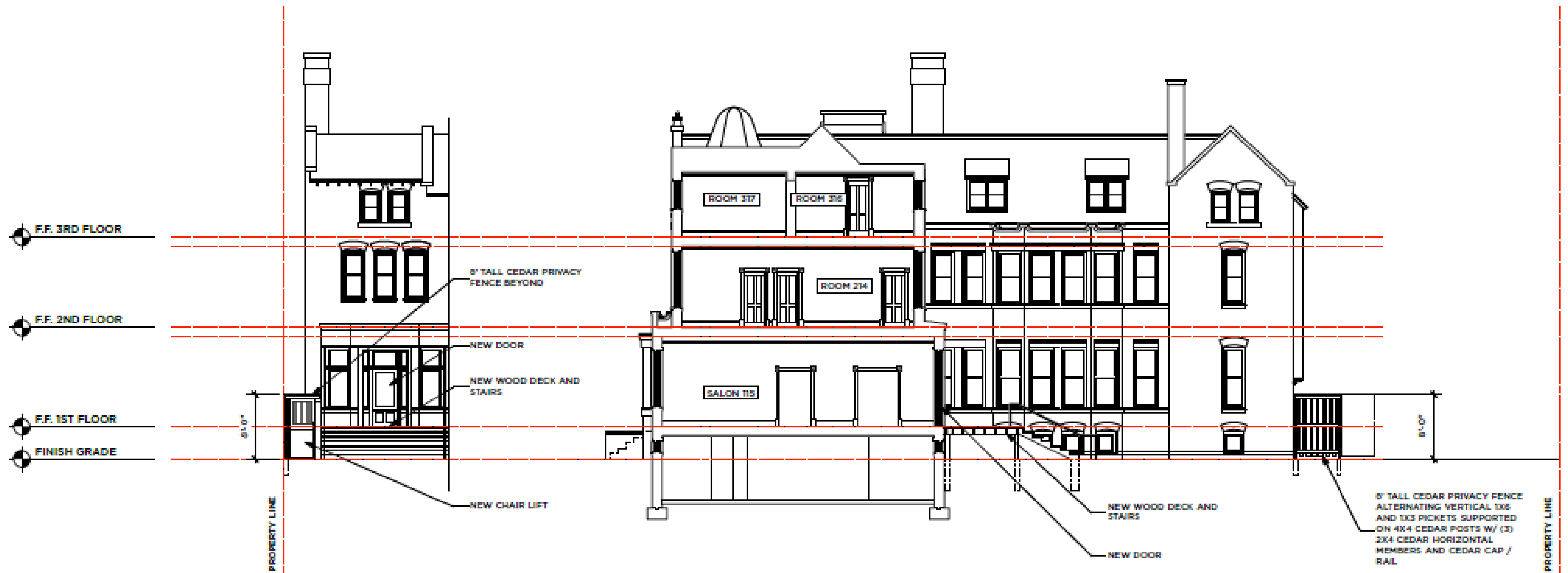
1 WEST ELEVATION
 A3.1 SCALE: 1/8" = 1' - 0"

Proposed Privacy Fence
 Design acceptable - **Paint or opaque stain required**



8'-0"
 8' TALL CEDAR PRIVACY FENCE
 ALTERNATING VERTICAL 1X6
 AND 1X3 PICKETS SUPPORTED
 ON 4X4 CEDAR POSTS W/ (3)
 2X4 CEDAR HORIZONTAL
 MEMBERS AND CEDAR CAP
 AND RAIL

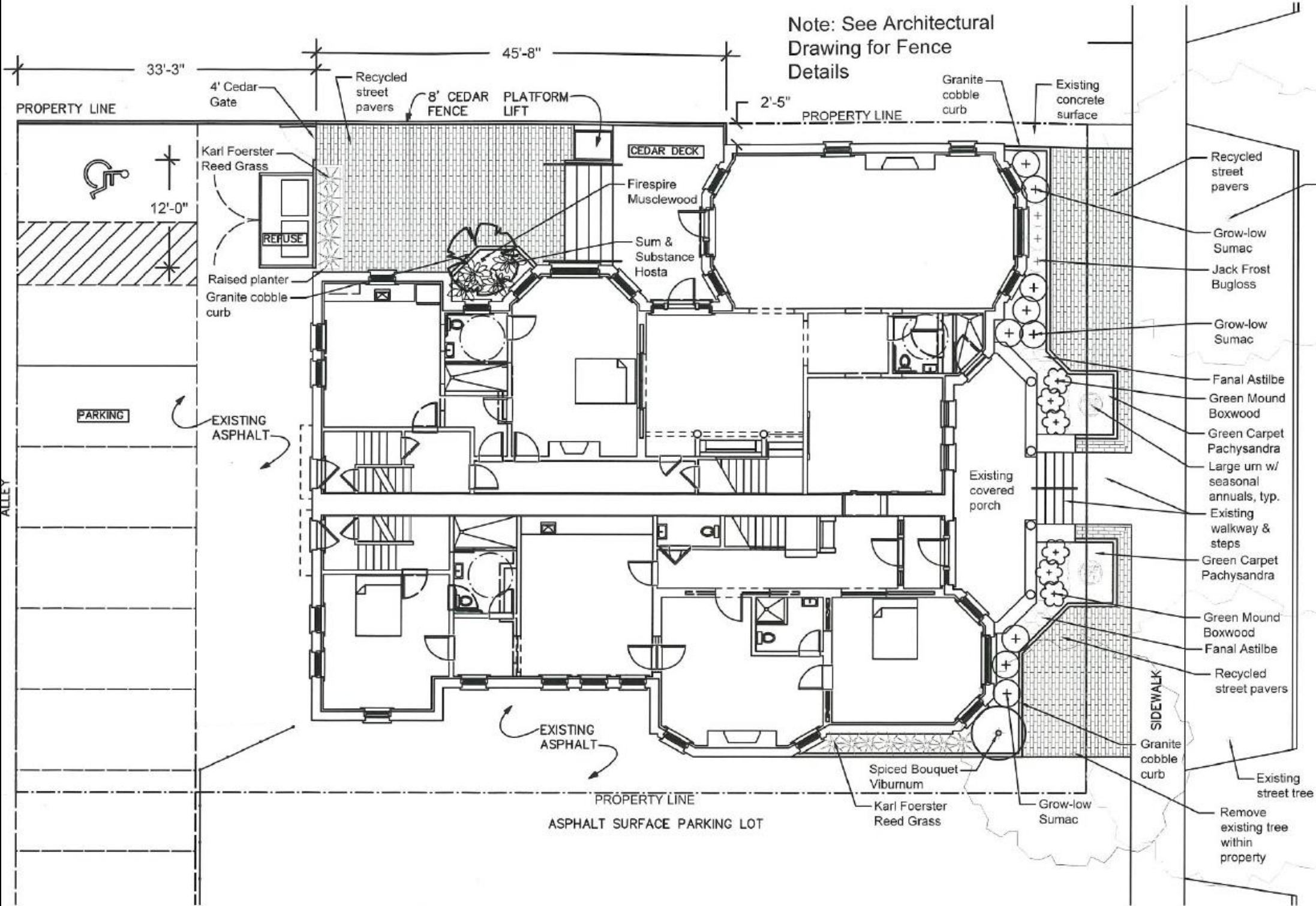
2 NORTH ELEVATION
 A3.1 SCALE: 1/8" = 1' - 0"



2 PARTIAL ELEVATION
 A3.2 SCALE: 1/8" = 1' - 0"

1 SECTION THRU SALON
 A3.2 SCALE: 1/8" = 1' - 0"

Proposed rear deck and bay window conversion to accessible entrance
 Design acceptable - **Paint wheelchair list a color complementary to the colors of the building and its trim**



Ums



Um Model No. LS9044 - Lake Bluff 32 from Longshadow
 (Um Dimensions - 32" diameter, 15.5" ht., 17" square base)
 Plinth Model No. LS9033 - Lake Bluff 10 from Longshadow
 (Plinth Dimensions - 10" ht., 17" square, 22" square base)

Recycled Street Pavers



Granite Cobble Curbs



Plant List
Proposed landscape plan
 Design acceptable