



Office of the City Clerk



Ronald D. Leonhardt
City Clerk

Carolyn Hill Robertson
Deputy City Clerk

April 8, 2005

To the Honorable, the Common Council

Dear Members:

Re: Common Council File 040602

As you are aware, Ald. Donovan has announced his intention to have file 040602, an ordinance approving the change in zoning from Local Business (LB2) to a Detailed Planned Development (DPD) known as Walgreen's, on land located on the South Side of West National Avenue between South Layton Boulevard and South 26th Street, in the 8th Aldermanic District, taken from the Zoning, Neighborhoods and Development Committee at Tuesday's Council meeting.

At the Council meeting, he will be offering this amended plan to replace the plan that is currently in the file. He wanted to give all members an opportunity to review the plan prior to the meeting.

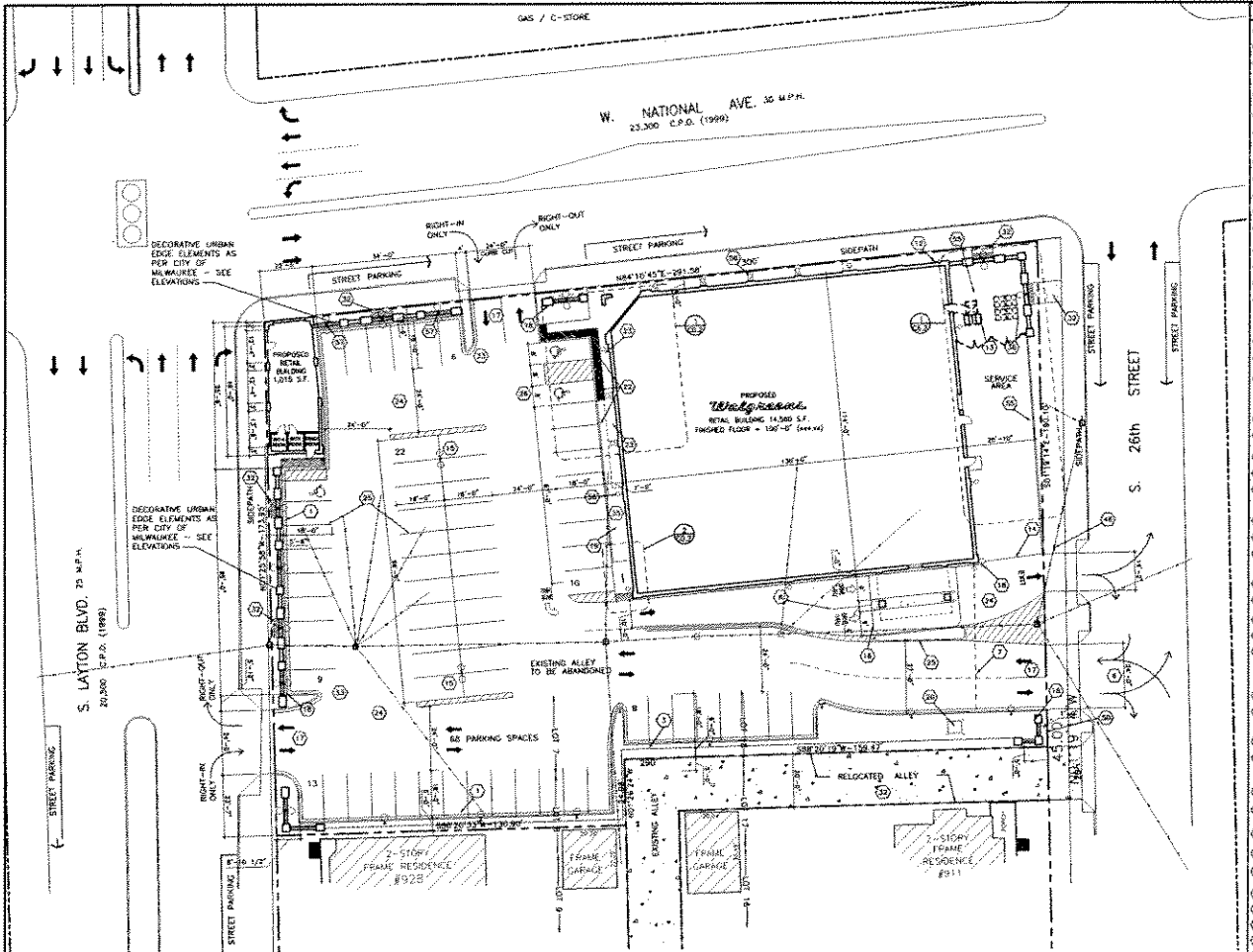
If you have any questions or concerns about the plan, you may contact Ald. Donovan, Rocky Marcoux (x5800) or Robert Greenstreet (x5813)

Respectfully,



Jim Owczarski,
Council Records Manager

cc: All Council Members
File No. 040602



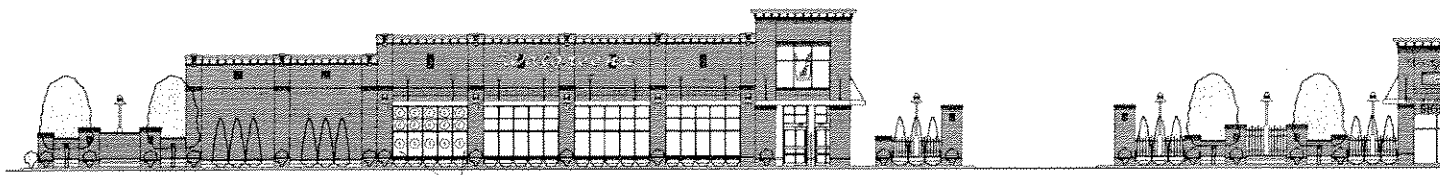
SITE PLAN KEY

- 1 PERIMETER OF ALL ASPHALT TO REMAIN TO
- 2 6" FIBER-GLASS-REINFORCED-CONCRETE
- 3 8'-0" HIGH OPALD CEDAR BOARD-ON-BE CLEAR FENCE TO HAVE GALVANIZED POSTS WITH CLEAR STAPLES. SEE 11, 16 & 23
- 4 WEAPONS-AND-LOGS-AND-STRIBURE-ARRANGED-HANDS-OF-STEEL-AND-STEEL-AND-STEEL
- 5 SPOT-ELEVATION-4' FROM LINE OF FINISH
- 6 CONCRETE APPROX TO D.O.T. SPECIFICATION ACCORDING TO 8.5 FOOT TRACK/WALKER W/ CAMERA WIDE IN THIS SHEET. THIS OR
- 7 LIMIT OF HEAVY DUTY ASPHALT PAVING (SEE 15)
- 8 15' x 4' x 8' YELLOW PAINT STRIPE (TYPICAL) LINE OF CANOPY ABOVE
- 9 12"x14" 300 NOT BLOCK ENTRANCE SIGN
- 10 3/4" FLEXIBLE DEFORMATION POST, FACTOR 1/8" (SEE SHEET 15)
- 11 GAS METER WITH BOLLARDS
- 12 COMPACTORS. SEE SHEET 08.2
- 13 LINE OF CONCRETE PAD SEE GENERAL NOT
- 14 DECORATIVE LIGHT POLE (TYPICAL). SEE 9th LOCATION OF POLES TO BE DETERMINED BY COORDINATE WITH E.I.A. AND E.C.T. LOCATE CURB TO CENTER LINE OR AS SHOWN
- 15 CONCRETE DRIVE-UP LAKE AND CANOPY AT 1/4" OF DOME ANGLES (SEE 16/17/18)
- 16 MAXIMUM 2" OCTAGONAL REFLECTIVE STEEL OF TRUCKS. SEE DETAIL 15/16/17
- 17 AT DRIVE-TURN ALONG EDGE OF STOP SIGN DRIVE-THRU. (SEE 08.2)
- 18 CONCRETE SIDEWALK. SEE-SHEET-14-1-WAY
- 19 PAD MOUNTED TRANSFORMER WITH BOLLARD (SEE SHEET 15)
- 20 ENTRY BOLLARDS W/ POLYETHYLENE COVER
- 21 ACCESSIBLE PARKING SIGN. SEE ACCESSIBLE
- 22 MANDATORY-PAINT-OR-DETERMINE-WARNING ROADWAYS WHEN SLOPE IS LESS THAN 5% WARNING SURFACE IS REQUIRED
- 23 ASPHALT PAVING (SEE 5/10/11)
- 24 YELLOW PAINT STRIPE (TYPICAL)
- 25 ACCESSIBLE PARKING DESIGN TO MEET ALL REQUIREMENTS BY A.D.A.-ACCESSIBLE PARKING
- 26 ASLES SHALL BE 11' (SEE 12X MAX.) SLIP TOP OF SIGN FOUNDATION. SEE SHEET AS.1
- 27 PLACE SIGN WITH MINIMUM SETBACKS. COORDINATION ACCORDINGLY
- 28 WEAPONS-AND-LOGS-OR-PROPOSED-WEAPONS
- 29 SPOT-ELEVATION-4' FROM LINE OF FINISH
- 30 CORNER BUS SHELTER/SHADE-AND-RESISTANCE
- 31 CONCRETE PAD. CONCRETE MADE FOR SIGN 1 POSSIBLE ORIENT PERPENDICULAR TO WALK AS.1. PROVIDE-REINFORCED-CONCRETE-AT-PURPOSE-AND-REINFORCED-STEEL-REINFORCEMENT
- 32 DECORATIVE COLORED CONCRETE
- 33 ALL END ISLANDS TO BE 4'-0" LESS THAN DEPTH ISLAND IS REQUIRED. DETAIL 15/16/17
- 34 RETURN-SIDEWALK-TO-EXISTING-EDGE-AND-WALKS WITHOUT COLLISION CAN BE 7'-0" WIDE. PROVIDE-2'-0" CLEAR-TO-BUILDING-AND-2'-0" SIDEWALK-PROVIDE-WALK-TO-BE-10'-0" OF
- 35 TOE ENCLOSURE (SEE 08.2)
- 36 DETECTABLE WARNING SURFACE. 3" DEEP. 1/8" R. FOR ADDITIONAL INFORMATION # 18
- 37 PAD MOUNTED LIGHT FIXTURE (TYPICAL). ADDITIONAL INFORMATION # 18
- 38 EXISTING BUILDING AND ITS RELATED COMP
- 39 ELECTRIC METER W/ BOLLARDS. SEE ELEC. ADDITIONAL INFORMATION
- 40 SLOPED SIDEWALK. (SEE SHEET 08.2 FOR TAPER CURB DOWN TO ASPHALT AT PROPOSED @ BUILDING. SEE DETAIL 15/16/17)
- 41 STOP LINES (SEE 10/10/10 FOR SIMILAR) EXISTING SIDEWALK
- 42 TO NOT EXIST SIGN MOUNTED ON STOP STREET
- 43 6" BOLLARDS AT TRANSFORMER. 4 TOTAL. ADDITIONAL INFORMATION
- 44 CLOSE EXISTING CURB CUT AS REQUIRED
- 45 ADA ACCESSIBLE PEDESTRIAN ROUTE - 3" RISE RUN SLOPE MAXIMUM
- 46 4'-0" HIGH ORNAMENTAL METAL FENCE W/ OFF CURB FACE. SEE DETAIL FOR SIGN
- 47 RELOCATE EXISTING UTILITIES AS REQUIRED
- 48 CUT EXISTING PAVEMENT
- 49 INDICATE FLAT SEAM METAL PANEL AT 800 2002 WESCO. 704.11.1. SEE ROOF PLAN 5 FOR ADDITIONAL INFORMATION
- 50 AT EXTERIOR WALL WITH LESS THAN 5 FEET EXTERIOR MULTIPLY-WHITE WALL CURB WITH 4 HOUR FIRE RESISTANCE PER BC 720-4.2
- 51 MASONRY SCREEN WALL
- 52 WALL MOUNTED LIGHTS. TYPICAL
- 53 FREESTANDING LIGHT POLE ATOP MASONRY

SITE DATA - WALGREENS	
EXISTING ZONING - LOCAL BUSINESS DISTRICT, LBR	STORAGE REQUIREMENTS
TOTAL SITE AREA	36,496 SF (13.6 ACRES)
BUILDING SETBACKS	FREESTANDING PYLON SIGNS
FRONT YARDS	SETBACK
SIDE YARDS	ALLOWABLE AREA EACH FACE
REAR YARDS	TOTAL ALLOWABLE AREA
BUILDING HEIGHT	MAXIMUM HEIGHT
PROPOSED BUILDING AREA	REQUIRED SEPARATION FROM OTHER SIGNS
PRIMARY STREET FRONTAGE MIN GLAZED AREA	WALL SIGNS
SECONDARY STREET FRONTAGE MIN GLAZED AREA	ALLOWABLE STORAGE
PARKING REQUIREMENTS	MAXIMUM ALLOWABLE AREA PER 20 FT
NET AREA OF SALES	13,920 SF
REQUIRED PARKING SPACES	FACES OF FREESTANDING SIGN MUST FACE OPPOSITE DIRECTIONS
1 SPACE PER 500 SF OF GROSS FLOOR AREA	NO 2 FREESTANDING SIGNS MAY FACE THE SAME STREET
CAR PARKING SPACES PROPOSED	FOR FREESTANDING SIGNS AT THE INTERSECTION OF 2 STREETS THERE IS NO SETBACK OR VISION TRIANGLE
HANDICAPPED PARKING SPACES PROPOSED	
TOTAL PARKING SPACES PROPOSED	

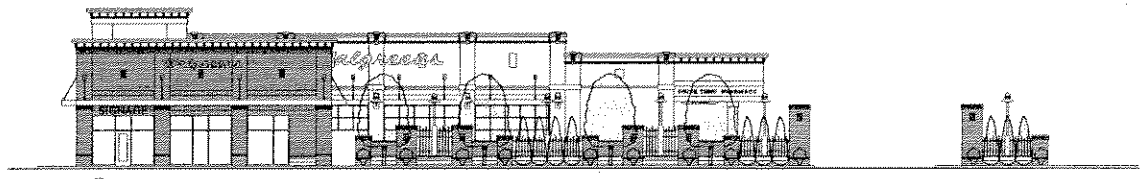


1 SITE PLAN
1/200=1"

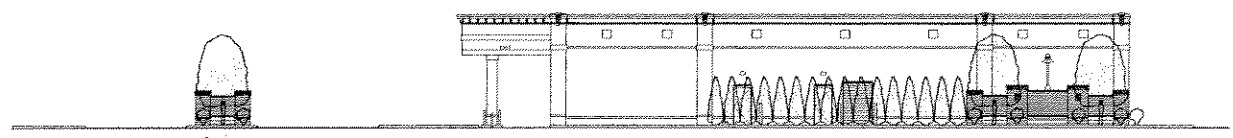


1 NORTH ELEVATION
1/8" = 1'-0"

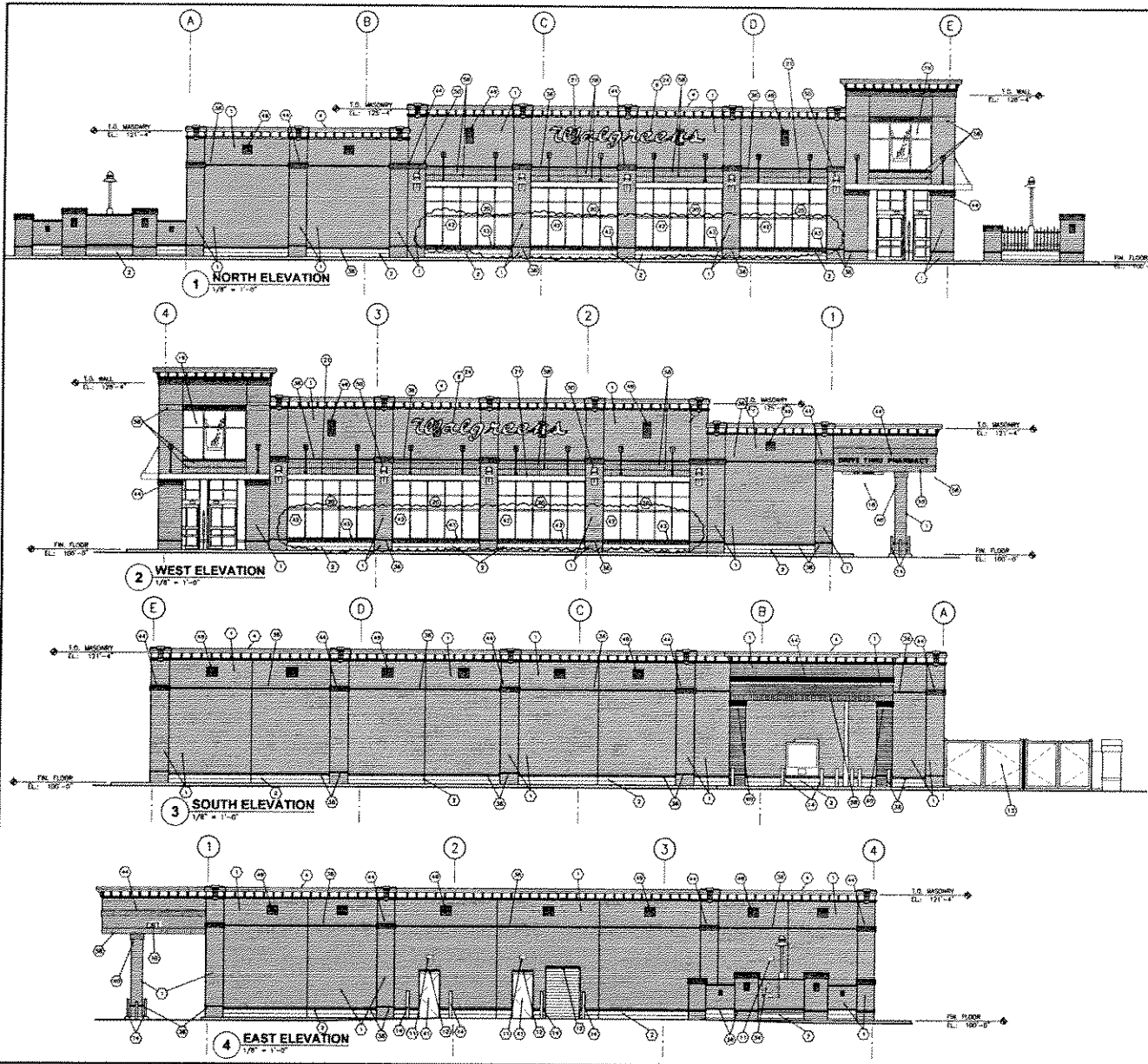
- TYPICAL BRICK CONFIGURATION
- SHARED GLASS
- CORNER GLASS



2 WEST ELEVATION
1/8" = 1'-0"

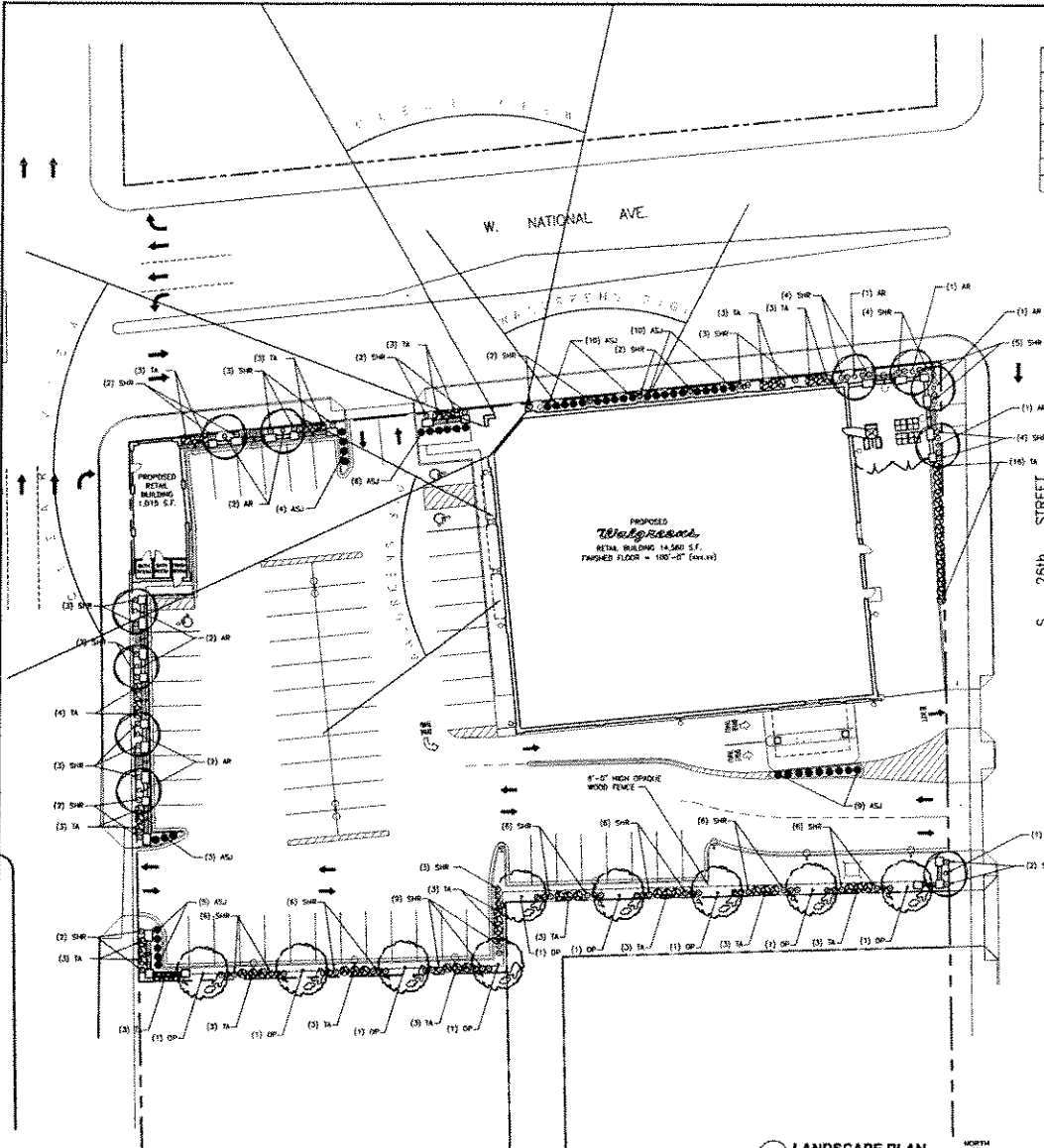


3 EAST ELEVATION
1/8" = 1'-0"



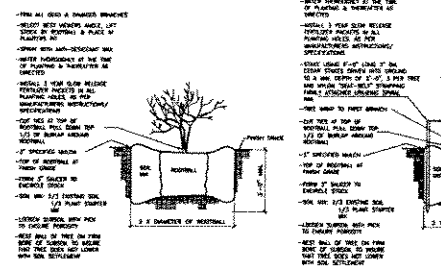
- EXTERIOR ELEVATION**
- 1 UNLIT SIZE FACE BRICK
 - 2 SPILT-FACE BLOCK
 - 3 SANDWICH-PANED MANUFACTURE
 - 4 PREFINISHED SHEETS MET DOWNWARDSLOPE INTERNAL W/ NORTH-SOUTH CORNER
 - 5 WALL INTERIOR
 - 6 RED "MILKMOCK" SCRYPT SEE-THRU LOW-SHEET-AS
 - 7 INDIVIDUAL LETTER SIGN
 - 8 ROOF LINE
 - 9 ROOF-ROOF WITH SANDWICH-PANED MANUFACTURE
 - 10 INDIVIDUAL LETTER SIGN
 - 11 WALL-MOUNTED LIGHT, 2' AT TRASH COMPACTOR FOR SEIZING SEPARATE ENCLIS
 - 12 RAIN SHIELD
 - 13 TRASH COMPACTOR AND DETAILS-SEE-SHEET-88-3
 - 14 PIPE BOLLS. SEE-DATA
 - 15 FLEXIBLE DELTACTION PO
 - 16 WINDOW-SHIN-SEE-SHEET-88-3
 - 17 WALL-MOUNTED LIGHT, 2' AT TRASH COMPACTOR FOR SEIZING SEPARATE ENCLIS
 - 18 "CLEARANCE" SIGN, SEE-88-3
 - 19 WALL-MOUNTED LIGHT, 2' AT TRASH COMPACTOR FOR SEIZING SEPARATE ENCLIS
 - 20 GLAZING SYSTEM
 - 21 METAL AWNING PROJECTION
 - 22 TRASH COMPACTOR AND DETAILS-SEE-SHEET-88-3
 - 23 AWNING-SEE-SHEET-88-3
 - 24 WINDOW OF LOWER CASE IS BOLD ROOF LINE, OR SIGN TO INDICATE ROOF MEASUREMENT MATCH BRICK
 - 25 SIGN-SEE-88-3
 - 26 ROOF SCUPPER, SEE ARCHITECTURAL DRAWING FOR DETAILS
 - 27 WINDOW OF LOWER CASE IS BOLD ROOF LINE, OR SIGN TO INDICATE ROOF MEASUREMENT MATCH BRICK
 - 28 WINDOW-SEE-SHEET-88-3
 - 29 WINDOW OF LOWER CASE IS BOLD ROOF LINE, OR SIGN TO INDICATE ROOF MEASUREMENT MATCH BRICK
 - 30 WINDOW-SEE-SHEET-88-3
 - 31 WINDOW OF LOWER CASE IS BOLD ROOF LINE, OR SIGN TO INDICATE ROOF MEASUREMENT MATCH BRICK
 - 32 WINDOW-SEE-SHEET-88-3
 - 33 WINDOW OF LOWER CASE IS BOLD ROOF LINE, OR SIGN TO INDICATE ROOF MEASUREMENT MATCH BRICK
 - 34 WINDOW-SEE-SHEET-88-3
 - 35 WINDOW OF LOWER CASE IS BOLD ROOF LINE, OR SIGN TO INDICATE ROOF MEASUREMENT MATCH BRICK
 - 36 WINDOW-SEE-SHEET-88-3
 - 37 WINDOW OF LOWER CASE IS BOLD ROOF LINE, OR SIGN TO INDICATE ROOF MEASUREMENT MATCH BRICK
 - 38 WINDOW-SEE-SHEET-88-3
 - 39 WINDOW OF LOWER CASE IS BOLD ROOF LINE, OR SIGN TO INDICATE ROOF MEASUREMENT MATCH BRICK
 - 40 WINDOW-SEE-SHEET-88-3

PLANT SCHEDULE				
SYMBOL	QUANTITY	SIZE	ROOT	COMMON NAME
ASJ	47	24"	RB	ARMSTRONG JUNIPER
SHR	93	18"	BB	SHRUB ROSES "GEDRGE VANDOLSER"
OP	9	2" CAL.	BB	ORNAMENTAL PEAR
TA	58	7" HIGH	BB	TECHNY ARBORVITAE
AR	11	2.5" - 3" CAL.	BB	RED MAPLE

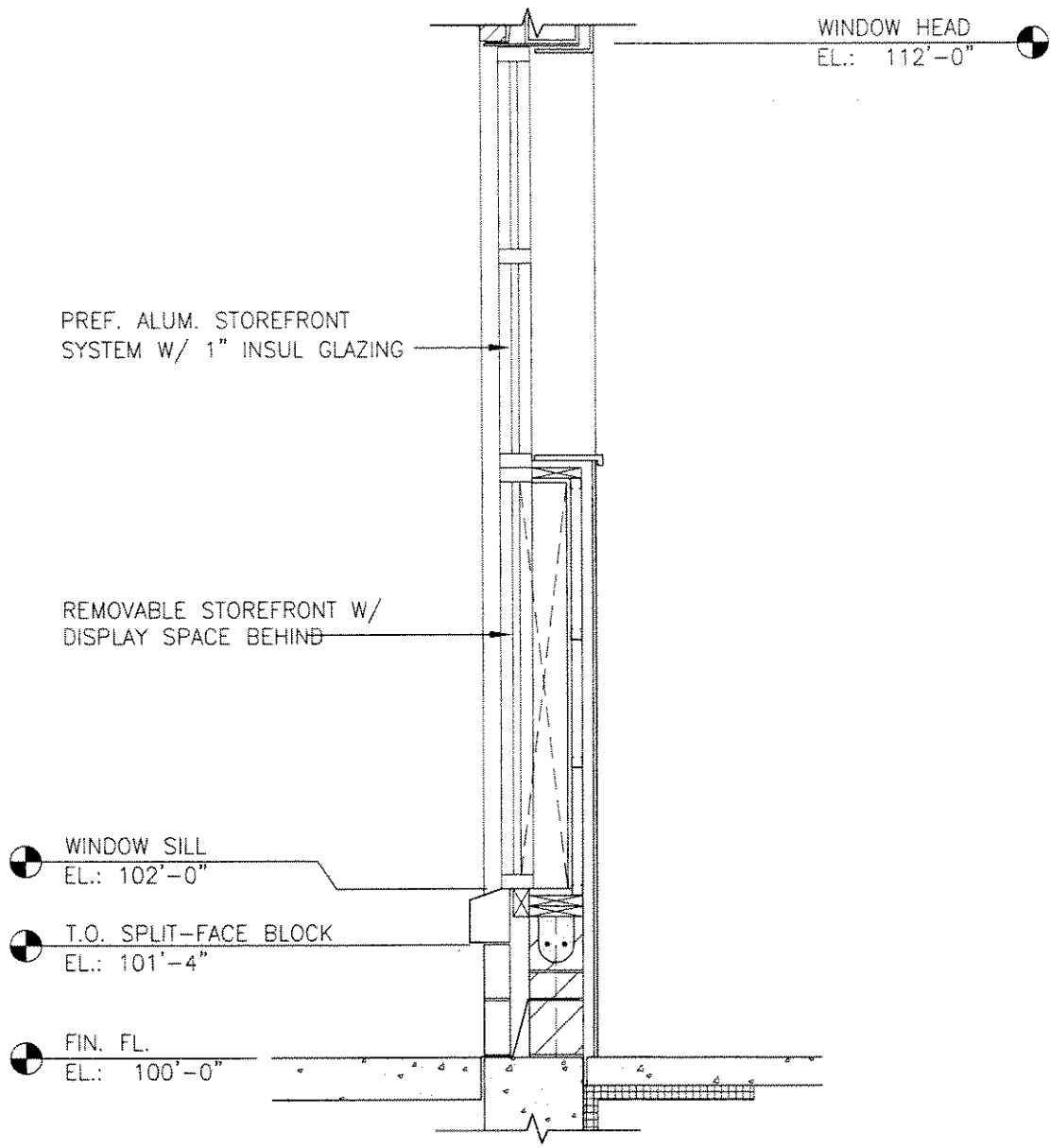


GENERAL NOTES

- SITE CLEARING:**
REMOVE ALL EXISTING TREES AND VEGETATION PER SPEC 0310, EXCEPT THOSE AS NOTED ON PLAN.
- GRAVEL:**
CONTECT LOCAL MOVERS' HOME DEPOT TO OBTAIN ANY WASHING.
- PLANTING:**
TREES AND SHRUBS TO RECEIVE A 3" LAYER OF SHREDS WITH NO MORE THAN 1" OF MULCH AT THE BASE OF THE PERENNIALS ARE TO RECEIVE 1" OF MULCH UNLESS OTHERWISE NOTED.
- TREES IN URN AREA:** ALL TO RECEIVE A 6" DIAMETER SUBSTITUTION.
- SUBSTITUTIONS:** SUBSTITUTIONS OF PLANT MATERIAL MUST BE APPROVED BY LANDSCAPE ARCHITECT/DESIGNER.
- PLANT MATERIAL:**
ALL PLANT MATERIAL WILL BE #1 STOCK IN ACCORDANCE WITH THE SPECIFICATIONS. ALL WOODY PLANT MATERIAL WILL BE GUARANTEED FOR 1 YEAR FROM PROJECT COMPLETION.
- PLANTING:**
A. ALL TREES ARE TO BE PLANTED IN HOLES 18" LARGER IN DIAMETER THAN THE ROOT BALL OF THE TREE. ALL SHRUBS ARE TO BE PLANTED IN HOLES 12" LARGER IN DIAMETER THAN THE ROOT BALL OF THE SHRUB. PLANTING MUST BE BACKFILLED WITH A MIXTURE OF 50% PLANT STARTER TYPAR WEED BARRIER TO BE USED IN ALL AREAS.
B. TREES AND SHRUBS ARE TO BE PLANTED WITH PERFORATED SHADES OR SHREDS ARE TO BE COVERED WITH HEAVY DUTY RED STARS W/ TYPAR.
C. STRIKE ALL DECIDUOUS AND EVERGREEN TREES LEAVING 12" PER TREE, AND NYLON "DEAT BELT" STRAPPING, TIGHTLY PERENNIAL AND ANNUAL BEDS ARE TO BE AMENDED WITH ROTTOLOD INTO A DEPTH OF 6".
D. ALL AREAS DISTURBED BY LANDSCAPE CONSTRUCTION ARE TO BE RESEED WITH TURF GRASS TO MATCH EXISTING. ALL OTHER PLANTING AREAS NOT MENTIONED ARE TO BE SEED WITH PLAIN SOIL SHOWN EXCEPT AS A DESIRE. ALL BLUEGRASS SOIL AND SHALL BE FREE FROM WEEDS AND SHALL BE LAY SMOOTH, TOE TO EDGE, WITH STAMPER HOLDING SOIL COMPACT WITH THE SOIL.
E. SEE SPEC. SECTION 0310 - LANDSCAPING/IMPROVEMENT INFORMATION TO BE PROVIDED & INSTALLED UNDER LAND CONTRACT.
F. IRRIGATION CONTRACTOR TO PROVIDE CROSSING ELEMENTS & FACILITY LOCATIONS PRIOR TO INSTALLING IRRIGATION LINE TO SUBMIT TO ARCHITECT AT LEAST FOUR (4) WEEKS PRIOR TO PROJECT STARTUP FOR APPROVAL. PROVIDE COMPLETE SUBMITTAL PACKAGE FOR APPROVAL. PROVIDE AS-BUILT PLANS OF INSTALLED IRRIGATION SYSTEM.
- NOTES:**
SEE SPECIFICATION SECTION 0310 - LANDSCAPING/IMPROVEMENT REQUIREMENTS/INFORMATION.
NO RESPONSIBILITY FOR THE PROPERTY PROVIDED BY OTHER NO RESPONSIBILITY FOR THE ACCURACY THEREOF AND NOT FOR ANY DELAY OR OMISSIONS.



1 LANDSCAPE PLAN
1"=20'-0"



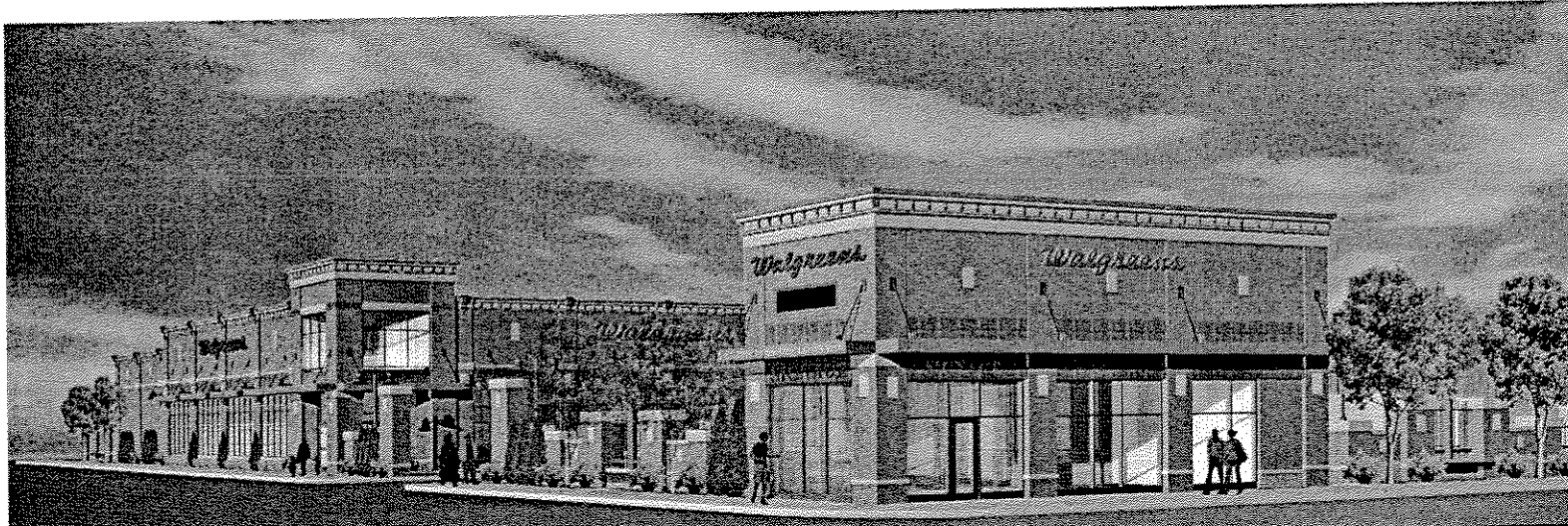
1 **TYPICAL WINDOW BOX SECTION**
 1/2" = 1'-0"

THE ALBION GROUP ARCHITECTS
 338 North Milwaukee Street, Suite 503
 Milwaukee, Wisconsin 53202
 414.223.3330 phone 414.223.3340 fax

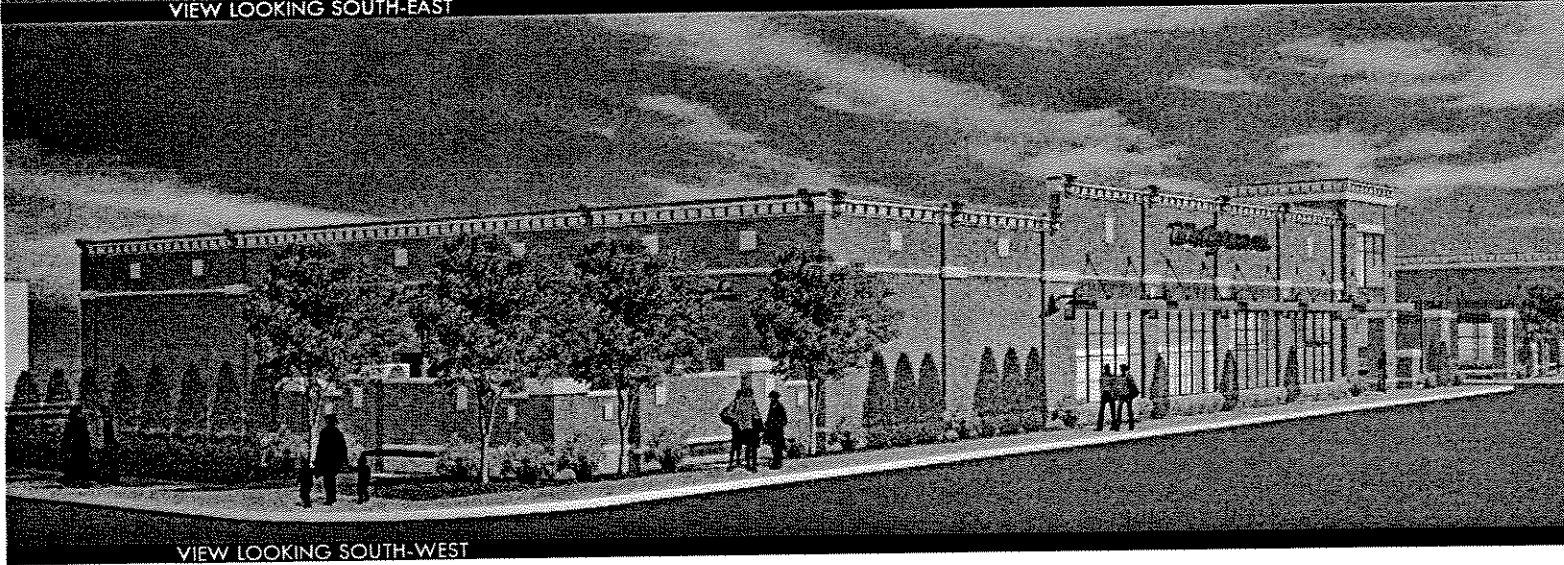
PROJECT NO. : 0465-00 DATE : 04/05/05

PROJECT : WALGREENS STORE
 27TH ST. & NATIONAL AVE.
 MILWAUKEE, WI

SHEET : SEC1



VIEW LOOKING SOUTH-EAST



VIEW LOOKING SOUTH-WEST

PROPOSED WALGREENS
LAYTON BLVD. & NATIONAL AVE.
MILWAUKEE, WISCONSIN