

File Number 241339. A substitute ordinance relating to the Second Amendment to the General Planned Development, known as Arena Master Plan to allow changes to the zoning standards for Block 3 located on the north side of West State Street, west of North Vel R. Phillips Avenue, in the 4th Aldermanic District

File Number 241340. A substitute ordinance relating to the change in zoning from General Planned Development known as Arena Master Plan to a Detailed Planned Development known as Block 3 - Arena Master Plan, Phase 2 to allow the construction of a multi-story hotel on the eastern portion of 430 West State Street, located on the north side of West State Street, west of North Vel R. Phillips Avenue, in the 4th Aldermanic District



File Number 241339 and File Number 241340. Context.



File Number 241339 and File Number 241340. Consistency with Comprehensive Plan.

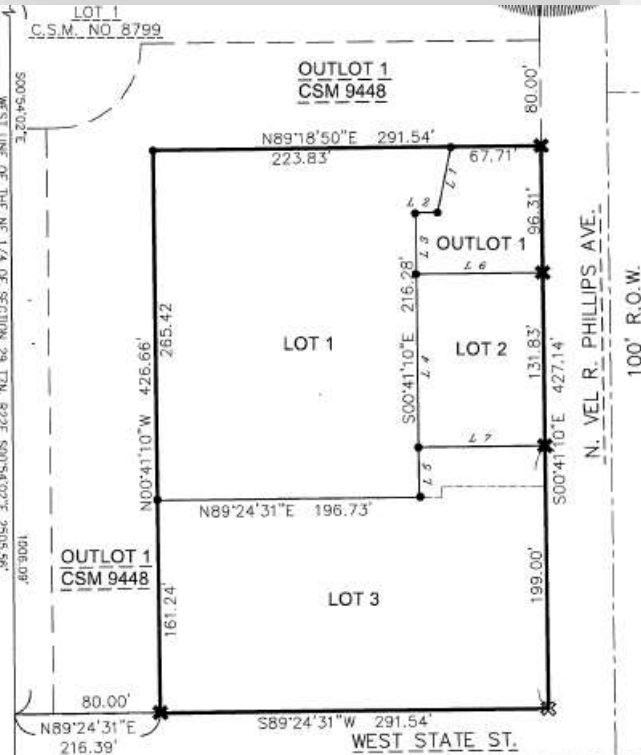


Downtown Plan

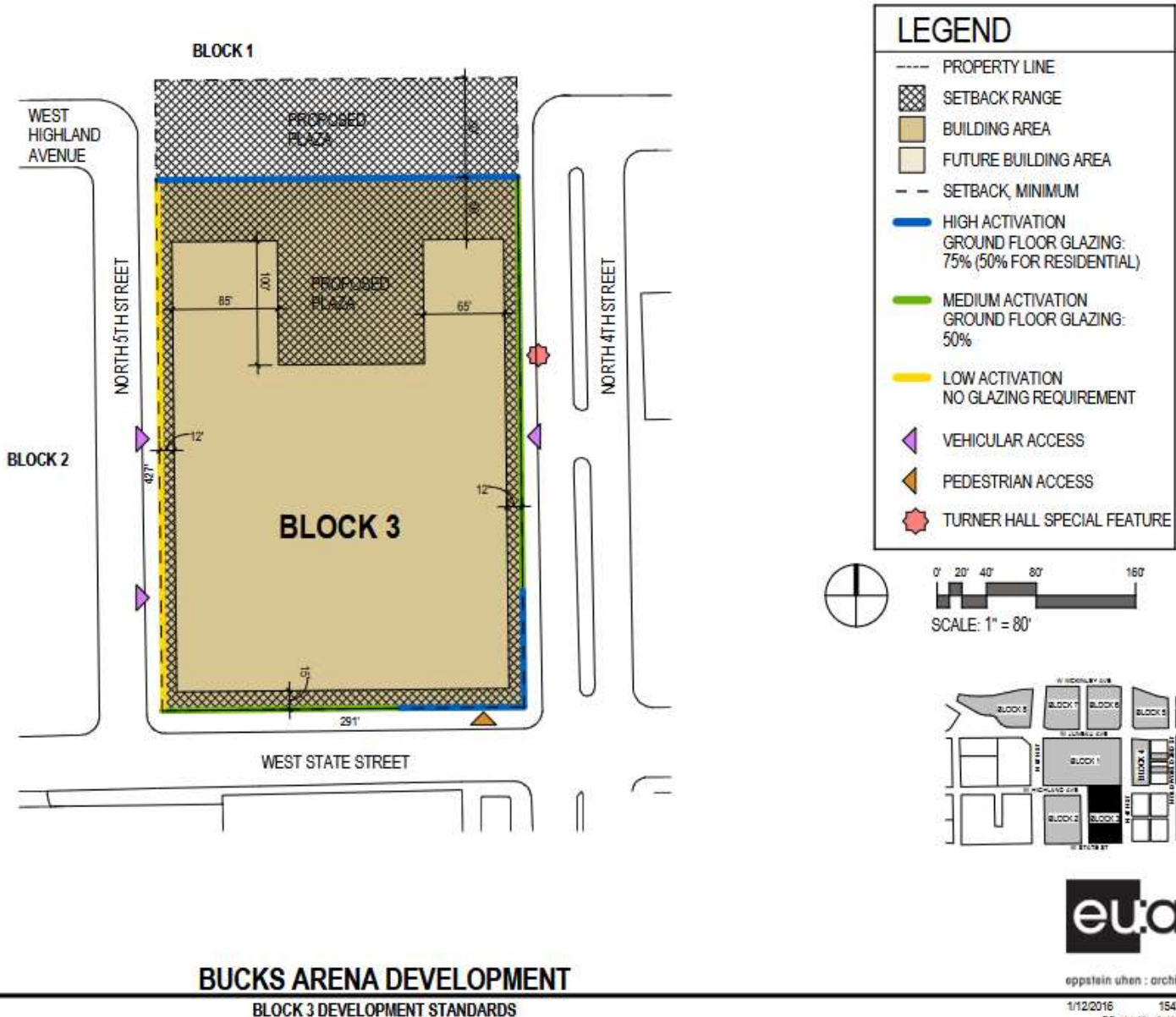
- Adopted in 1999. Updated in 2010 and 2023.
- The Downtown Area Plan supports the redevelopment of the Deer District with high density mixed-use development.
- The plan encourages buildings to engage the public realm and promote walkability with attractive well-designed facades fronting streets and public spaces.
- The proposed Detailed Planned Development is **consistent** with the comprehensive plan.

File Number 241339. Current GPD Block 3 Diagram

Previously approved CSM for Block 3



SITE STATISTICS
BUILDING HEIGHT: MIN 4 STORIES, MAX 20 STORIES
GROSS LAND AREA: 144,135 SF
MAX LAND COVERED BY PRINCIPAL BUILDINGS: 86%
LAND DEVOTED TO LANDSCAPED OPEN SPACE AND PLAZAS: MIN 0% - MAX 50%
MAX AMOUNT OF LAND DEVOTED TO PARKING DRIVES AND PARKING STRUCTURES: 40%
MAX DWELLING UNIT DENSITY 150 SF / UNIT
MAX SF DEVOTED TO NON-RESIDENTIAL USES: 900,000 SF
PROPOSED NUMBER OF BUILDINGS: 1-3 BUILDINGS
SEE SHEET A100 FOR OVERALL SITE PLAN



File Number 241339. Amended GPD Block 3 Diagram

SITE STATISTICS

BUILDING HEIGHT:

MIN 4 STORIES, MAX 20 STORIES

GROSS LAND AREA:

144,135 SF

MAX LAND COVERED BY PRINCIPAL BUILDINGS:

86%

LAND DEVOTED TO LANDSCAPED OPEN SPACE AND PLAZAS:

MIN 0% - MAX 50%

MAX AMOUNT OF LAND DEVOTED TO PARKING DRIVES AND PARKING STRUCTURES:

40%

MAX DWELLING UNIT DENSITY

150 SF / UNIT

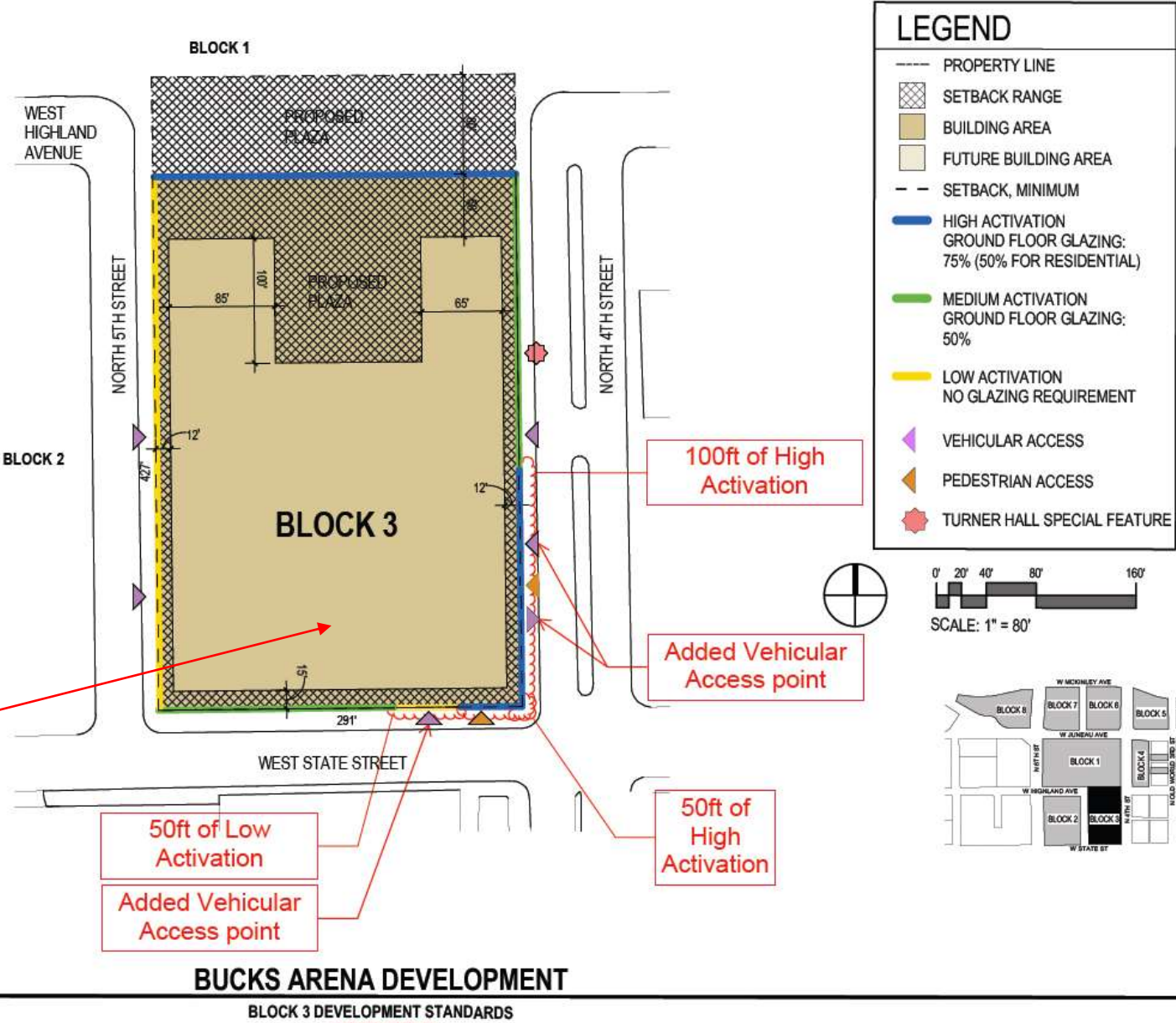
MAX SF DEVOTED TO NON-RESIDENTIAL USES:

900,000 SF

PROPOSED NUMBER OF BUILDINGS:

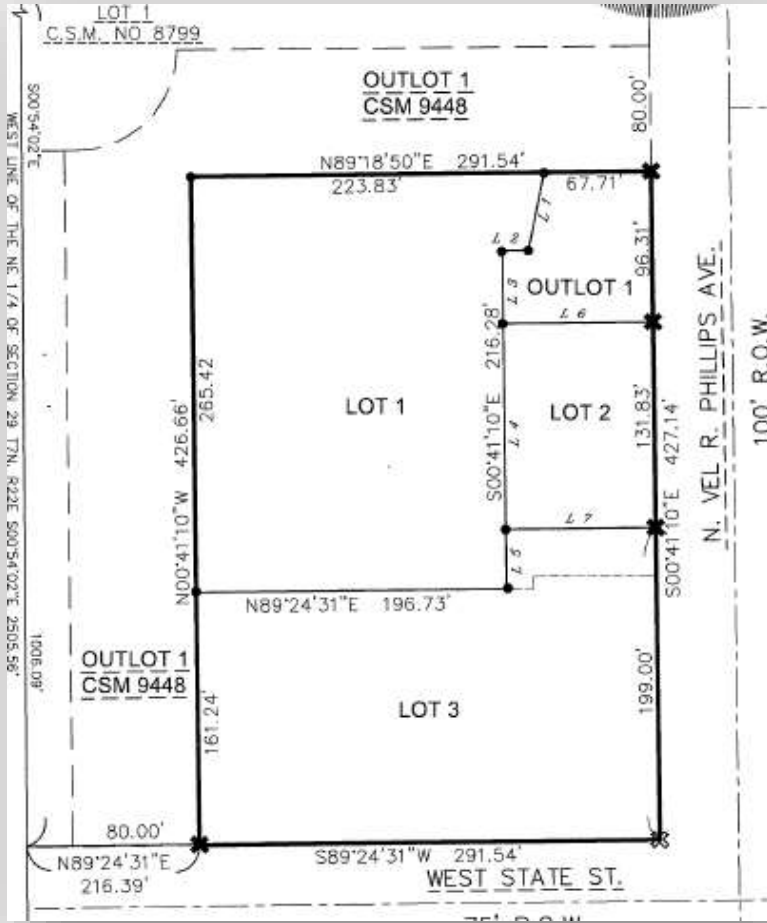
1-4 BUILDINGS

SEE SHEET A100 FOR OVERALL SITE PLAN



File Number 241339. Amended GPD Block 3 Proposed Parcel Layout

Previously approved CSM for Block 3



Pending CSM to divide 430 W. State St. into 2 Lots



OUR COMMITMENT TO YOU

Long-Term Partnership with the City of Milwaukee

The Moxy: A Natural and Promised Next Phase

Commitment to Milwaukee's Growth and Vitality

NCG Hospitality's Positive Track Record

Privately Funded, Properly Zoned

Delivering on Our Promises



MOXY MILWAUKEE



MOXY MILWAUKEE



WHO IS NCG HOSPITALITY

**RUGGED HANDS
REFINED BY...**

**...THE GENTLE
TOUCH OF
HOSPITALITY**



MOXY MILWAUKEE

WHO IS NCG HOSPITALITY

Founded in 1980, we're a family-owned,
Wisconsin based company

Operating 29 hotels across 6 states, under
Marriott, Hilton, and Hyatt franchises

Over 1,200 team members

Our Culture – Rooted in core values of Growth,
Fun, Trust, Responsibility

Award winning history



2x Hilton Lifetime
Achievement
Award Winner



6x Marriott
Partnership
Circle Award
Winner



MOXY MILWAUKEE
INTRO



WHO REALLY IS NCG HOSPITALITY



MOXY MILWAUKEE

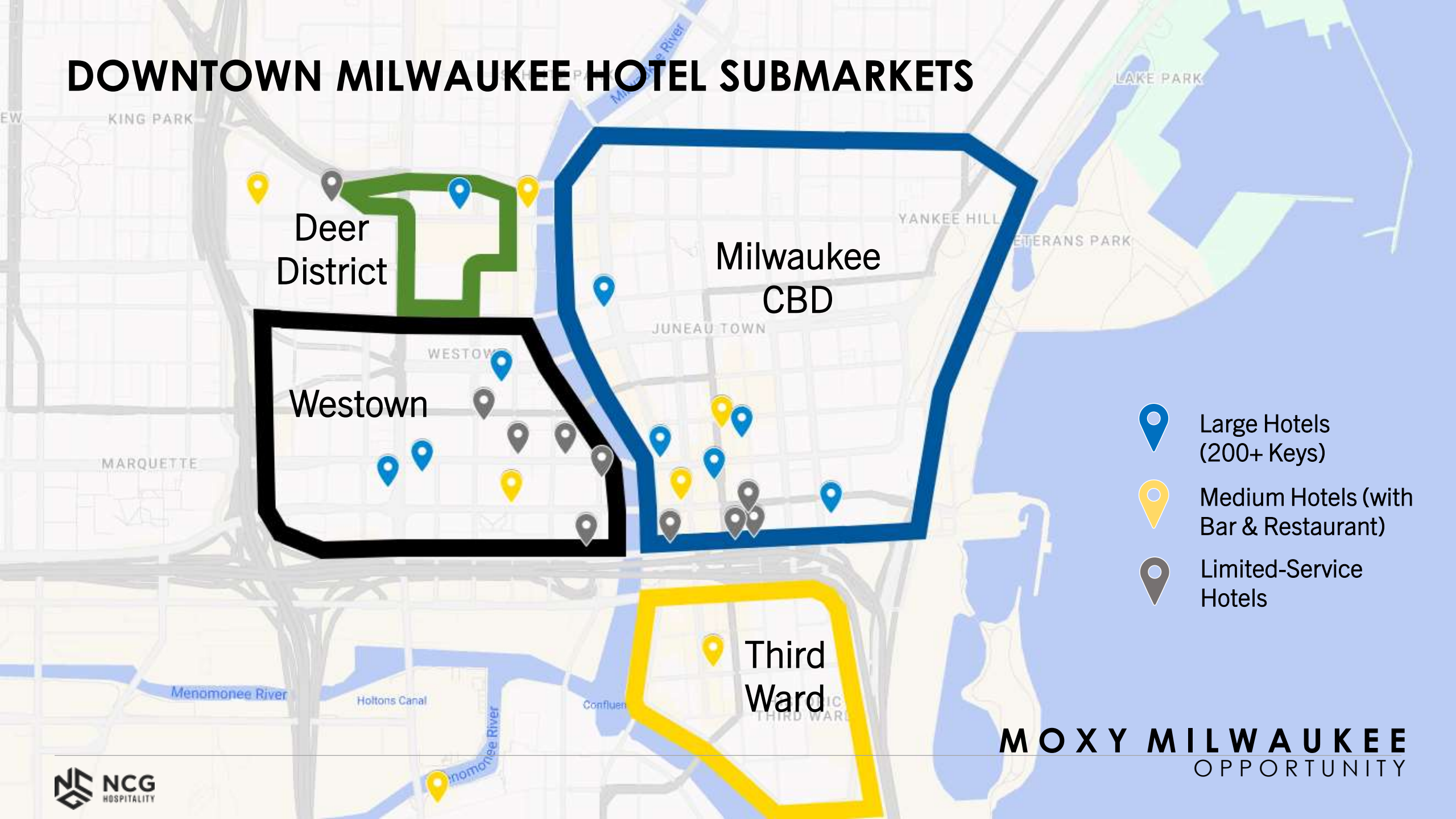
THE DEER DISTRICT OPPORTUNITY

fiserv forum

THE TRADE THE TRADE

fiserv forum

DOWNTOWN MILWAUKEE HOTEL SUBMARKETS



THE OPPORTUNITY – MILWAUKEE'S DOWNTOWN HOTELS

Large Hotels (200+ Keys)



9 Hotels

2,838 Keys

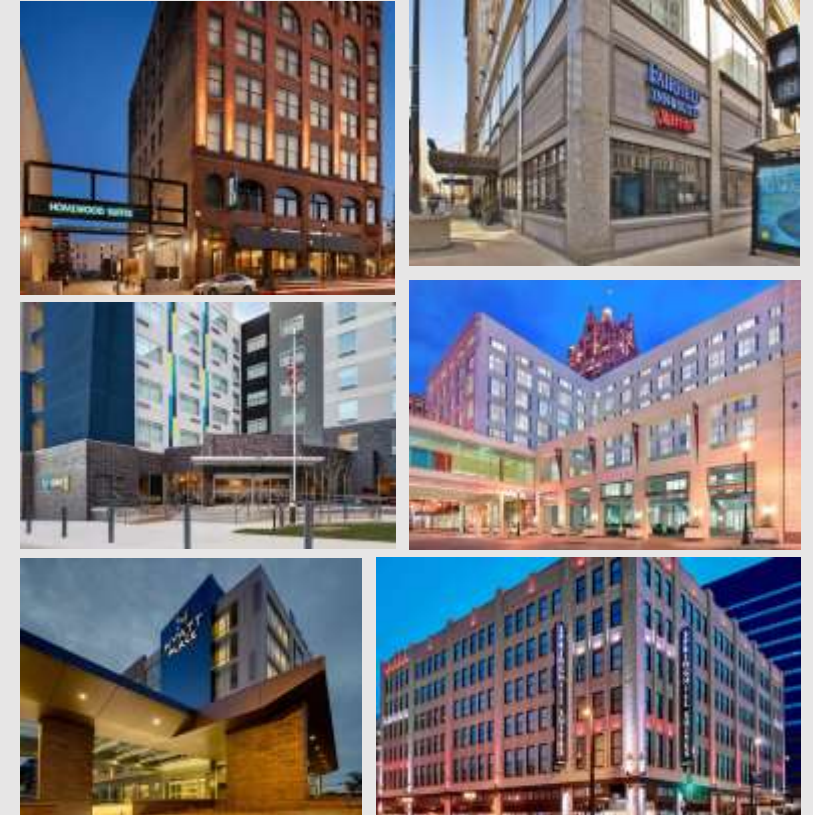
Medium Hotels (With Bar and Restaurant)



7 Hotels

868 Keys

Limited-Service Hotels

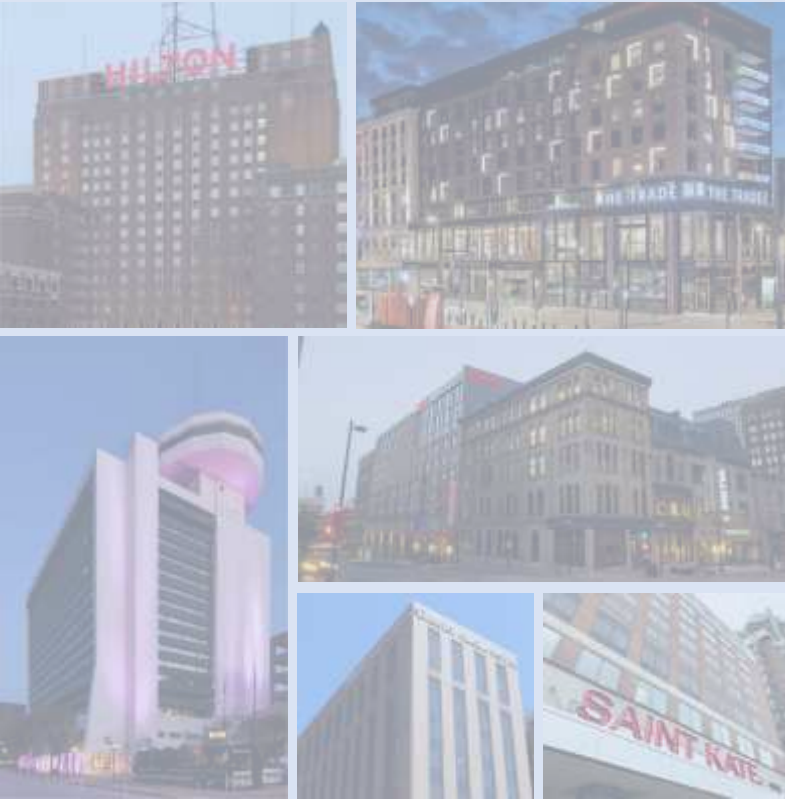


11 Hotels

1,316 Keys

THE OPPORTUNITY – MILWAUKEE’S DOWNTOWN HOTELS

Large Hotels (200+ Keys)



9 Hotels

2,838 Keys

Medium Hotels (With Bar and Restaurant)



Moxy Milwaukee

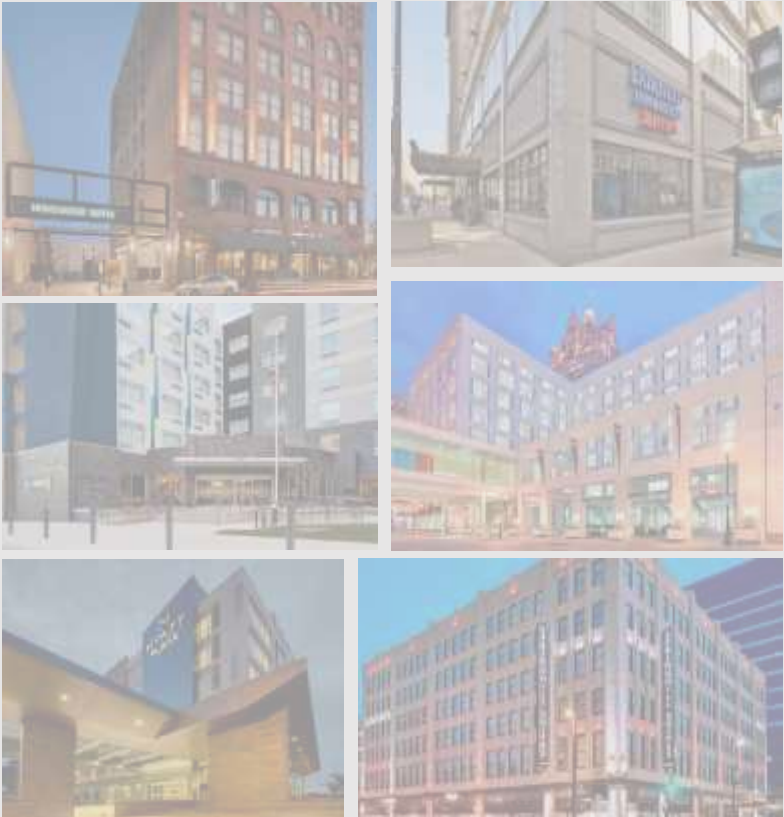
~~7~~ Hotels

~~868~~ Keys

8 Hotels

1,024 Keys

Limited-Service Hotels



11 Hotels

1,316 Keys

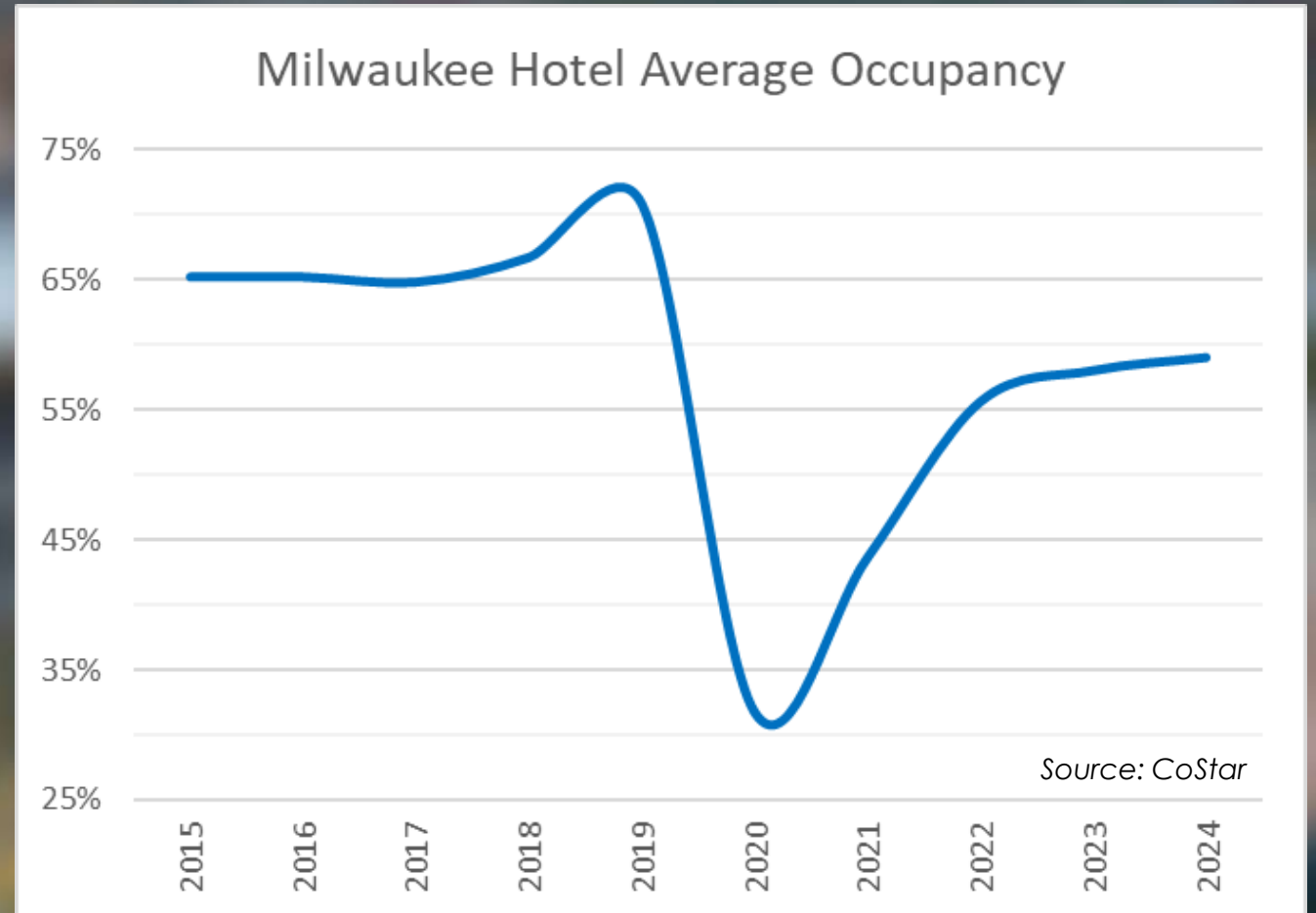
THE NUMBERS

Compared to similar Midwest markets with large convention centers, Milwaukee has a healthy supply of hotel rooms

Midwest Convention Centers Comparable to the Baird Center					Source: CoStar
City	State	Largest Convention Center	Convetion Center SF	Rooms in 1mi Radius	Rooms Per 1,000 SF of Convention Space
Milwaukee	WI	Baird Center	1,300,000	5,084	3.91
Columbus	OH	Greater Columbus Convention Center	1,800,000	5,185	2.88
St. Louis	MO	America's Center	2,700,000	6,848	2.54
Detroit	MI	Huntington Place	2,400,000	5,513	2.30

THE NUMBERS

Downtown Milwaukee
Occupancy has not
recovered to pre-
pandemic levels



THE HEADWINDS

“Cambria Hotel in Downtown Milwaukee is in Foreclosure”

- BizTimes, Milwaukee Business News

“Downtown Marriott Files Chapter 11 Bankruptcy”

- Milwaukee Journal Sentinel

“Downtown isn’t ready for a new convention-focused hotel”

- Peggy Williams-Smith, President & CEO Visit Milwaukee (Milwaukee Journal Sentinel)

“Iron Horse Hotel files to reorganize finances under Chapter 11 bankruptcy protection”

- Milwaukee Journal Sentinel

“The decision not to renovate all guest rooms was the result of careful evaluation of current hotel market conditions, projected room supply and demand, and the risks associated with proposed **new hotel room supply that will require significant public subsidy**”

- Greg Marcus, CEO Marcus Corp.

THE HEADWINDS

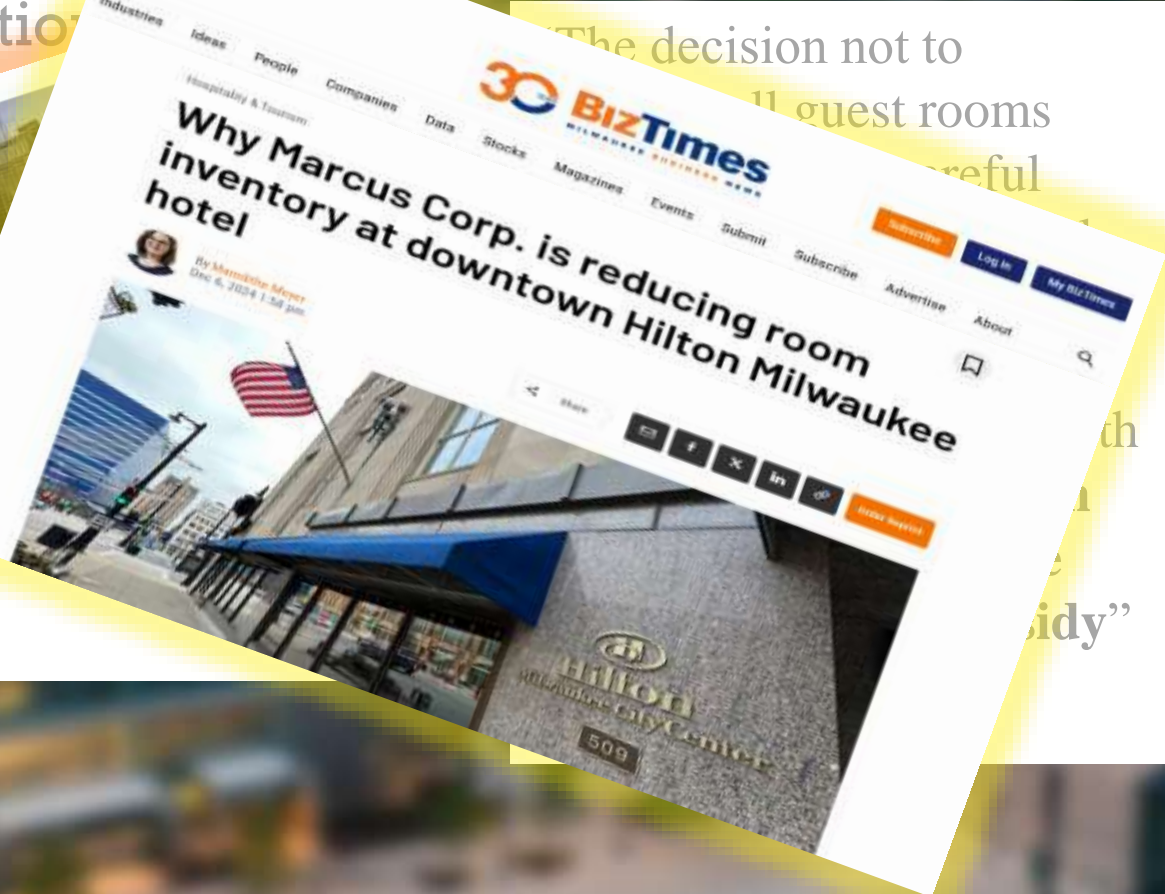
“Cambria Hotel in Downtown Milwaukee is in Foreclosure”

- BizTimes, Milwaukee Business News

“Downtown isn’t ready for a new convention hotel”

Milwaukee’s Largest Hotel To Lose 175 Rooms, Get \$40 Million Makeover
Marcus overhauling its Hilton Milwaukee hotel.
Dec 6, 2024
Milwaukee Journal Sentinel

- Milwaukee Journal Sentinel



An architectural rendering of a modern multi-story hotel building at dusk. The building features a mix of brown brick and white panels with large windows. A vibrant pink neon light runs along the top edge of the roof and under the ground-floor windows. The sky is a deep blue with soft pink clouds. In the foreground, a city street with cars and pedestrians is visible. To the right, a modern building with a curved roof is partially seen.

THE VISION

MOXY MILWAUKEE

CASE STUDY – MADISON, WI

CAP EAST CORRIDOR – 800/900 BLOCK

THEN: 2016

NOW: 2025



CASE STUDY – MADISON, WI

CAP EAST CORRIDOR – 800/900 BLOCK

**\$333,000,000+ in
Assessed Value!!**

1,300+ Apartments

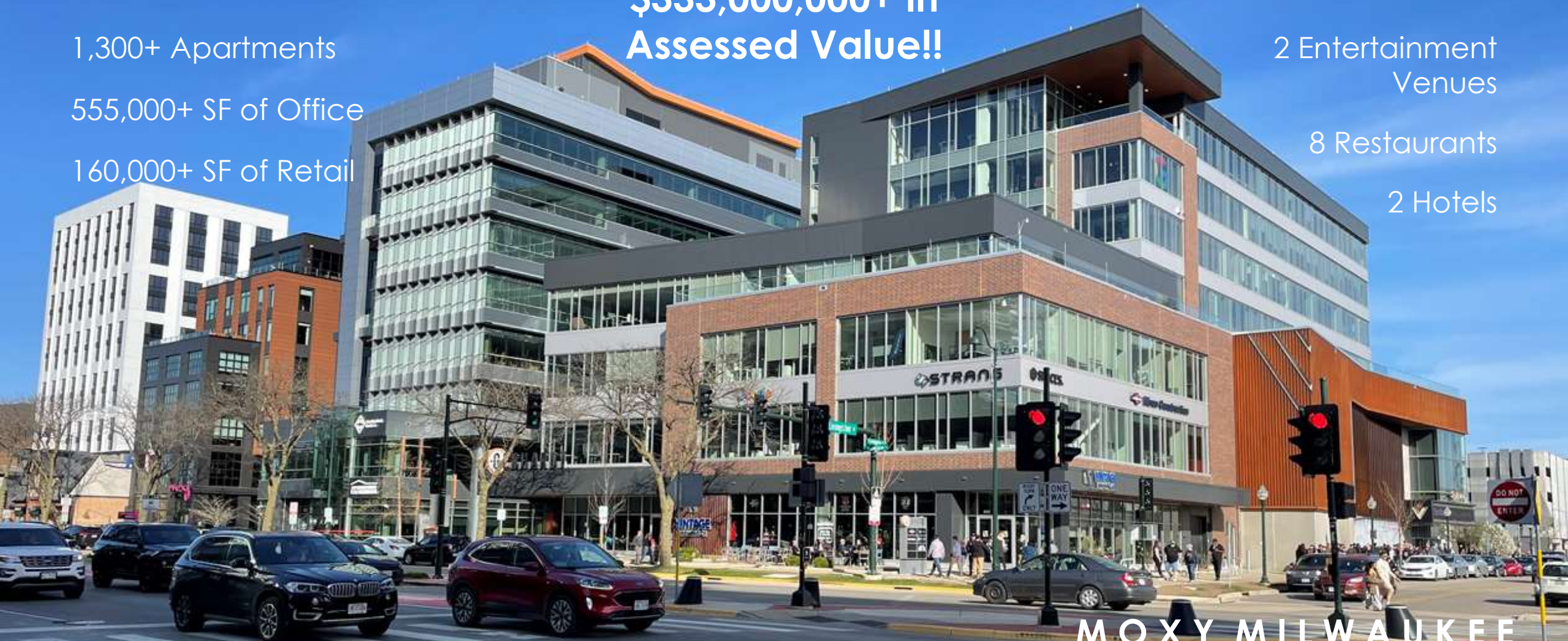
555,000+ SF of Office

160,000+ SF of Retail

2 Entertainment
Venues

8 Restaurants

2 Hotels



MOXY MILWAUKEE
VISION

VISION FOR THE DEER DISTRICT

THEN: 2022

NOW: 2025



VISION FOR THE DEER DISTRICT

FUTURE MULTI-
FAMILY / MIXED
USE

moxy
HOTELS

FULL BLOCK 3 BUILD-OUT



THE ARCHITECTURE

MOXY MILWAUKEE

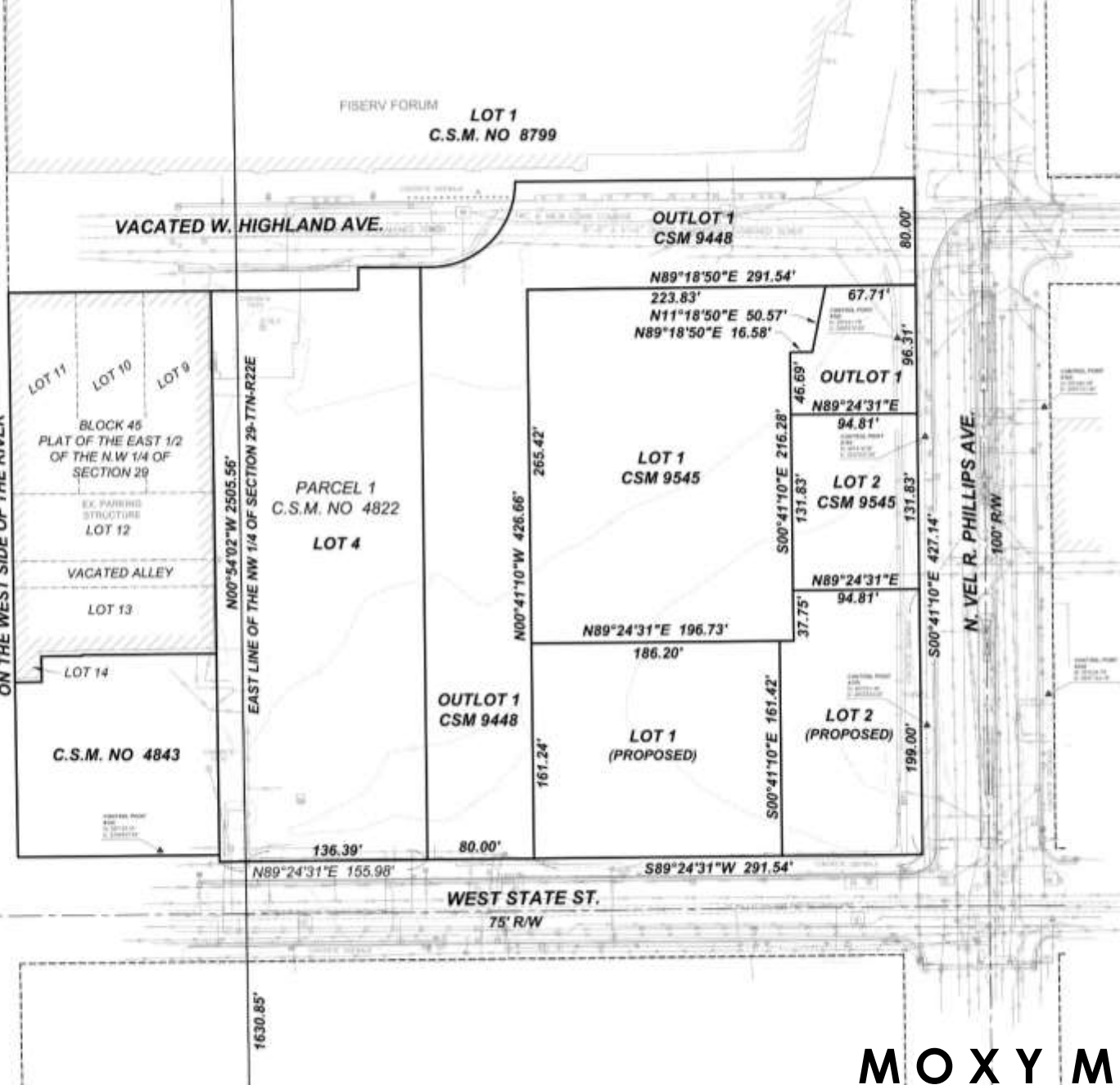


MOXY MILWAUKEE

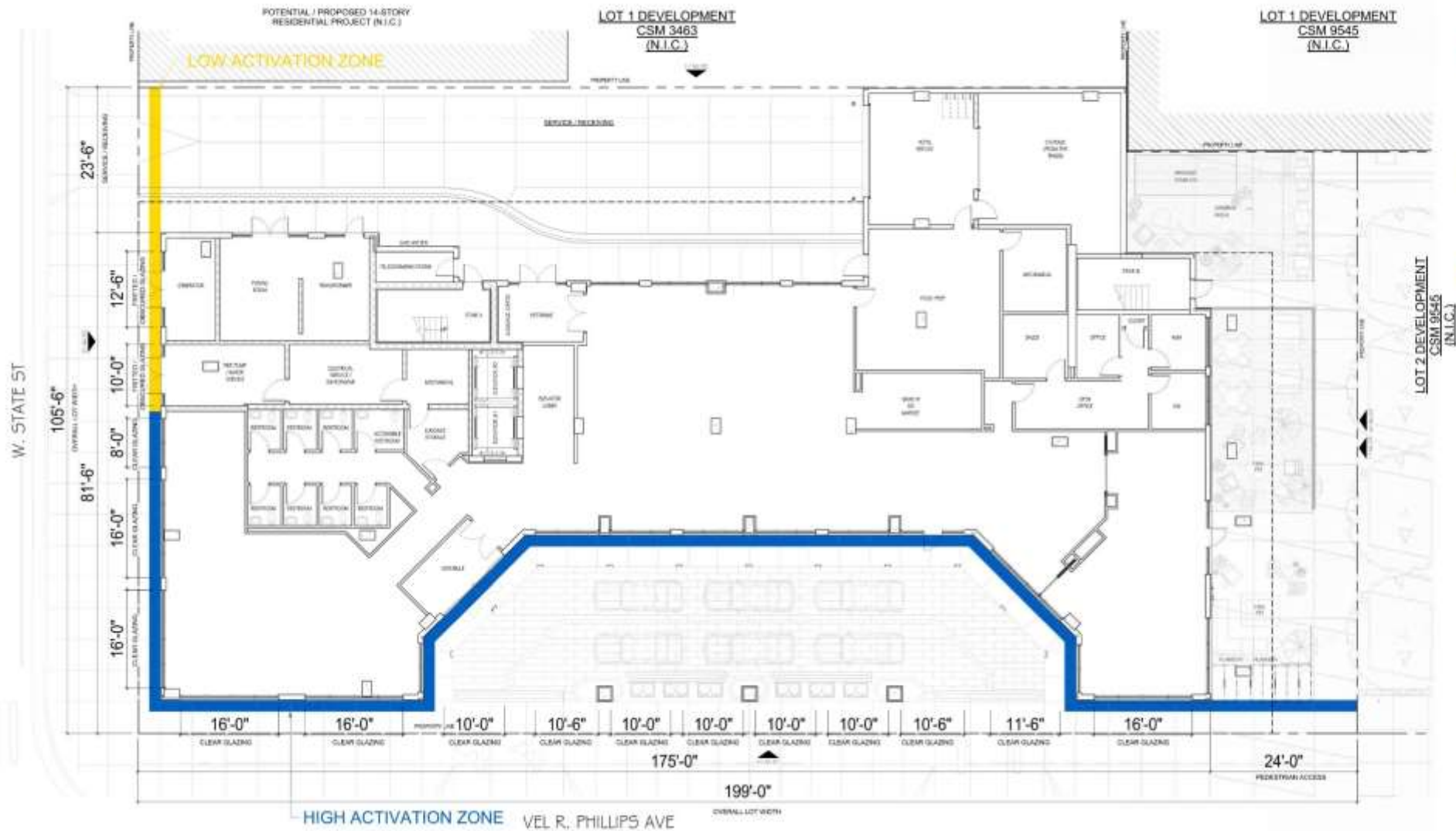
SITE PLAN

N. 6TH STREET

PLAT OF THE TOWN OF MILWAUKEE
ON THE WEST SIDE OF THE RIVER



MOXY MILWAUKEE
BLOCK 3 CSM



HIGH ACTIVATION ZONE - 75% ACTIVATION REQUIRED

Wall Length	Activation Length	Activation (%)		
47'-0" (W. State St.)	47'-0"	80%		
175'-0" (Vel R. Phillips Avenue)	137'-0"	78%	Required Activation Length	Difference ¹
Total	222'-0"	79.8%	180'-0"	+42'-0"

1. Calculations based on File No. 241338, 2nd Amendment to General Planned Development - Arena Master Plan

MEDIUM ACTIVATION ZONE - 50% ACTIVATION REQUIRED

Wall Length	Activation Length	Activation (%)		
0	0	0	Required Activation Length	Difference ¹
Total	0	0	0	0

LOW ACTIVATION ZONE - 0% ACTIVATION REQUIRED

1. Calculations based on File No. 241338, 2nd Amendment to General Planned Development - Arena Master Plan

LOT 1 DEVELOPMENT
CSM 3463
(N.I.C.)

LOT 1 DEVELOPMENT
CSM 9545
(N.I.C.)

POTENTIAL / PROPOSED 14-STORY
RESIDENTIAL PROJECT (N.I.C.)

LOT 2 DEVELOPMENT
CSM #3463
PROJECT SITE FOR MOXY HOTEL

LOT 2 DEVELOPMENT
CSM 9545
(N.I.C.)

VEL R. PHILLIPS AVE

MOXY MILWAUKEE

ENLARGED SITE/FIRST FLOOR PLAN



MOXY MILWAUKEE

SECOND FLOOR PLAN

POTENTIAL / PROPOSED 14-STORY RESIDENTIAL PROJECT (N.I.C.)

LOT 1 DEVELOPMENT
CSM 3463
(N.I.C.)

LOT 1 DEVELOPMENT
CSM 9545
(N.I.C.)

LOT 2 DEVELOPMENT
CSM 9545
(N.I.C.)

SECOND FLOOR ROOF DECK

REAR LOBBY

STAIR 2

STAIR 3

UNIT 201

UNIT 202

UNIT 203

UNIT 204

UNIT 205

UNIT 206

UNIT 207

UNIT 208

UNIT 209

UNIT 210

COR

PROPERTY LINE

ADJACENT LOT

STAIR 3 AND STAIR 4 ARE NOT CLIMBABLE

[illegible]

POTENTIAL / PROPOSED 14-STORY RESIDENTIAL PROJECT (N.I.C.)

LOT 1 DEVELOPMENT
CSM 3463
(N.I.C.)

LOT 1 DEVELOPMENT
CSM 9545
(N.I.C.)

LOT 2 DEVELOPMENT
CSM 9545
(N.I.C.)

PROPERTY LINE

ADJACENT LOT

STAIR 3 AND STAIR 4 ARE NOT CLIMBABLE

[illegible][illegible]

MOXY MILWAUKEE

TYPICAL FLOOR PLAN



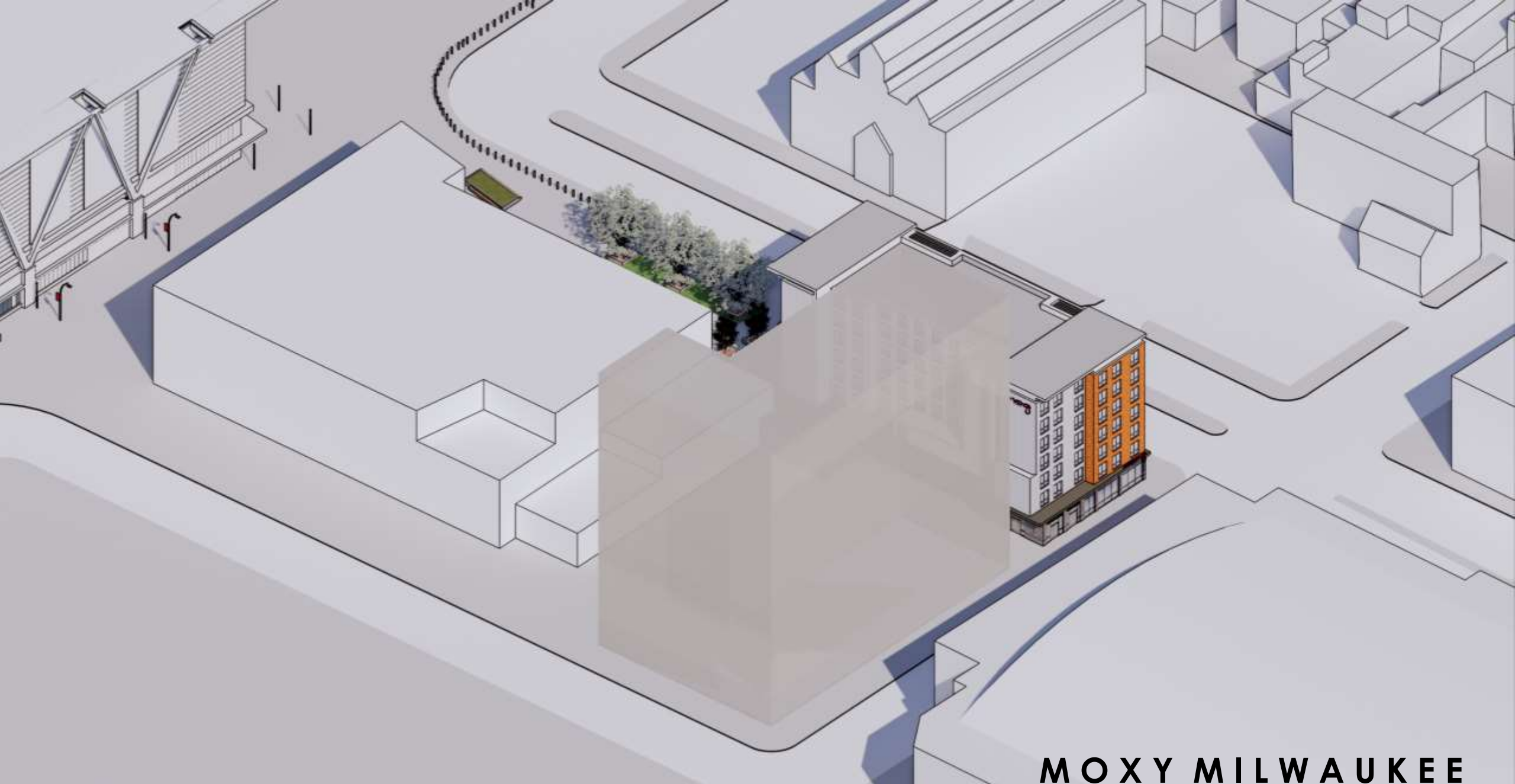
MOXY MILWAUKEE

AERIAL - SOUTHEAST LOOKING NORTHWEST



MOXY MILWAUKEE

AERIAL - NORTHEAST LOOKING SOUTHWEST



MOXY MILWAUKEE

AERIAL - SOUTHWEST LOOKING NORTHEAST



MOXY MILWAUKEE

AERIAL - NORTHWEST LOOKING SOUTHEAST

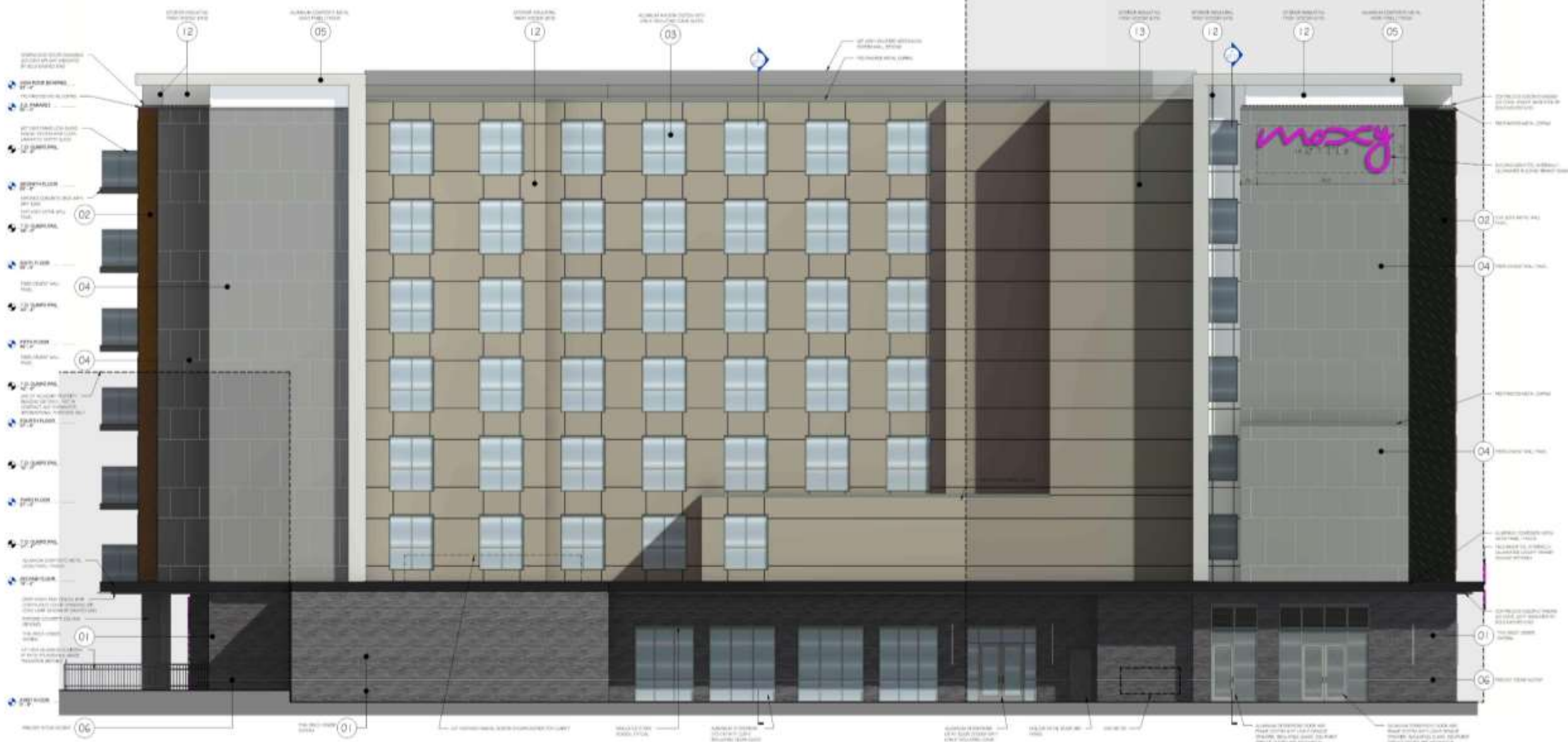


MOXY MILWAUKEE
VIEW FROM NORTH LOOKING SOUTH



MOXY MILWAUKEE

EAST ELEVATION



MOXY MILWAUKEE

WEST ELEVATION



MOXY MILWAUKEE

SOUTH & NORTH ELEVATION(S)



01 MSY-01
 MATERIAL: MASONRY
 COLOR: TB0
 FINISH: GLASS/SMOOTH
 FINISH LOCATION: BUILDING BASE / FIRST FLOOR



01 BRK-01 (INSTALLATION IMAGERY)



07 PERF-01
 MATERIAL: PERFORATED CORRUGATED METAL PANELS
 COLOR: CLP-02
 FINISH: TB0
 FINISH LOCATION: 2ND AND THIRD FTH FLOORS



08 MTL-03
 MATERIAL: METAL PLATE CHANNEL / METAL TUBE
 COLOR: CLP-02
 TYPE: 1/2" METAL PLATE CHANNEL / 1/2" METAL TUBE
 FINISH: TB0
 FINISH LOCATION: 2ND AND THIRD FTH FLOORS



10 BIKE RACK & TREE GRATES



02 MTL-01
 MATERIAL: TRANSLUCENT METAL PANEL
 COLOR: TB0
 FINISH: TB0
 SIZE: 12" HIGH x 12" LONG
 FINISH LOCATION: UPPER "BOOK END" (2ND AND THIRD FTH FLOORS)



02 MTL-01 (INSTALLATION IMAGERY)



05 MTL-02
 MATERIAL: ALUMINUM COMPOSITE METAL (ACM) PANEL
 COLOR: CLP-02
 FINISH: TB0
 FINISH LOCATION: VERTICAL AND UNDERSIDE OF "VERTICAL" (2ND AND THIRD FTH FLOORS)



06 STN-01
 MATERIAL: CAST STONE MASONRY
 COLOR: TB0
 FINISH: TB0
 FINISH LOCATION: MASONRY WINDOW HEADER, SILL & ACCENTS



13 STU-02
 MATERIAL: SYNTHETIC STONE / BRK
 COLOR: TB0
 FINISH LOCATION: WEST SIDE 2ND AND THIRD FTH FLOORS



03 WINDOW (GUESTROOM & STOREFRONT)
 COLOR: CLEAR ANODIZED ALUMINUM
 TYPE: AS SHOWN ON ELEVATIONS
 FINISH: CLEAR ANODIZED ALUMINUM
 FINISH LOCATION: THROUGHOUT



04 FCMT-01
 MATERIAL: FIBER CEMENT WALL PANELS
 COLOR: CLP-02
 TYPE: AS SHOWN
 FINISH: VERTICALLY CORRUGATED "HART LOOM"
 FINISH LOCATION: 2ND AND THIRD FTH FLOORS



09 OVERHEAD GARAGE DOORS
 COLOR: CLEAR ANODIZED ALUMINUM
 TYPE: AS SHOWN ON ELEVATIONS
 FINISH: CLEAR ANODIZED ALUMINUM WITH PERFORATED PANEL AT BOTTOM INFILL AREAS
 FINISH LOCATION: 1ST FLOOR REFUSE / RECYCLING ROOM



16 GENERAL COLOR SELECTIONS
 MATERIAL: VARIOUS
 COLOR: VARIOUS



15 PORTE COCHERE PAVING
 COLOR: POLISHED BLAZE AND PATTERNS
 TYPE: VARIOUS
 FINISH LOCATION: DRIVEWAY / PORTE COCHERE



MOXY MILWAUKEE

WINDOW DETAILS ARTICULATION



MOXY MILWAUKEE

STREET VIEWS ALONG WEST STATE STREET



WEST STATE STREET / VEL R. PHILLIPS AVENUE

VEL R. PHILLIPS AVENUE AT PORTE COCHERE



MOXY MILWAUKEE
ENLARGED STREET VIEWS



PATIO INSPIRATIONAL IMAGERY



MOXY MILWAUKEE
VIEW FROM SOUTH LOOKING NORTH





MILWAUKEE ARENA | DEVELOPMENT PLAN BY PHASE



Prepared by the Department of City Development Planning Division, 22 March 2016
 Sources: City of Milwaukee Information & Technology Management Division

FILE: P:\GIS_data\Project\2015 Project\15-03-05 MA Phases Map\MA Phases Map.mxd

(Development Map)

EXHIBIT A