



Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property

124 W. VINE ST. Brewers Hill Historic District

Description of work

Remove and reconstruct most of east foundation wall and east half of north foundation wall. Reconstruction will be done with CMU veneered with brick salvaged from the deconstruction of the existing wall. Brick veneer must use common bond to match existing structural brick. Tuckpoint existing brick on north and east elevations as needed.

Infill existing glass block windows on north and east elevations with salvage cream city brick from foundation wall deconstruction. Infill of windows must be recessed 1.5" to 2" from face of wall. Depth of recess shall be consistent across all windows.

Date issued

6/7/2017

PTS ID 114300 COA: foundation repairs and basement window infill

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

- 1. Repointing mortar must match the color, composition, texture, strength, joint width, and joint profile of the exiting historic mortar. Type O mortar is to be used, per WHS.**
- 2. Mortar samples must be presented to HPC staff before construction begins to verify color and texture match.**
- 3. Any vents projecting through the foundation wall must be painted to match surrounding brick.**
- 4. Construction areas and foundation structural design per attached drawings.**

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Tim Askin of the Historic Preservation staff as follows: Phone: (414) 286-5712 E-mail: HPC@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.milwaukee.gov/build, or call (414) 286-8210.



City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Milele Coggs, Contractor, Inspector John Cunningham (286-2538)



Existing conditions, east elevation



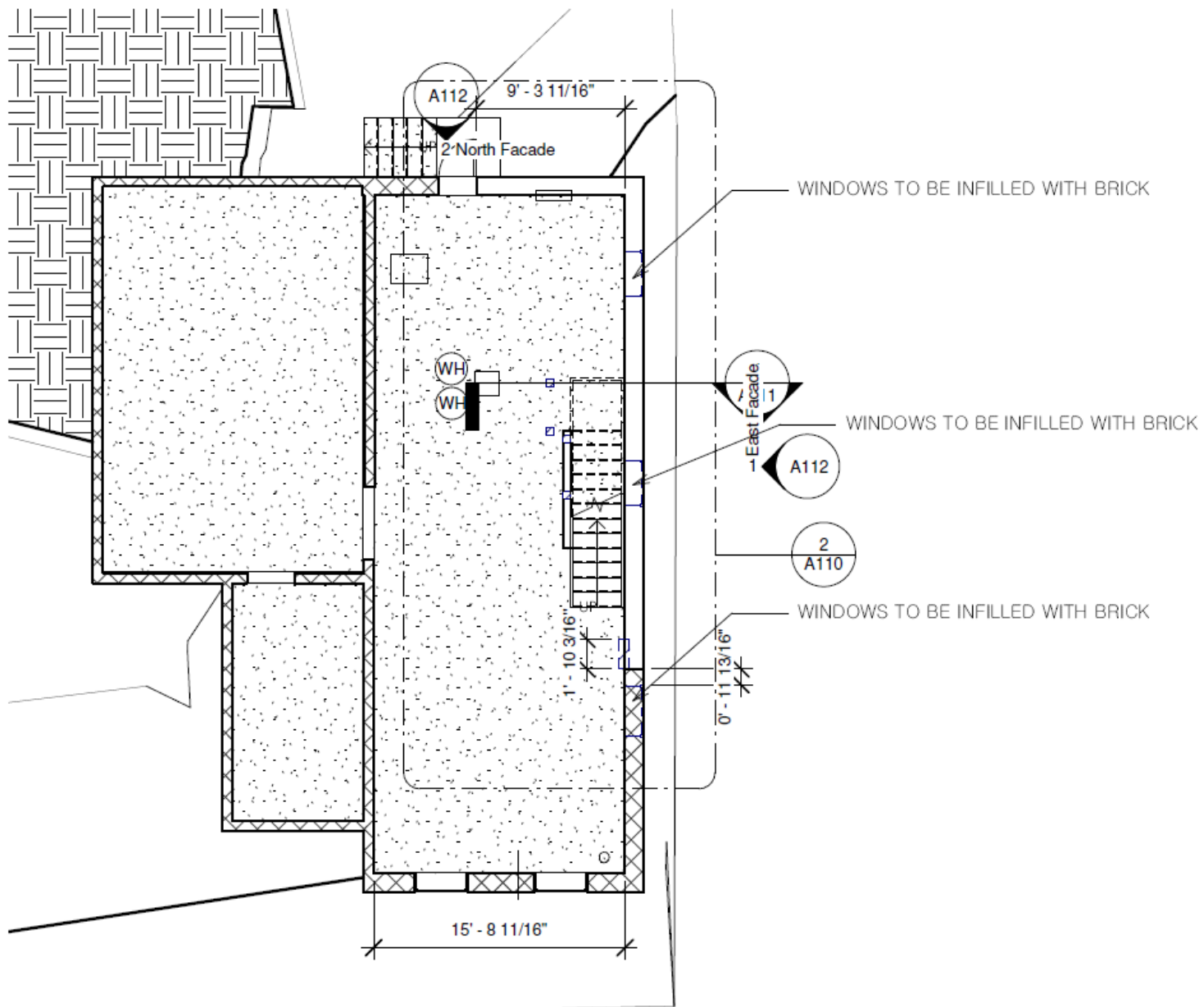
Existing conditions, front of house



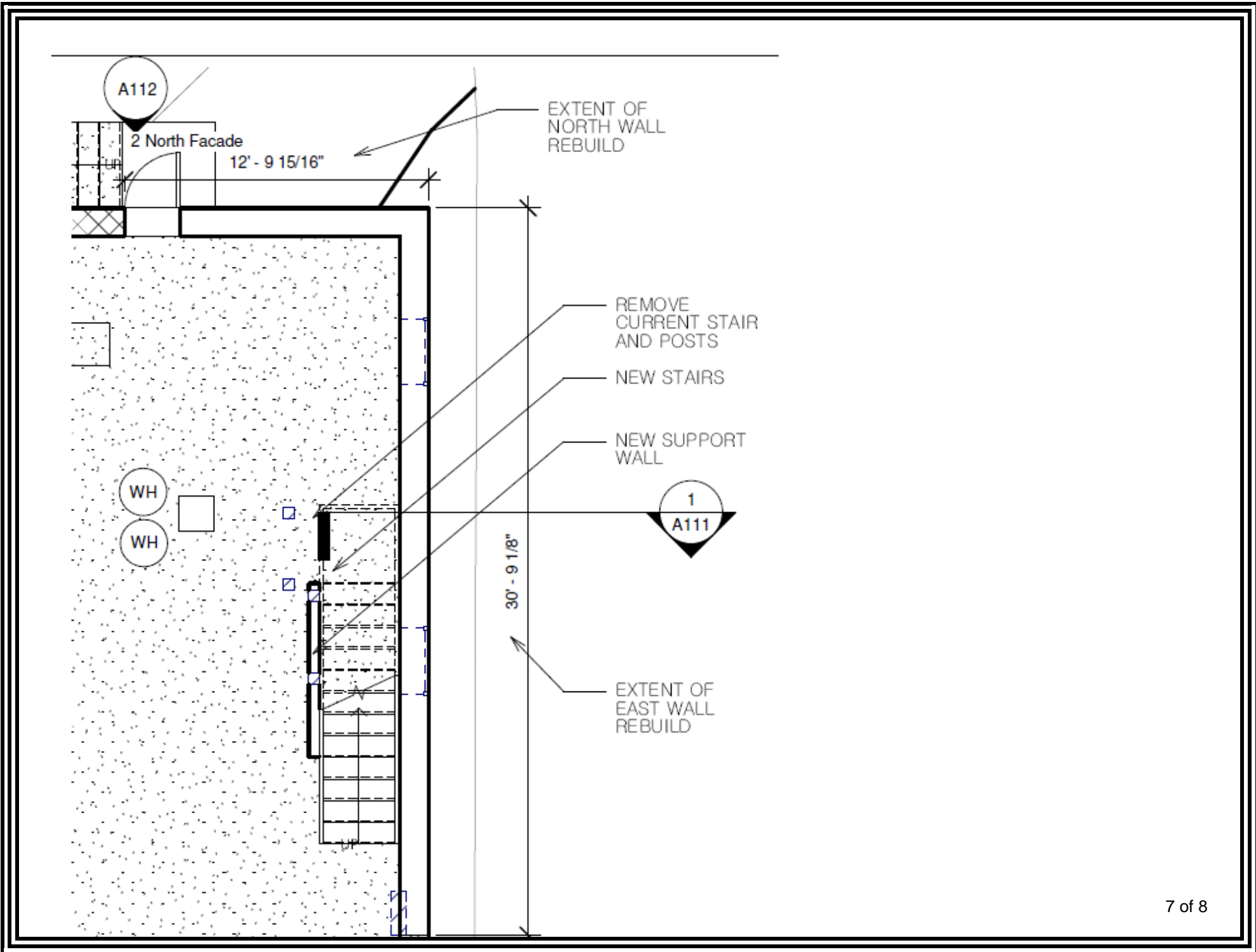
Existing conditions, north elevation



Existing conditions west elevation



Basement



WALL ABOVE LEVEL 1 NOT TO BE REBUILT

BRICK LEDGE TO BE MAINTAINED

Level 1
4' - 6"

CREAM CITY BRICK AND MORTAR TO MATCH EXISTING CONSTRUCTION ADJACENT

BUILT UP SOIL TO SLOP AWAY FROM HOUSE

DRAIN TILE TO DRAIN TO GRADE

ALLEY SURFACE TO BE CUT BACK FROM WALL AND INFILLED WITH CLEAR GRAVEL

6" BLOCK WALL, 2" AIR GAP WITH MORTAR NET, 4" MODULAR BRICK FACING [NOMINAL]

12" BLOCK WALL [NOMINAL] WITH EXTERIOR DAMPROOFING

6' - 6"

COMPRESSIVE FILLER STRIP

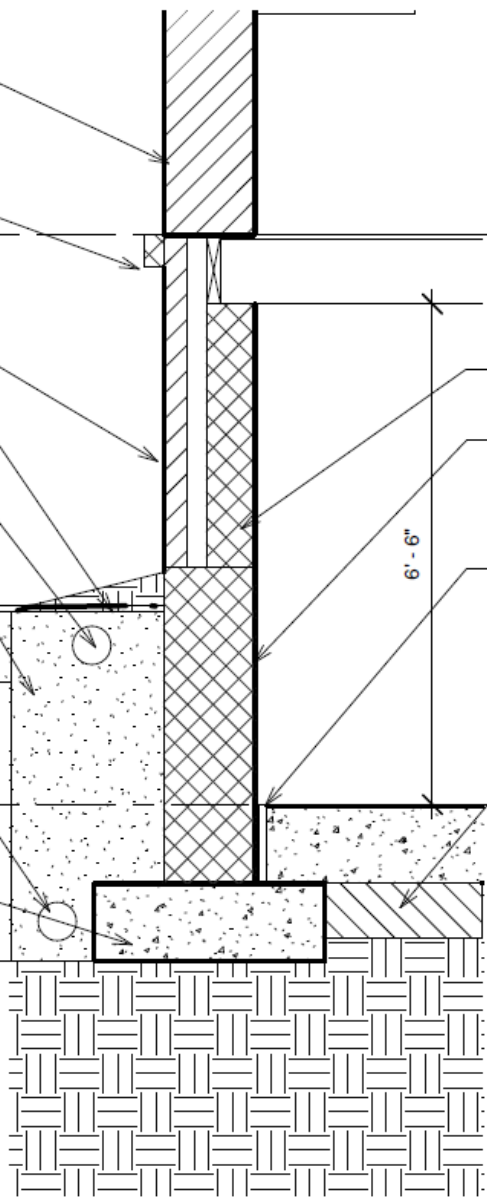
2" RIGID INSULATION UNDER PORTION OF EXCAVATED FLOOR

DRAIN TILE TO DRAIN TO SUMP CRUCK VIA BLEEDERS

4' - 7 11/32"

Basement
-2' - 10 3/4"

NEW FOOTING FOR PORTION OF REBUILT WALL



1 Basement Wall Section_TYP