

- GENERAL NOTES AND SPECIFICATIONS**
- THE EXISTING SITE INFORMATION ON THIS PLAN WAS TAKEN FROM A SITE SURVEY PROVIDED BY CAPITAL SURVEY ENGINEERS. THE ENGINEER MAKES NO WARRANTY OR REPRESENTATION WITH REFERENCE TO THE ACCURACY AND COMPLETENESS OF THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SITE CONDITIONS INCLUDING UNDERGROUND UTILITIES, UNDERGROUND UTILITY ELEVATIONS, BUILDING SETBACKS AND EXISTING BUILDING LOCATIONS. THE CONTRACTOR SHALL INFORM THE OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WITH WORK. QUESTIONS REGARDING THE EXISTING SURVEY SHALL BE DIRECTED TO THE PARTIES LISTED ABOVE.
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 - ALL UTILITY CONSTRUCTION SHALL ADHERE TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (2003), AS WELL AS, THE CITY OF MILWAUKEE CONSTRUCTION STANDARDS AND THE DEPT. OF SAFETY AND PROFESSIONAL SERVICES SEC 382.317.
 - ALL UTILITY PERMITS MUST BE RECEIVED FROM THE CITY OF MILWAUKEE PRIOR TO THE START OF CONSTRUCTION.
 - NOTIFY THE PUBLIC WORKS INSPECTION DEPT. AT LEAST 48 HOURS BEFORE STARTING CONSTRUCTION.
 - BACKFILL REQUIREMENTS AND ROADWAY/SIDEWALK RESTORATION SHALL ADHERE TO LOCAL STANDARDS (GRANULAR BACKFILL UNDER OR WITHIN 5' OF CURBS, SIDEWALK OR PAVEMENT. SPOL MAY BE USED ELSEWHERE. SLURRY BACKFILL WILL BE REQUIRED IN PUBLIC ROADWAYS.)
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UTILITY LEGEND

SYMBOL	DESCRIPTION
—	EXISTING WATER MAIN
—	PROPOSED WATER SERVICE
—	EXISTING ELECTRICAL LINE
—	PROPOSED ELECTRICAL LINE
—	EXISTING GAS MAIN
—	PROPOSED GAS MAIN
—	EXISTING SANITARY SEWER
—	PROPOSED SANITARY SEWER
—	EXISTING STORM SEWER
—	PROPOSED STORM SEWER
—	OVERHEAD WIRES
—	EXISTING POWER POLES
—	EXISTING LIGHT POLES
—	SANITARY MANHOLE
—	FIRE HYDRANT
—	EXISTING WATER VALVE
—	PROPOSED WATER VALVE
—	EXISTING STORM STRUCTURE
—	PROPOSED STORM STRUCTURE
—	DENOTES EMERGENCY OVERTFLOW ROUTE / DRAINAGE PATH
—	PROPOSED & EXISTING SPOT GRADE

HATCH LEGEND

[Hatch Pattern]	PROPOSED CONCRETE SIDEWALK
[Hatch Pattern]	PROPOSED REGULAR DUTY ASPHALT PAVEMENT
[Hatch Pattern]	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
[Hatch Pattern]	PROPOSED DEPRESSED CURB
[Hatch Pattern]	PROPOSED TAPER CURB
[Hatch Pattern]	PROPOSED REVERSE CURB

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M&E Project No: 007-13

ISSUANCE AND REVISIONS
DPD Submittal

KEY PLAN

PROGRESS PRINT
FOR COORDINATION ONLY
DATE: February 11, 2014

SHEET INFORMATION
Site Plan

SCALE: 1" = 20'

REVISIONS
DATE DESCRIPTION

DATE: 3/11/2014
PROJECT NUMBER: 130108.00
STUDIO: Sabinash

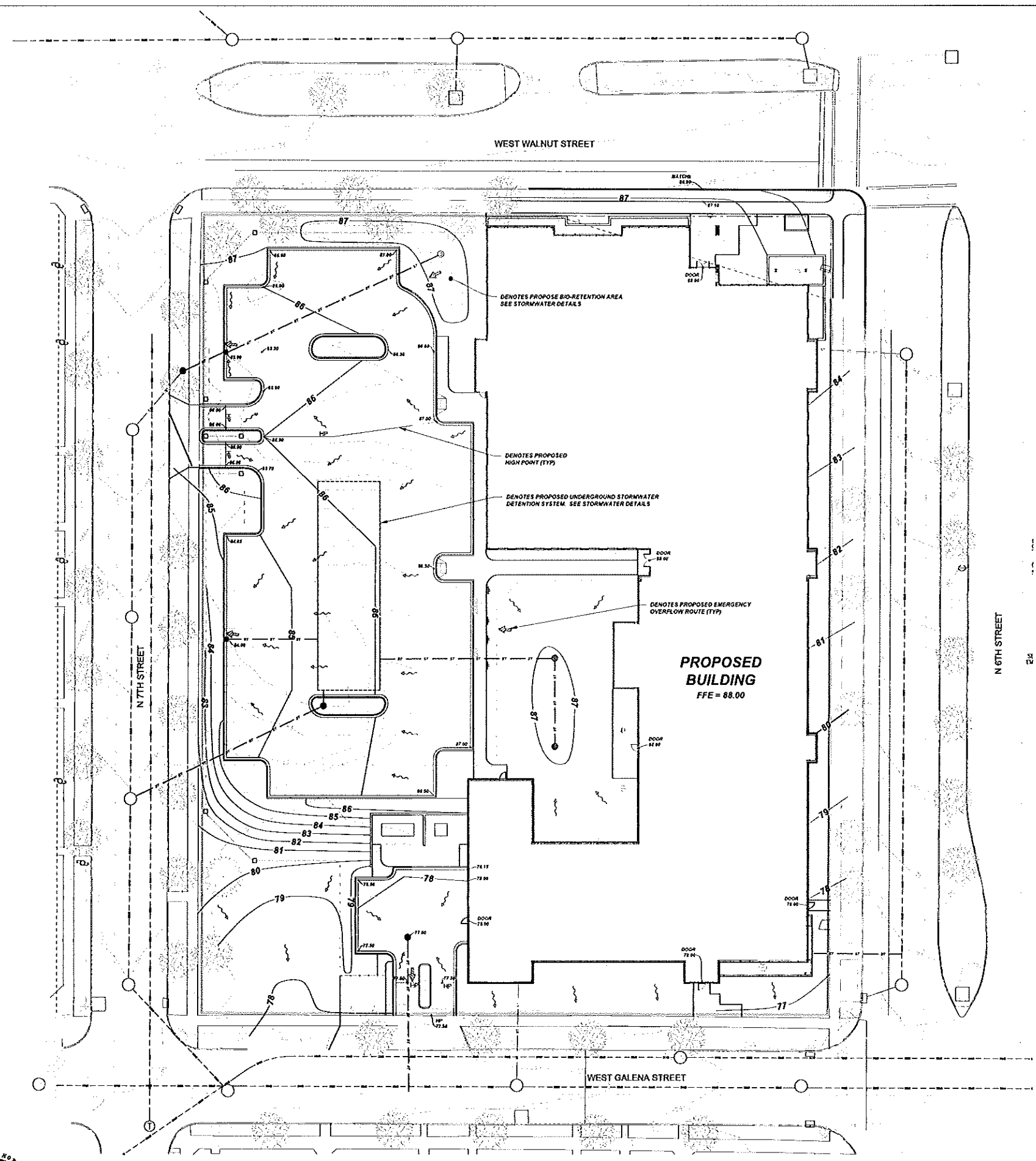
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IN ACCORDANCE WITH WISCONSIN STATUTE 182.0178, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED ONE-CALL SYSTEM NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.





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	PROPOSED & EXISTING SPOT GRADE

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PROJECT
Sojourner Family Peace Center

MB
ARCHITECTS-ENGINEERS
205 West Highland Avenue
Waukesha, WI 53031
Tel: 414-990-1256
Fax: 414-224-0704
M/E Project No: 007-13

ISSUANCE AND REVISIONS

DPD Submittal

KEY PLAN

PROGRESS PRINT
FOR COORDINATION ONLY
DATE: February 11, 2014

SHEET INFORMATION
Grading Plan

SCALE: 1" = 20'

REVISIONS

DATE	DESCRIPTION

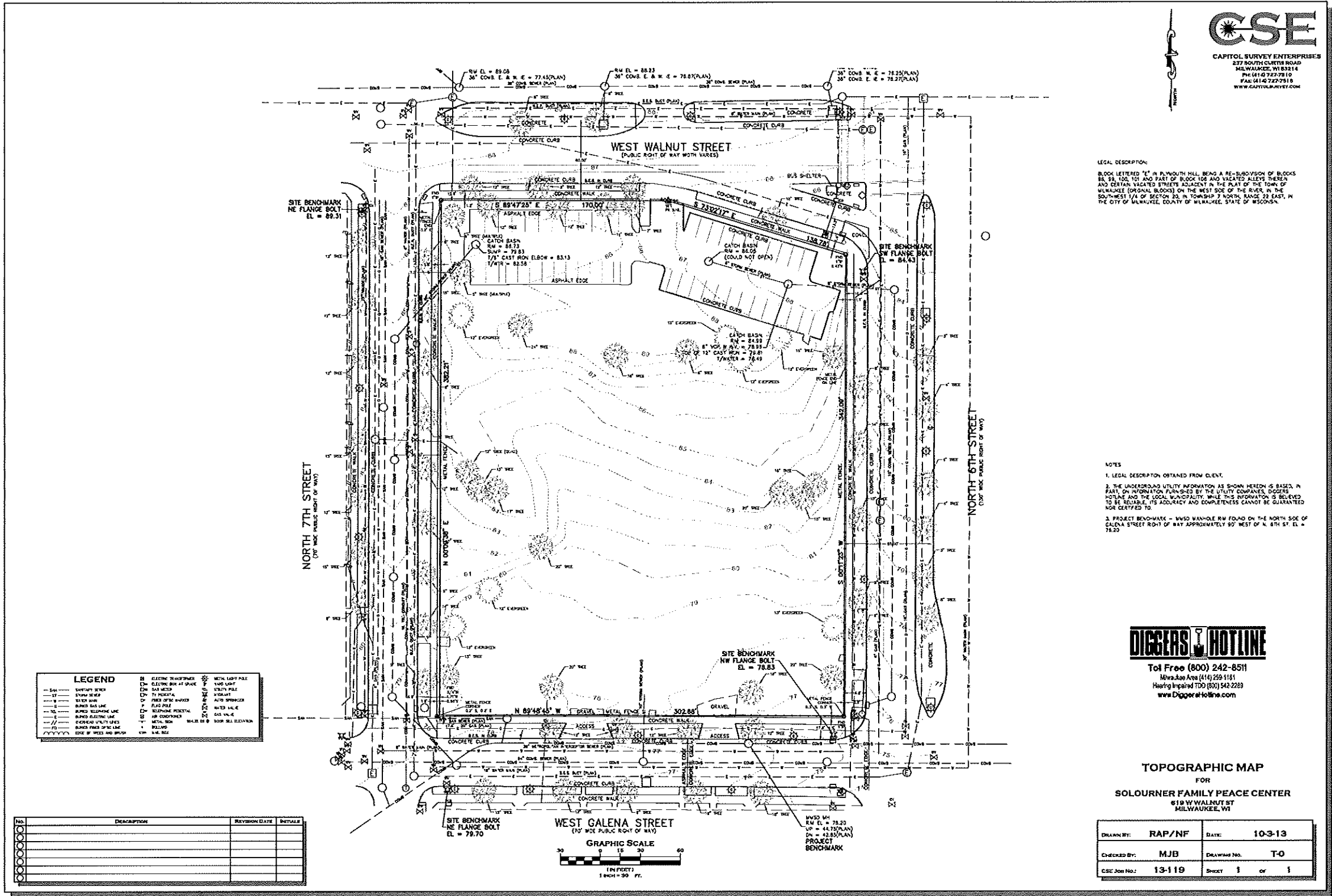
DATE: 3/11/2014
PROJECT NUMBER: 130108.00
SHEET: Sabinash

HARWOOD ENGINEERING CONSULTANTS, LTD.
255 West 21st Street, Milwaukee, WI 53233
414-939-2525 / 414-473-9799 Fax: 414-939-2525
M.E.C. Project Number: 13-0108.00

C101
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ROBERT'S NOTARY
PUBLIC NOTARY
7-800-244-6511

IN ACCORDANCE WITH WISCONSIN STATUTE 182.0173, CHANGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED ONE CALL SYSTEM NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.



LEGAL DESCRIPTION:
 BLOCK LETTERED "1" IN PLYMOUTH HILL, BEING A RE-SUBDIVISION OF BLOCKS 88, 89, 100, 101 AND PART OF BLOCK 102 AND VACATED ALLEYS THEREIN AND CERTAIN VACATED STREETS ADJACENT IN THE PLAT OF THE TOWN OF MILWAUKEE (ORIGINAL BLOCKS) ON THE WEST SIDE OF THE RIVER, IN THE SOUTHWEST 1/4 OF SECTION 20, IN TOWNSHIP 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

NOTES:
 1. LEGAL DESCRIPTION OBTAINED FROM CLIENT.
 2. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED IN PART ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS' HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
 3. PROJECT BENCHMARK - WMSD MANHOLE R/W FOUND ON THE NORTH SIDE OF GALENA STREET RIGHT OF WAY APPROXIMATELY 90' WEST OF N. 6TH ST. EL = 78.23



Toll Free (800) 242-8511
 Milwaukee Area (414) 259-1151
 Hearing Impaired TDD (800) 542-2289
 www.DiggeratHotline.com

TOPOGRAPHIC MAP
 FOR
 SOLOURNER FAMILY PEACE CENTER
 619 W WALNUT ST
 MILWAUKEE, WI

DRAWN BY:	RAP/NF	DATE:	10-3-13
CHECKED BY:	MJB	DRAWING NO.:	T-0
CSE Job No.:	13-119	SHEET:	1 of 1

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PROJECT
**Sojourner Family
 Peace Center**

ME
 ARCHITECTS-ENGINEERS
 205 West Highland Avenue
 Milwaukee WI 53203
 Tel: 414.660.1056
 Fax: 414.224.7764
 MAE Project No: 007-13

ISSUANCE AND REVISIONS
DPD Submittal

KEY PLAN

PROGRESS PRINT
 FOR COORDINATION ONLY
 DATE: February 11, 2014

SHEET INFORMATION
Existing Site Survey

SCALE: 1" = 30'
REVISIONS
 DATE DESCRIPTION

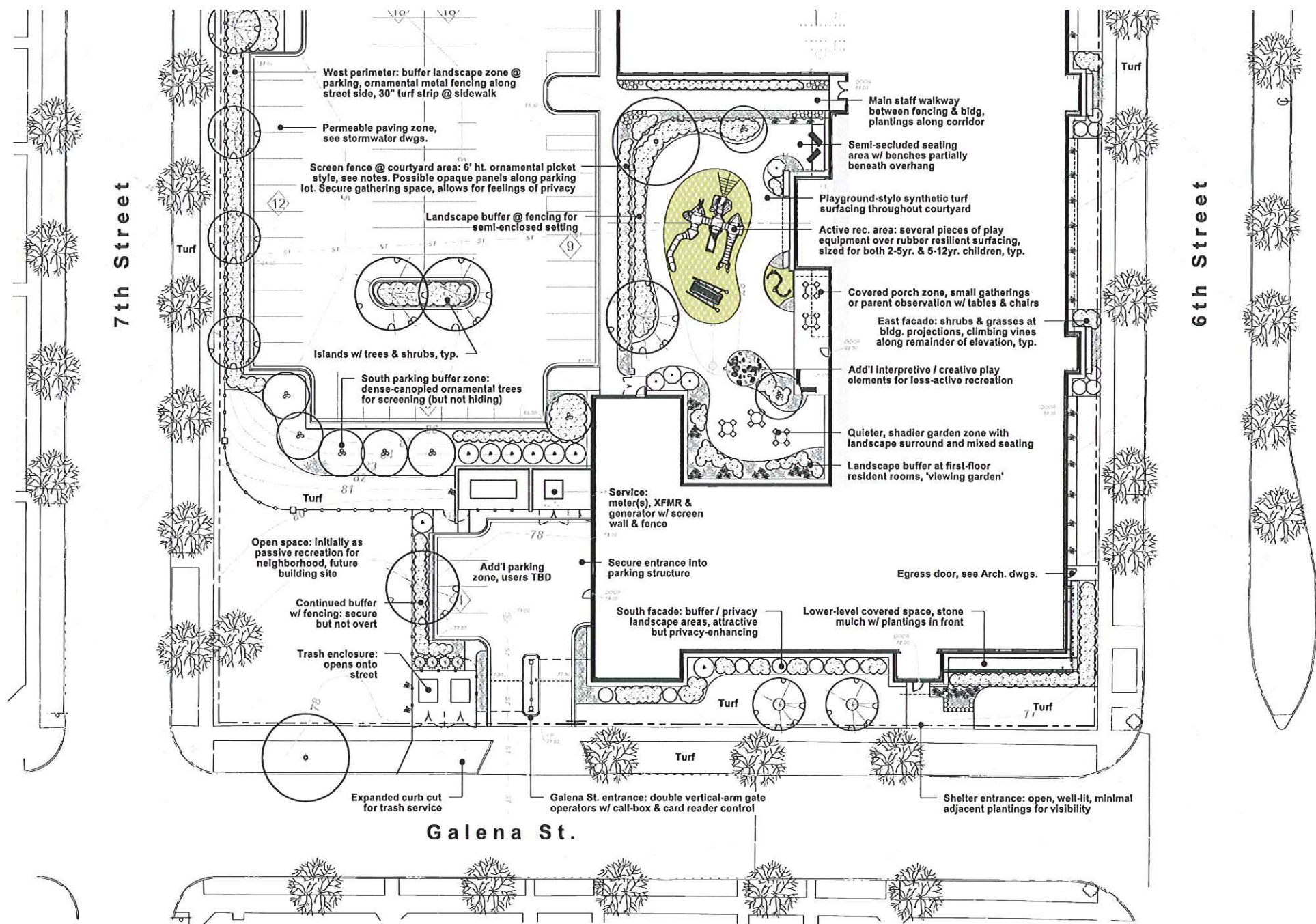
DATE
3/11/2014
 PROJECT NUMBER
130108.00
 STUDIO
Sabinash

NOTE: SURVEY COMPLETED BY CAPITOL SURVEY ENTERPRISES. THE ENGINEER MAKES NO WARRANTY OR REPRESENTATION WITH REFERENCE TO THE ACCURACY AND COMPLETENESS OF THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED.



C102

E
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West perimeter: buffer landscape zone @ parking, ornamental metal fencing along street side, 30" turf strip @ sidewalk

Permeable paving zone, see stormwater dwgs.

Screen fence @ courtyard area: 6' ht. ornamental picket style, see notes. Possible opaque panels along parking lot. Secure gathering space, allows for feelings of privacy

Landscape buffer @ fencing for semi-enclosed setting

Islands w/ trees & shrubs, typ.

South parking buffer zone: dense-canopied ornamental trees for screening (but not hiding)

Open space: initially as passive recreation for neighborhood, future building site

Continued buffer w/ fencing: secure but not overt

Trash enclosure: opens onto street

Expanded curb cut for trash service

Main staff walkway between fencing & bldg, plantings along corridor

Semi-secluded seating area w/ benches partially beneath overhang

Playground-style synthetic turf surfacing throughout courtyard

Active rec. area: several pieces of play equipment over rubber resilient surfacing, sized for both 2-5yr. & 5-12yr. children, typ.

Covered porch zone, small gatherings or parent observation w/ tables & chairs

East facade: shrubs & grasses at bldg. projections, climbing vines along remainder of elevation, typ.

Add'l interpretive / creative play elements for less-active recreation

Quieter, shadier garden zone with landscape surround and mixed seating

Landscape buffer at first-floor resident rooms, 'viewing garden'

Service: meter(s), XFMR & generator w/ screen wall & fence

Secure entrance into parking structure

South facade: buffer / privacy landscape areas, attractive but privacy-enhancing

Lower-level covered space, stone mulch w/ plantings in front

Egress door, see Arch. dwgs.

Galena St. entrance: double vertical-arm gate operators w/ call-box & card reader control

Shelter entrance: open, well-lit, minimal adjacent plantings for visibility

Galena St.

7th Street

6th Street

1 Landscape Plan - South
Scale: 1/16"=1'-0"

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Fax: 414.224.7754
MAE Project No: 007-13

ISSUANCE AND REVISIONS

DPD Submittal

KEY PLAN

SHEET INFORMATION

REVISIONS

DATE	DESCRIPTION

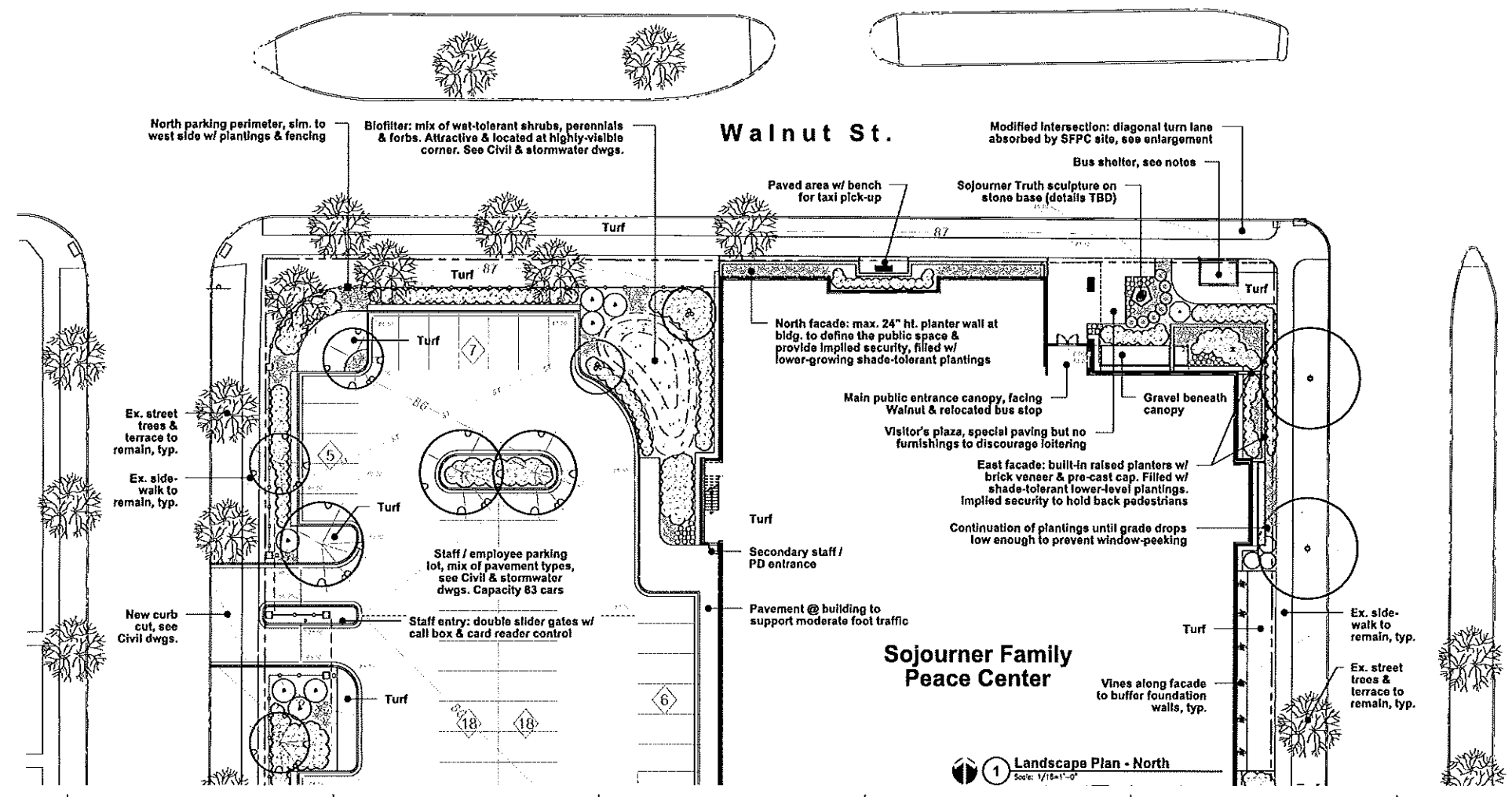
DATE
March 12, 2014
PROJECT NUMBER
130108.00
S/UID
Sabinash

Site / Landscape Plans
L100
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PROJECT
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Fax 414 224 7724
MBE Project No 007-13
ISSUANCE AND REVISIONS

DPD Submittal
KEY PLAN

SHEET INFORMATION

REVISIONS

DATE	DESCRIPTION

DATE
March 12, 2014

PROJECT NUMBER
130108.00

SYNOB
Sabinash

Site / Landscape Plans
L101
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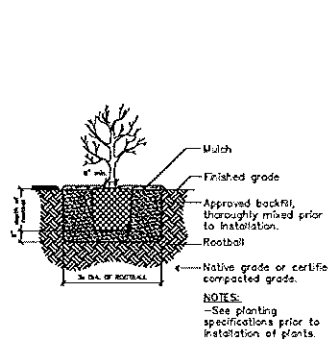
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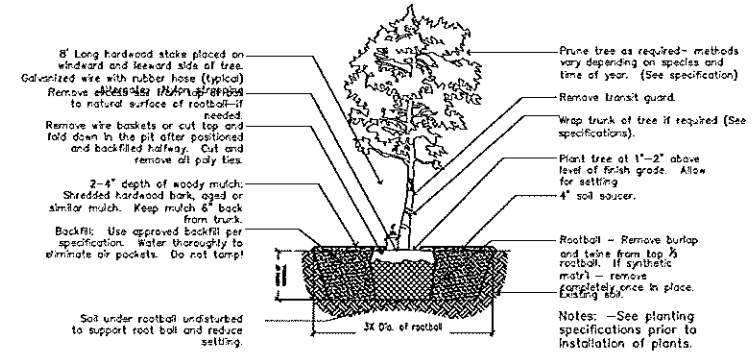
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6

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Shrub Planting Detail Not To Scale



Tree Planting Detail Not To Scale

General Notes

- 1.01 All landscape installation & maintenance to conform with all applicable local codes & ordinances, including (but not limited to) City of Milwaukee Municipal Code Ch. 295-405 "Landscaping"
- 1.02 See Site dwgs. for work limits, scope of construction, hardscape, dimensions &/or construction notes. See Civil dwgs. for all grading, stormwater management, site utilities & erosion control. See Landscape dwgs. for landscape plans, site amenities, details, schedules, notes. See Architectural dwgs. for all construction. See Electrical drawings for all power, cabling, lighting & access control.
- 1.03 Contractor shall provide shop drawings and material submittals of all hardscape & landscape construction elements shown in plan set for Landscape Architect review prior to construction, including (but not limited to) ornamental fencing & all access control equipment.
- 1.04 Contractor to provide samples for Landscape Architect's approval on all colors, finishes & materials prior to construction, including (but not limited to) topsoil, gravels, mulches, seed mixes et al.
- 1.05 Caution: underground utilities are present on site. The Contractor shall verify location of all above- and below-grade utilities, both public & private, prior to commencement of site construction. If unanticipated above- or below-grade conditions are encountered, notify Client & Landscape Architect prior to proceeding. Coordinate with local public utility locating entity as needed.
- 1.06 Contractor to verify hardscape layout prior to construction. Contact Landscape Architect if discrepancies are found.
- 1.07 Contractor to limit construction traffic to within work limit lines. All adjacent damage shall be the responsibility of the contractor to restore. See Civil drawings for limits of disturbance.
- 1.08 All written dimensions supersede scaled dimensions. All dimensions are taken from face of curb, wall or existing building foundations.
- 1.09 Any work done in the public right-of-way shall require an encroachment & maintenance agreement with the City of Milwaukee. Owner, LA & contractor to coordinate.

Landscape Notes

- 2.01 Rough grading & topsoil import/spreading are to be completed by others. Finish grading, seed area and ornamental planting bed preparation shall be the landscape contractor's responsibility. Verify all existing site and grading conditions prior to construction.
- 2.02 All areas disturbed by site construction shall be fine graded and restored with vegetative cover as shown. See plans for cover types & locations, see specifications for materials & installation.
- 2.03 Contractor shall verify plant quantities shown on plan. Symbol quantities take precedence over plant keys. Forward a material list to the Landscape Architect prior to construction identifying species, sizes & plant sources to be used on the project.
- 2.04 All plant materials shall conform to the schedule and shall meet quality requirements outlined in the ANLA "American Standard for Nursery Stock", ANSI Z60.1-2004. The Landscape Architect reserves the right to reject any substandard planting material. Such rejected material shall be removed from the project site immediately.
- 2.05 All nursery tags/labels shall be left on plant materials until the project punch-list inspection is completed by the Landscape Architect. Untagged materials will be assumed to be deficient.
- 2.06 All planting beds shall contain screened blended topsoil mix to a min. depth of 18". All lawn areas shall have min. 8". Suitable existing soil may be used & mixed if previously approved. Contractor shall be responsible for obtaining soil tests if existing topsoil is reused. Soil testing results shall include (but is not limited to) soil pH, % organic matter, phosphorus, potassium, calcium & texture (percentages of sand, silt and/or clay). Remove excessive clay, gravel & stones detrimental to healthy plant growth. Remove all debris greater than 1" diameter.
- 2.07 Contractor is responsible for ensuring that all tree pits & planting areas drain properly. Notify Landscape Architect if drainage or moisture problems are encountered while planting.
- 2.08 Contractor shall backfill all trees, shrubs & evergreens with a mix of 1/3 plant starter mix & 2/3 remaining soil. Plant Starter Mix to be provided by Liesner Soils, Cedarburg WI, or approved equal.
- 2.09 All perennial and groundcover areas shall receive a 3" layer of plant starter mix and perennial starter fertilizer, rolled into the top 6" of blended topsoil in beds.
- 2.10 All perennial areas shall receive a 1-2" layer of shredded hardwood bark mulch. Groundcover beds do not receive a cover of shredded bark mulch. Do not allow mulch to touch stems or leaves of perennials. All woody planting areas shall receive a 3" layer. Unless otherwise shown in the plans, no landscape fabric or weed barrier is to be installed.
- 2.11 Unless otherwise shown, all perennials & shrubs to be planted in triangular arrangements. For plants not shown individually, refer to the spacing shown in the plant schedule.
- 2.12 All edging to be 3/16" x 4" alum. mill-finish, Peralmac "CleanLine" or "ProSlide", or approved equal.
- 2.13 Stone mulch areas to contain 2-3" of decorative stone installed over poly weed barrier. Stone shall be Mississippi washed @ min. 1" dia. or approved equal. Coordinate final material selection with LA.
- 2.14 Contractor shall provide positive drainage away from all structures for a minimum of 10'.
- 2.15 Contractor shall be responsible for providing base bid comprehensive landscape establishment, maintenance and warranty care for one year after installation. Include an add-alternate cost to continue maintenance through year two. Contractor shall submit a 12-mo. calendar for review/approval including all anticipated maintenance activities.

Seeding Notes & Mixes

- 3.01 This work shall consist of preparing the seed beds and furnishing, sowing and mulching the required seed on the various seeded areas, as outlined in the site plans and specifications.
 - 3.02 Rough grading, drainage work, topsoiling and fine grading shall be completed before sowing the seed mixes. The areas to be seeded shall be worked with plow chisels, discs & harrows, soil finisher and/or other appropriate equipment until a reasonably even and loose seedbed is obtained. Seed beds shall be prepared immediately in advance of the seeding. If proposed seed areas are weedy, contractor to apply herbicide or other weed control measures to eliminate weeds. Conform with seed supplier's specifications if required.
 - 3.03 Confirm that anticipated project schedule date(s) fall within the respective seed supplier's approved calendar prior to installation. Installations completed outside of acceptable seeding dates shall be performed at the sole responsibility and expense of the contractor. For dormant seeding, a min. of one over-seed application in the following season will be required.
 - 3.04 Seeds shall be PLS and will be mixed in accordance w/ mfr's specifications. Provide invoices, bag tags or mix analysis results for approval prior to installation.
 - 3.05 The seed mixtures shall be sown by means of equipment adapted to the purpose. Mechanical distribution of seed (i.e. Truax seed drill, Brillion seeder, cultipacker, silt seeder, drop spreader or broadcast spreader) are the only accepted methods. No hand-broadcasting of seed.
 - 3.06 No seeding shall occur if the wind exceeds 12 MPH.
 - 3.07 Coordinate erosion control and/or mulching with Civil dwgs. In sloped areas steeper than 4:1, erosion matting shall be installed by others (see 3.09). Installation coordination will be required. In areas with slopes between 4:1 and 8:1, landscape contractor shall apply clean hay or straw mulch, free of debris and seeds, on all newly seeded areas. Mulch shall be uniformly spread over the designated area at a rate of 55 bales per acre or as indicated in the respective seed supplier's specifications. Mulch material shall be chopped and blown into the seeded area. Lightweight E.C. matting and/or hydromulch will be accepted as a no-cost alternate if approved by Landscape Architect.
 - 3.08 See Civil dwgs for erosion control devices. Coordinate with erosion control contractor where required to ensure that topsoil, seeding and/or mat installations are properly coordinated.
 - 3.09 Contractor is responsible for obtaining soil tests for all seeded areas. Soil testing results shall include (but is not limited to) soil pH, % organic matter, phosphorus, potassium, calcium & texture (percentages of sand, silt and/or clay). Contaminated soil shall be removed from the project site if discovered. If necessary, supply soil amendments required for specified seed mixes and/or coordinate alternate mixes if soils cannot be properly conditioned.
 - 3.10 Seed mix substitutions will be considered only if submitted for approval 10 days before the close of bidding. All mixes shall be installed & maintained per supplier's specifications.
- BLUEGRASS MIX:**
"Deluxe 50 Mix" shall be supplied by Reinders, Elm Grove WI, 262-786-3300. Apply @ 5 lbs per 1000 GSF. Install at the east & south sides of the parking structure, and around the pond zone.
- 3.11 Contractor shall be responsible for providing comprehensive seed area establishment, maintenance and warranty care for all seeded areas for the following durations not less than one year after establishment:
- Bluegrass areas: 12 months

Wet Tolerant Plug Notes

- 5.01 This work shall consist of preparing the plug areas and furnishing, installing and mulching the required wet-tolerant perennial plugs on the various seeded areas, as outlined in the site plans and specifications.
- 5.02 Rough grading, drainage work & engineered soil spreading shall be completed by others before installing the plugs. See the Civil plans for the areas of engineered soil and its placement.
- 5.03 Install plugs during the respective plug supplier's approved calendar. Installations completed outside of acceptable install dates shall be the performed at the sole responsibility and expense of the contractor.
- 5.04 See Civil dwgs for erosion control req's. Plugs are to be installed into the engineered soil via slits cut through the mul. See Civil dwgs for balance of site erosion control measures.
- 5.05 Plug w/ source substitutions will only be considered if submitted & approved prior to seven days before the close of bidding.
- 5.06 Rain Garden Plugs: Shall be based on "Rain Garden For Sandy Soil In Part Sun." Materials shall be provided by Prairie Nursery. Or approved equal. PN hort staff shall modify species & percentages to increase overall drought tolerance / upland species and reduce the number of floodplain-loving varieties. Final species & density information to be provided to LA for approval prior to ordering. Plugs shall be installed & maintained per supplier's specifications. Install @ 12-15" o.c., staggered / triangular spacing, with species organized in clusters of 5-9 plugs each.
- 5.07 Contractor shall be responsible for providing base bid comprehensive plug area establishment, maintenance and warranty care for two years after installation. Include an add-alternate cost to continue maintenance through year three. Contractor shall submit a 24-mo. calendar for review/approval including all anticipated maintenance activities. Schedule to be based on the plug supplier's maintenance requirements, modified as needed for site-specific conditions.

Hardscape / Amenity Notes

- 4.01 Play Area: One central play area to be constructed.
 - Area shall be enclosed with 6' ht. ornamental metal fencing & matching pliers (see below).
 - Pedestrian gates shall be equipped with egress hardware as required for exiting.
 - Play zone shall include a variety of equipment types & styles. Overall design intent and themes are TBD, selected from traditional, nature-based or hybrid play schemes. Equipment volumes shall be as shown in the plan.
 - Play equipment shall be suitable for both 2-5 and 6-12 yr. age ranges.
 - Surfacing shall include poured-in-place resilient rubber surfacing in equipment fall zones, possible shredded wood fiber for loose play zones within the landscape areas as playground-style synthetic turf for the remaining open space.
 - Internal landscaping to be included for educational / enrichment purposes.
 - Play equipment & resilient surfacing vendors TBD, final specifications and construction shall be completed via design-build contract(s) with one or more playground vendors.
- 4.02 Ornamental Metal Fencing: Site shall be enclosed in steel ornamental metal fencing where shown, typ. 8' ht., three-rail style with pickets. Color TBD, likely bronze or black, to be selected from standard mfr. range. Final detailing (i.e. rail count, squaring inserts, finial type, picket type) are TBD. Fencing shall be Ameristar "Montage II Industrial" Genesis or approved equal. Fencing shall be tacked or biased to suit sloping grade conditions (not stepped per panel).
- 4.03 Sliding Gates, Operators & Parking Control: Sliding gates shall be matching Ameristar product, or approved equal. Sliders shall conform to ASTM F1184-05 (or newer) and shall be Class II Type I. Gate operators shall be DoorKing "9150 Commercial Operator" with cold-weather accessories, or approved equal. Operators shall include vehicle sensors, safety loops and/or anti-entrapment devices as required. Parking control gates shall be DoorKing "1601 Barrier Gate" or approved equal. Access control equipment / methodology is TBD, assume combination proximity card readers & call boxes at both entrances. Also assume up to 20 remote controls for underground access, technology TBD.
- 4.04 Masonry piers: Masonry piers shall be located as shown on the plans; 24" sq. x 7' max ht., brick veneer over CMU core w/ appropriate GIP concrete footings & foundations, w/ pre-cast caps. Brick shall match materials used on the building.
- 4.05 Bus stop: One public bus stop is to be constructed in coordination with MCTS. Sidewalk connections to be into public walkways. Shelter style, size and construction is TBD, assumed to be semi-custom to reflect the architectural design of SFPC. Future coordination required with MCTS.
- 4.06 Add-alternate Irrigation system: Furnish, install, maintain (for one year) & warranty a fully-automated design-build irrigation system. System to consist of all required components for a functional system, including (but not limited to) all plumbing, street lateral, meter & pit, master valve, RBPB, digital controller w/ two-week programmable calendar, rain sensor, wiring, manifolds, lines, valves, laterals & heads. System to be designed by a Certified Irrigation Designer & installed by a Certified Irrigation Contractor.
 - Scope to include all lawn and ornamental plantings in A) the courtyard and B) the North & East sides of building. No irrigation needed in the parking area or along the south side.
 - Layout to be based on the landscape plan. Shop drawings, details & specs shall be provided for review/approval.

Preliminary Plant Schedule

NOTE: Species, sizes and quantities TBD. Final selections to be confirmed prior to construction, by.

Symbol	Qty	Botanical Name	Common Name	Installed Size	Root	Spacing	Notes
(Qty. 64) Shade Trees							
Am Wa	1	Acer x. hybrid 'Nimbus'	Nimbus Upright Maple	3" Cal.	8' H.	As Shown	
Qm Esp	1	Gymnocladia dioica 'Express'	Seedless Kentucky Coffeetree	3" Cal.	8' H.	As Shown	
Ti Ge	1	Tilia x. baccata 'Garden of Eatin'	Charleson Linden	3" Cal.	8' H.	As Shown	
Um New	1	Ulmus x. 'New Horizon'	New Horizon Hybrid Elm	3" Cal.	8' H.	As Shown	
(Qty. 34) Ornamental Trees							
Am Co	1	Amelanchier x. 'Dor's Select'	Co's Seed Serviceberry	8" H.	8' H.	As Shown	Heavy Three Stem
Sp In	1	Syringa ht. 'royal SA'	royal SA Jap. Tree Lilac	2.5" Cal.	8' H.	As Shown	Single Stem
Py Al	1	Pyrus calleryana 'Adam's Elm'	Adam's Elm Ornamental Pear	2.5" Cal.	8' H.	As Shown	Single Stem
(Qty. 21) Evergreen Trees							
Pc Ge	1	Picea glauca var. densata	Black Hills Spruce	6.7" H.	8' H.	As Shown	
Ph Ng	1	Pinus nigra	Austrian Pine	6.7" H.	8' H.	As Shown	
(Qty. 11,100 SF) Deciduous Shrubs							
Co Ap	1	Cotoneaster spicata	Ornamental Cotoneaster	15-18" H.	2 Gal.	48" o.c.	
De Lu	1	Deutzia longica 'Jewel'	Jewel Deutzia Honeyuckle	16-20" H.	2 Gal.	54" o.c.	
Hy Ge	1	Hydrangea sp. 'Grandiflora'	Smooth Hydrangea	24" H.	2 Gal.	48" o.c.	
Ph Ge	1	Philadelphus 'Royal Red'	Royal Red Philadelphus	24" H.	2 Gal.	48" o.c.	
Ros CFW	1	Rosa 'Charles of Wales'	Charles of Wales Rose	24" H.	2 Gal.	36" o.c.	
Ros SPF	1	Rosa 'Spectabilis'	Spectabilis Rose	15-18" H.	2 Gal.	30-36" o.c.	
Sp For	1	Spiraea betulifolia 'To'	Toxopneustes Spiraea	24" H.	2 Gal.	48" o.c.	
Sp Fi	1	Spiraea filifolia	Fine Leaf Spiraea	24" H.	2 Gal.	48" o.c.	
Sp Pal	1	Syringa meyeri 'Palmer'	Palmer Dwarf Lilac	30-36" H.	2 Gal.	54-60" o.c.	
Vb Red	1	Viburnum dentatum 'Anselm'	Red Flower Arrowwood Viburnum	48" H.	8' H.	72" o.c.	
(Qty. 3,650 SF) Evergreen Shrubs							
Am Ka	1	Juniperus chinensis 'Savoy'	Kelly Compact Juniper	24" H.	7 Gal.	54-60" o.c.	
Am Sa	1	Juniperus chinensis 'Savoy'	Savoy Juniper	24" H.	7 Gal.	54-60" o.c.	
(Qty. 1,800 SF) Perennials & Grasses							
Hen Rag	1	Hemerocallis 'Happy Returns'	Happy Returns Daylily	4.5"	Cor.	18-24" o.c.	
Hen Ric	1	Hemerocallis 'Happy Returns'	Happy Returns Daylily	4.5"	Cor.	18-24" o.c.	
Ma Hor	1	Miscanthus Morning Light	Morning Light Miscanthus Grass	1 Gal.	Cor.	32" o.c.	
Per Li	1	Perovskia atr. 'Luna Spr'	Luna Spr. Russian Sage	4.5"	Cor.	24" o.c.	
Sp Hel	1	Spergularia heterophylla	Prarie Dropseed	1 Gal.	Cor.	18-24" o.c.	
(Qty. 600) Groundcovers							
Eu Co	1	Eonymus fortunei 'Colorata'	Purple-leaf Wintercreeper	2.5"	Cor.	12" o.c.	

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MAE Project No. 007-13

ISSUANCE AND REVISIONS

DPD Submittal

KEY PLAN

REVISIONS

DATE	DESCRIPTION

SHEET INFORMATION

DATE
March 12, 2014

PROJECT NUMBER
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SUBJECT
Sabinash

Site / Landscape Dwg. Sheets & Notes

L500

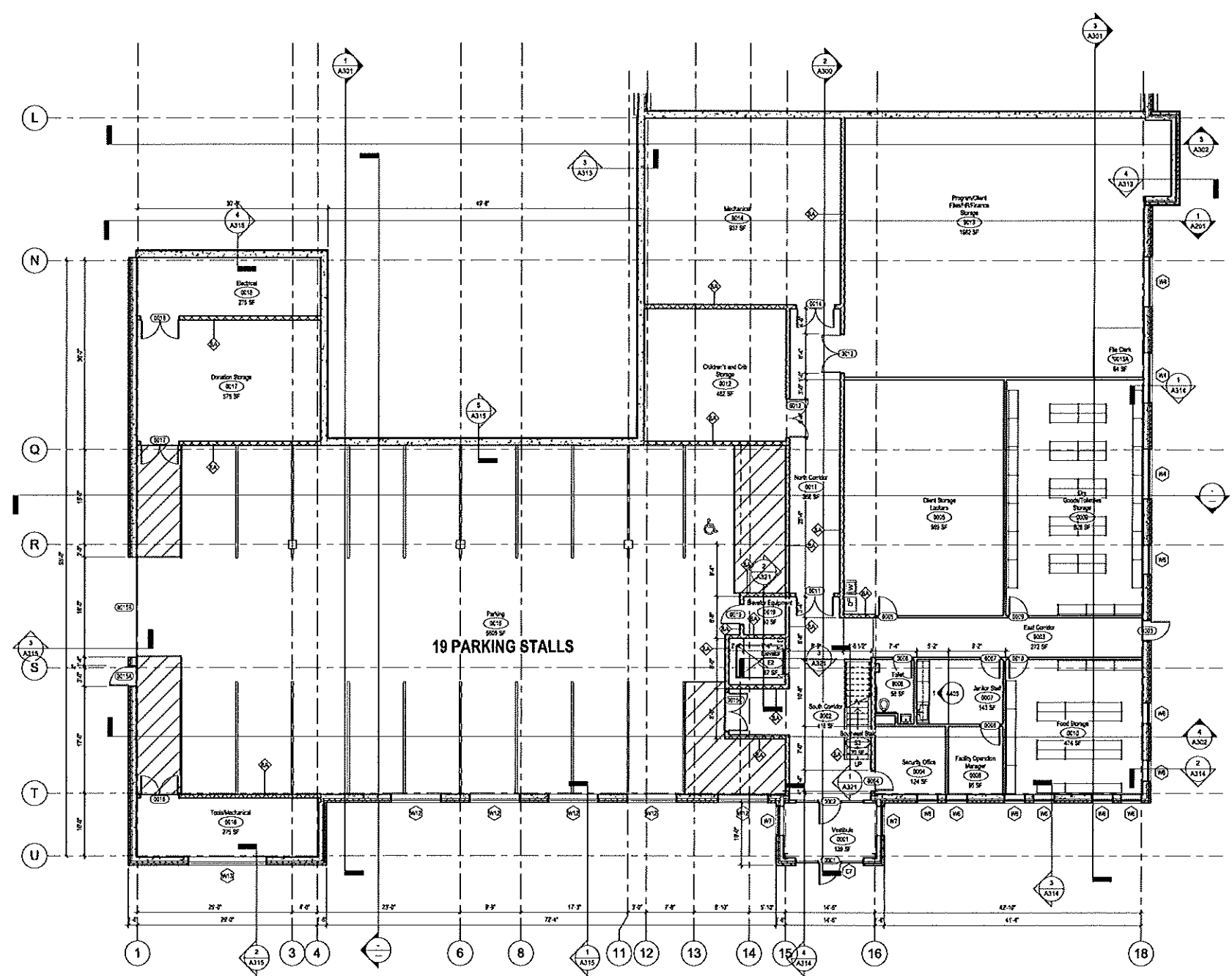
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GENERAL NOTES

INTERIOR WALLS TO BE FULL TYPE, UNLESS NOTED OTHERWISE



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ISSUANCE AND REVISIONS
DPD Submittal

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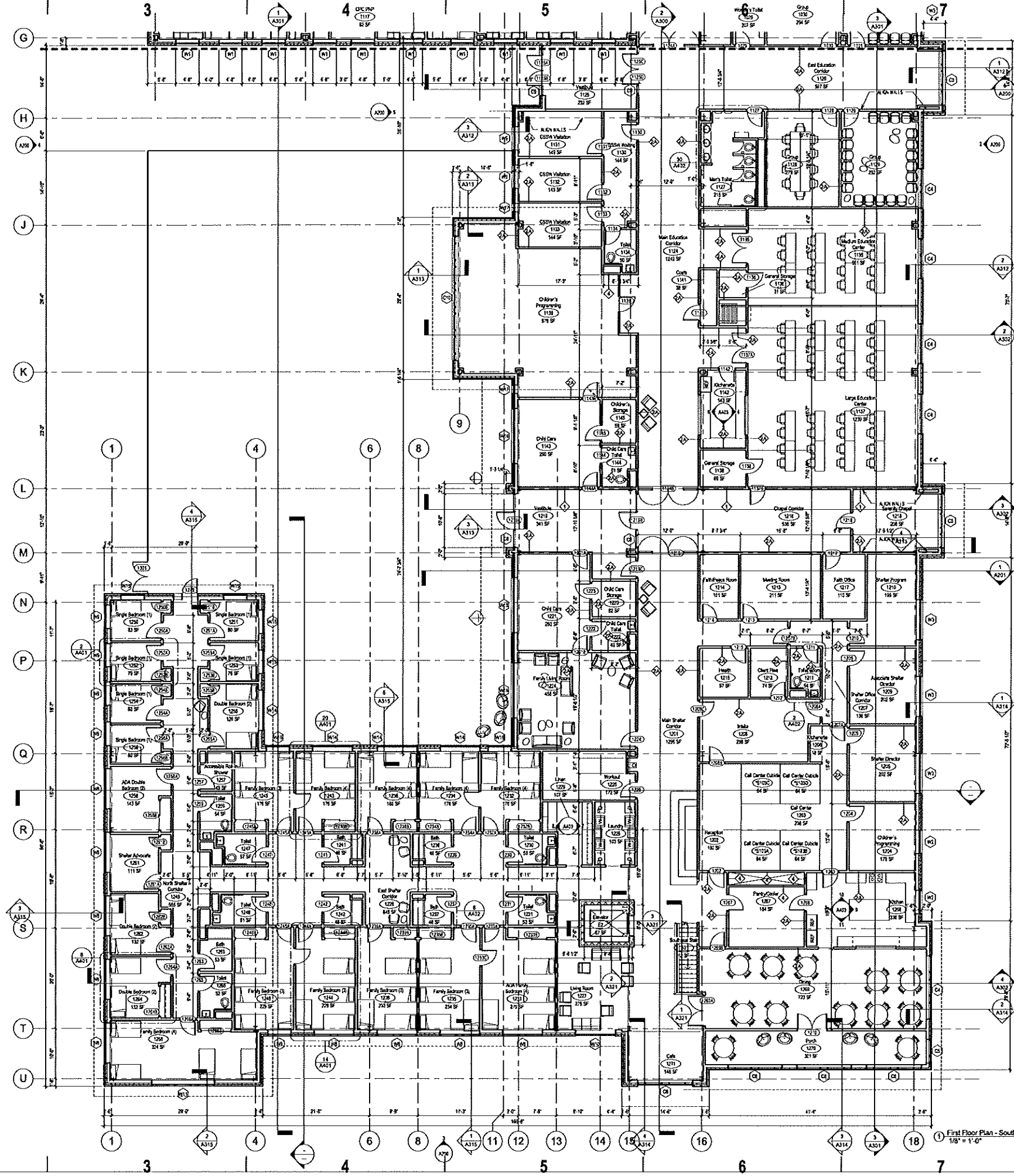
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Lower Level Floor Plan
A100
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1 Lower Level Plan - South
1/8" = 1'-0"

GENERAL NOTES

INTERIOR WALLS TO BE WALL TYPE 1 UNLESS NOTED OTHERWISE



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First Floor Plan - South
A102
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1 First Floor Plan - South
1/8" = 1'-0"

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March 12, 2014

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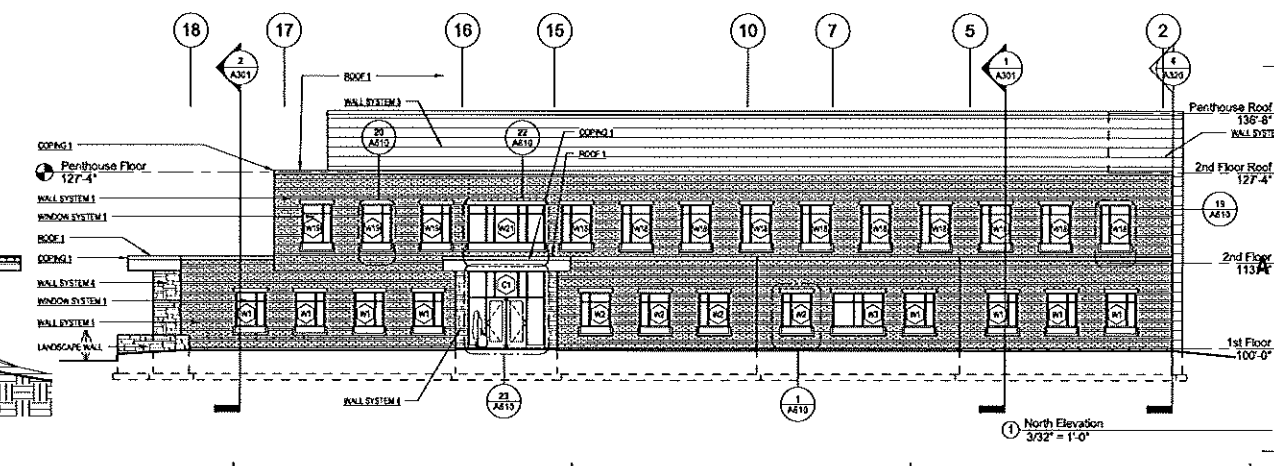
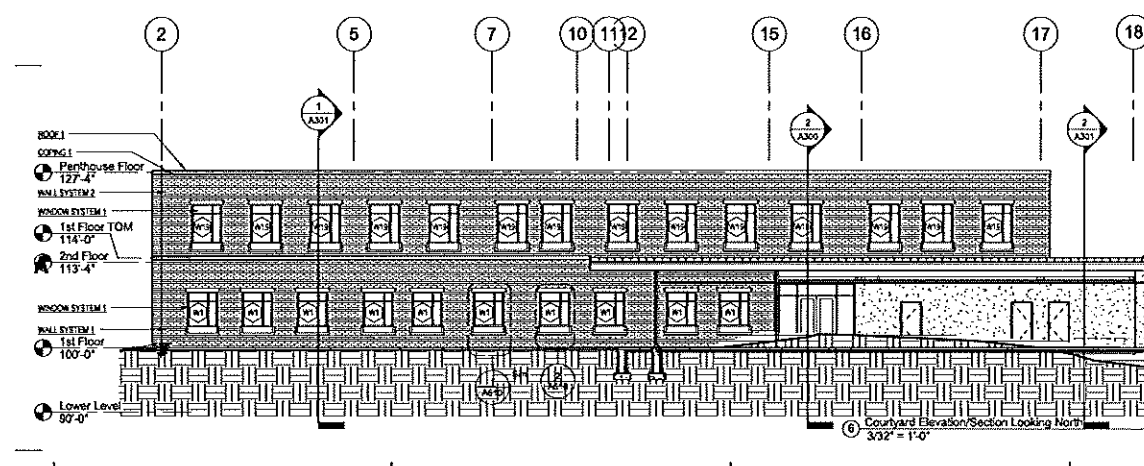
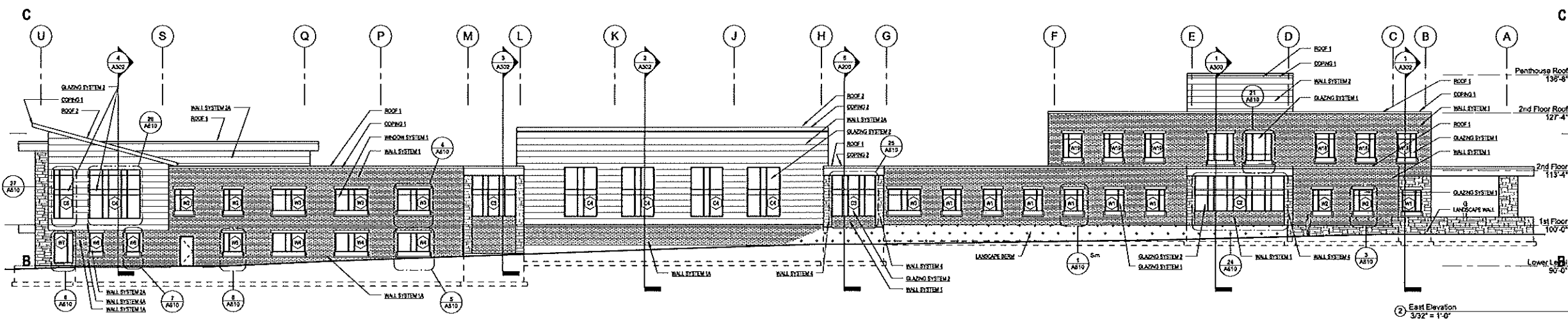
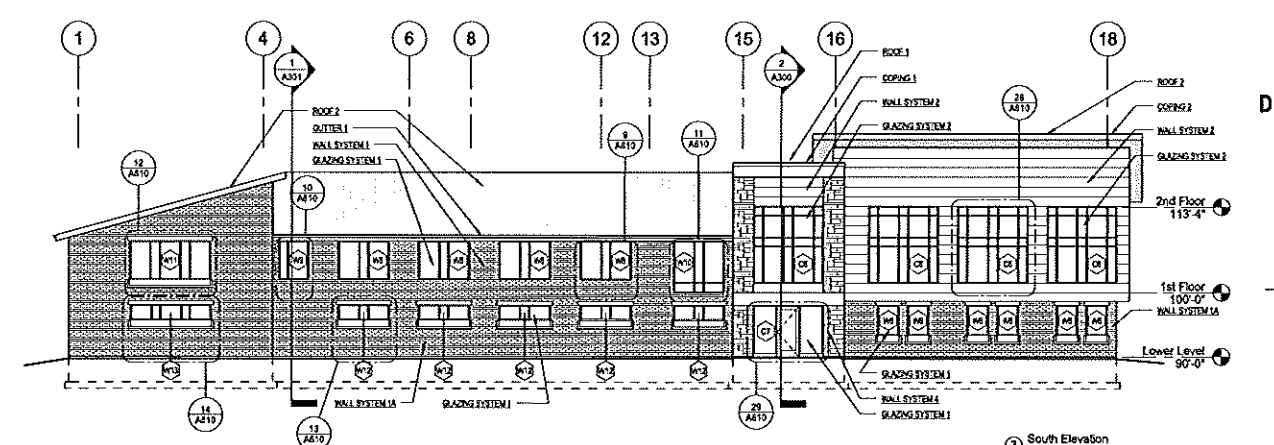
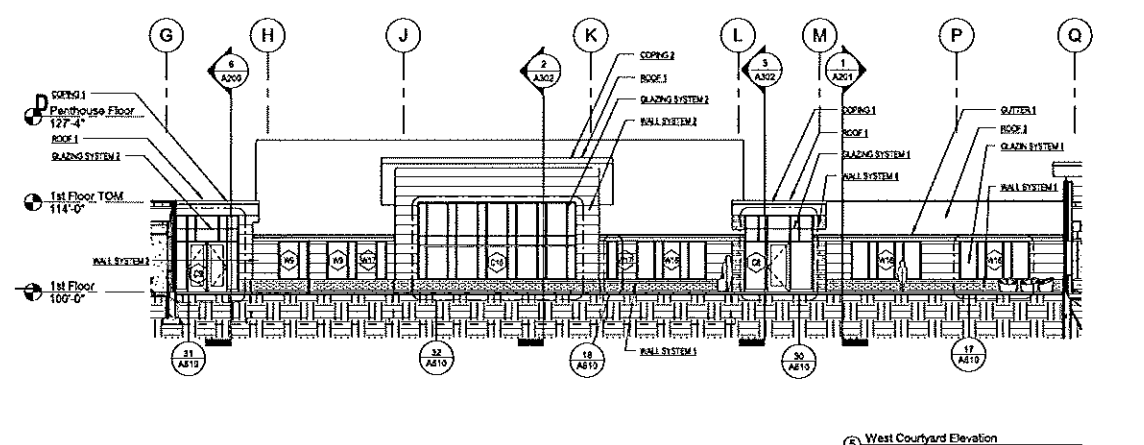
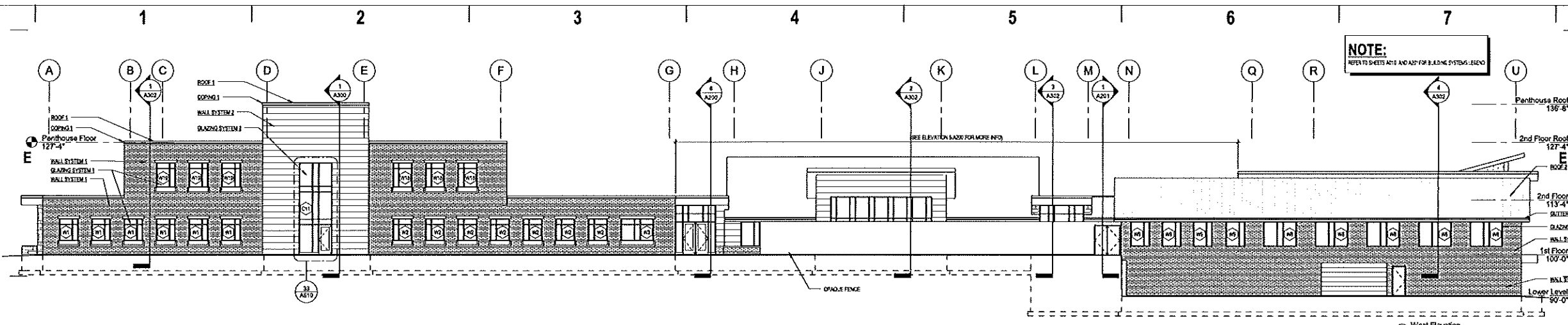
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EXTERIOR ELEVATIONS
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BUILDING SYSTEMS, ASSEMBLIES AND COMPONENTS

CEILING 1 (Typical Condition)
Two piece, perforated aluminum grid (color to be selected by architect over 20 percent treated wood white or stone) to top of wall.

FLOOR 1 (Slab on grade)
1" concrete slab w/ embedded wire mesh over polyethylene vapor barrier and 8" finely draining compacted granite #57 sub base. Footings are hooked past #4 columns and perimeter. (See structural drawings for rebar layout, column joint locations and structural references.)

FLOOR 2 (Upper Level Floor)
7" concrete topping over 1 1/2" wide 1/4" thick deck on steel joist and beam system.

FLOOR 3 (Shelter Floor)
7" concrete topping over 1 1/2" polyisocyanurate insulation over 1/4" concrete precast concrete joist.

FOUNDATION 1
Rebarbed, cast in place, poured concrete foundation wall per referenced concrete facing. Prohibit 2" rigid insulation (R-10 min.) from top of concrete footing to top of foundation wall on the interior face of the concrete foundation wall. Provide joint fill at columns and corners wall base concrete block & joint.

GLAZING SYSTEM 1
Fixed insulated aluminum storefront window.

GLAZING SYSTEM 2
Fixed insulated aluminum curtain wall window.

GLAZING SYSTEM 3
Fixed steel glazing system to be mounted 3" above finish floor. Intermittent space to be filled with 1" x 1" horizontal perforated steel bar ladders @ 1' o.c.

SUTURE 1
Perforated aluminum gutter.

WINDOW 1
1 1/2" thick particle sheaf wall system to be mounted 3" off A/J and attached to parallel to wall.

LATH & GULL
One course lath & gull.

ROOF 1 (Typical roof)
Belonged EPDM membrane or minimum 4" expanded polystyrene foam insulation on 1 1/2" wide galvanized steel deck.

ROOF 2 (Pitched roof)
1/2" membrane with included 4" x 8" in minimum 4" expanded polystyrene foam insulation on 1 1/2" wide galvanized steel deck.

SCREEN 1
1/2" particle building panel system on 8" polyisocyanurate insulation on spray air and vapor barrier on 1/2" fiberglass and gypsum panel sheathing on 2 1/2" structural steel studs.

SPANS 1
Concrete floor slabs per slab on steel framing as designed by steel fabricator.

WALL SYSTEM 1 (Shed exterior wall)
1/2" thick with plastic wrap and vents at 30" o.c. with 1" airspace (A/N) on 7" polyisocyanurate insulation on spray air and vapor barrier on 1/2" fiberglass and gypsum panel sheathing on 8" structural steel studs with 5/8" CMH on inside face.

WALL SYSTEM 2 (Shed exterior wall)
1/2" thick with plastic wrap and vents at 30" o.c. with 1" airspace (A/N) on 7" polyisocyanurate insulation on spray air and vapor barrier on 1/2" fiberglass and gypsum panel sheathing on 8" structural steel studs with 5/8" CMH on inside face.

WALL SYSTEM 3 (Shed exterior wall)
1/2" thick with plastic wrap and vents at 30" o.c. with 1" airspace (A/N) on 7" polyisocyanurate insulation on spray air and vapor barrier on 1/2" fiberglass and gypsum panel sheathing on 8" structural steel studs with 5/8" CMH on inside face.

WALL SYSTEM 4 (Shed exterior wall)
1/2" thick with plastic wrap and vents at 30" o.c. with 1" airspace (A/N) on 7" polyisocyanurate insulation on spray air and vapor barrier on 1/2" fiberglass and gypsum panel sheathing on 8" structural steel studs with 5/8" CMH on inside face.

WALL SYSTEM 5 (Shed exterior wall)
1/2" thick with plastic wrap and vents at 30" o.c. with 1" airspace (A/N) on 7" polyisocyanurate insulation on spray air and vapor barrier on 1/2" fiberglass and gypsum panel sheathing on 8" structural steel studs with 5/8" CMH on inside face.

WALL SYSTEM 6 (Shed exterior wall)
1/2" thick with plastic wrap and vents at 30" o.c. with 1" airspace (A/N) on 7" polyisocyanurate insulation on spray air and vapor barrier on 1/2" fiberglass and gypsum panel sheathing on 8" structural steel studs with 5/8" CMH on inside face.

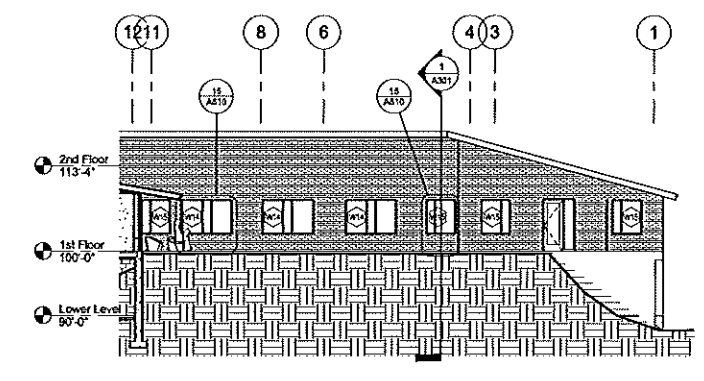
WALL SYSTEM 7 (Shed exterior wall)
1/2" thick with plastic wrap and vents at 30" o.c. with 1" airspace (A/N) on 7" polyisocyanurate insulation on spray air and vapor barrier on 1/2" fiberglass and gypsum panel sheathing on 8" structural steel studs with 5/8" CMH on inside face.

WALL SYSTEM 8 (Shed exterior wall)
1/2" thick with plastic wrap and vents at 30" o.c. with 1" airspace (A/N) on 7" polyisocyanurate insulation on spray air and vapor barrier on 1/2" fiberglass and gypsum panel sheathing on 8" structural steel studs with 5/8" CMH on inside face.

WALL SYSTEM 9 (Shed exterior wall)
1/2" thick with plastic wrap and vents at 30" o.c. with 1" airspace (A/N) on 7" polyisocyanurate insulation on spray air and vapor barrier on 1/2" fiberglass and gypsum panel sheathing on 8" structural steel studs with 5/8" CMH on inside face.

WALL SYSTEM 10 (Shed exterior wall)
1/2" thick with plastic wrap and vents at 30" o.c. with 1" airspace (A/N) on 7" polyisocyanurate insulation on spray air and vapor barrier on 1/2" fiberglass and gypsum panel sheathing on 8" structural steel studs with 5/8" CMH on inside face.

NOTE:
REFER TO SHEETS A210 AND A207 FOR BUILDING SYSTEMS LEGEND



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PROJECT
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MAE Project No. 007-13

ISSUANCE AND REVISIONS
DPD Submittal

KEY PLAN

SHEET INFORMATION

REVISIONS

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Exterior Elevations
A201
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