



City of Milwaukee
DPD Submittal

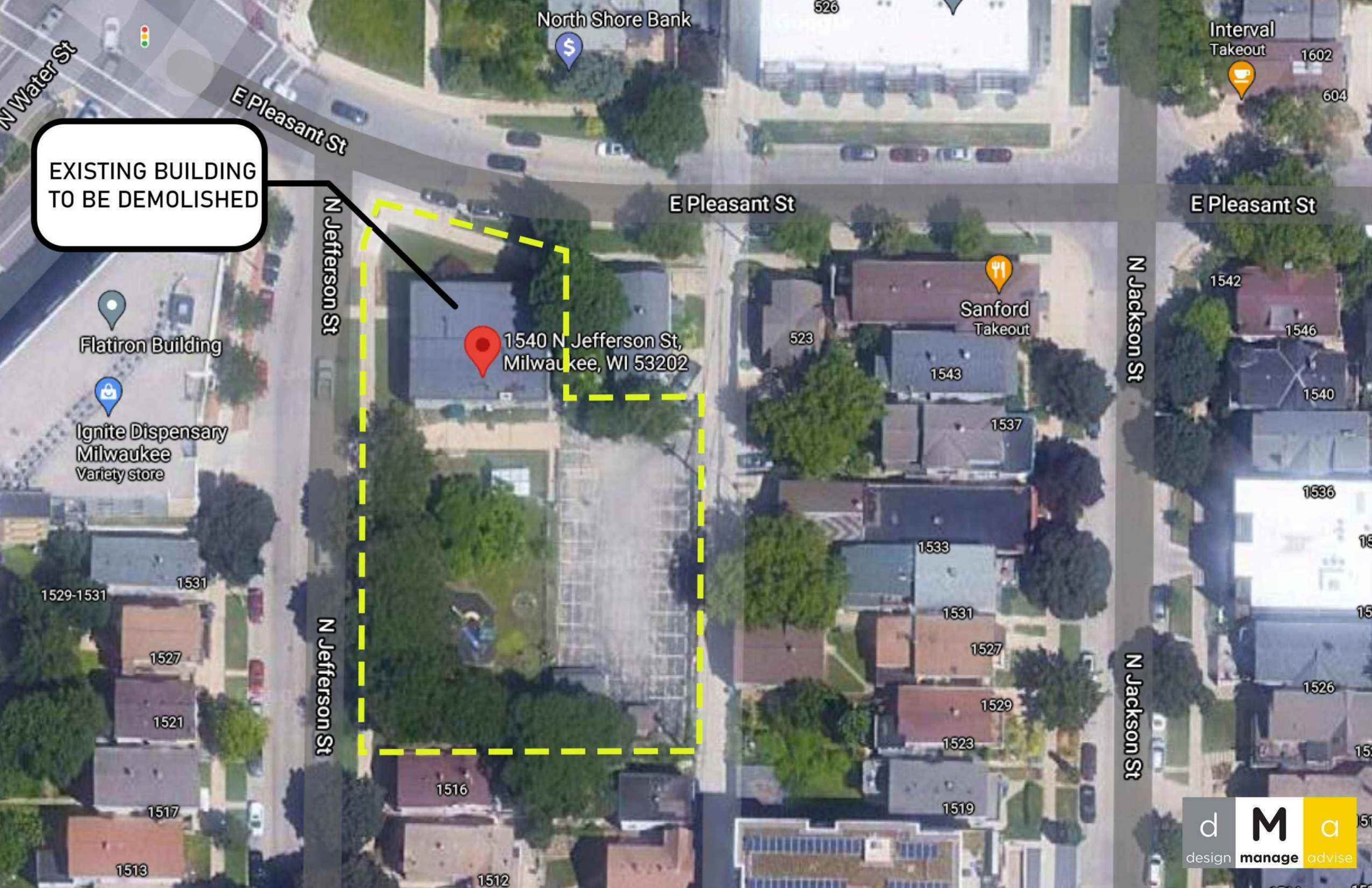
Project Address:
1540 N. Jefferson St.
Milwaukee, WI

Owner:
Josh Delaney

Alderman:
Nik Kovac
3rd District

d|M|a Team:
Jordan Nelson
Brian Fisher
Steve Wagner





EXISTING BUILDING
TO BE DEMOLISHED

1540 N. Jefferson St,
Milwaukee, WI 53202

Flatiron Building

Ignite Dispensary
Milwaukee
Variety store

Sanford
Takeout

Interval
Takeout

E Pleasant St

E Pleasant St

N Jefferson St

N Jackson St

N Jackson St



North Shore Bank

526

N Water St

E Pleasant St

E Pleasant St

N Jefferson St

N Jackson St

N Jackson St

Flatiron Building

Ignite Dispensary
Milwaukee
Variety store

Sanford
Takeout

3 Story
10,200 sf

523

1543

1537

1529-1531

1531

1527

1521

1517

1533

1531

1527

1529

1523

1519

1516

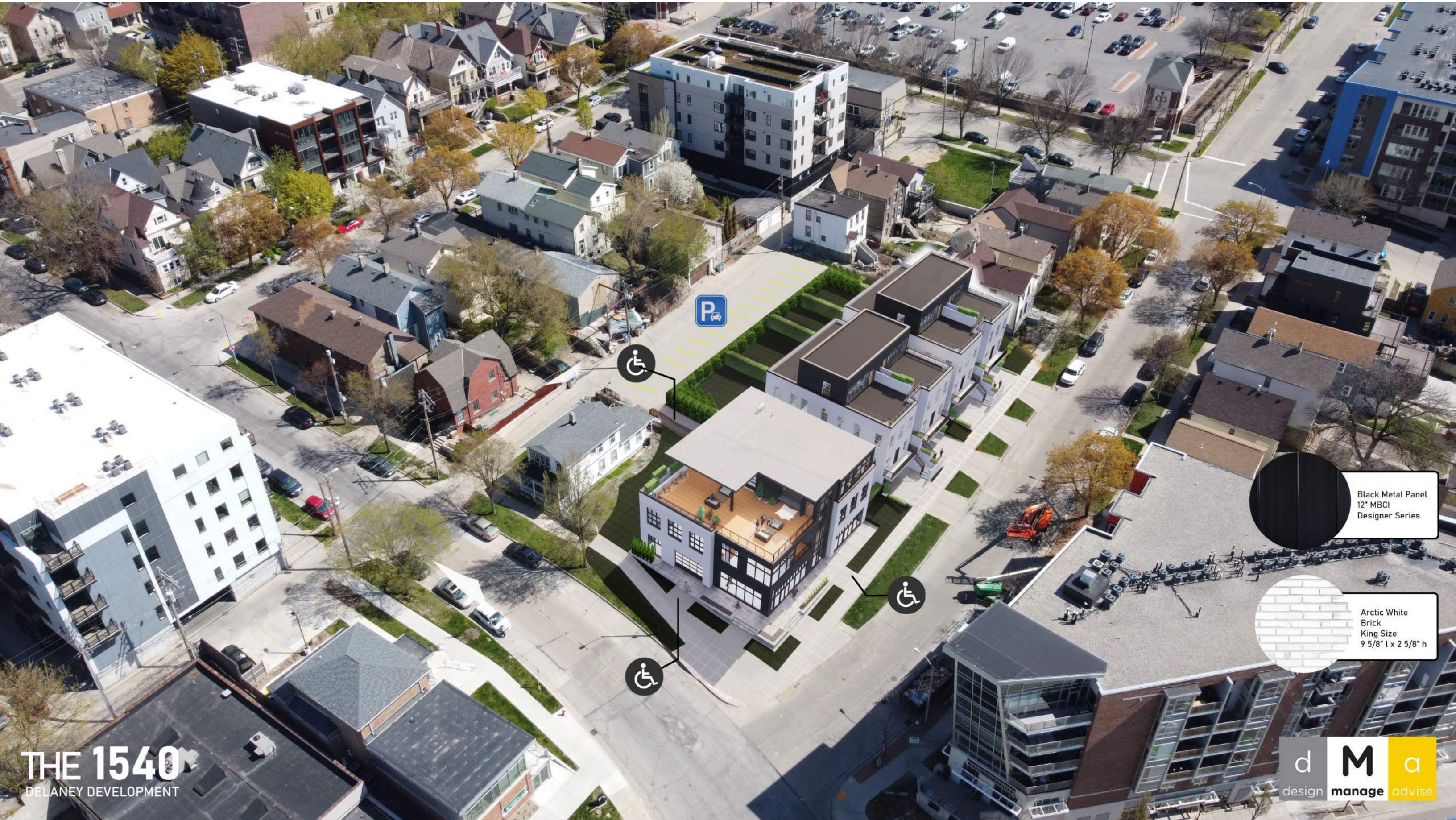


Black Metal Panel
12" MBCI
Designer Series



Arctic White
Brick
King Size
9 5/8" l x 2 5/8" h





Black Metal Panel
12" MBCI
Designer Series



Arctic White
Brick
King Size
9 5/8" l x 2 5/8" h

THE 1540
DELANEY DEVELOPMENT





THE 1540

DELANEY DEVELOPMENT



THE
1540

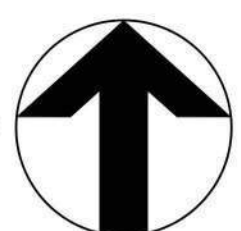
LANDSCAPING IN THE RIGHT OF WAY; CONSISTING OF PLANTINGS & LOW IN MAINTENANCE

PLANTERS DEFINE PROPERTY LINE



n. jefferson st.

THE 1540 SITE PLAN



PROPERTY LINE

4+ STREET PARKING STALLS

POSSIBLE SHORT-TERM BICYCLE PARKING SPACES (BIKE RACK BY OWNER)

LANDSCAPING

BALCONY ABOVE

LANDSCAPING

BALCONY ABOVE

HARDSCAPE LANDSCAPING/ PATIO

SHORT-TERM BICYCLE PARKING SPACES (BIKE RACK BY OWNER; POSSIBLE WALL MOUNTED)

TABLE 295-404-1
Long-Term Bicycle Parking Spaces Required:
 for an occupancy larger than 12,000 sq. ft., one for every 6,000 sq. ft. of gross floor area; min. of 2 spaces (REFER TO A101 FOR INTERIOR LONG-TERM BICYCLE PARKING SPACES - MIN 2 SPACES PROPOSED)

Short-Term Bicycle Parking Spaces Required:
 one for every 24,000 sq. ft. of gross floor area; min. of 2 spaces (REFER TO AS01 FOR EXTERIOR SHORT-TERM BICYCLE PARKING SPACES - MIN 2 SPACES PROPOSED)

2 SHORT-TERM BICYCLE PARKING SPACES (BIKE RACK BY OWNER)

DUMPSTER ENCLOSURE 2 YD GARBAGE & 2 YD RECYCLING

SIDEWALK 536 SF

RETAIL & OFFICE 4032 SF

3 STORY 10,200 SF TOTAL COMBINED OVERALL

LOT 1 VB OR IIB CONSTRUCTION

6' FENCE & LANDSCAPING REFER TO LANDSCAPE PLANS

6' FENCE & LANDSCAPING REFER TO LANDSCAPE PLANS

PROPOSED PROPERTY LINE CSM LAND DIVISION

TOWNHOME 1623 SF

LOT 2

FENCE & LANDSCAPING

TOWNHOME 1623 SF

FENCE & LANDSCAPING

GREENSPACE 6757 SF

TOWNHOME 1623 SF

PROPOSED PROPERTY LINE CSM LAND DIVISION

FENCE & LANDSCAPING

TOWNHOME 1621 SF

FENCE & LANDSCAPING

LOT 3

13

CATCH BASIN

PARKING 2556 SF

Phone: (262) 613-4015
WWW.DMA-WI.COM
INFO@DMA-WI.COM



PROPOSED BUILDING FOR:

APACHII CAPITAL

1540 N. JEFFERSON ST., MILWAUKEE WI

DRAFTED BY: JWN
DESIGNER: SLW
ISSUE: 05/06/21 8:13:35 AM
SUBMITTAL: 05/04/21
DESIGN NO. 0001

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SITE PLAN

SD00

CERTIFIED SURVEY MAP NO. _____

Part of Lots 9 and 12 and all of Lots 10 and 11 in Block 120, in Fractional West 1/2 of the Southwest 1/4 of Section No. 21 Township No. 7 North Range No. 22 East or Gammon Float Subdivision, in the Northwest 1/4 of the Southwest 1/4 of Section 21, Town 7 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin.

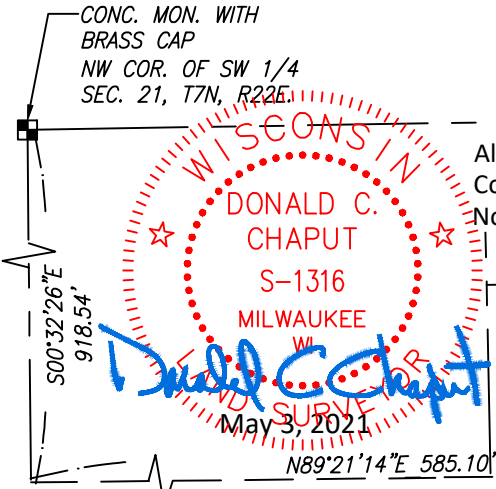
Tax Key: 392-1789-110
Site is zoned: RT-4

Owner: Apachii Capital LLC
3770 S Pennsylvania Ave,
St Francis, WI, 53202-3557

$N89^{\circ}04'05''E$ 2637.55'
NORTH LINE OF THE SW 1/4, SEC. 21

All bearings are referenced to the Wisconsin State Plane Coordinate System (South zone) dated Jan., 2019 in which the North line of the SW 1/4, Sec. 21 bears $N89^{\circ}04'05''E$.

CONC. MON. WITH BRASS CAP
NE COR. OF SW 1/4 SEC. 21, T7N, R22E.

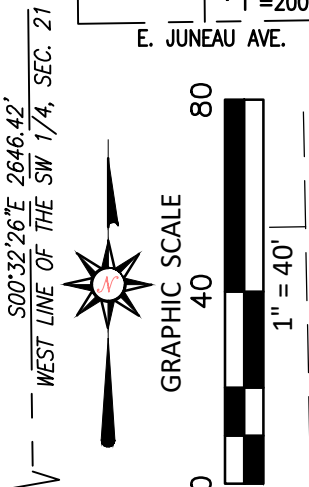
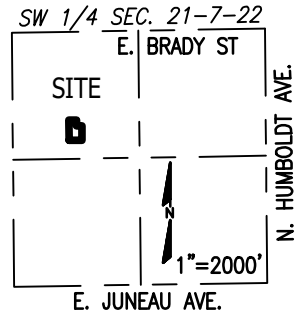


E. PLEASANT ST.

80' PUBLIC R.O.W.

$N89^{\circ}21'14''E$
80.00'

VICINITY MAP



CONC. MON. WITH BRASS CAP
SW COR. OF SW 1/4 SEC. 21, T7N, R22E.

CHAPUT
LAND SURVEYS

234 W. Florida Street Milwaukee, WI 53204
414-224-8068 www.chaputlandsurveys.com

This instrument was drafted by Donald C. Chaput
Professional Land Surveyor S-1316

N. JEFFERSON ST.

80' PUBLIC R.O.W.

$N01^{\circ}04'44''W$ 210.12'

$S89^{\circ}19'40''W$ 111.64'

LOT 2
6,862 S.F.
0.1575 Acres

$S89^{\circ}19'40''W$ 110.87'

LOT 3
6,814 S.F.
0.1564 Acres

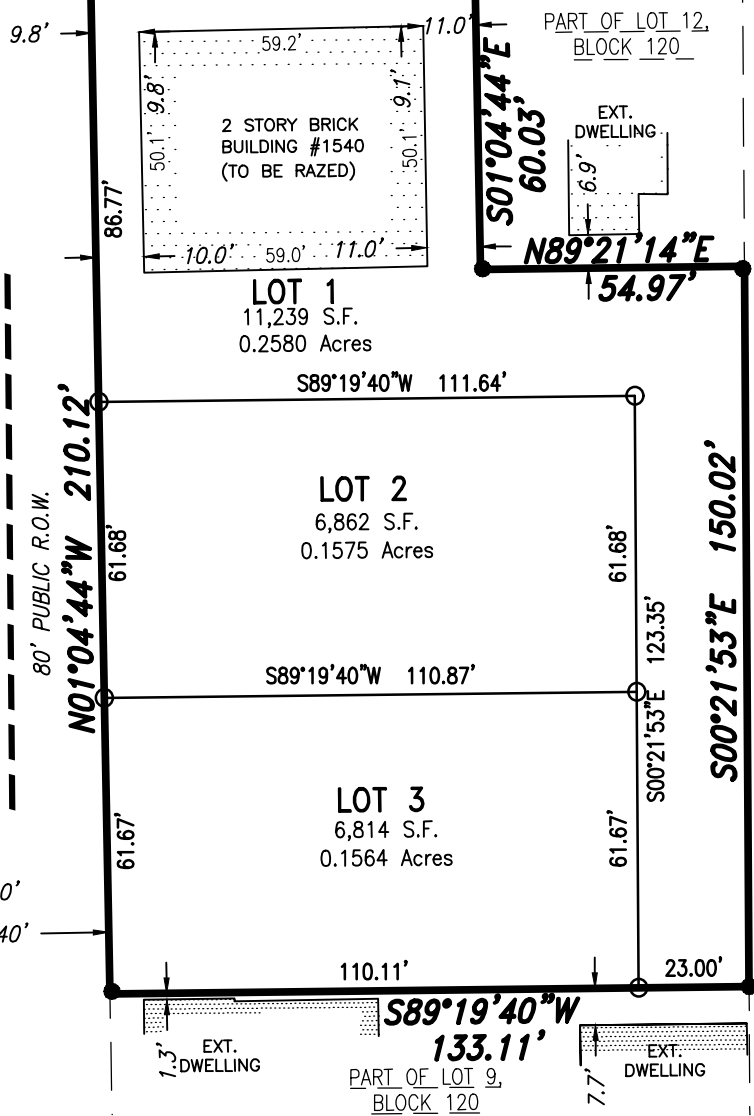
$S89^{\circ}19'40''W$
133.11'

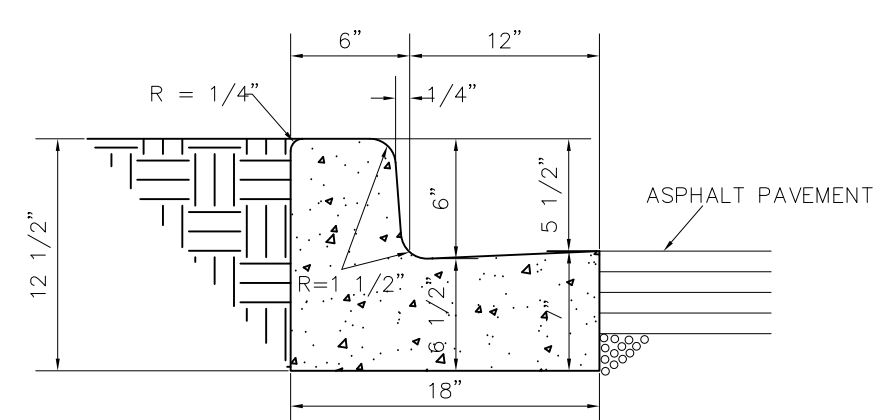
PART OF LOT 9,
BLOCK 120

LEGEND

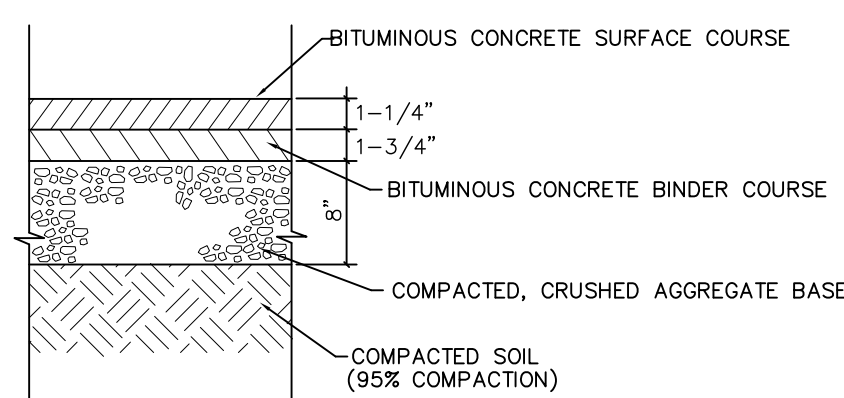
- INDICATES FOUND 1" IRON PIPE
- Set 1" iron pipe, 18" in length, 1.68 lbs. per lineal foot.

Project No. 2255-vpz/grb
Sheet 1 of 4 Sheets

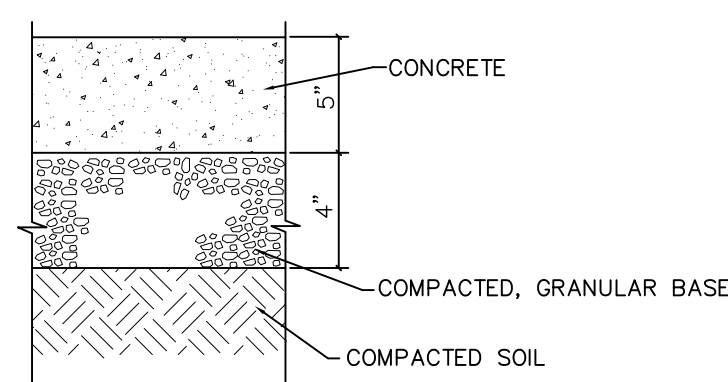




CONCRETE CURB AND GUTTER
 NOT TO SCALE



ASPHALT PAVEMENT
 NOT TO SCALE



CONCRETE SIDEWALK
 NOT TO SCALE

PROPOSED LOT 1 SITE AREAS:

TOTAL LAND AREA = 11,239 S.F.
 EXISTING BUILDING FOOTPRINT = 2,956 S.F.
 EXISTING PAVEMENT = 6,601 S.F.
 EXISTING IMPERVIOUS AREA = 9,557 S.F.

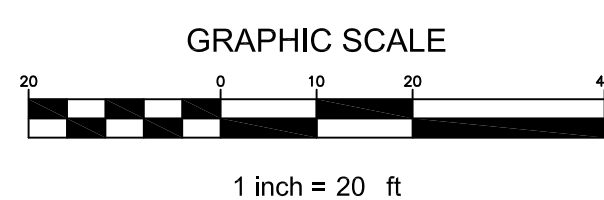
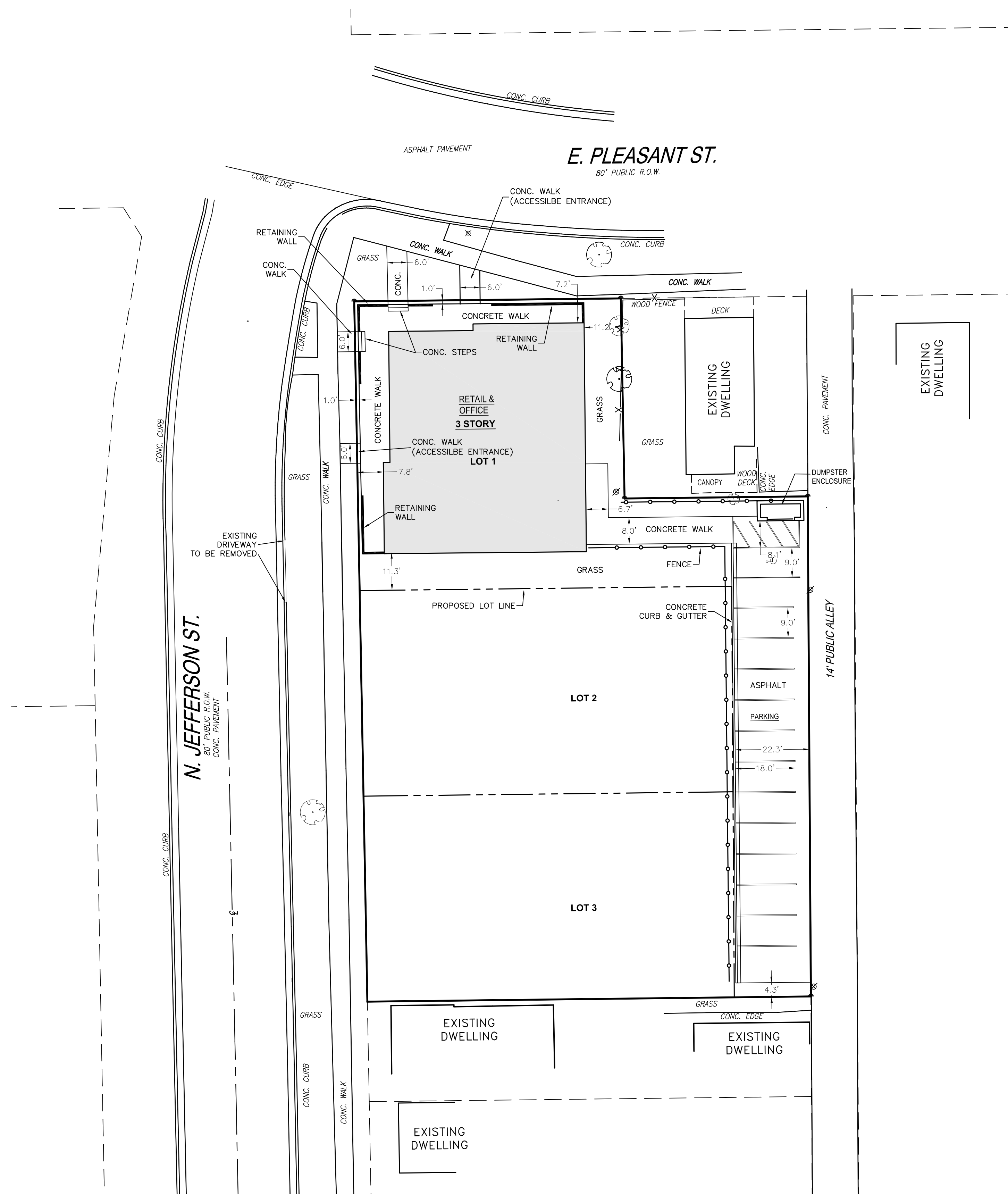
PROPOSED BUILDING FOOTPRINT = 4,032 S.F.
 PROPOSED PAVEMENT = 4,732 S.F.
 PROPOSED IMPERVIOUS AREA = 8,784 S.F.

NOTES:

- ALL WORK IN THE RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF MILWAUKEE DPW REQUIREMENTS AND SPECIFICATIONS.
- CONTRACTOR TO APPLY FOR ANY AND ALL PERMITS FOR WORK WITHIN THE RIGHT OF WAY, ROAD AND SIDEWALK CLOSURES.
- THE PROJECT WILL DISTURB ABOUT 15,000 S.F. (0.34 ACRES) AND WILL NOT INCREASE THE AMOUNT OF IMPERVIOUS SURFACE AREA.



CALL DIGGERS HOTLINE
 811 or 1-800-242-8511 / MILW. AREA
 259-1181
 MS STATUTE 182.075(1974) REQUIRES MIN.
 3 WORK DAYS NOTICE BEFORE YOU
 EXCAVATE



APACHII CAPITAL
 1540 N. JEFFERSON STREET MILWAUKEE, WI

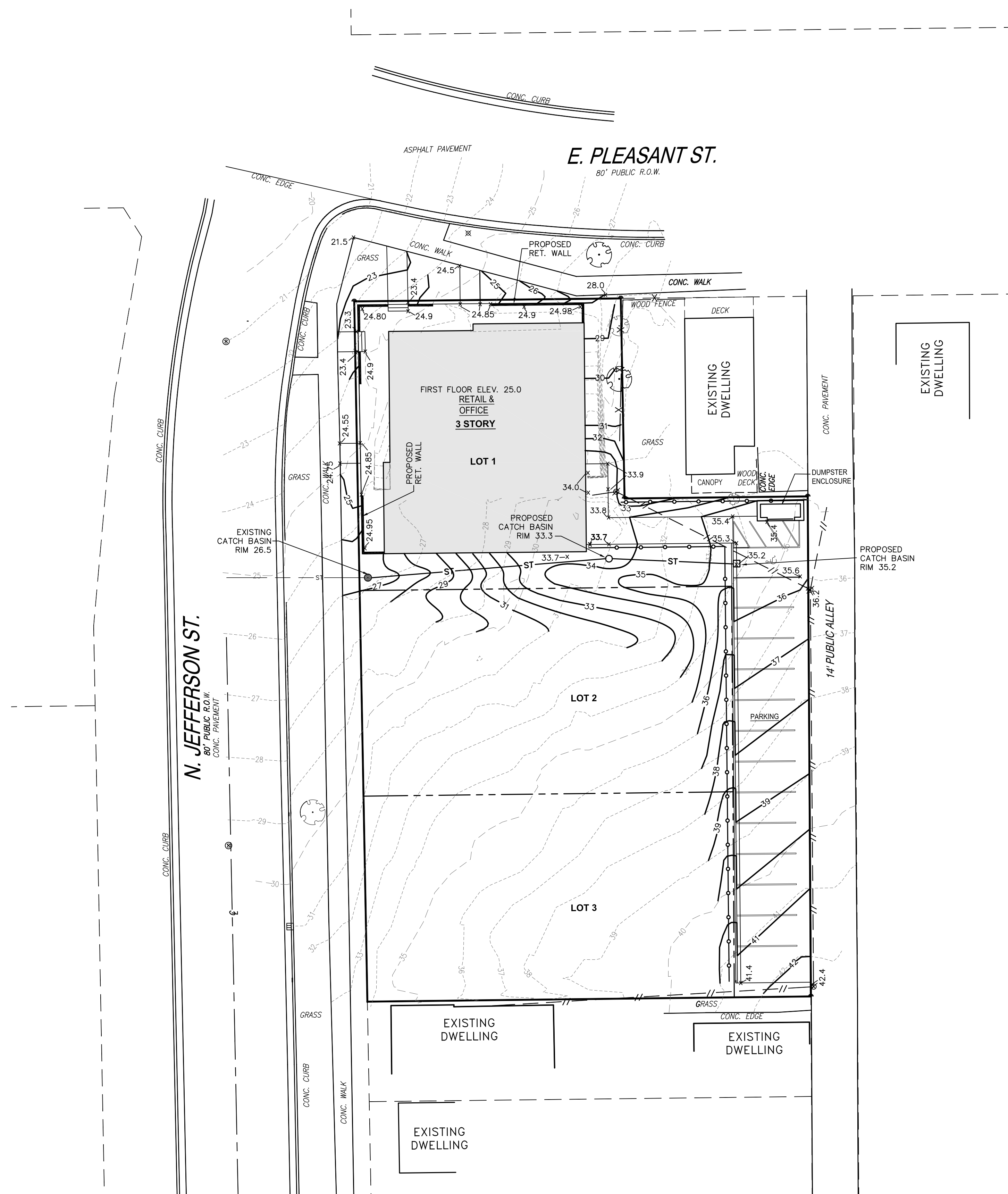
CJE NO.: 2116R2-PI
 APRIL 21, 2021



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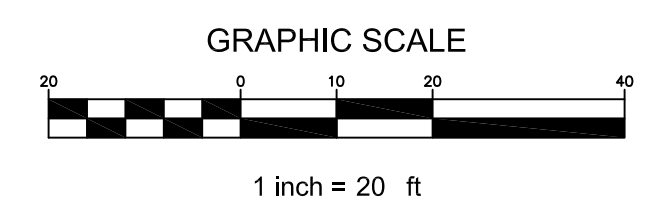
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SITE GRADING PLAN C2.0



LEGEND	
--- 12 ---	EXISTING CONTOUR
— 12 —	PROPOSED CONTOUR
x 11.5	PROPOSED ELEVATION
--- ST ---	EXISTING STORM SEWER
--- ST ---	PROPOSED STORM SEWER
--- SAN ---	EXISTING SANITARY SEWER
--- SAN ---	PROPOSED SANITARY SEWER
--- COMB ---	EXISTING COMBINED SEWER
--- COMB ---	PROPOSED COMBINED SEWER
--- W ---	EXISTING WATER MAIN
--- W ---	PROPOSED WATER MAIN
--- G ---	UNDERGROUND GAS MAIN
--- TEL ---	UNDERGROUND TELEPHONE
--- E ---	UNDERGROUND ELECTRIC

DIGGERS HOTLINE
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N. JEFFERSON ST.
 80' PUBLIC R.O.W.
 CONC. PAVEMENT
 CONC. CURB
 CONC. WALK

E. PLEASANT ST.
 80' PUBLIC R.O.W.

FIRST FLOOR ELEV. 25.0
 RETAIL &
 OFFICE
3 STORY
LOT 1

LOT 2

LOT 3

EXISTING DWELLING

EXISTING DWELLING

EXISTING DWELLING

EXISTING DWELLING

EXISTING CATCH BASIN
 RIM 26.5

PROPOSED CATCH BASIN
 RIM 33.3

PROPOSED CATCH BASIN
 RIM 35.2

14' PUBLIC ALLEY

PARKING

EXISTING DWELLING

CANOPY

WOOD DECK

WOOD FENCE

DECK

GRASS

WOOD FENCE

WOOD DECK

DECK

GRASS

WOOD FENCE

WOOD DECK

DECK

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DECK



IMAGINE
DESIGN + BUILD

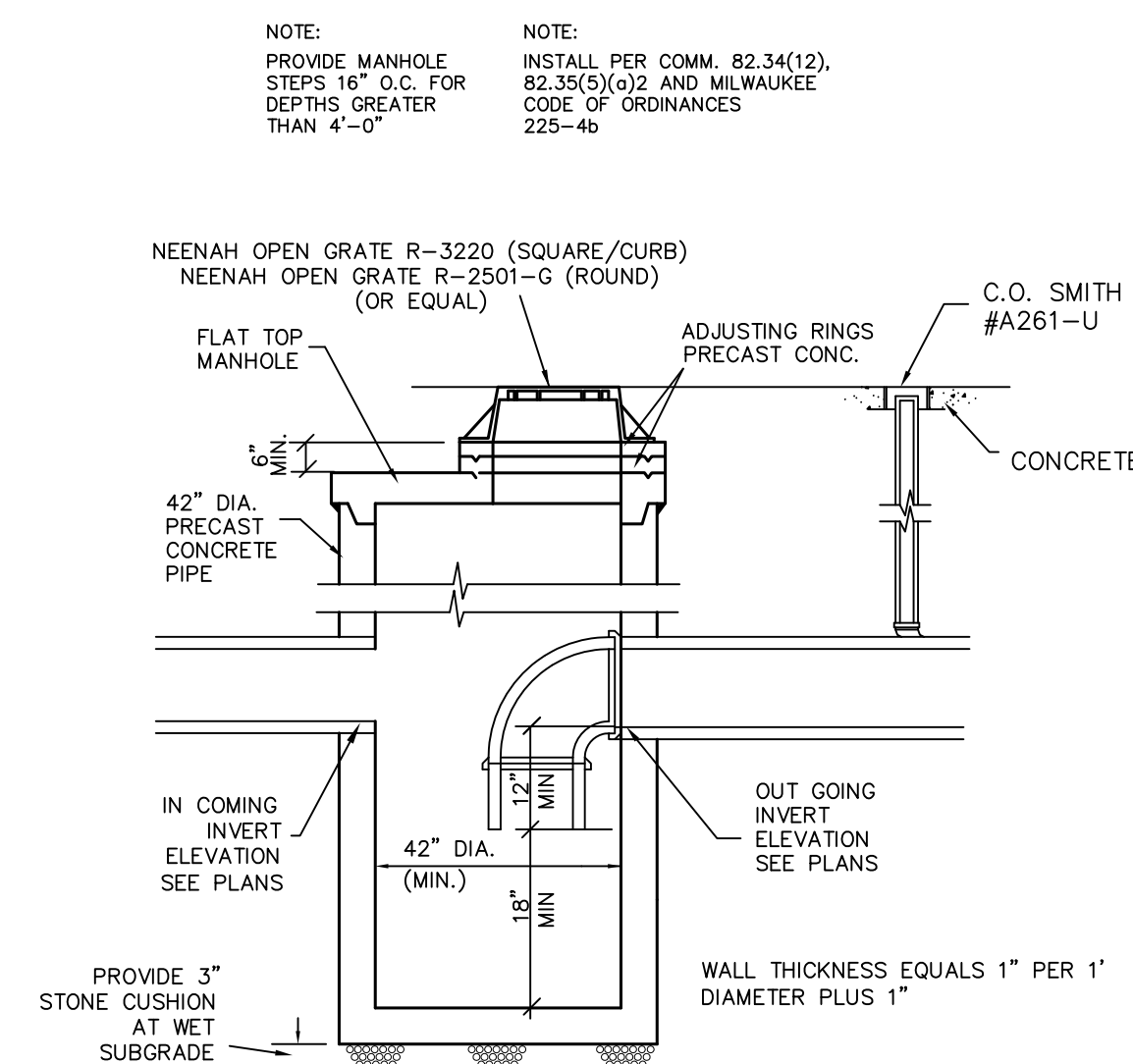
1540 N. JEFFERSON ST. - MILWAUKEE, WI

imagine

L109
RENDER

05/17/2021

#	DATE	DESCRIPTION



COMBINED CATCH BASIN
 NOT TO SCALE
 FOR 10" OR SMALLER PIPING

NOTES:

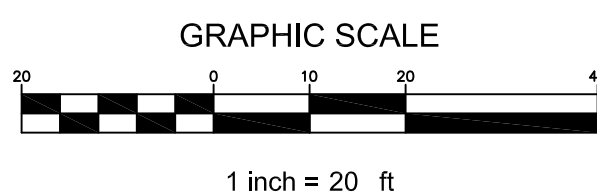
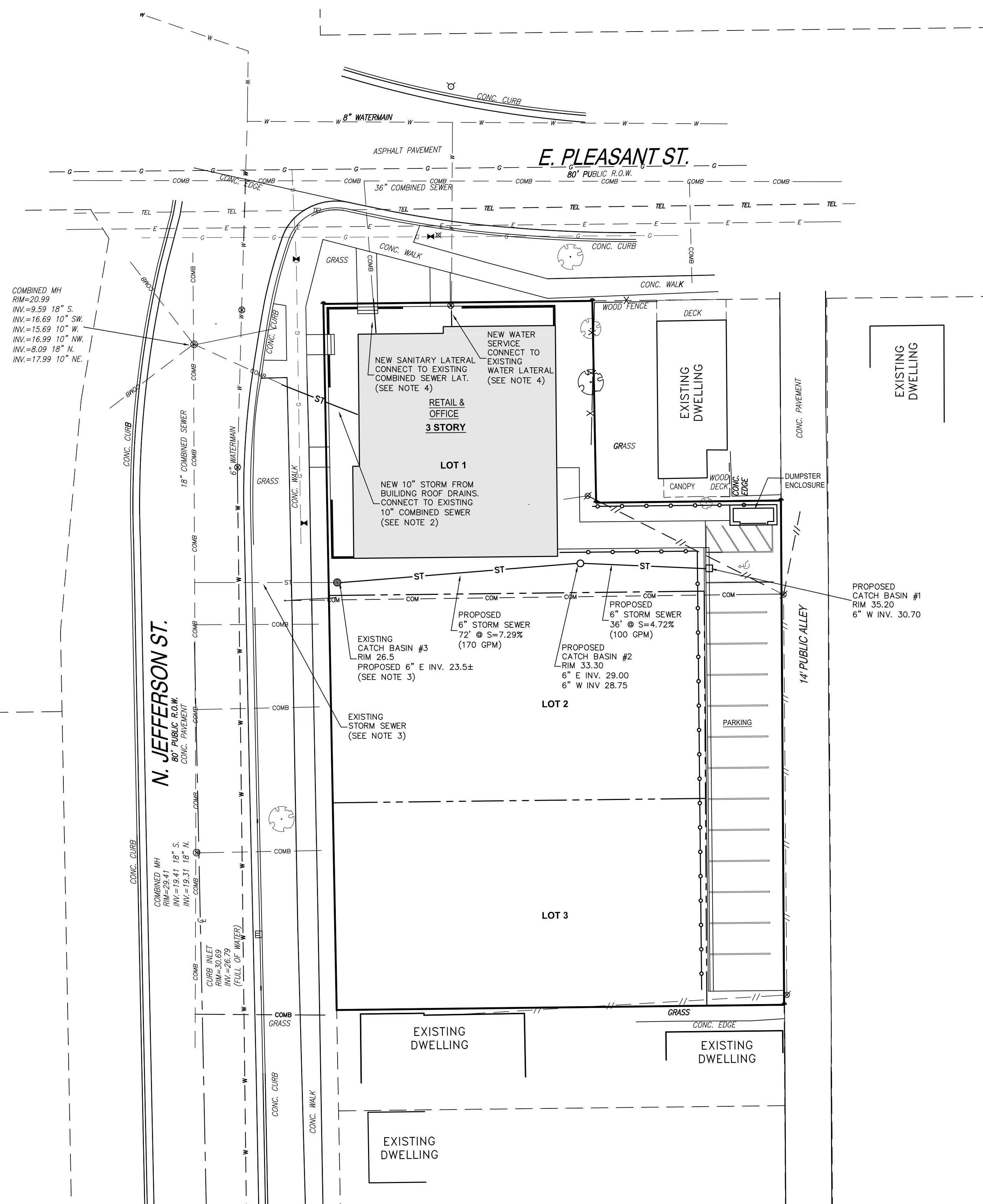
1. ALL STORM SEWER, MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (STANDARD SPECIFICATIONS), WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE CITY OF MILWAUKEE REQUIREMENTS.
2. ROOF DRAINS FROM THE NEW BUILDING TO BE CONNECTED TO THE EXISTING COMBINED SEWER LATERAL TO THE EAST PER CITY REQUIREMENTS AS SHOWN. CONTRACTOR TO VERIFY EXACT SIZE, LOCATION AND ELEVATION.
3. CONTRACTOR TO VERIFY EXISTING COMBINED SEWER ELEVATIONS AND SIZE. OUT OF THE EXISTING CATCH BASIN PRIOR TO MAKING THE NEW 6" STORM SEWER CONNECTION. INSTALL NEW SEWER ABOVE THE WATER LEVEL AND OUT GOING INVERT ELEVATION. CONTACT CJ ENGINEERING WITH ANY CONFLICTS.
4. SANITARY AND WATER SERVICES TO BE PROVIDED BY REUSING THE EXISTING BUILDING SERVICES ON THE NORTH SIDE OF THE BUILDING. CONTRACTOR TO VERIFY EXISTING SIZE, LOCATION, ELEVATION AND CONDITION OF LATERALS. IF THE SIZE AND/OR CONDITION OF THE LATERAL ARE NOT ADEQUATE FOR THE NEW BUILDING THEN MAKE A NEW CONNECTION TO THE MAINS ON EITHER JEFFERSON ST OR ON PLEASANT STREET.
5. CONTRACTOR TO APPLY FOR ANY AND ALL PERMITS FOR WORK WITHIN THE RIGHT OF WAY, ROAD AND SIDEWALK CLOSURES.
6. THE PROJECT WILL DISTURB ABOUT 15,000 S.F. (0.34 ACRES) AND WILL NOT INCREASE THE AMOUNT OF IMPERVIOUS SURFACE AREA.

LEGEND

- 12 --- EXISTING CONTOUR
- 12 — PROPOSED CONTOUR
- x 11.5 PROPOSED ELEVATION
- ST — EXISTING STORM SEWER
- ST — PROPOSED STORM SEWER
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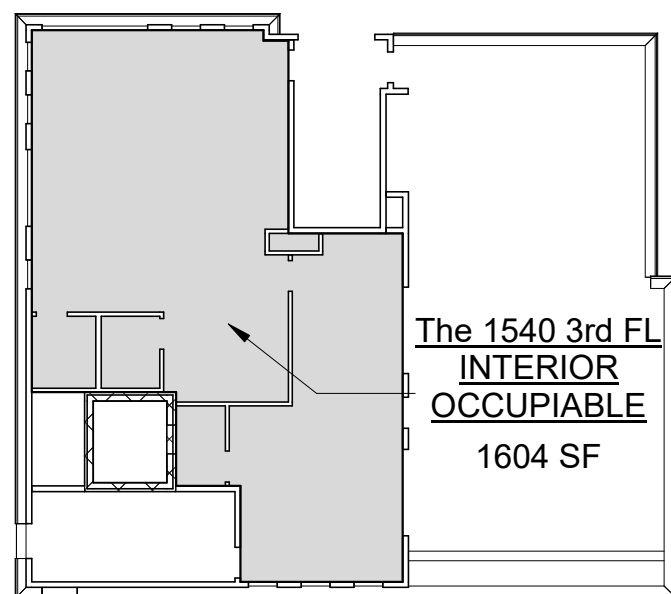


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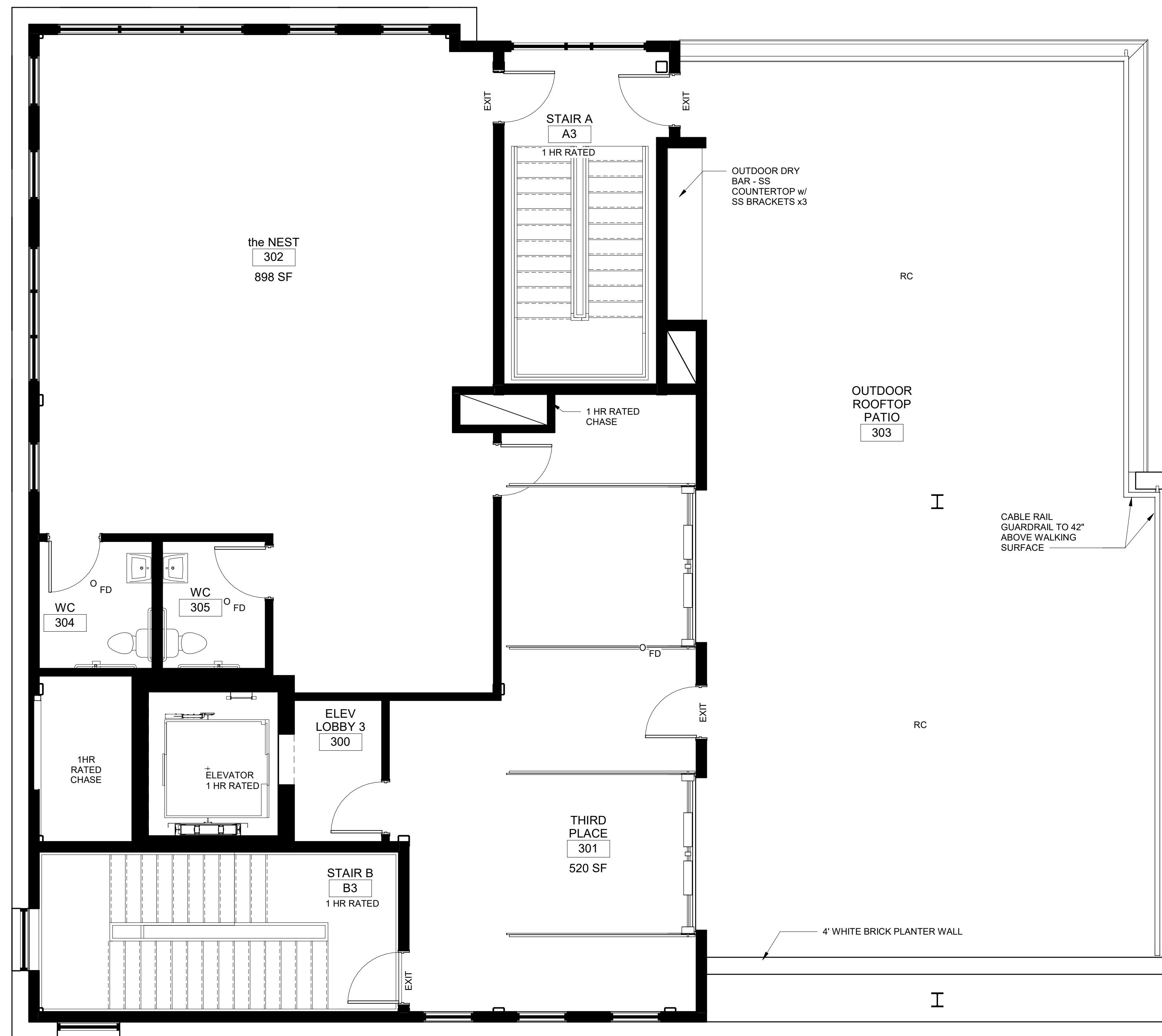


APACHII CAPITAL
 1540 N. JEFFERSON STREET MILWAUKEE, WI

CJE NO.: 2116R2-PI
 APRIL 21, 2021

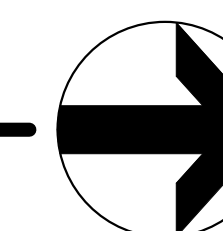


SD-3rd LEVEL KEY PLAN



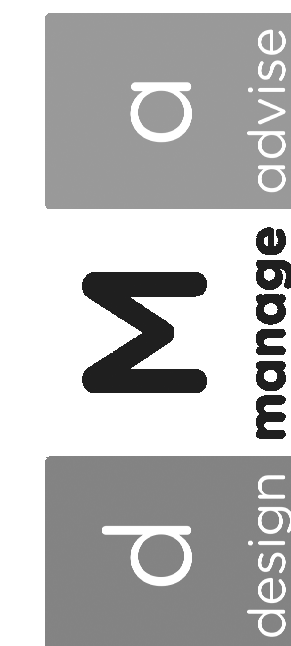
THE 1540 COMMERCIAL

THIRD LEVEL PLAN



REVISIONS

Phone: (262) 613-4015
WWW.DMA-WI.COM
INFO@DMA-WI.COM



PROPOSED BUILDING FOR:

THE 1540 COMMERCIAL

1540 N. Jefferson St. Milwaukee, WI 53202

DRAFTED BY: Author
DESIGNER: SLW
ISSUE5/4/2021 11:07:12
SUBMITTAL: 05/04/21
DESIGN NO. 0001

THIRD LEVEL PLAN

SD03

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