



Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

LIVING WITH HISTORY

Property	1534 N. Farwell	Paul Weise Building
Description of work	Metal canopy on primary façade as shown. This approval relates only to the canopy. Other approvals for this project are under separate cover. 7 oversize pages follow.	
Date issued	11/10/2022	PTS ID N/A

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

N/A

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Historic Preservation staff as follows: Phone: (414) 286-5712 E-mail: hpc@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.milwaukee.gov/lms, or call (414) 286-8210.

City of Milwaukee Historic Preservation

SCALE	VARIES
PROJECT NUMBER	2112-001
SET TYPE	PERMIT SET
DATE ISSUED	08/22/22
SHEET NUMBER	A200

GENERAL FLOOR PLAN NOTES TO CONTRACTOR	
1.	THIS DRAWING IS FURTHER SUPPORTED BY INFORMATION CONTAINED IN THE SPECIFICATIONS.
2.	THE CIVIL AND STRUCTURAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE INFORMATION CONTAINED IN ALL THE DRAWINGS BEFORE THE INSTALLATION OF ALL WORK.
3.	DO NOT SCALE DRAWINGS. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO COMMENCING CONSTRUCTION.
4.	FINISH FLOOR ELEVATIONS ARE TO THE TOP OF THE FINISHED FLOOR MATERIAL UNLESS OTHERWISE NOTED.
5.	CONTRACTORS SHALL JOINTLY PROVIDE AND INSTALL ALL STEENERS, BRACING, BACKING PLATES, WALL BLOCKING AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF CASEWORK, TOILET ACCESSORIES, PARTITIONS, MILLWORK, AND ALL WORK MOUNTED OR SUSPENDED BY ALL TRACES.
6.	ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION WORK IS DESIGN-BUILD BY GENERAL CONTRACTOR. GC IS RESPONSIBLE FOR COORDINATING WORK OF ALL SUB CONTRACTORS.
7.	EXISTING WALLS TO BE VERIFIED IN FIELD. IT IS ASSUMED ALL EXISTING WALLS TO MEET 1HR FIRE RATING.

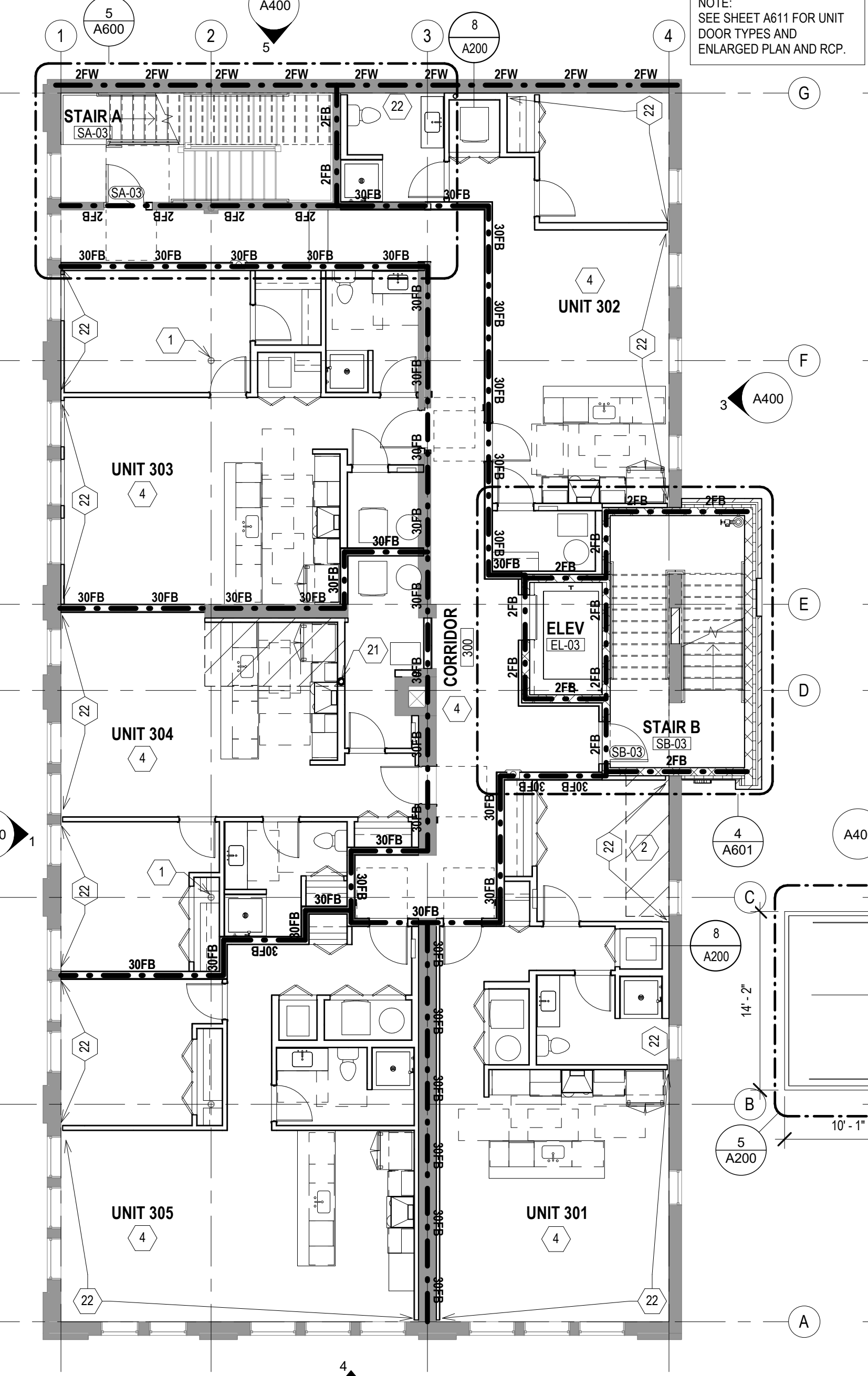
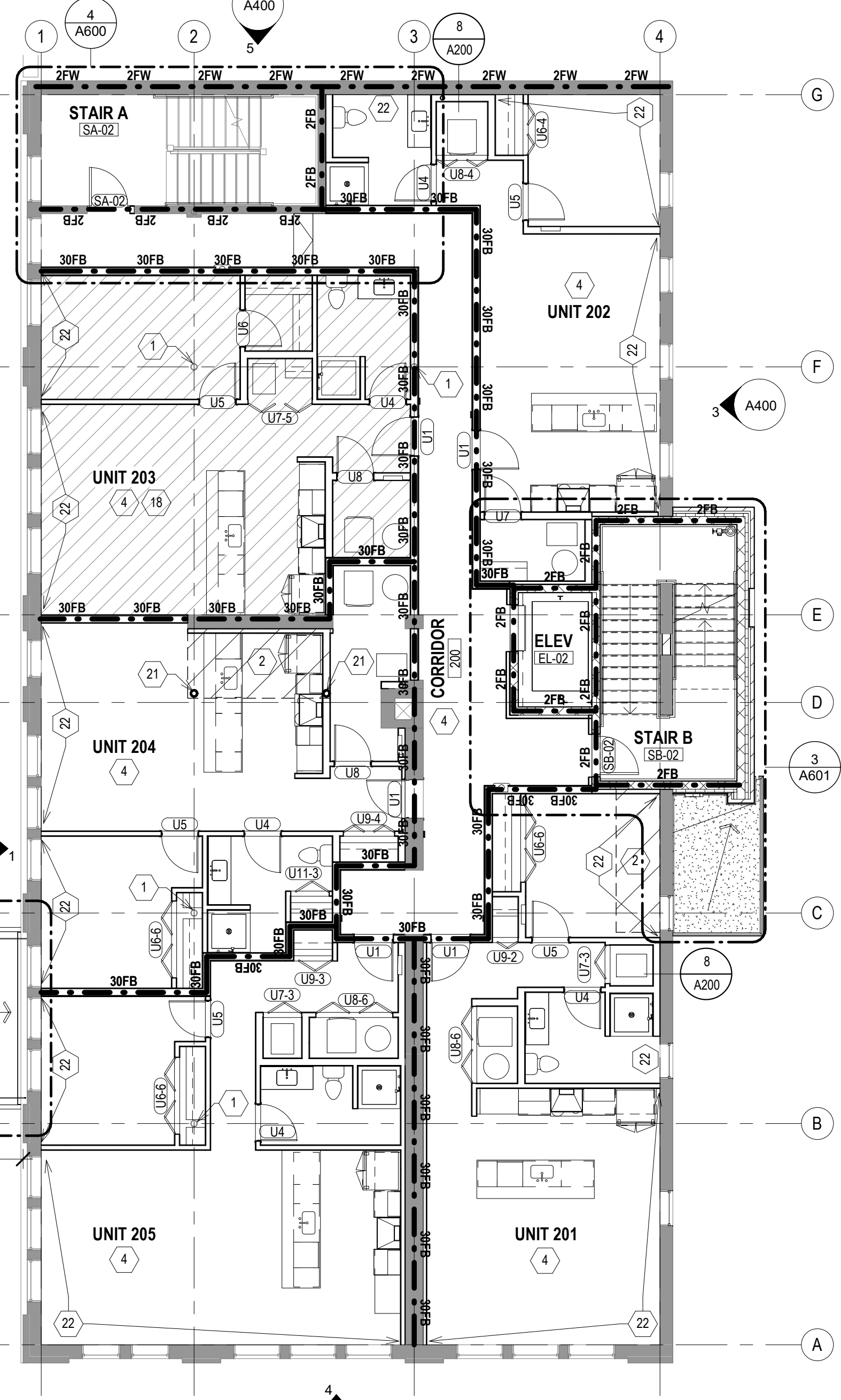
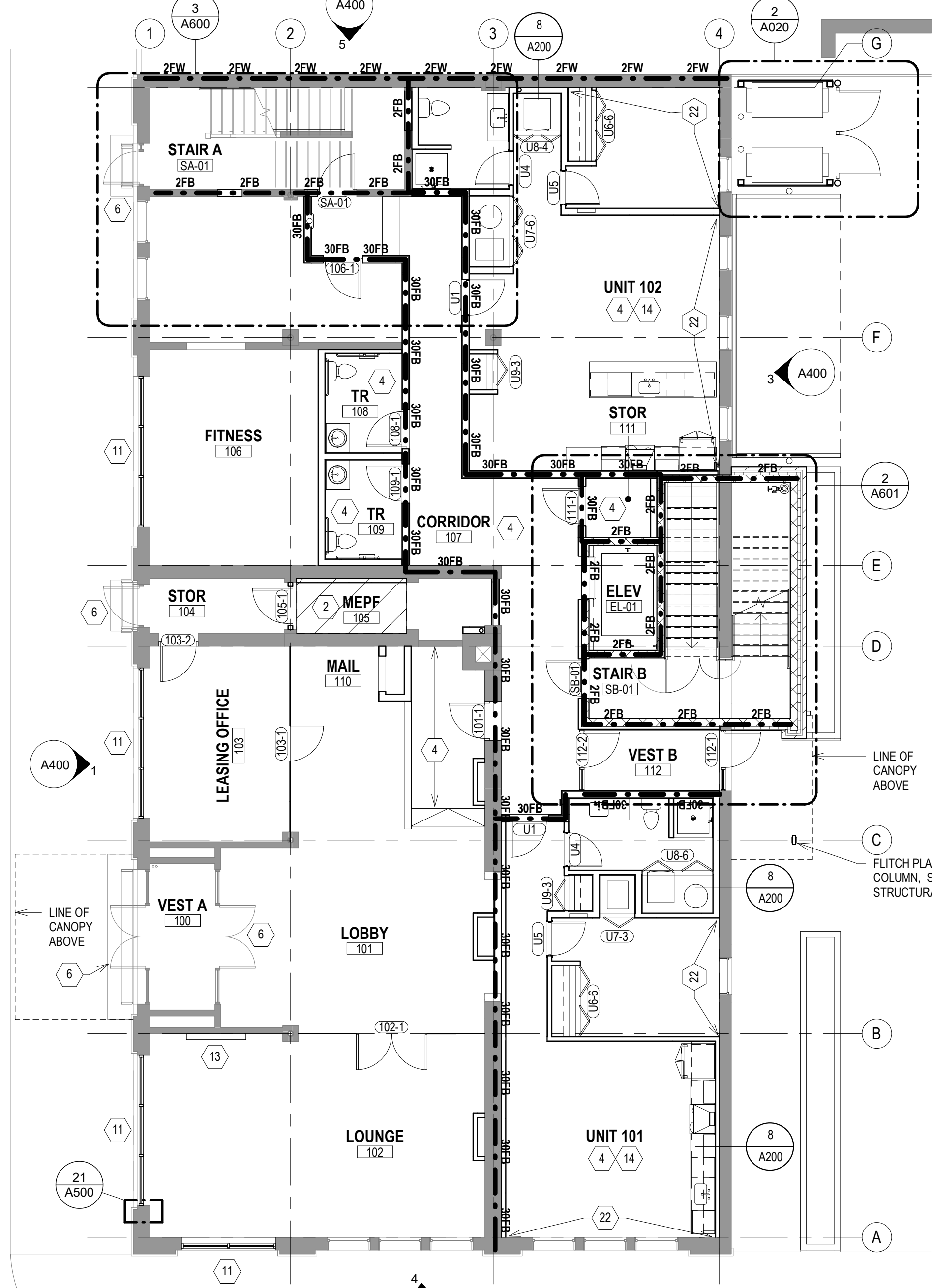
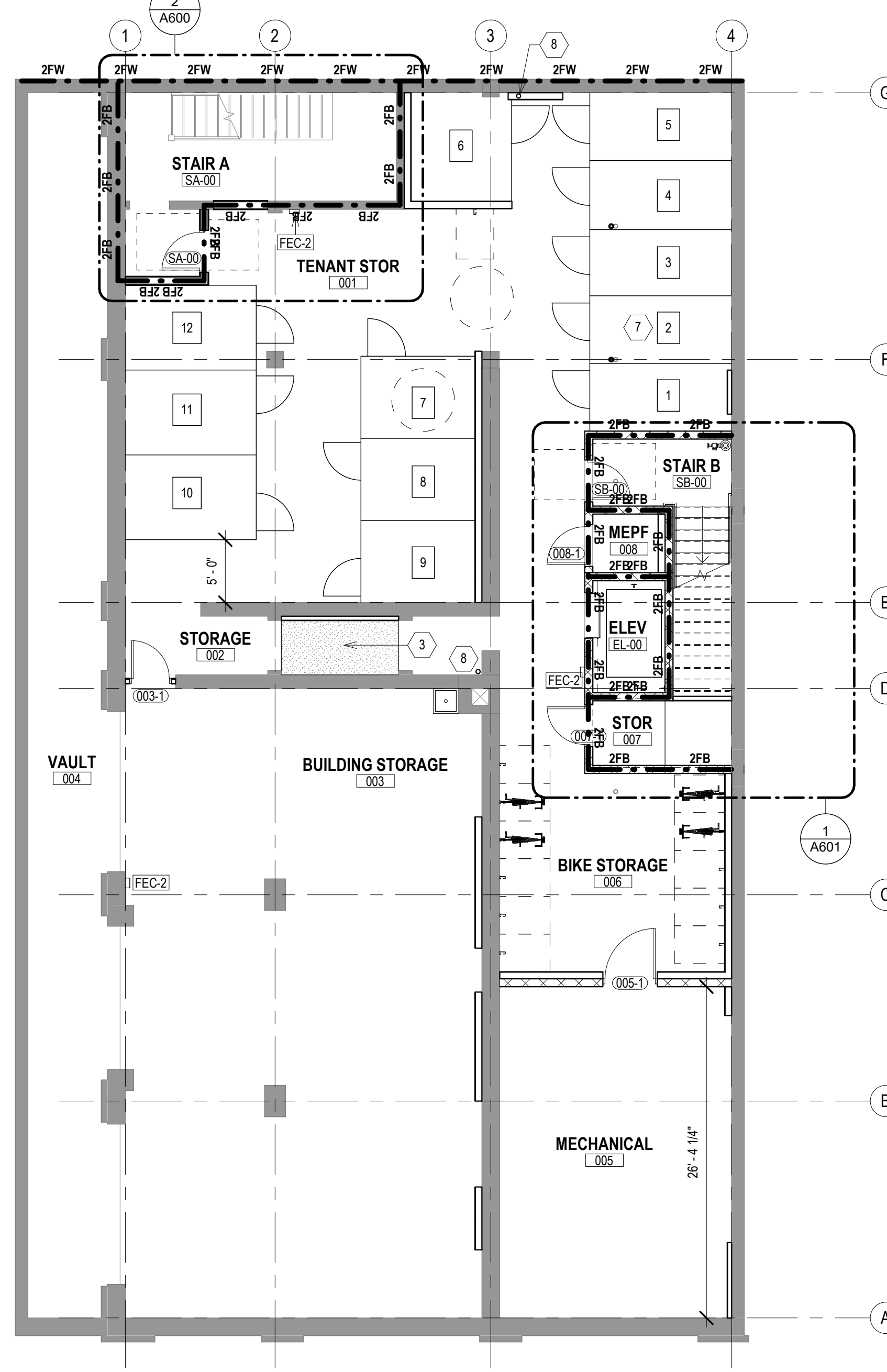
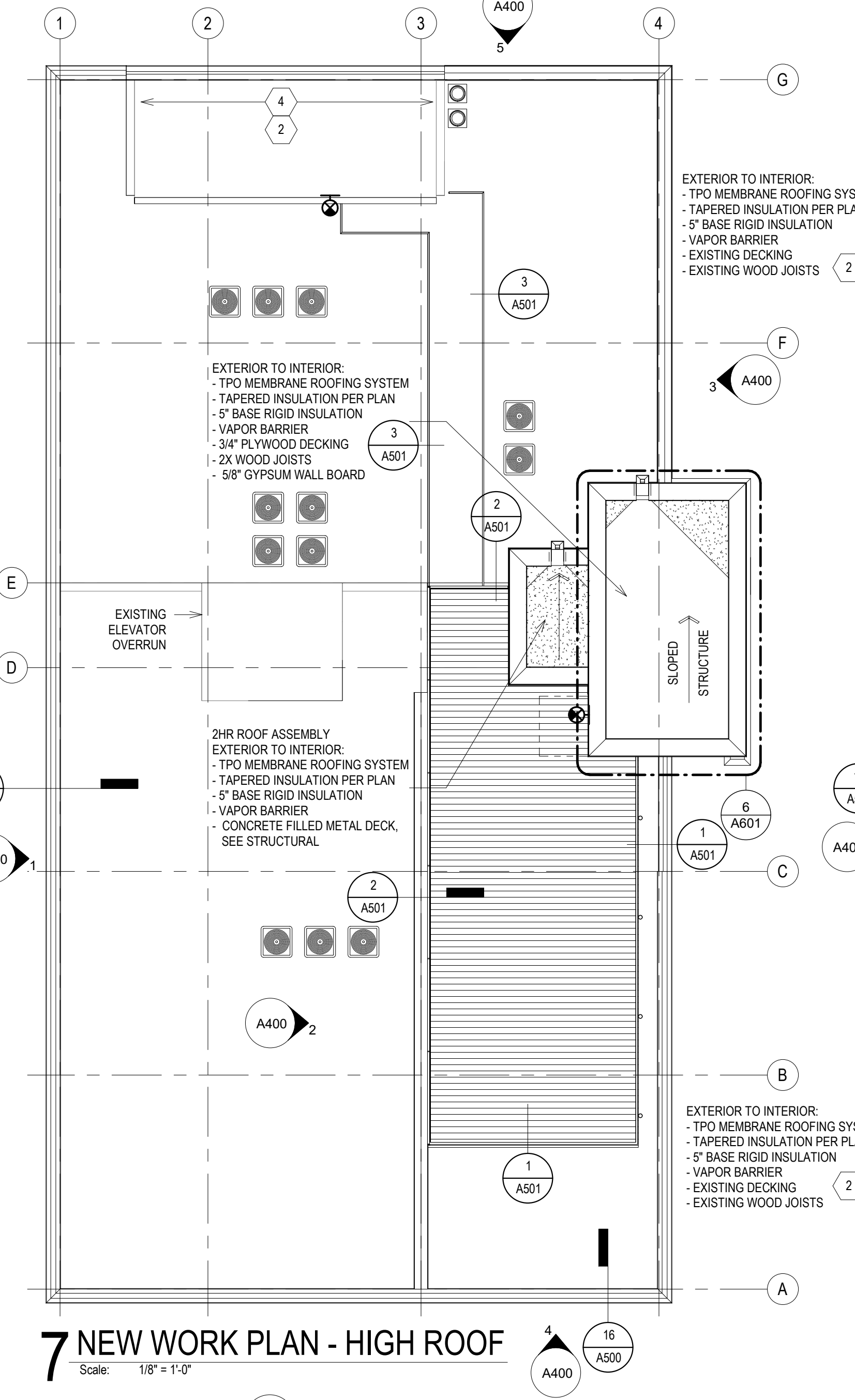
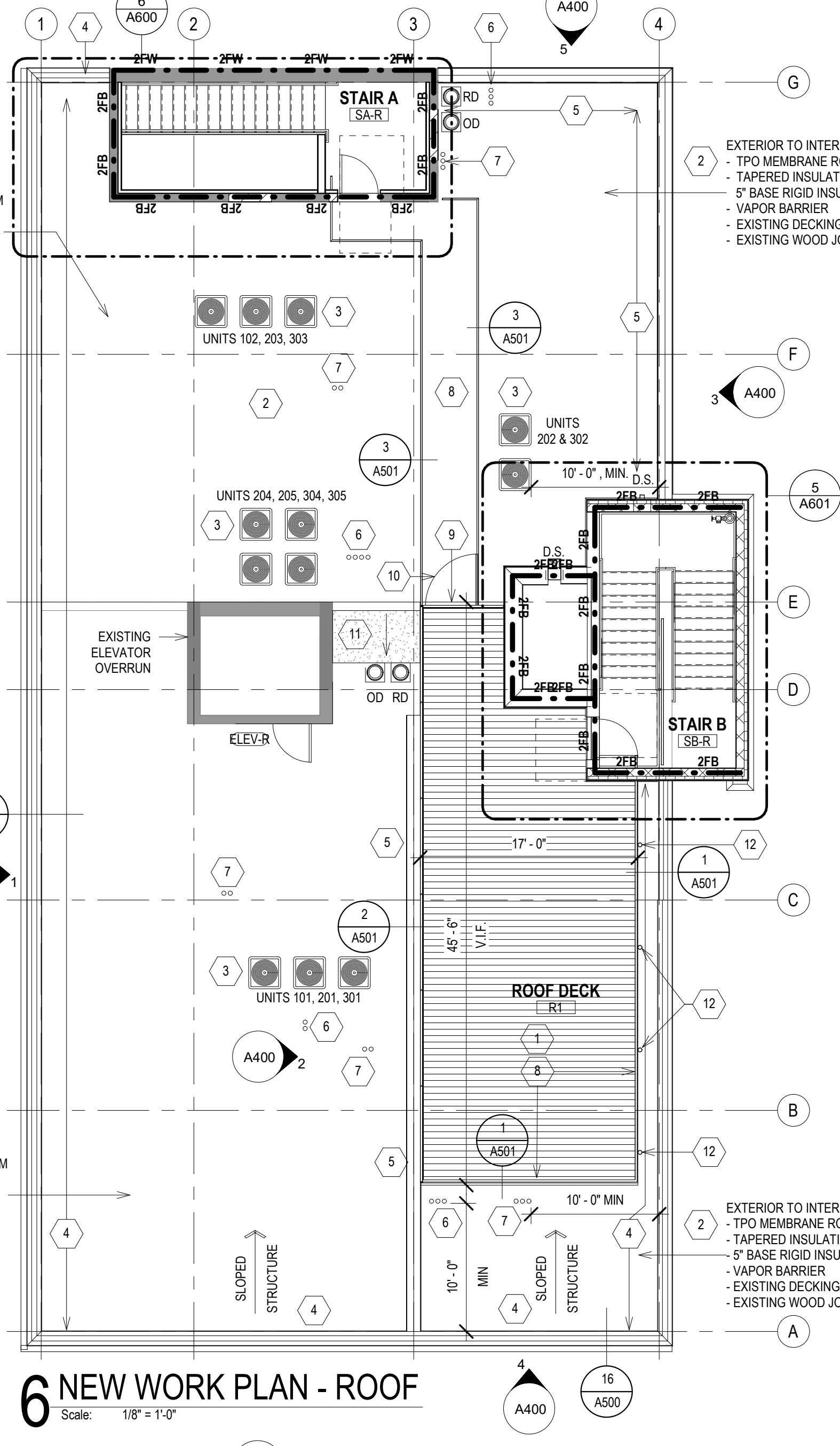
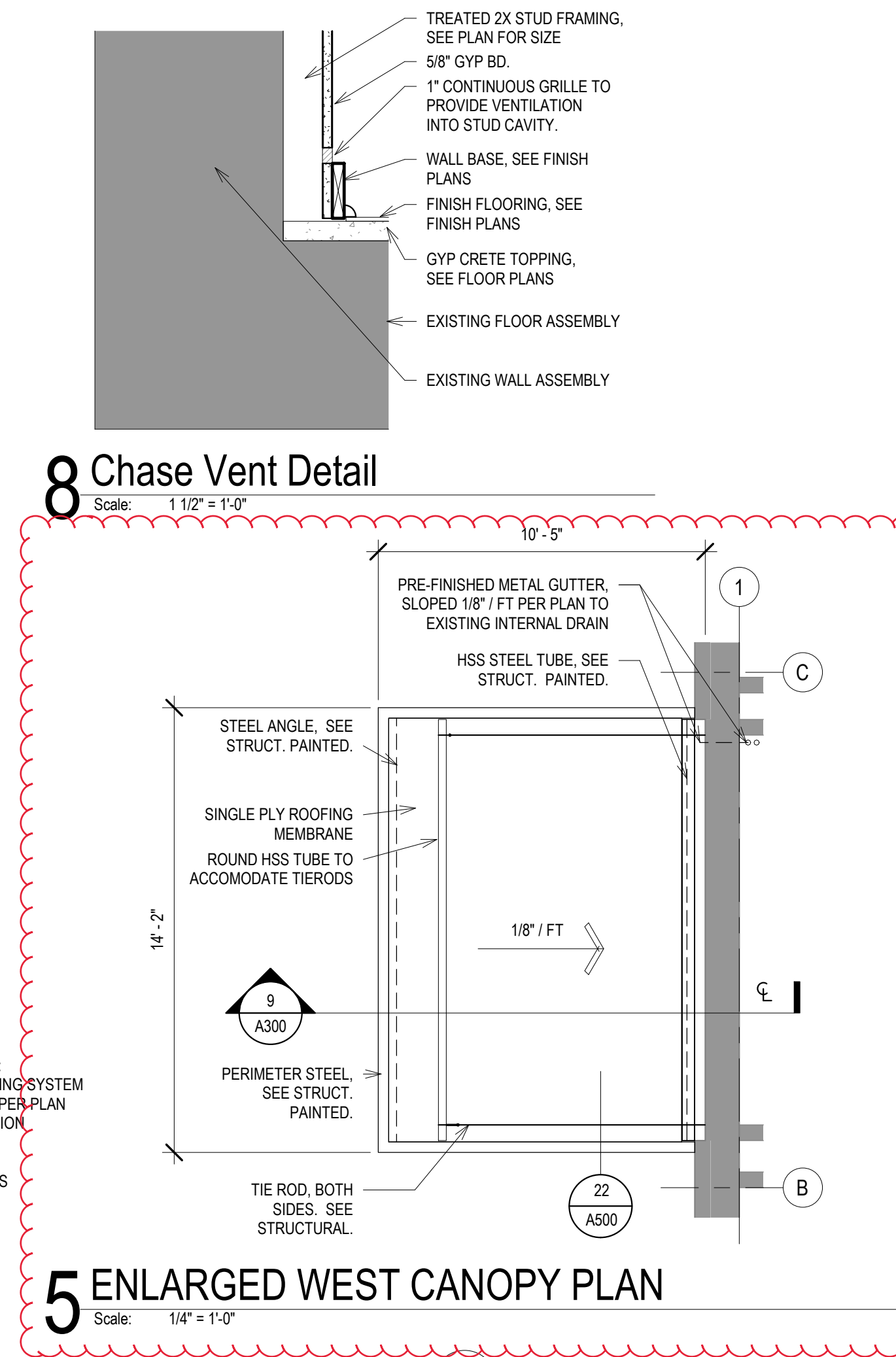
NEW WORK PLAN LEGEND	
RD	ROOF DRAIN
OD	OVERFLOW DRAIN
←	DIRECTION OF DOWNWARD DRAINAGE FLOW
+X	INDICATES INSULATION THICKNESS ABOVE ROOF DECK
▨	TAPERED INSULATION, PROVIDE 1/4" 1'-0" U.N.O.

NEW WORK PLAN KEYNOTES	
1.	WOOD ROOF DECK. SEE SPECIFICATIONS.
2.	NEW TPO ROOF AND INSULATION, MIN R-30. EXISTING TAPERED INSULATION TO BE VERIFIED FOR POSITIVE DRAINAGE TO ROOF DRAINS.
3.	CONDENSERS TO BE LOCATED 10'-0" MINIMUM AWAY FROM EXTERIOR PARAPET WALLS. CONDENSER UNITS MOUNTED MINIMUM 10' ABOVE ROOF. SOUTHEAST CORNER OF ROOF, AT ROOF DECK, SHALL BE FREE OF CONDENSER UNITS. CONFIRM LOCATION WITH ARCHITECT AND ADJUST LOCATION ACCORDINGLY.
4.	PARAPET WALL WILL BE REVIEWED BY ARCHITECT, GENERAL CONTRACTOR AND MASONRY SUB-CONTRACTOR. TUCKPOINTING AS REQUIRED. RE-INSTALL SALVAGED LIMESTONE COPING.
5.	PARAPET WALL WILL BE REVIEWED BY ARCHITECT, GENERAL CONTRACTOR AND MASONRY SUB-CONTRACTOR. TUCKPOINTING AS REQUIRED. EXISTING TERRA COTTA CLAY COPING TO BE REPLACED WITH PREFINISHED METAL COPING AT PARAPET DIVIDING WALLS. COLOR TO MATCH NEW TERRA COTTA COPING.
6.	DRYER VENTS LOCATED 10'-0" MINIMUM AWAY FROM EXTERIOR PARAPET WALLS. CONFIRM LOCATION WITH ARCHITECT.
7.	APPROXIMATE LOCATION OF BATHROOM EXHAUST. CONFIRM LOCATION WITH ARCHITECT.
8.	42" HIGH GUARD RAILING SYSTEM WITH RECTANGULAR WOOD TOP RAIL.
9.	FIELD VERIFY HEIGHT OF EXISTING ROOF AND NOTIFY ARCHITECT IF STEP IS REQUIRED.
10.	PROVIDE WOOD SLAT GATE WITH STEEL POSTS TO MATCH ADJACENT GUARDRAIL. SEE SHEET A501.
11.	PROVIDE TAPERED INSULATION TO DIRECT WATER TO ROOF DRAIN
12.	ROOF DECK HOLD DOWN. SEE DETAIL 1/A501

GENERAL ROOF PLAN NOTES TO CONTRACTOR	
1.	ROOFING CONTRACTOR TO PROVIDE FLASHINGS AND CRICKETS AT ALL EXTERIOR EQUIPMENT PENETRATIONS AND SUPPORT POSTS, ETC. REFER TO MECHANICAL DRAWINGS FOR DETAILS AND EXTENTS.
2.	ROOFING CONTRACTOR TO PROVIDE MAINTENANCE WALK-OFF PADS AT ALL EXTERIOR EQUIPMENT LOCATIONS. REFER TO MECHANICAL DRAWINGS FOR EXTENTS.

NEW WORK ROOF PLAN LEGEND	
RD	ROOF DRAIN
OD	OVERFLOW DRAIN
←	DIRECTION OF DOWNWARD DRAINAGE FLOW
+X	INDICATES INSULATION THICKNESS ABOVE ROOF DECK
▨	TAPERED INSULATION, PROVIDE 1/4" 1'-0" U.N.O.

NEW WORK ROOF KEYNOTES	
1.	WOOD ROOF DECK. SEE SPECIFICATIONS.
2.	NEW TPO ROOF AND INSULATION, MIN R-30. EXISTING TAPERED INSULATION TO BE VERIFIED FOR POSITIVE DRAINAGE TO ROOF DRAINS.
3.	CONDENSERS TO BE LOCATED 10'-0" MINIMUM AWAY FROM EXTERIOR PARAPET WALLS. CONDENSER UNITS MOUNTED MINIMUM 10' ABOVE ROOF. SOUTHEAST CORNER OF ROOF, AT ROOF DECK, SHALL BE FREE OF CONDENSER UNITS. CONFIRM LOCATION WITH ARCHITECT AND ADJUST LOCATION ACCORDINGLY.
4.	PARAPET WALL WILL BE REVIEWED BY ARCHITECT, GENERAL CONTRACTOR AND MASONRY SUB-CONTRACTOR. TUCKPOINTING AS REQUIRED. RE-INSTALL SALVAGED LIMESTONE COPING.
5.	PARAPET WALL WILL BE REVIEWED BY ARCHITECT, GENERAL CONTRACTOR AND MASONRY SUB-CONTRACTOR. TUCKPOINTING AS REQUIRED. EXISTING TERRA COTTA CLAY COPING TO BE REPLACED WITH PREFINISHED METAL COPING AT PARAPET DIVIDING WALLS. COLOR TO MATCH NEW TERRA COTTA COPING.
6.	DRYER VENTS LOCATED 10'-0" MINIMUM AWAY FROM EXTERIOR PARAPET WALLS. CONFIRM LOCATION WITH ARCHITECT.
7.	APPROXIMATE LOCATION OF BATHROOM EXHAUST. CONFIRM LOCATION WITH ARCHITECT.
8.	42" HIGH GUARD RAILING SYSTEM WITH RECTANGULAR WOOD TOP RAIL.
9.	FIELD VERIFY HEIGHT OF EXISTING ROOF AND NOTIFY ARCHITECT IF STEP IS REQUIRED.
10.	PROVIDE WOOD SLAT GATE WITH STEEL POSTS TO MATCH ADJACENT GUARDRAIL. SEE SHEET A501.
11.	PROVIDE TAPERED INSULATION TO DIRECT WATER TO ROOF DRAIN
12.	ROOF DECK HOLD DOWN. SEE DETAIL 1/A501



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SCALE	VARIABLES
PROJECT NUMBER	2112-001
SET TYPE	PERMIT SET
DATE ISSUED	08/22/22
SHEET NUMBER	A300

GENERAL REFLECTED CEILING PLAN NOTES TO CONTRACTOR

- THIS PLAN SHALL BE USED TO ESTABLISH THE LOCATIONS OF THE MAJOR CEILING PENETRATIONS INCLUDING: LIGHTING, HVAC, ACCESS PANEL, SPRINKLERS, SPEAKERS, ETC. SEE M.E.P. DRAWINGS FOR MORE SPECIFIC INFORMATION REGARDING EACH DISCIPLINE. IF CONFLICTS ARE DISCOVERED REGARDING LOCATION OF CEILING PENETRATIONS, CONTACT ARCHITECT FOR FURTHER INFORMATION.
- ALL DEVICES SHOWN IN CEILING TILE SHALL BE LOCATED IN THE CENTER OF THAT TILE UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS TO CEILING FIXTURES ARE TO CENTER OF FIXTURE.
- LIGHTING IS THE RESPONSIBILITY OF ELECTRICAL DESIGN BUILD CONTRACTOR. PROVIDE AVERAGE OF 30 FOOT CANDLES AT COMMON SPACES. PROVIDE PHOTOMETRIC INFORMATION OF ALL COMMONS SPACES FOR ARCHITECT REVIEW.

REFLECTED CEILING PLAN KEY

	GYPSUM WALL BOARD CEILING SEE ROOM FINISH SCHEDULE AND SPECIFICATIONS FOR MORE INFORMATION
	2X2 ACOUSTICAL CEILING TILE SEE ROOM FINISH SCHEDULE AND SPECIFICATIONS FOR MORE INFORMATION
	EXPOSED CEILING SEE ROOM FINISH SCHEDULE
	EXIT SIGN

REFLECTED CEILING PLAN KEYNOTES

SEE PROJECT GENERAL CONDITIONS AND SPECIFICATIONS USED IN ASSOCIATION WITH THESE NOTES.

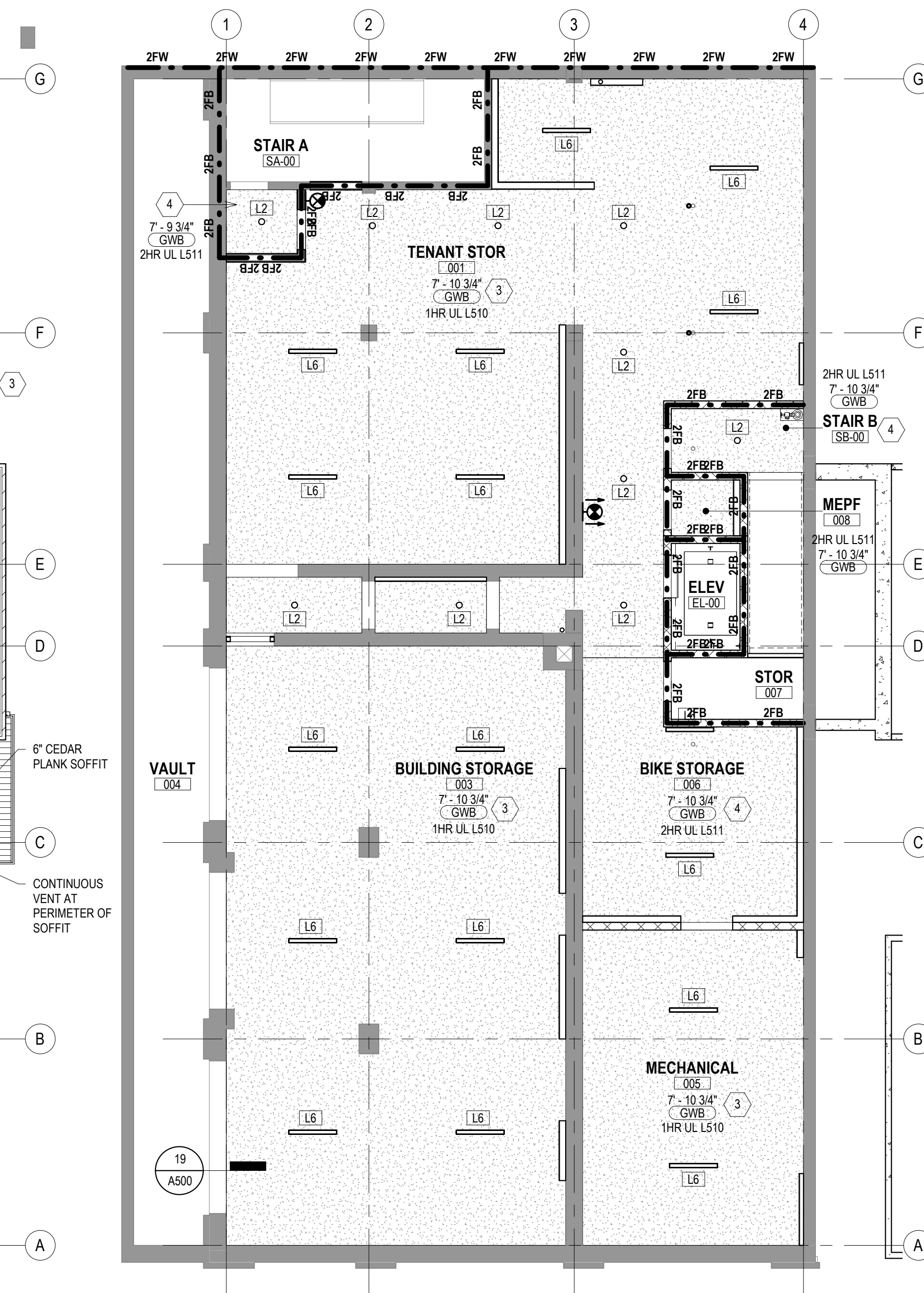
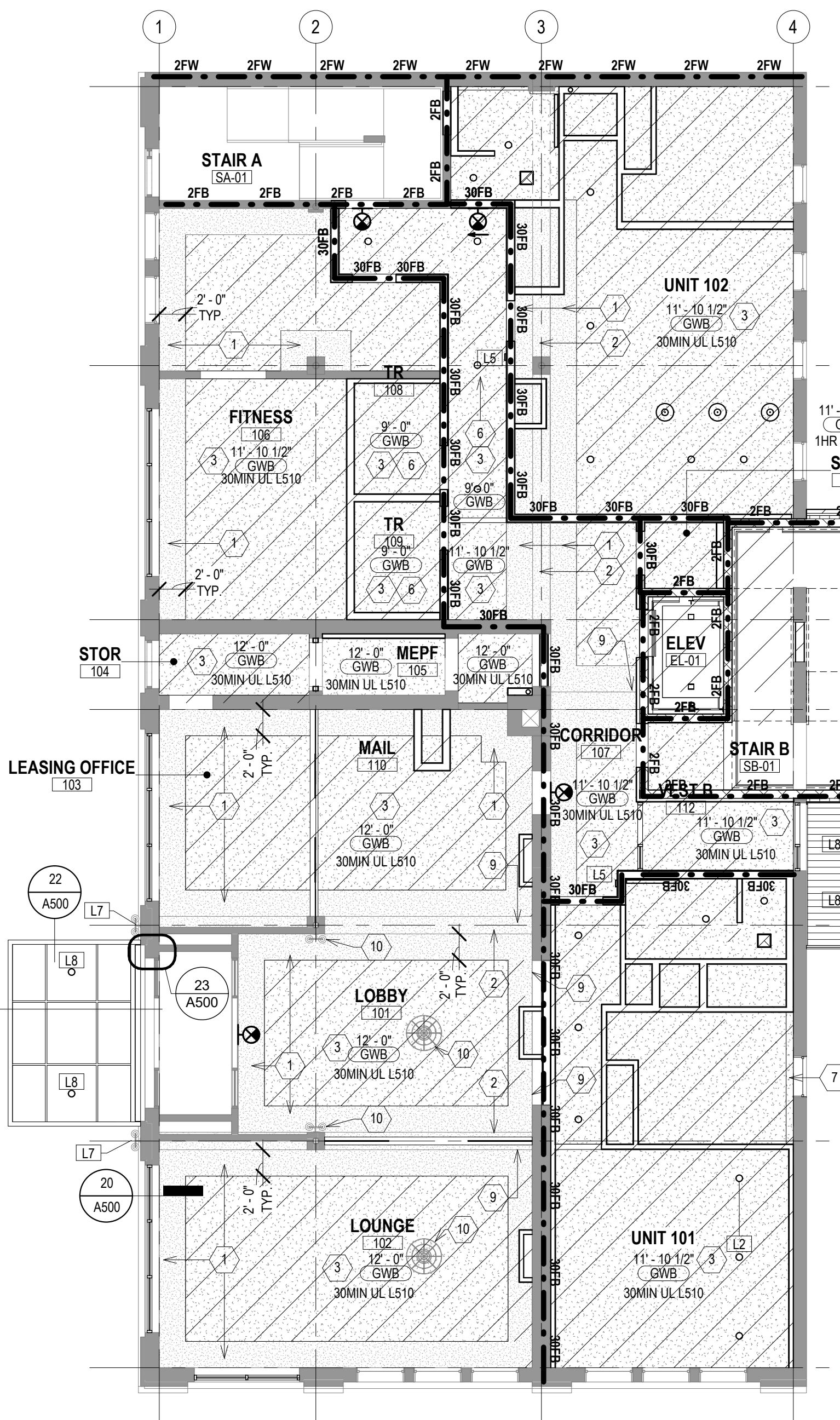
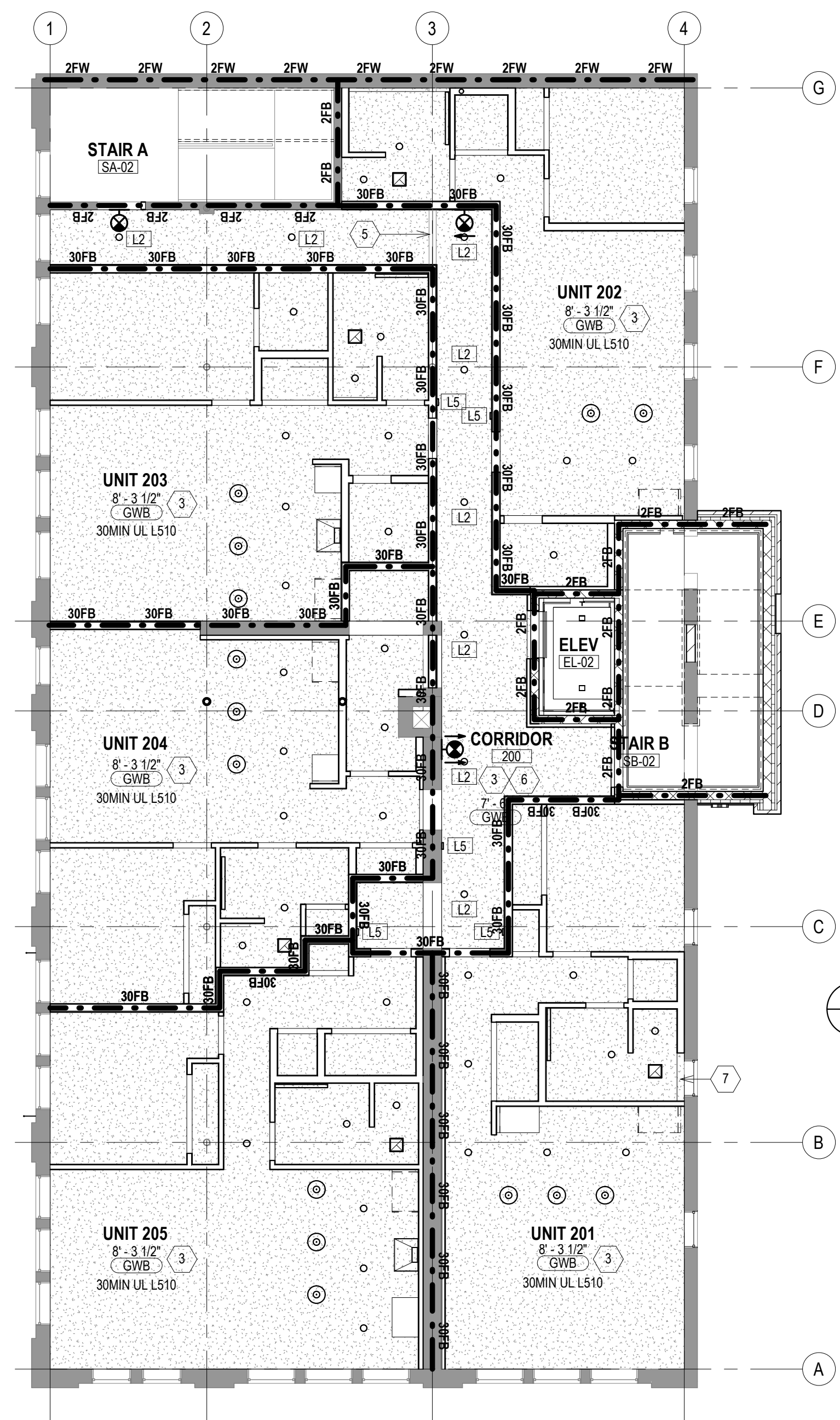
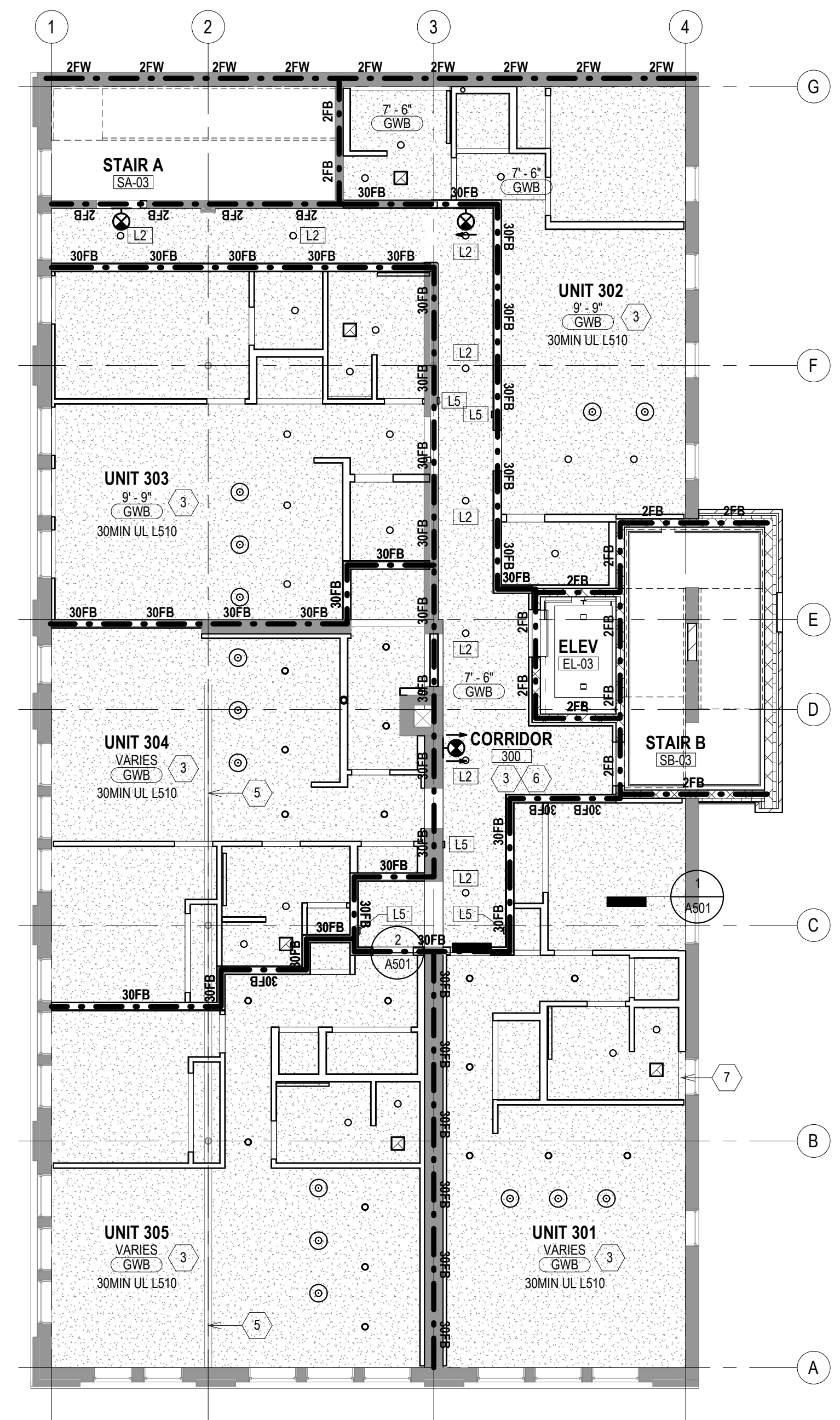
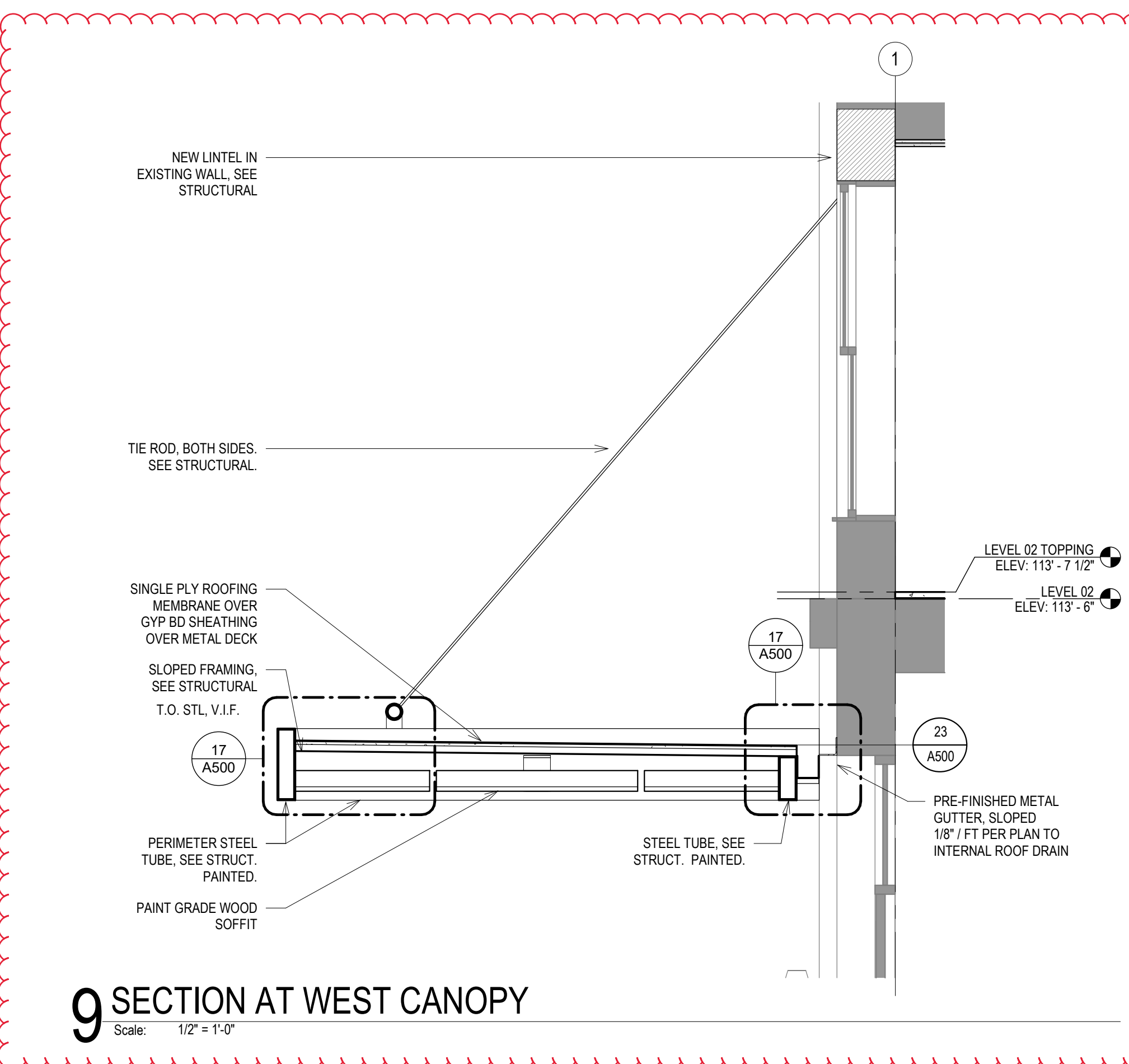
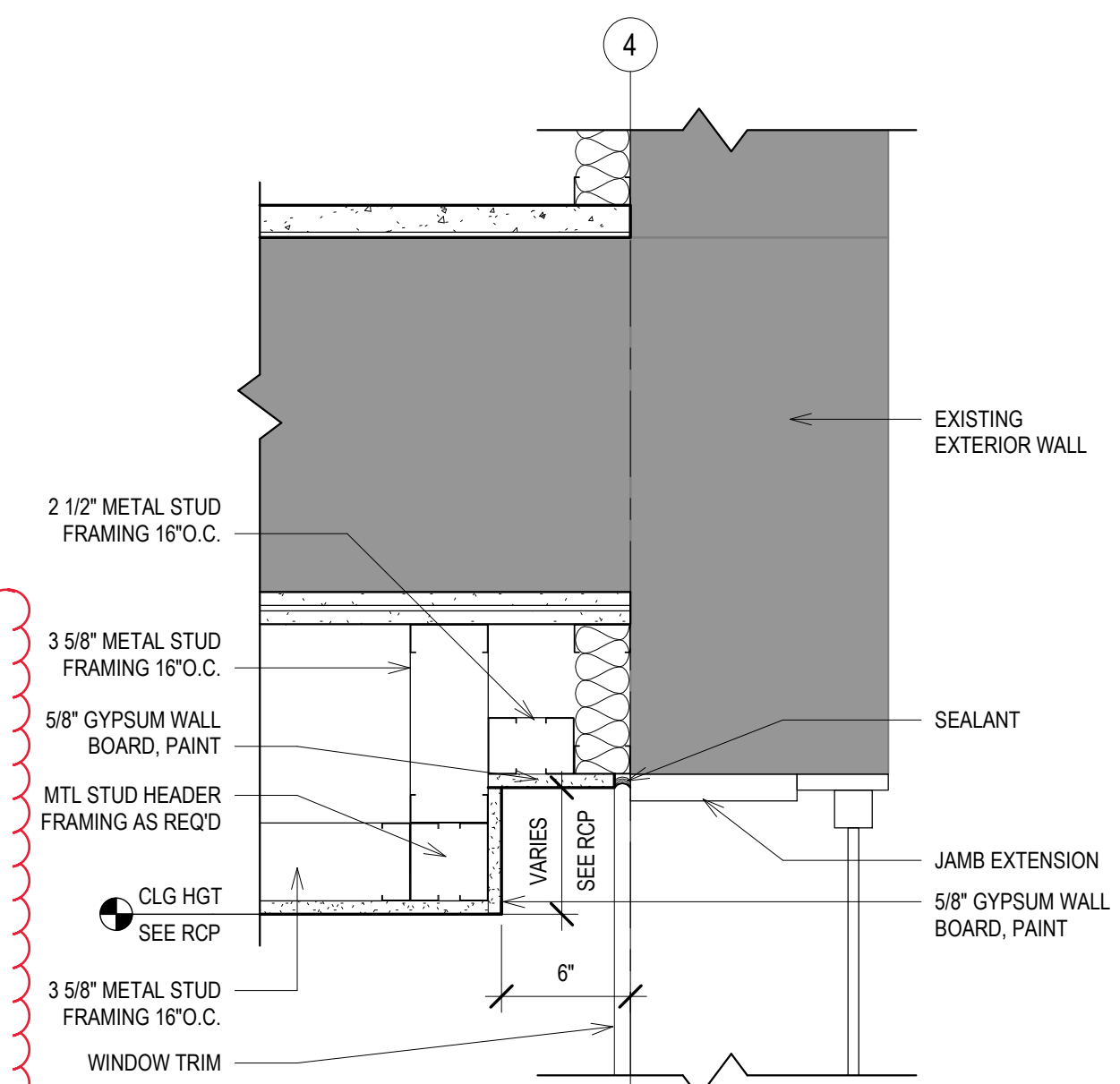
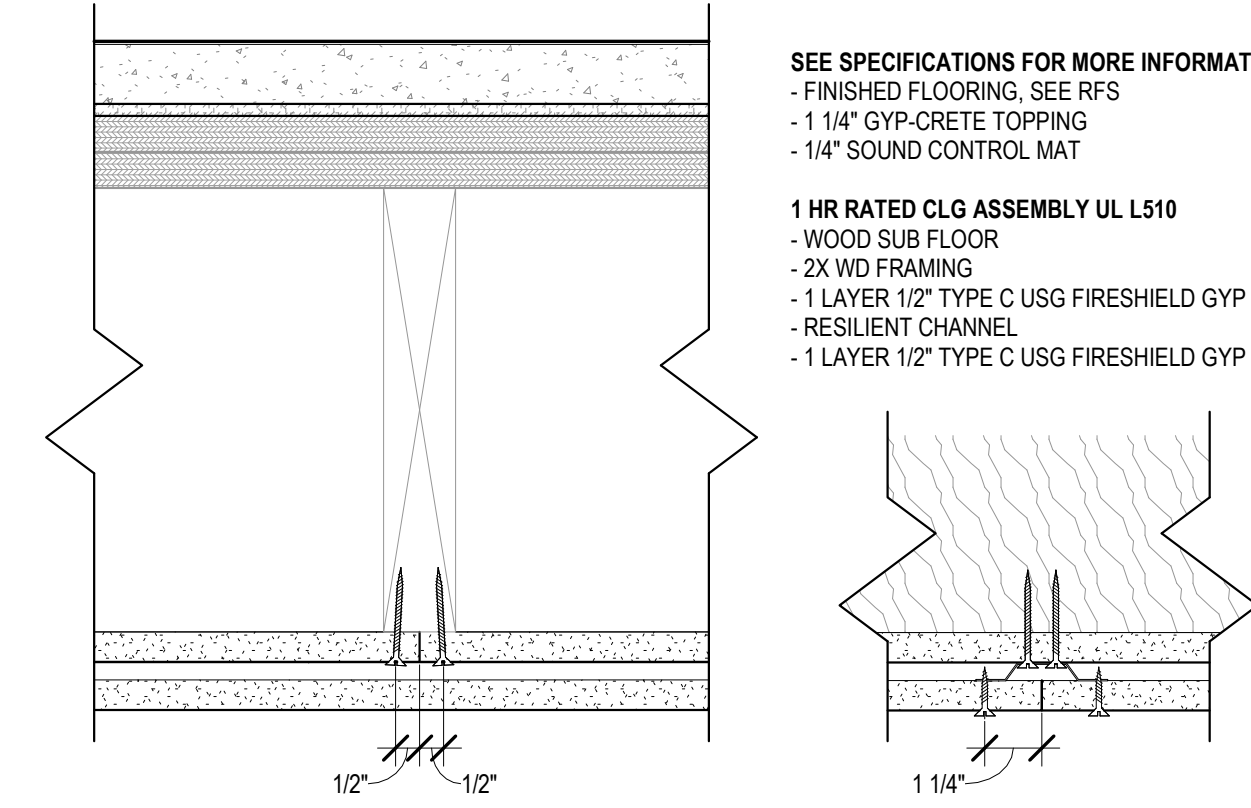
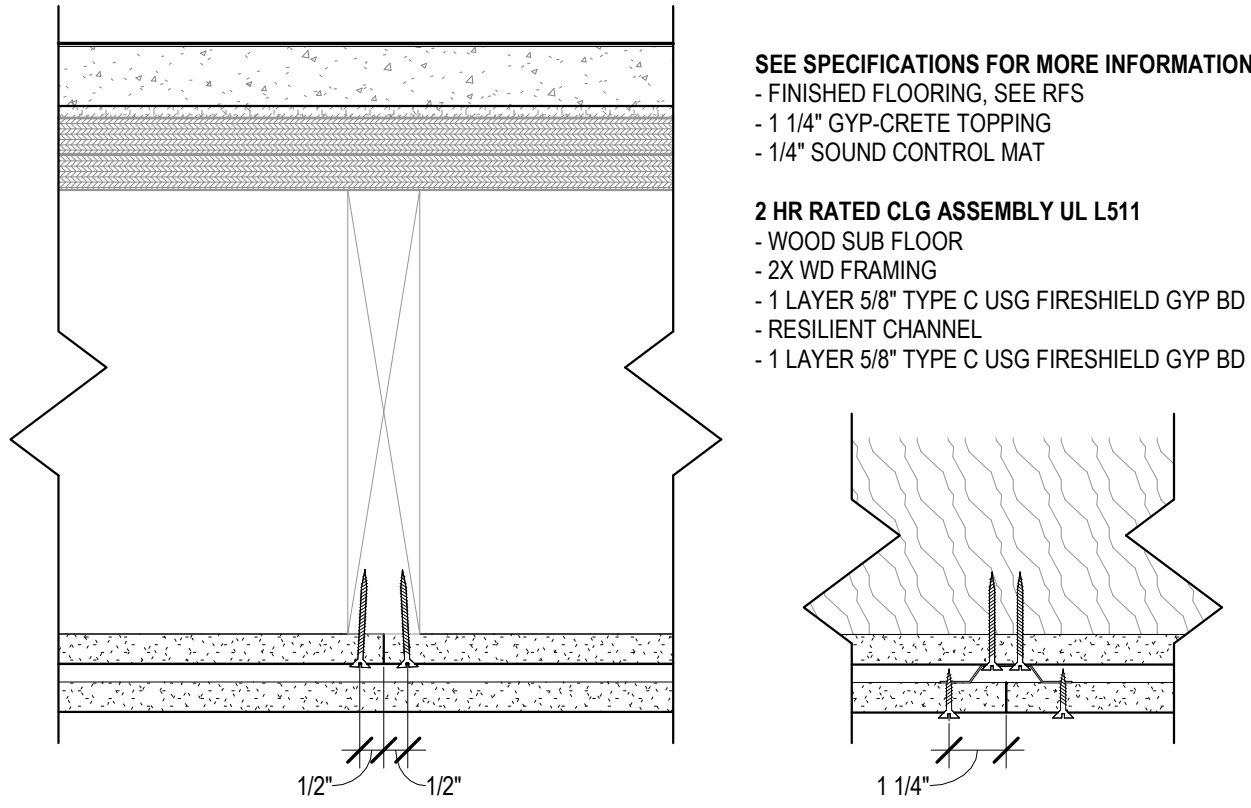
REFLECTED CEILING PLAN KEY NOTES APPLY TO ALL NEW WORK DRAWINGS AND MAY NOT BE USED ON EVERY SHEET.

- EXISTING CEILING AND PLASTER MOULDING TO REMAIN. SHOWN WITH DIAGONAL HATCH OVERLAY. SEE DEMO PLAN FOR REFERENCE.
- EXISTING BEAM PLASTER, AND MOLDING TO REMAIN.
- CLEAR HEIGHT TO BE VERIFIED IN FIELD. PROVIDE UL L510 PER DETAIL 5A300 AT ENTIRE FLOOR UNLESS NOTED OTHERWISE.
- CLEAR HEIGHT TO BE VERIFIED IN FIELD. PROVIDE UL L511 PER DETAIL 6A300.
- EXISTING STEEL BEAM, WHERE EXPOSED, TO BE PAINTED.
- PROVIDE DROPPED CEILING UNDER FLOOR ASSEMBLY AT HEIGHT SHOWN. HEIGHT SHOWN IS CLEAR HEIGHT ABOVE NEW FINISHED FLOOR.
- PROVIDE POCKET AT WINDOW HEAD. SEE 6A300.
- EXPOSED DUCTWORK, PAINTED. SHOWN WITH DIAGONAL HATCH.
- EXISTING CORBEL TO BE REINSTALLED.
- EXISTING LIGHT FIXTURE TO BE REFURBISHED. SEE DETAIL 7A300.

LIGHT FIXTURE SCHEDULE

SCHEDULE IS GENERIC LIGHTING LAYOUT TO BE USED FOR DESIGN INTENT ONLY. ELECTRIC DESIGN BUILD CONTRACTOR IS RESPONSIBLE FOR DESIGNING THE LIGHTING WITH ADEQUATE LIGHT LEVELS, AND FIXTURES THAT ARE APPROVED BY OWNER.

L1	RECESSED DOWNLIGHTS, WET AREAS.
L2	RECESSED DOWNLIGHTS.
L3	PENDANT LIGHTS.
L4	SURFACE WALL MOUNTED VANITY LIGHT.
L5	SCENCE
L6	SURFACE MOUNTED UTILITY LIGHT.
L7	EXISTING EXTERIOR WALL SCONCE, REFURBISH
L8	EXTERIOR RECESSED CAN LIGHT

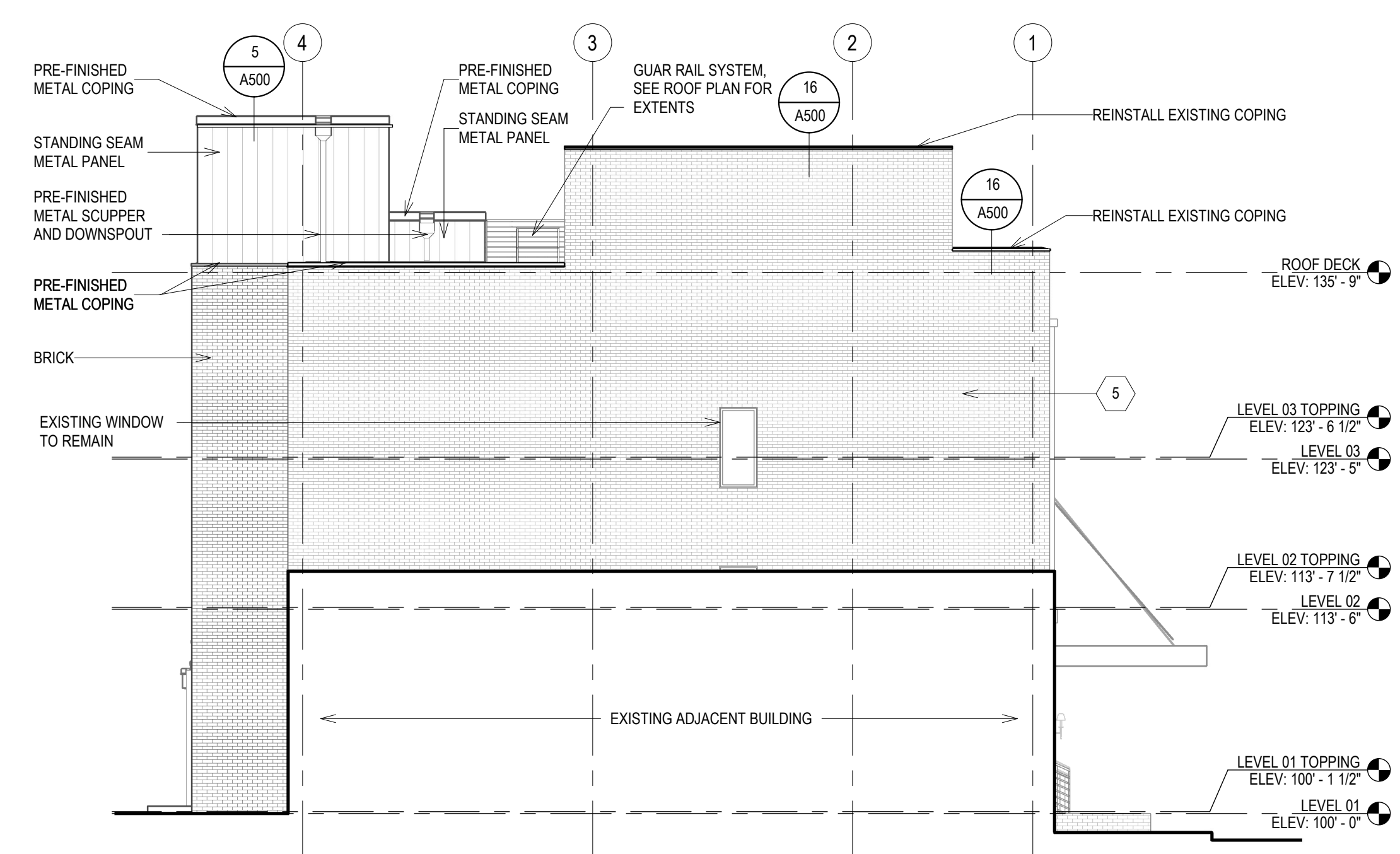


EXTERIOR ELEVATION KEYNOTES	
SEE PROJECT GENERAL CONDITIONS AND SPECIFICATIONS THAT ARE USED IN ASSOCIATION WITH THESE NOTES.	
NEW WORK PLAN KEY NOTES APPLY TO ALL NEW WORK DRAWINGS AND MAY NOT BE USED ON EVERY SHEET.	
1	EXISTING WOOD WINDOW TO BE RESTORED.
2	EXISTING LEADED GLASS TRANSOM TO BE CLEANED AND BROKEN PANE REPLACED TO MATCH EXISTING.
3	EXISTING WOOD DOOR TO BE RESTORED AND REGLAZED.
4	NEW ALUMINUM STOREFRONT WINDOW SYSTEM AT LOWER PORTION ONLY.
5	CLEAN, TUCKPOINT, AND PAINT EXISTING BRICK.
6	CLEAN AND TUCKPOINT ALL EXISTING BRICK AND STONE.
7	REPLACE EXISTING LINTEL WITH NEW STEEL LINTEL. SEE STRUCTURAL. SALVAGE AND RE-INSTALL MASONRY TO MATCH EXISTING CONDITION. PROVIDE STAINLESS STEEL FLASHING. PRIOR TO COMPLETING WORK, REVIEW CONDITION WITH GC, ARCHITECT AND STRUCTURAL ENGINEER.
8	EXISTING WINDOW TO REMAIN.

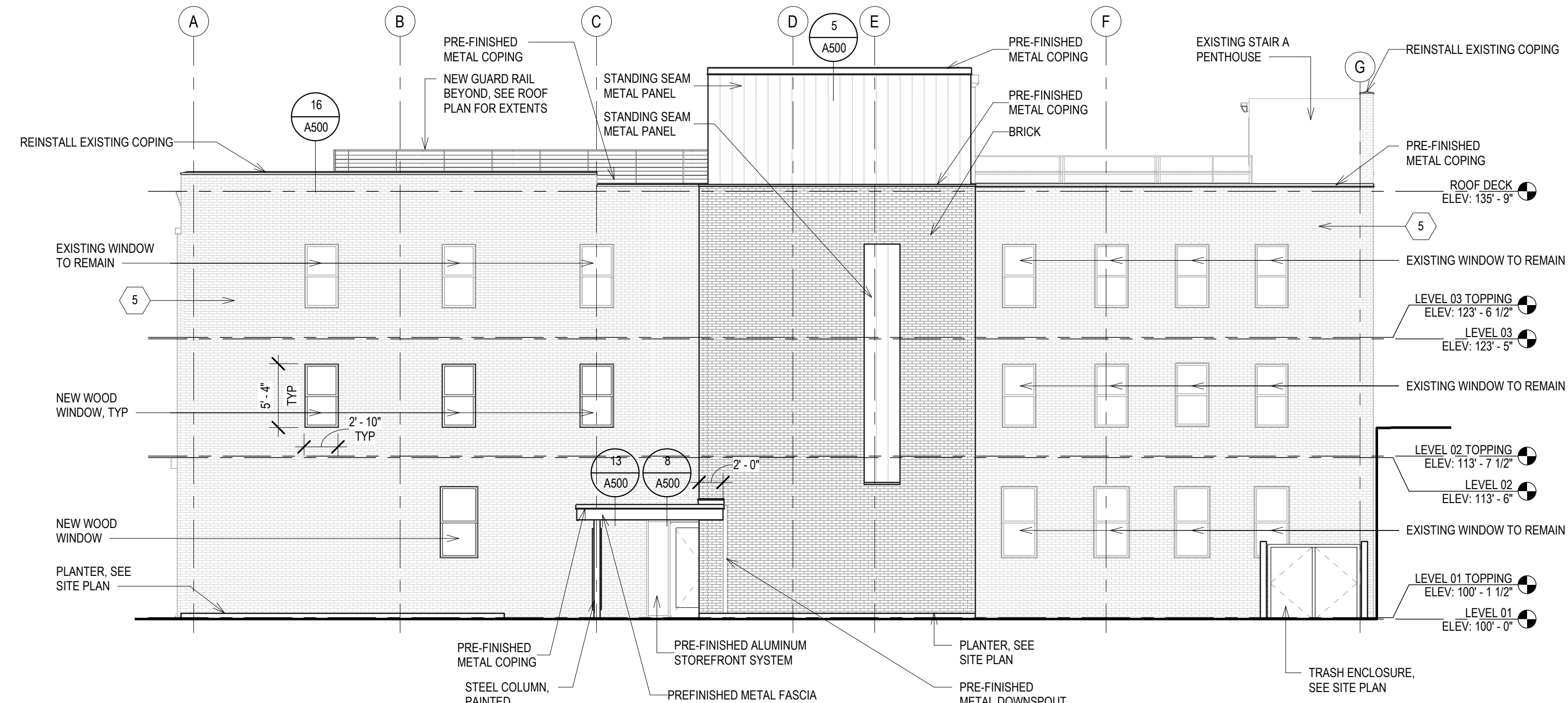
DAN BEYER ARCHITECTS
225 E. ST. PAUL AVE, STE 303
MILWAUKEE WI, 53202
414-239-8267

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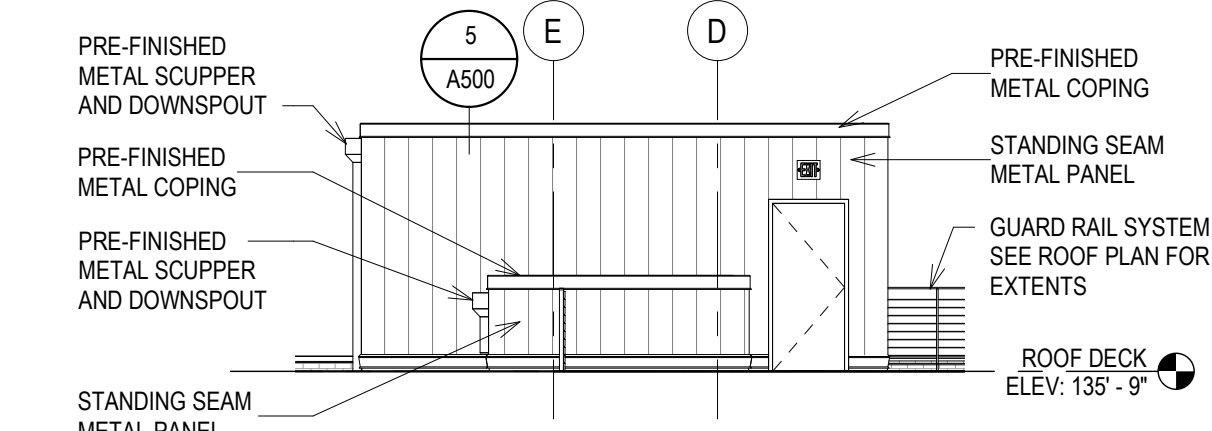
CONSULTANTS:



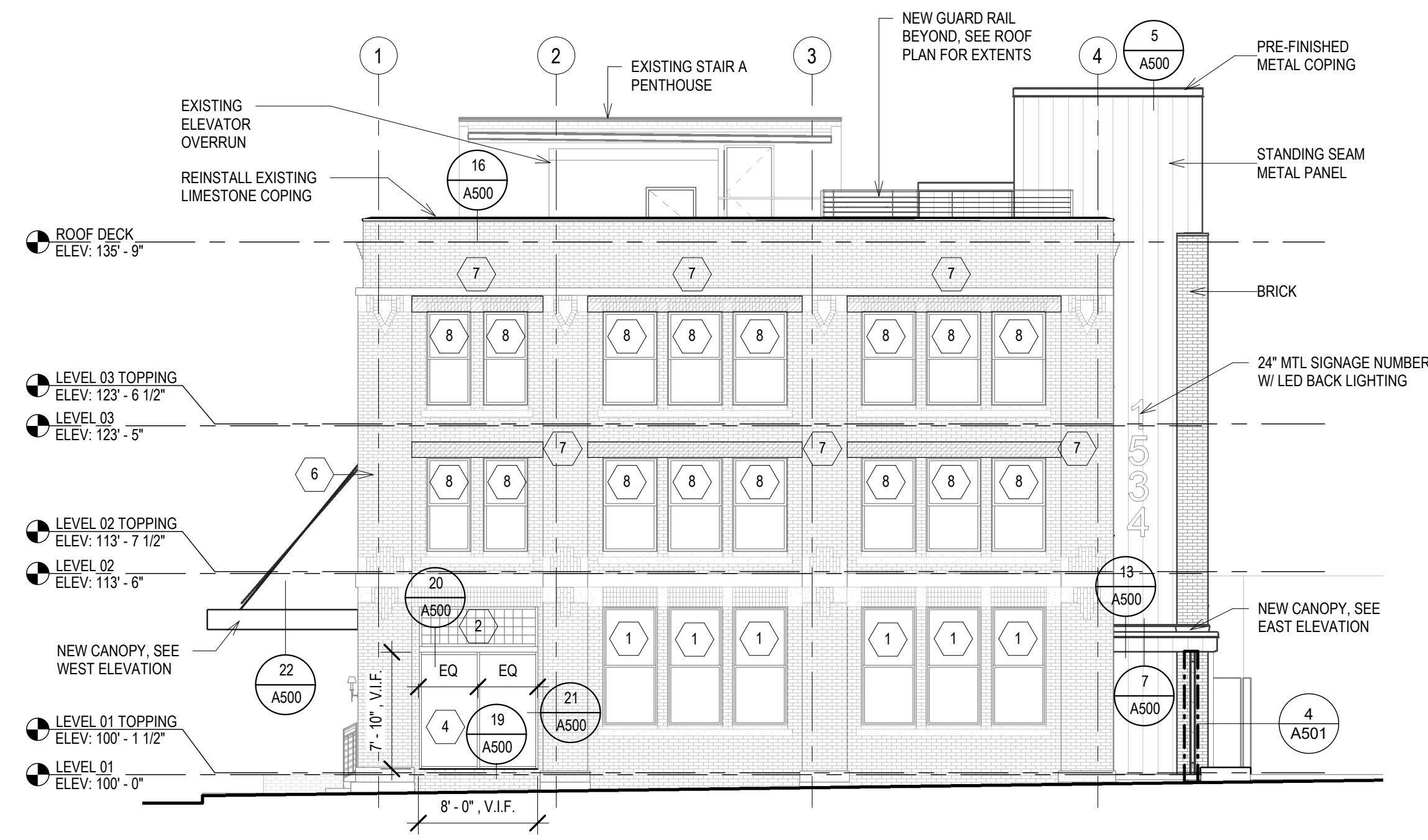
5 NORTH ELEVATION
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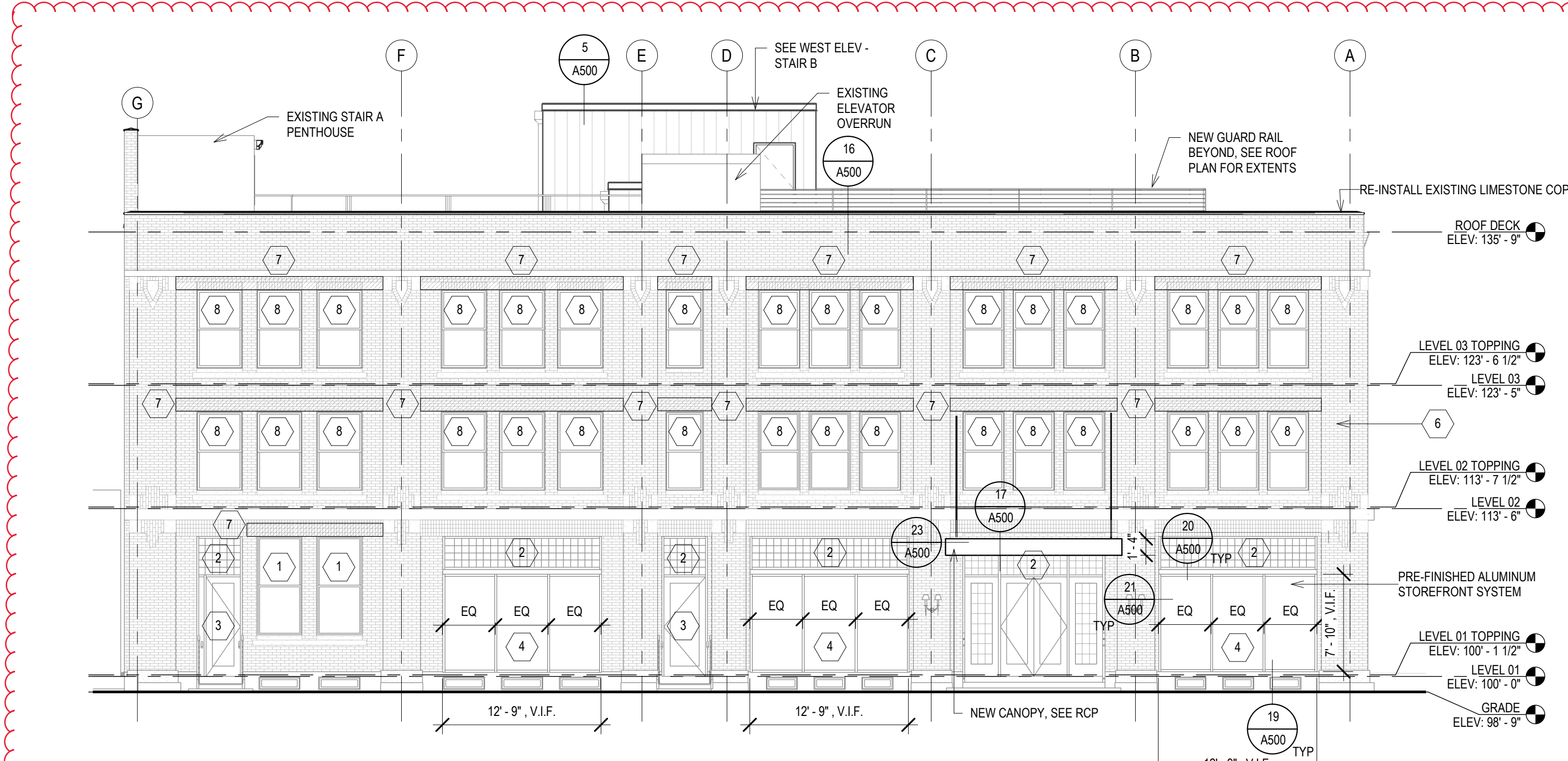
3 EAST ELEVATION
Scale: 1/8" = 1'-0"



2 WEST ELEV - STAIR B
Scale: 1/8" = 1'-0"



4 SOUTH ELEVATION
Scale: 1/8" = 1'-0"



1 WEST ELEVATION
Scale: 1/8" = 1'-0"

PAUL WEISE BUILDING RENOVATION

1634 N FARWELL AVE.
MILWAUKEE, WISCONSIN

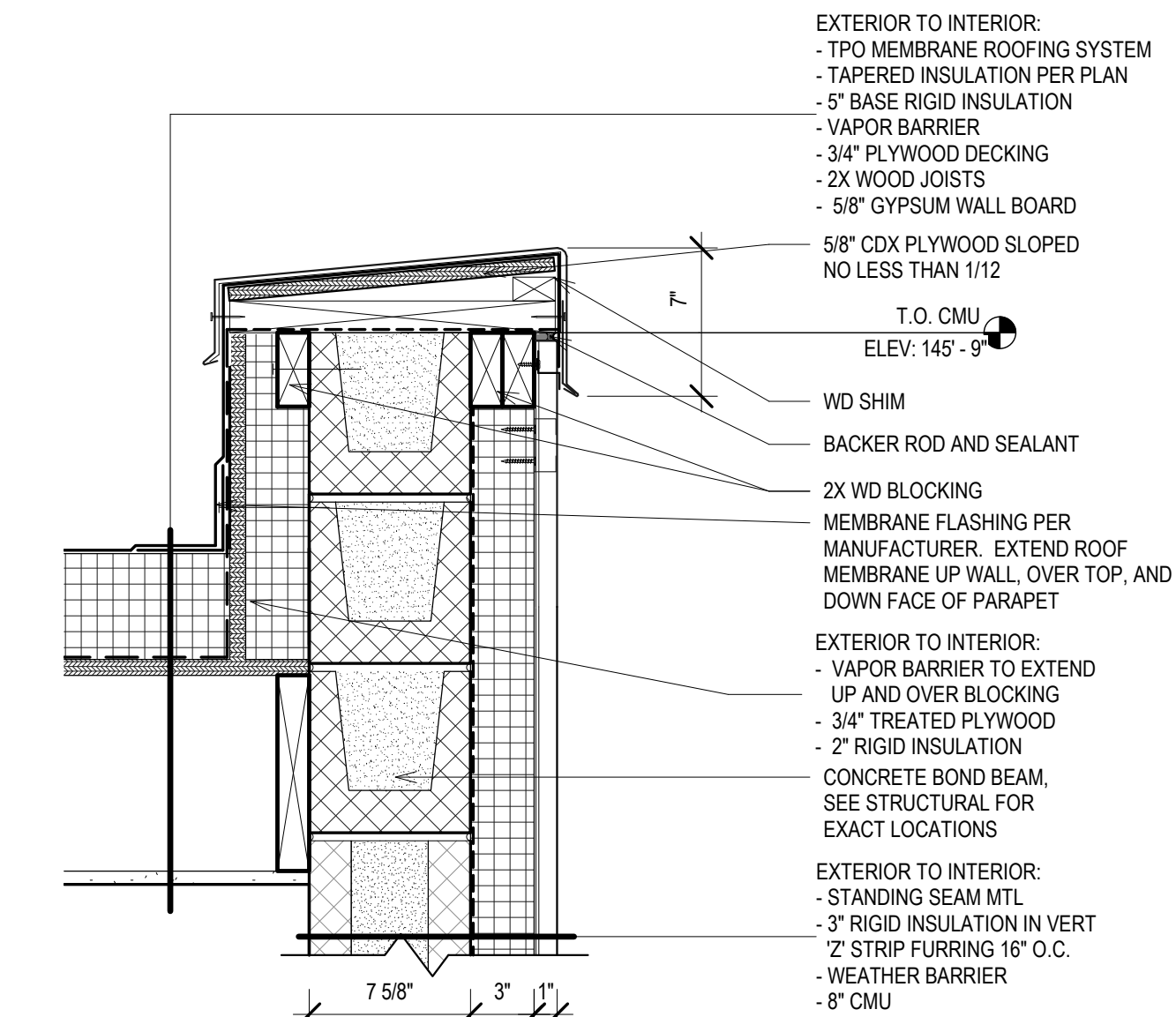
SHEET TITLE
EXTERIOR ELEVATIONS

REVISIONS:

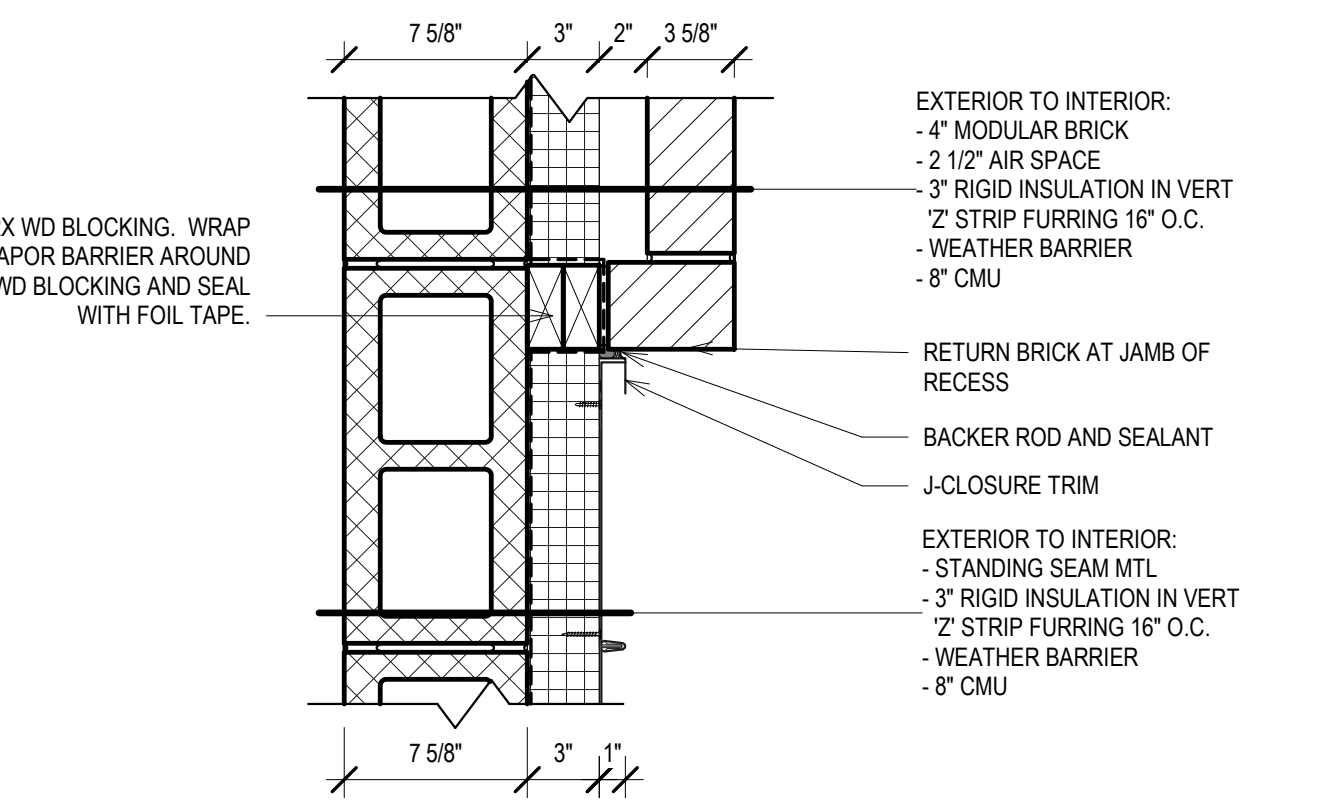
NO.	DESCRIPTION

SCALE	VARIABLES
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SET TYPE	PERMIT SET
DATE ISSUED	08/22/22
SHEET NUMBER	A400

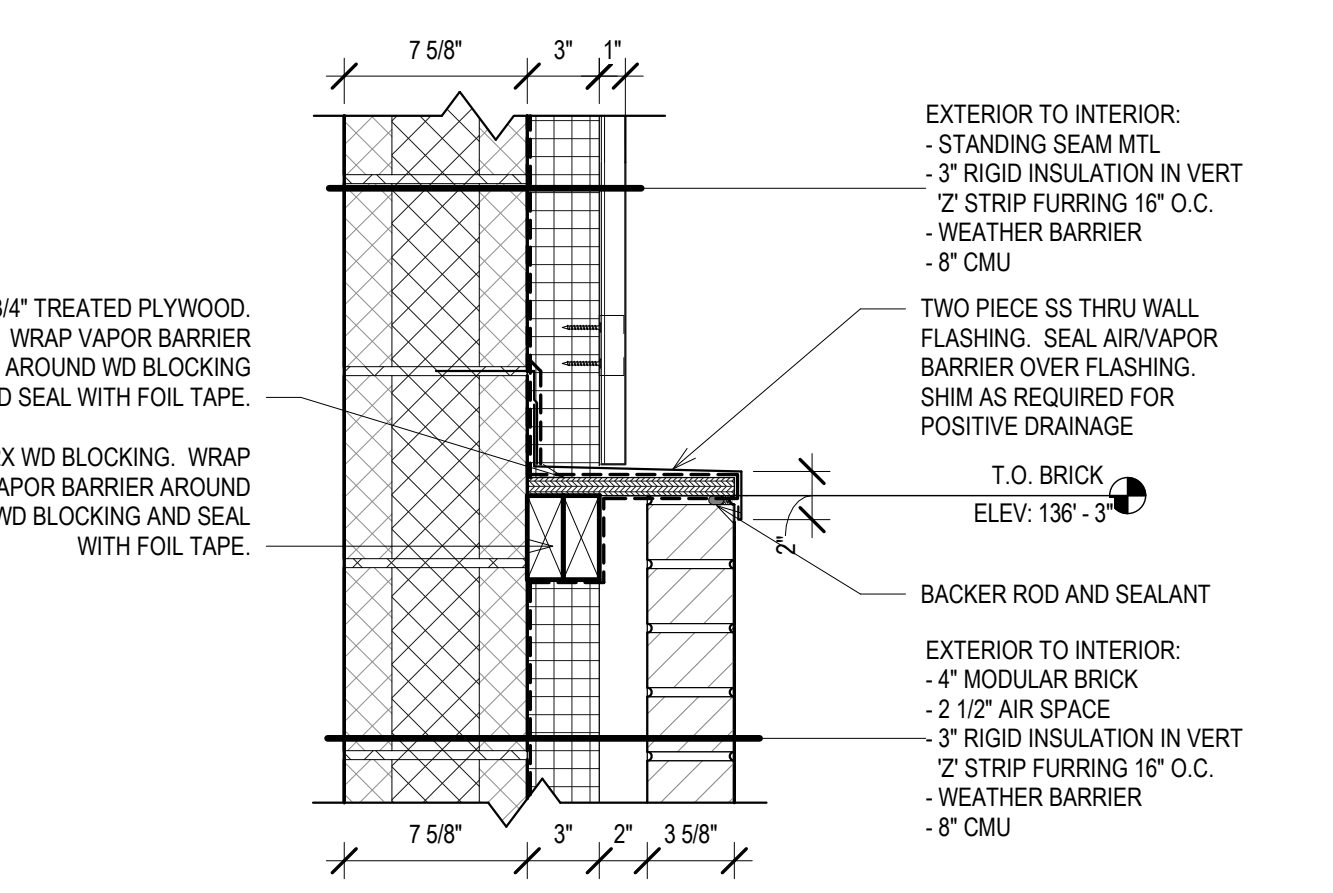
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PROJECT NUMBER:	2112-001
SET TYPE:	PERMIT SET
DATE ISSUED:	08/22/22
SHEET NUMBER:	A500



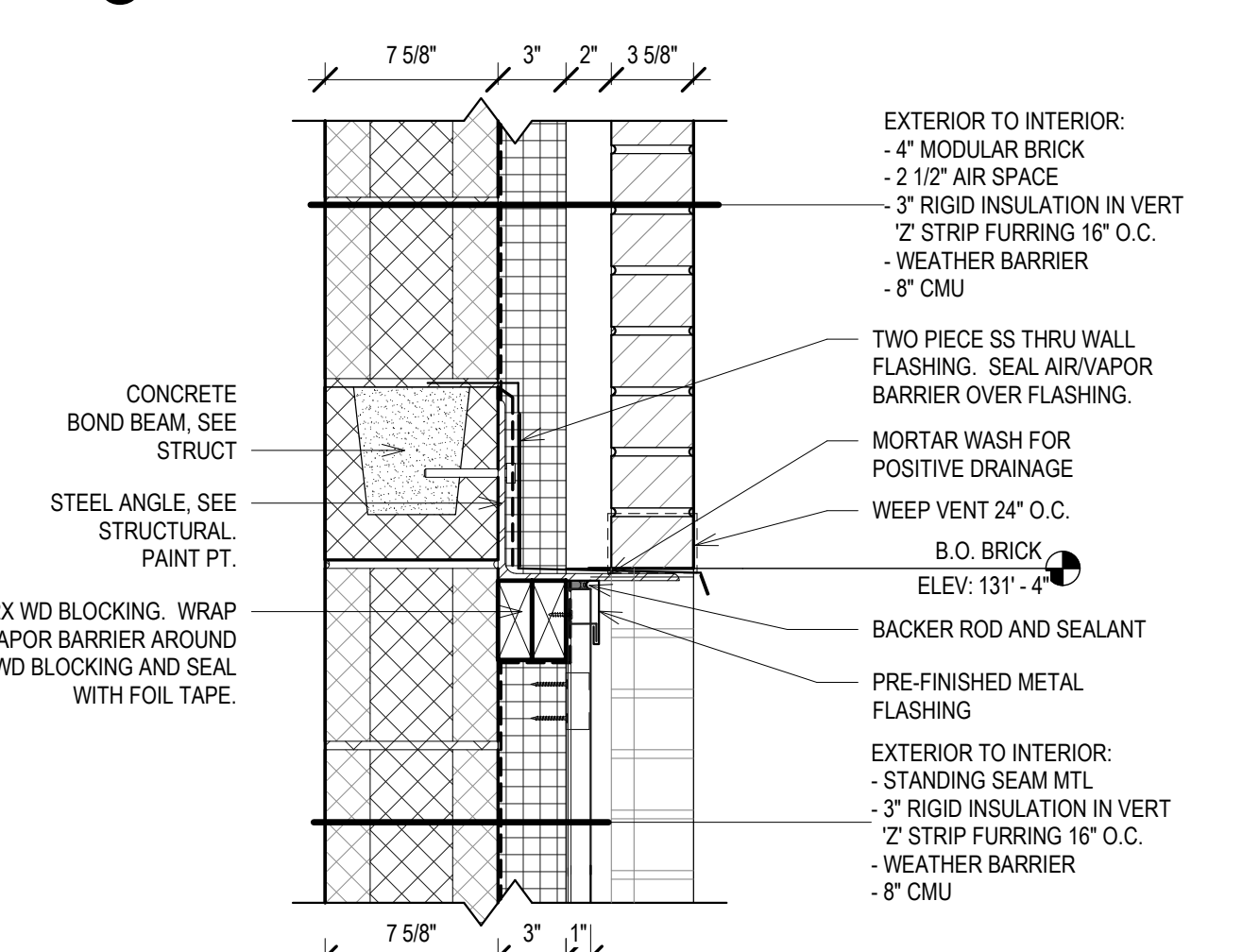
5 PARAPET DETAIL AT METAL PANEL
 Scale: 1 1/2" = 1'-0"



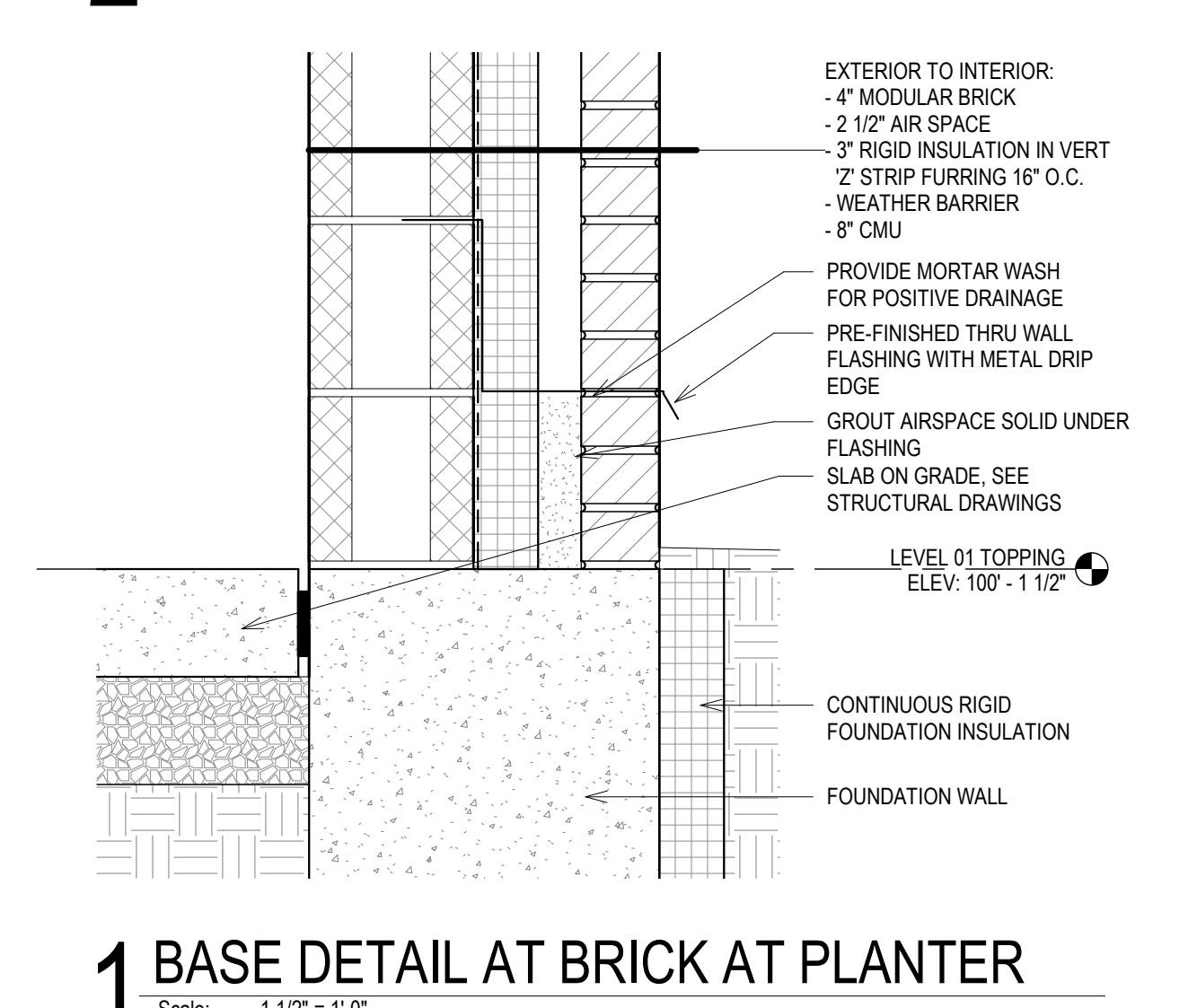
4 JAMB DETAIL AT BRICK / MTL PANEL
 Scale: 1 1/2" = 1'-0"



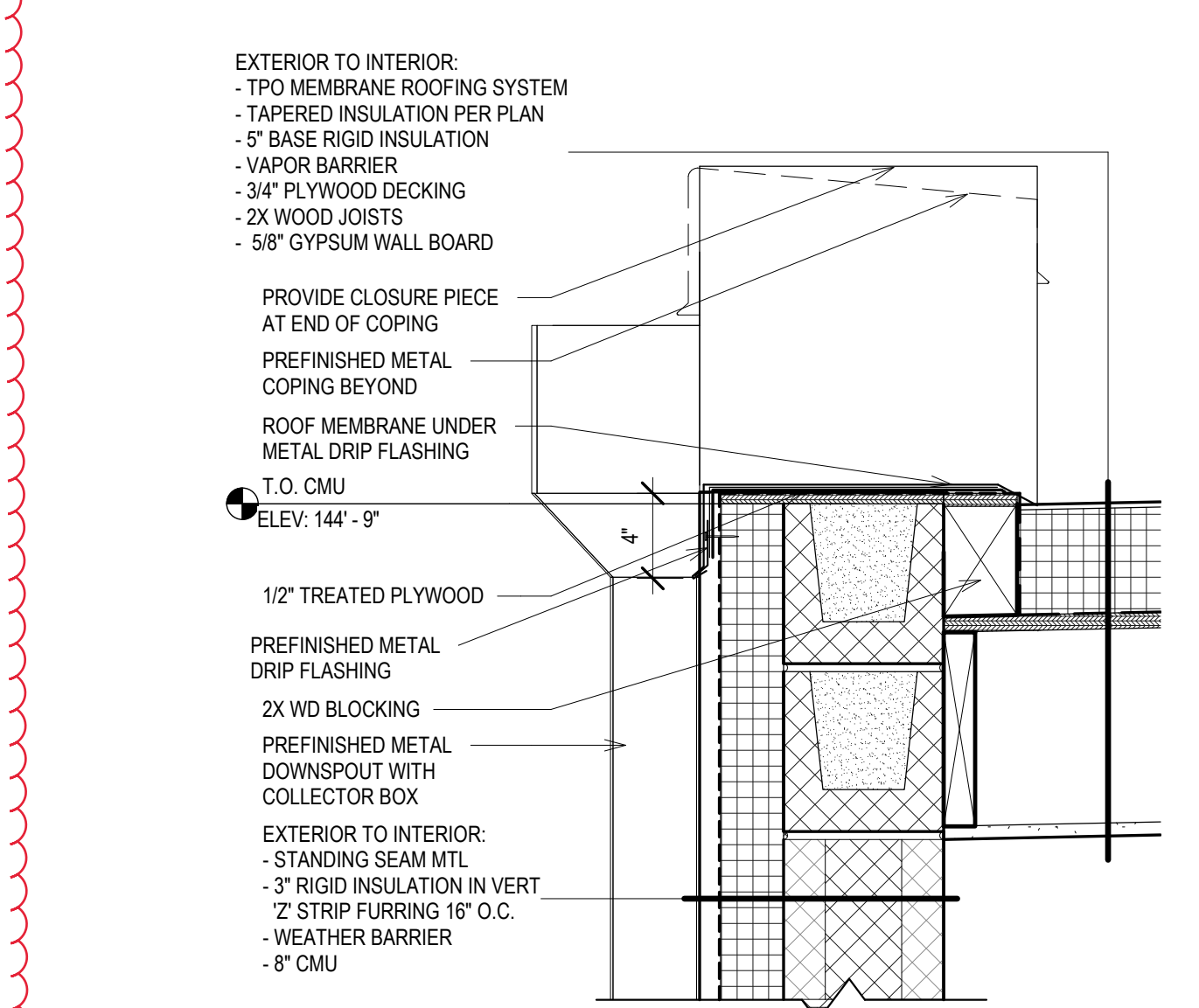
3 T.O. BRICK AT METAL PANEL
 Scale: 1 1/2" = 1'-0"



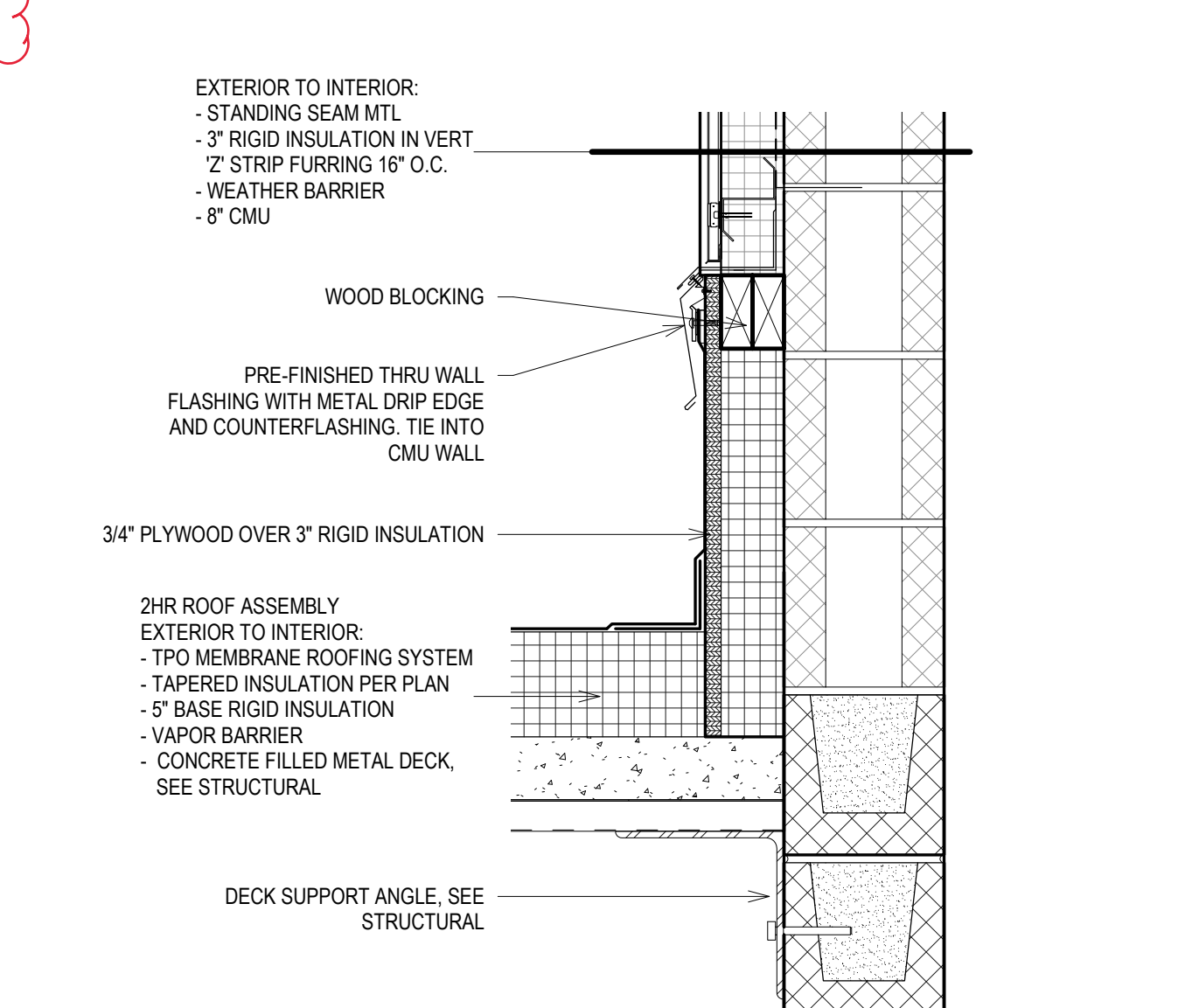
2 B.O. BRICK AT METAL PANEL
 Scale: 1 1/2" = 1'-0"



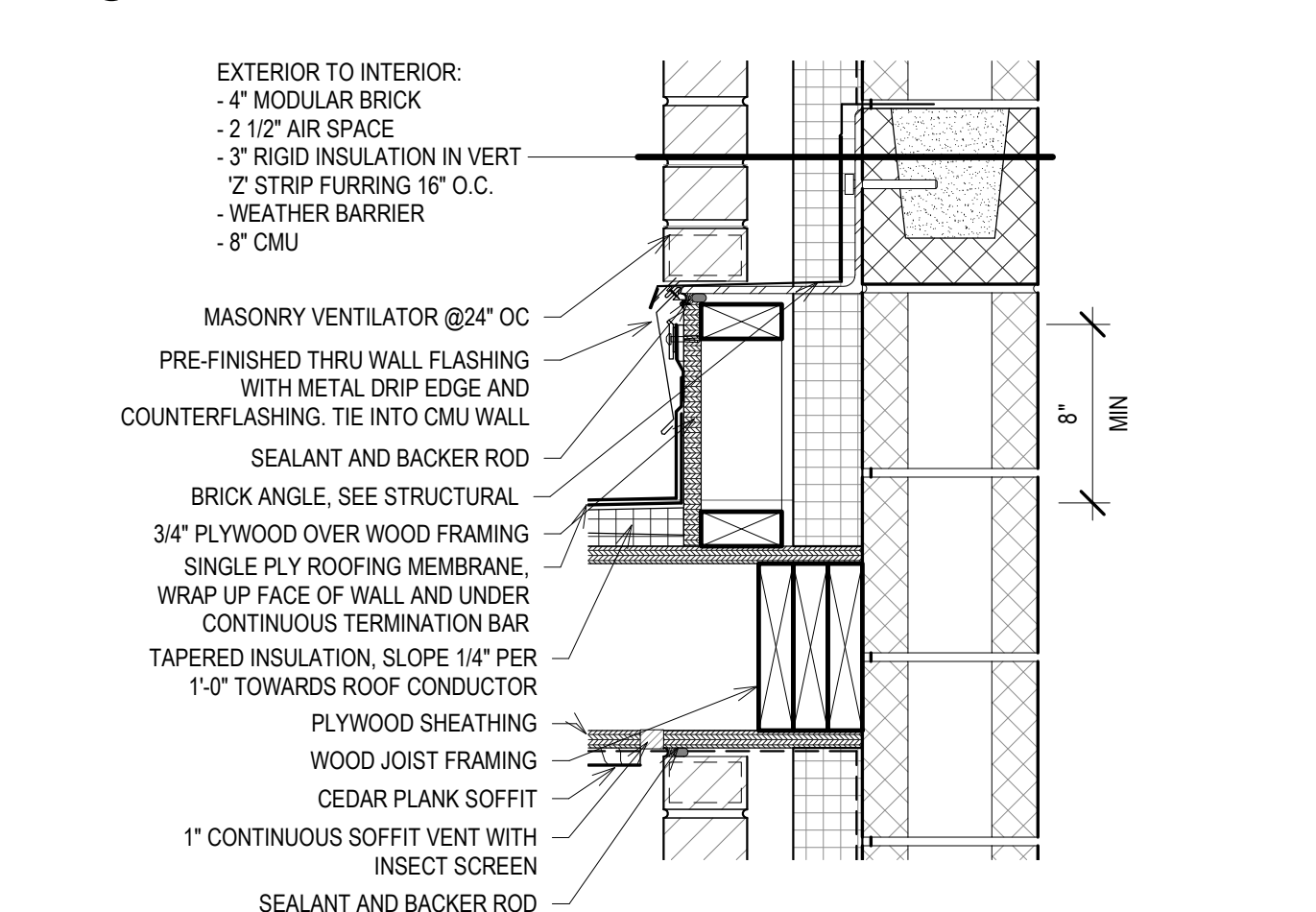
1 BASE DETAIL AT BRICK AT PLANTER
 Scale: 1 1/2" = 1'-0"



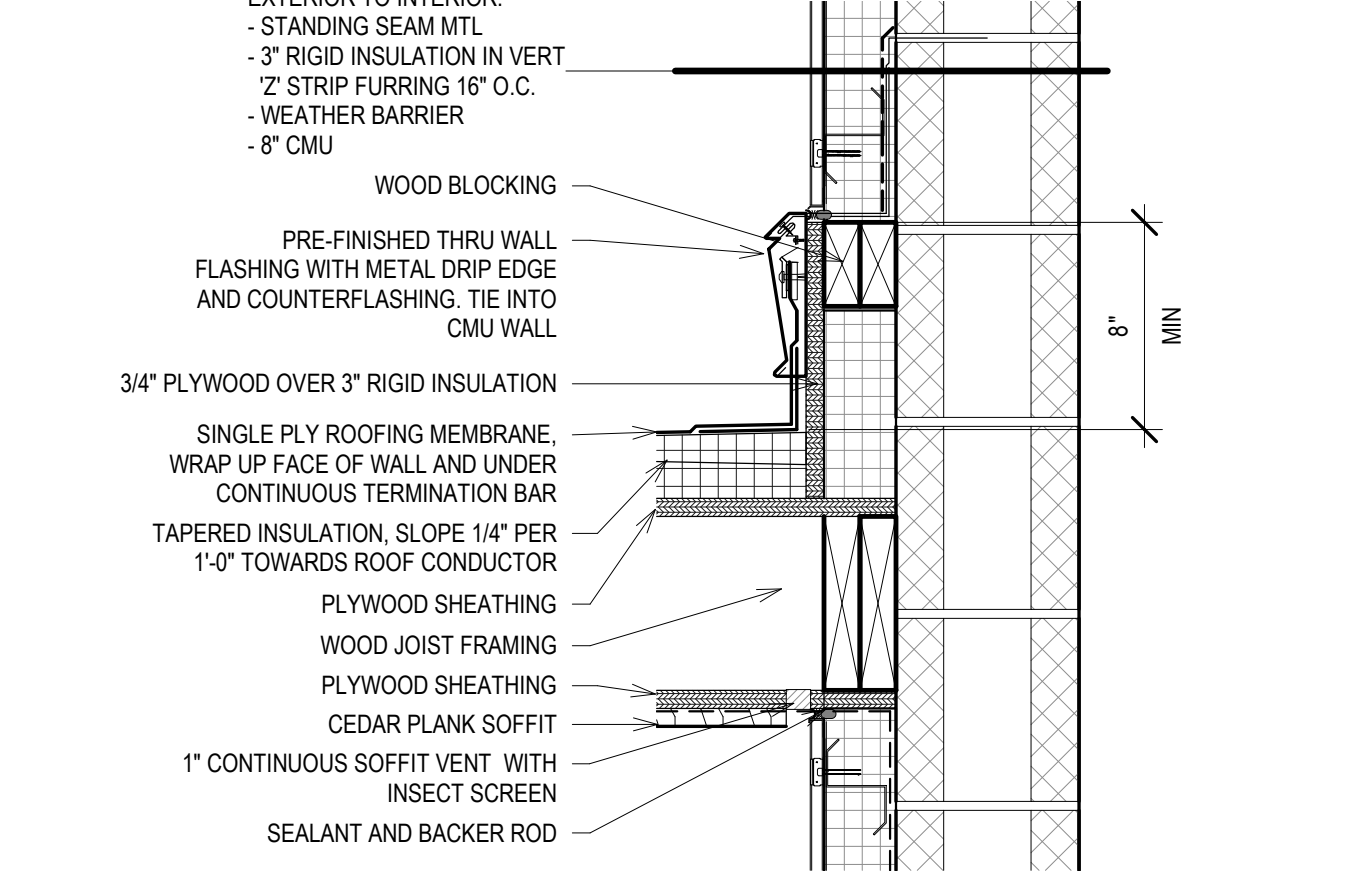
10 PARAPET DETAIL AT SCUPPER
 Scale: 1 1/2" = 1'-0"



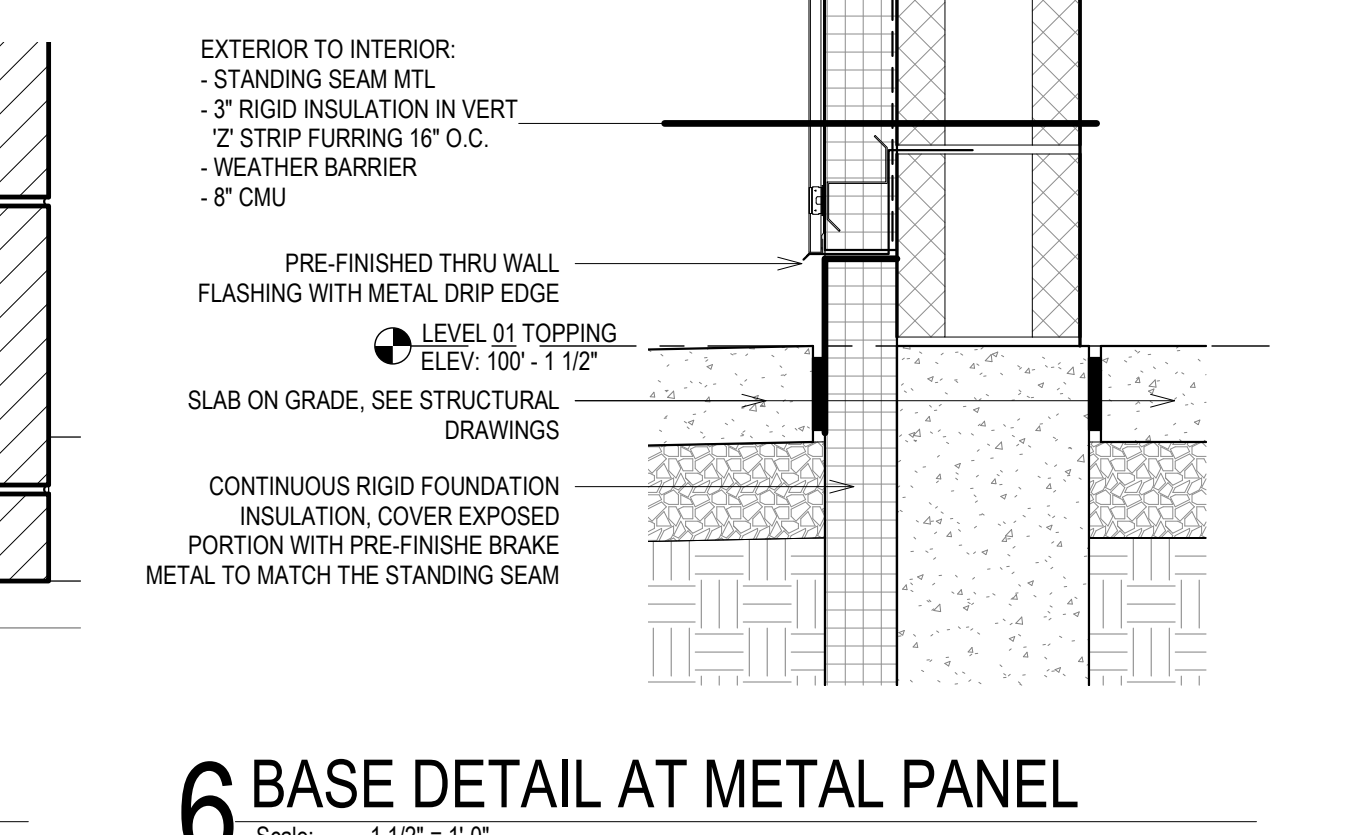
9 ROOF CURB DETAIL AT ELEV ROOF
 Scale: 1 1/2" = 1'-0"



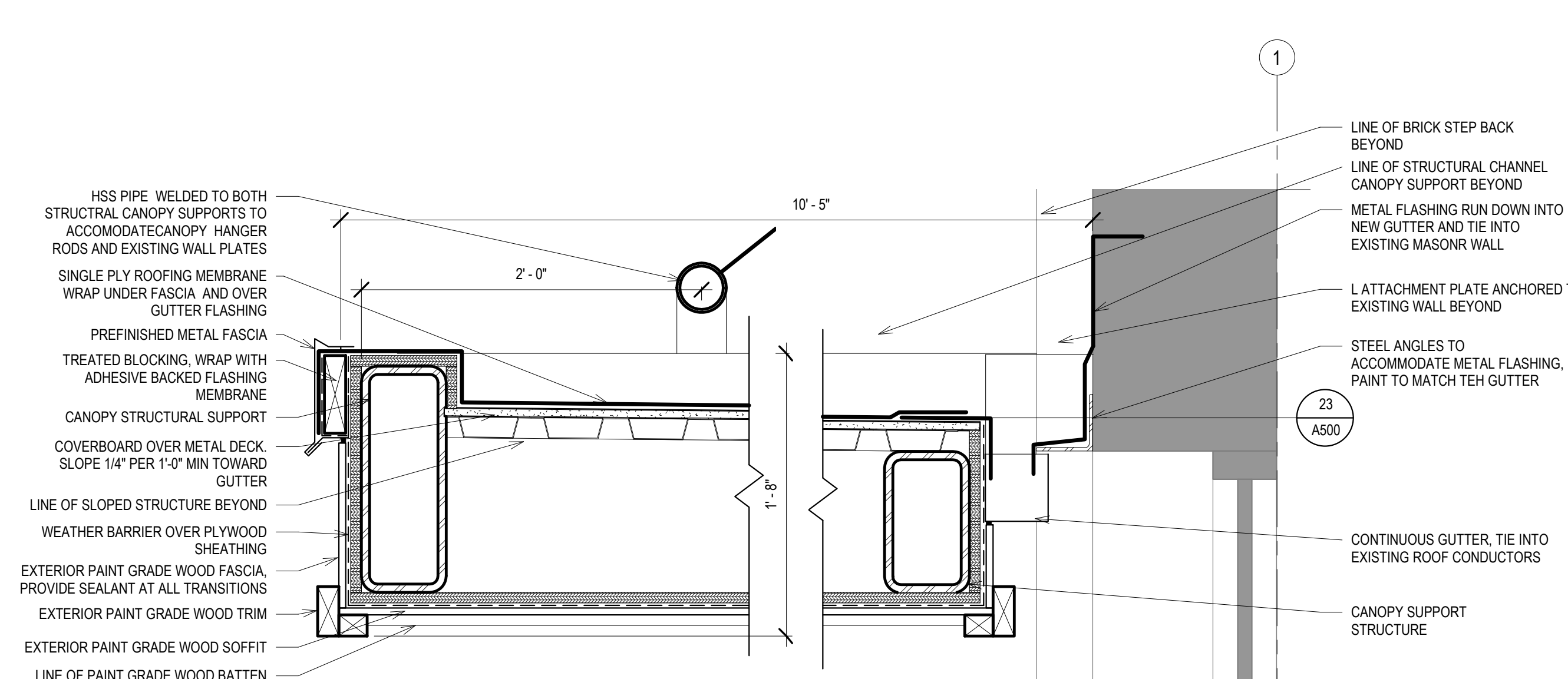
8 EAST CANOPY ROOF DETAIL AT BRICK
 Scale: 1 1/2" = 1'-0"



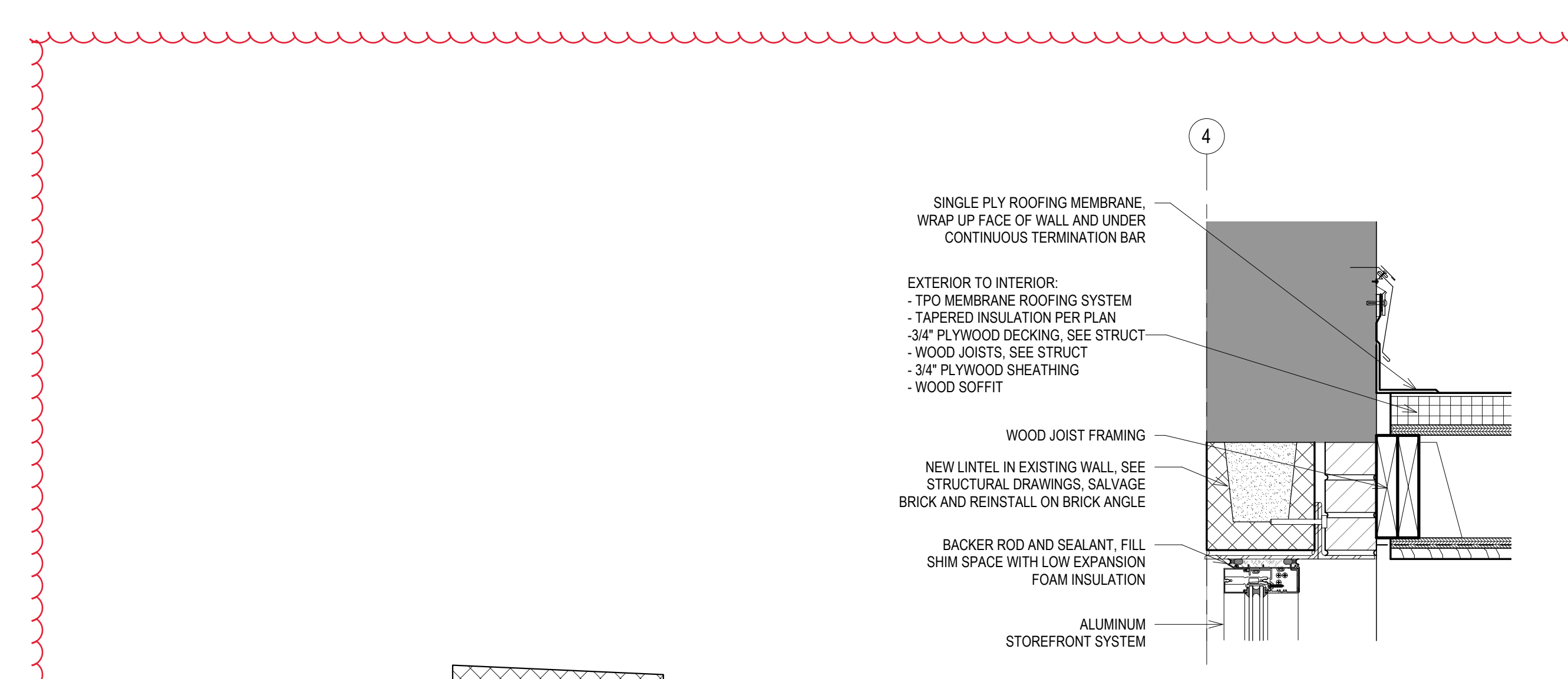
7 EAST CANOPY ROOF DETAIL AT MP
 Scale: 1 1/2" = 1'-0"



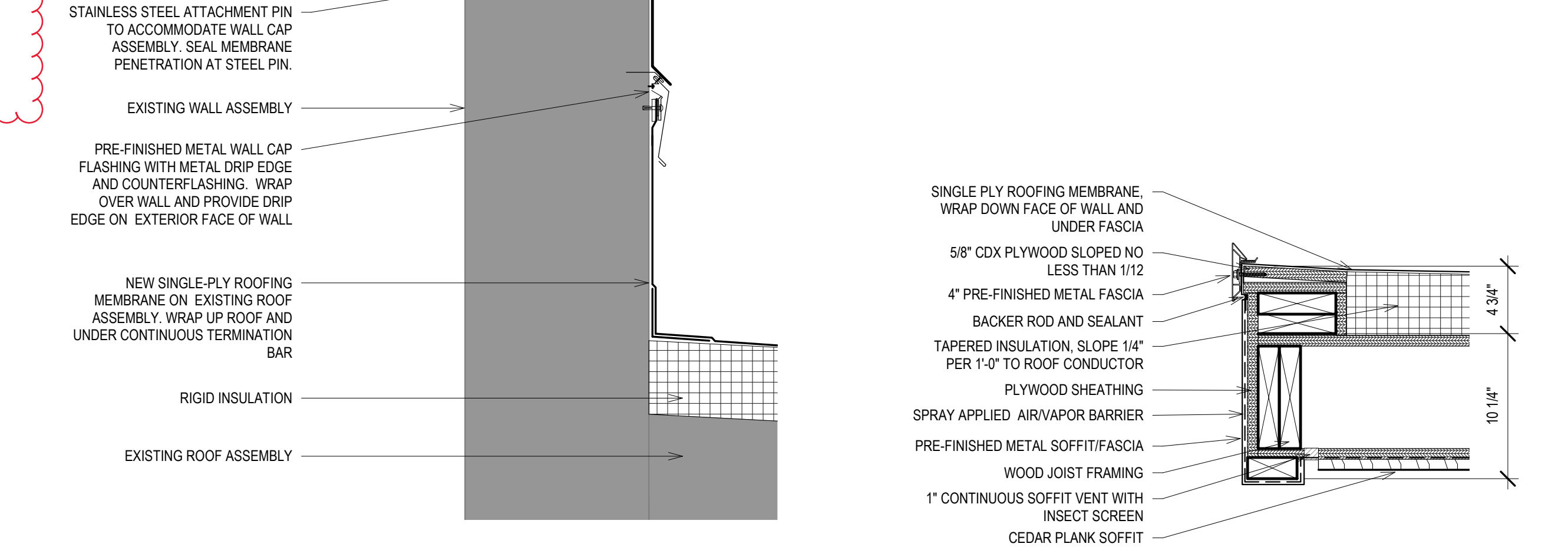
6 BASE DETAIL AT METAL PANEL
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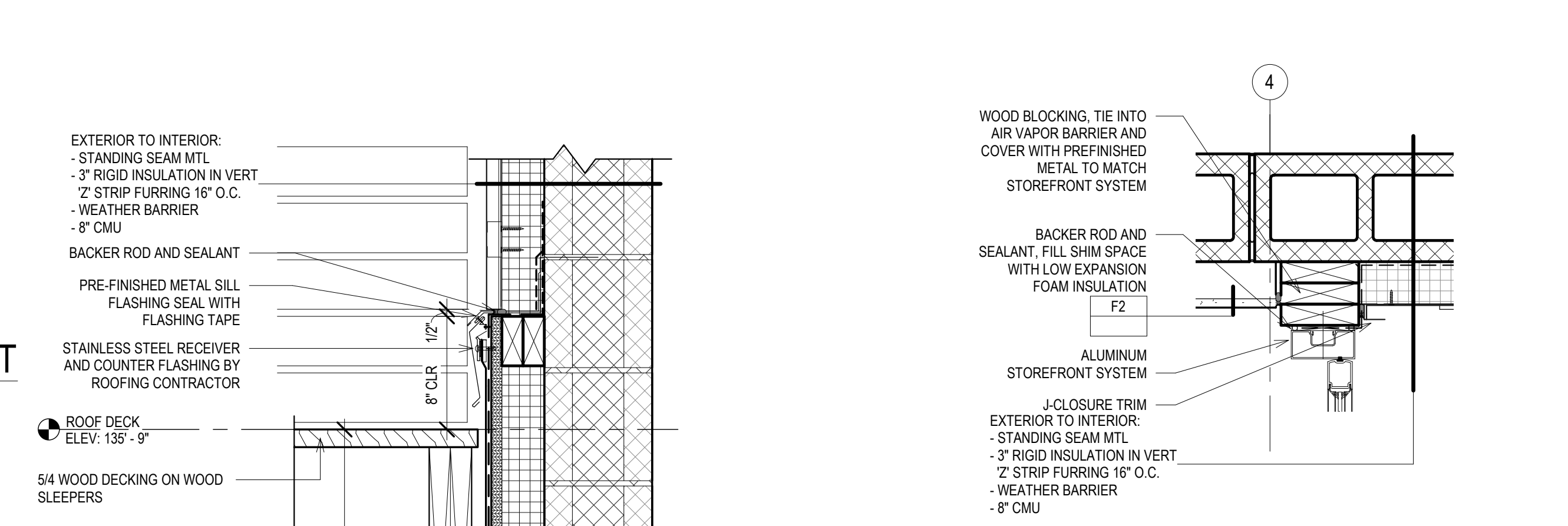
17 SECTION DETAIL - CANOPY
 Scale: 1 1/2" = 1'-0"



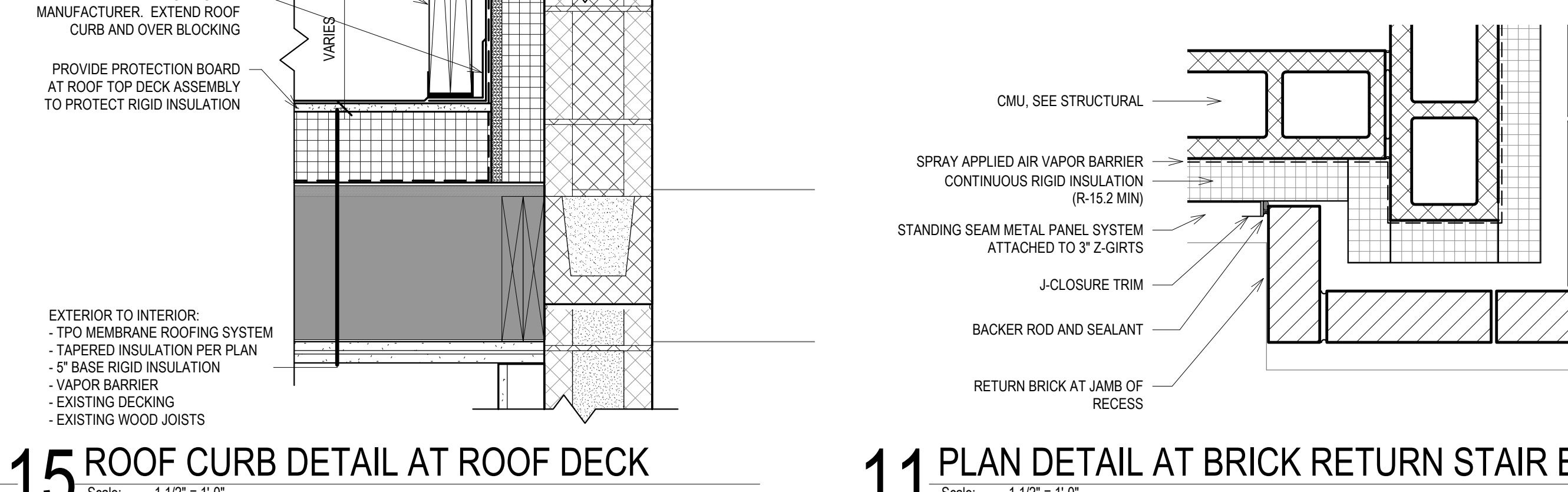
14 EAST CANOPY DETAIL AT EXTG WALL
 Scale: 1 1/2" = 1'-0"



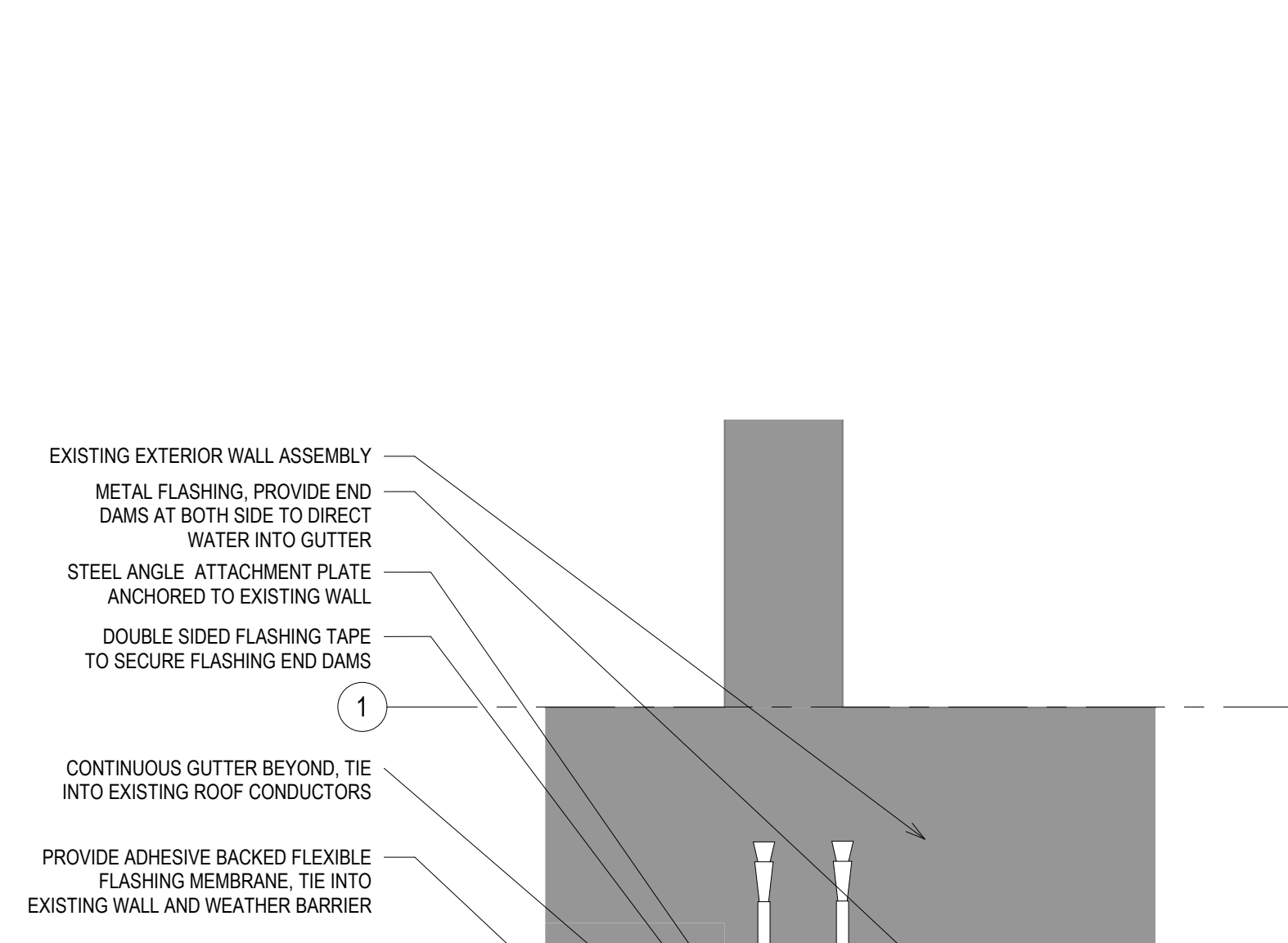
16 SECTION DETAIL - TYPICAL RE-ROOFING DETAIL
 Scale: 1 1/2" = 1'-0"



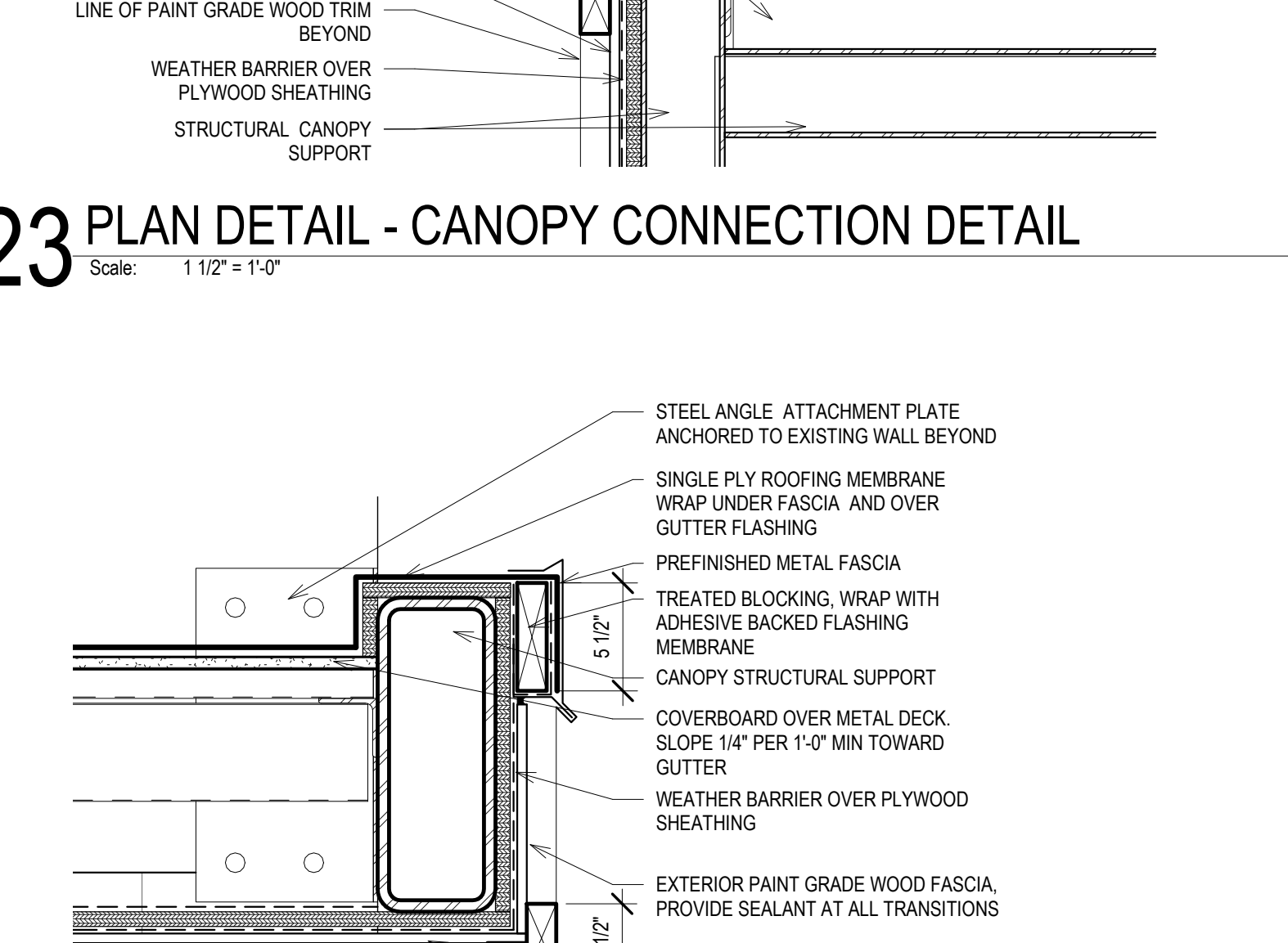
13 EAST CANOPY EDGE DETAIL
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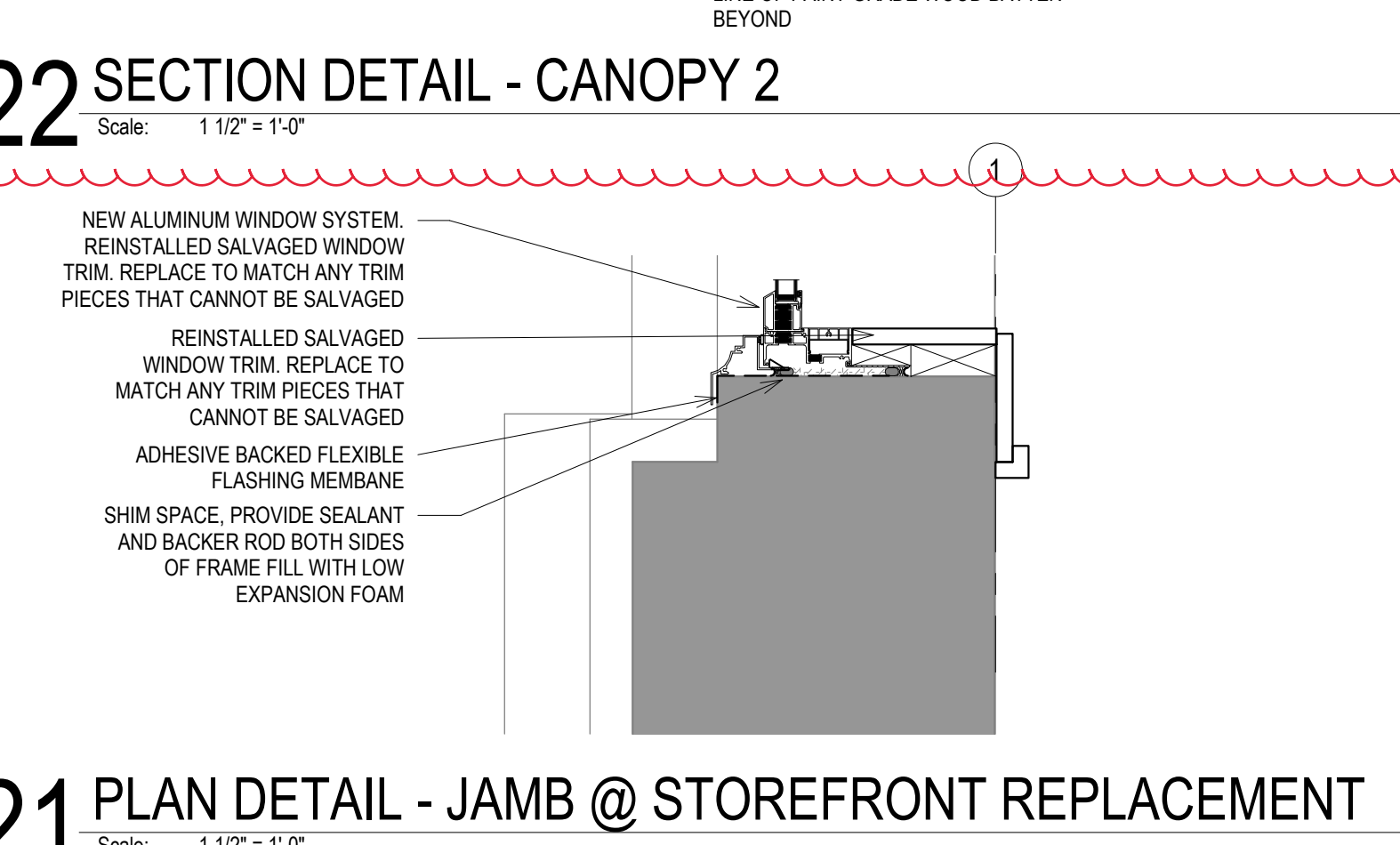
15 ROOF CURB DETAIL AT ROOF DECK
 Scale: 1 1/2" = 1'-0"



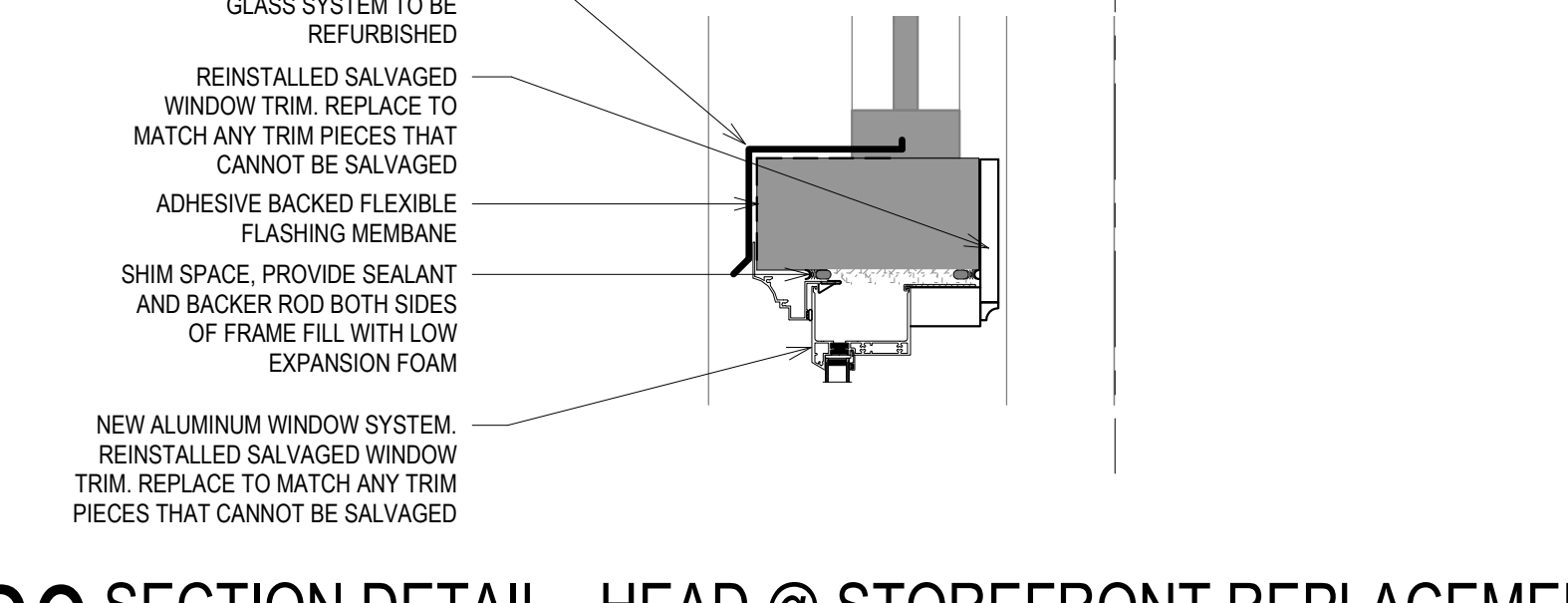
23 PLAN DETAIL - CANOPY CONNECTION DETAIL
 Scale: 1 1/2" = 1'-0"



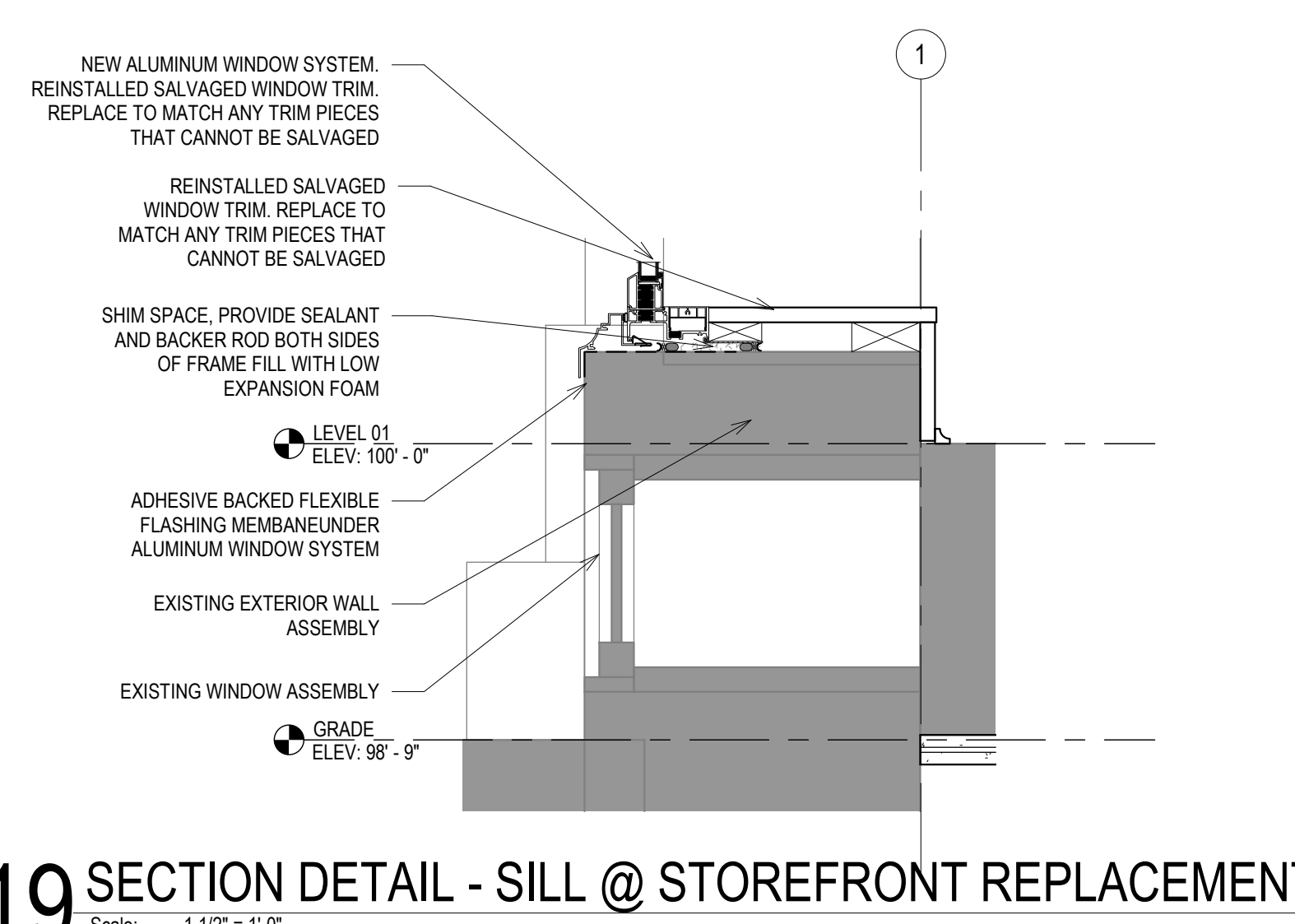
22 SECTION DETAIL - CANOPY 2
 Scale: 1 1/2" = 1'-0"



21 PLAN DETAIL - JAMB @ STOREFRONT REPLACEMENT
 Scale: 1 1/2" = 1'-0"



20 SECTION DETAIL - HEAD @ STOREFRONT REPLACEMENT
 Scale: 1 1/2" = 1'-0"



19 SECTION DETAIL - SILL @ STOREFRONT REPLACEMENT
 Scale: 1 1/2" = 1'-0"