

SURVEY NOTES:

- 1. TOPOGRAPHIC/BOUNDARY SURVEY PROVIDED BY CHAPUT LAND SURVEYS, DATED MARCH 30, 2023.
- 2. BASIS OF BEARINGS: BEARINGS ARE REFERENCED TO THE SOUTH LINE OF THE SE 1/4 OF SECTION 16, WHICH IS ASSUMED TO BEAR S87°33'06"W.
- 3. BENCHMARK: XXX.
- 4. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

GENERAL NOTES:

- 1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY AND COUNTY OF MILWAUKEE, WISDOT, AND WISCONSIN STANDARDS AND SPECIFICATIONS.
- 2. ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
- 3. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND LOCAL CODES. WHEN CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY. THE CONTRACTOR SHALL CAUSE A CURRENT COPY OF SAID CODES TO BE MAINTAINED ON SITE AT ALL TIMES.
- 4. ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE COVERED BY LOCAL CODES.
- 5. THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

ACCESSIBILITY NOTES:

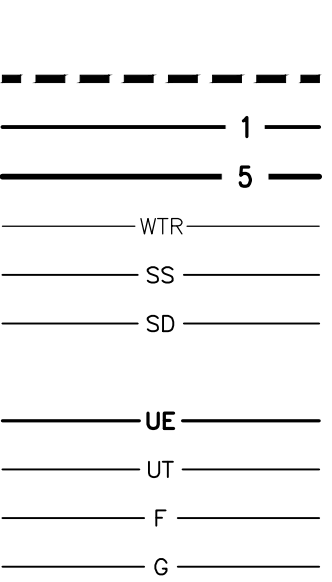
- 1. ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE LATEST WISCONSIN ACCESSIBILITY CODE, AND WITH THE AMERICANS WITH DISABILITIES ACT (ADA), LATEST EDITION.
- 2. RAMP SHALL NOT EXCEED A RUNNING SLOPE OF 1:12 (8.33%).
- 3. RAMP ARE DEFINED AS ANY WALKWAY BETWEEN SLOPES 1:20 (5%) AND 1:12 (8.33%) AND SHALL HAVE A MINIMUM WIDTH OF 4 FEET AND A MAXIMUM CROSS-SLOPE OF 2%. RAMP EXCEEDING 30 INCHES VERTICAL CHANGE SHALL HAVE INTERMEDIATE (2% MAX SLOPE) LANDINGS HAVING A MINIMUM LENGTH IN THE DIRECTION OF TRAVEL OF 60 INCHES. BOTTOM LANDINGS AT CHANGES IN RAMP DIRECTION SHALL HAVE A MINIMUM LENGTH OF 72 INCHES.
- 4. MAXIMUM CROSS-SLOPE ON ANY WALK OR RAMP SHALL BE 2%. ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
- 5. ALL WALKS SHALL HAVE A MINIMUM 4 FOOT CLEAR WIDTH FOR ACCESSIBLE CONFORMANCE.

SITE INFORMATION:

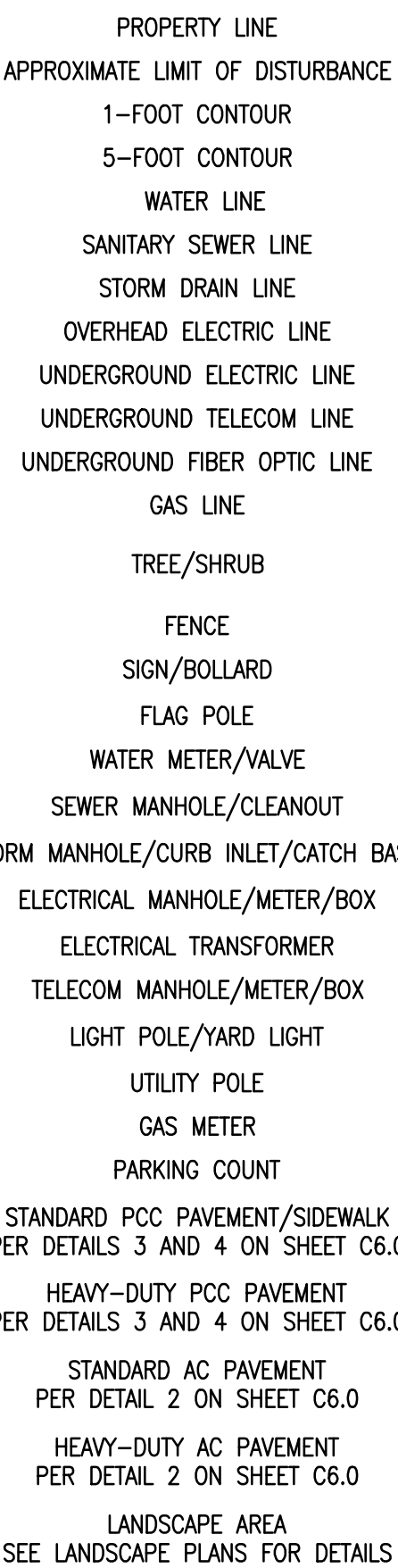
TAX ID: 107-0233-000
ZONING: CS (COMMERCIAL SERVICE)
OVERLAY: SPROZ (SITE PLAN REVIEW OVERLAY ZONE)
FLOOD ZONE: THE PROPERTY LIES WITHIN FLOOD ZONE "X" PER FIRM MAP NO: 55079C0019E, WITH AN EFFECTIVE DATE OF SEPTEMBER 26, 2008. ZONE X IS DEFINED AS "AREA OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN"

| | | |
|---------------------------|---------------------------|--------------------------|
| SUMMARY: | | |
| TOTAL PARCEL AREA | ±40,617 SF (±0.932 ACRES) | |
| TOTAL DISTURBED AREA | ±39,346 SF (±0.903 ACRES) | |
| BUILDING FOOTPRINT | ±4,320 SF | |
| DISTURBED AREA SUMMARY: | | |
| IMPERVIOUS AREA | ±36,817 SF | PROPOSED ±30,678 SF |
| PERVIOUS AREA | ±3,800 SF | ±9,941 SF |
| CHANGE IN IMPERVIOUS AREA | | ±6,141 SF DECREASE |
| SETBACKS: | | |
| FRONT | LANDSCAPE 10' | BUILDING 0' |
| SIDE | 0' | 0' |
| REAR | 0' | 0' |
| PARKING SUMMARY: | | |
| STANDARD STALLS (9'x18') | PROPOSED 26 | REQUIRED 6 |
| ADA STALLS (8'x18') | 2 | 1 |
| TOTAL | 28 | 7 (4 + (4320-2000)/1000) |

PROPOSED



LEGEND



SITE PLAN KEY NOTES

- 1. PROPOSED PCC 6" TALL BARRIER CURB
- 2. PROPOSED TYPE 4-B INLINE ACCESSIBLE CURB RAMP WITH DETECTABLE WARNING TRUNCATED DOMES
- 3. PROPOSED TYPE 7-A MID BLOCK ACCESSIBLE CURB RAMP WITH DETECTABLE WARNING TRUNCATED DOMES
- 4. PROPOSED TYPE 7-A MID BLOCK ACCESSIBLE CURB RAMP (MODIFIED) WITH DETECTABLE WARNING TRUNCATED DOMES
- 5. PROPOSED ACCESSIBLE PARKING STALL WITH ACCESSIBLE LOADING AREA AND PAVEMENT MARKINGS, ADA SIGN AND SIGN POST
- 6. PROPOSED PAVEMENT DIRECTIONAL ARROW AND STOP BAR, TRAFFIC WHITE PAINT, MINIMUM TWO COATS. DIMENSIONS PER MUTCD STANDARDS (TYP) TO MATCH EXISTING STRIPING
- 7. PROPOSED 4" WIDE PARKING STALL STRIPING, TRAFFIC WHITE PAINT, MINIMUM 2 COATS TO MATCH EXISTING STRIPING
- 8. PROPOSED 5" WIDE PEDESTRIAN CROSSWALK, 4" WIDE STRIPING, TRAFFIC WHITE PAINT, MINIMUM 2 COATS TO MATCH EXISTING STRIPING
- 9. PROPOSED FLAGPOLE. SEE ARCHITECTURAL PLANS.
- 10. PROPOSED 4"-DIAMETER VEHICLE BOLLARD
- 11. PROPOSED BUILDING COLUMN WITH PROTECTIVE BOLLARDS. SEE ARCHITECTURAL PLANS.
- 12. PROPOSED INVERTED "U" BICYCLE RACK (2)
- 13. PROPOSED BUILDING OVERHANG. SEE ARCHITECTURAL PLANS.
- 14. PROPOSED DRIVE-UP SERVICE ATM WITH PROTECTIVE BOLLARDS (9'x19" VEHICLE ENVELOPE SHOWN FOR STACKING).
- 15. EXISTING ELECTRICAL TRANSFORMER TO REMAIN
- 16. PROPOSED "DO NOT ENTER" R5-1 SIGN.

| | | |
|---|-------------------|------------|
| 2 | SITE PLAN REVIEW | 09.15.2023 |
| 1 | CLIENT REVIEW SET | 07.19.2023 |

| Delta | Issue | Description | Date |
|-------|-------|-------------|------|
|-------|-------|-------------|------|

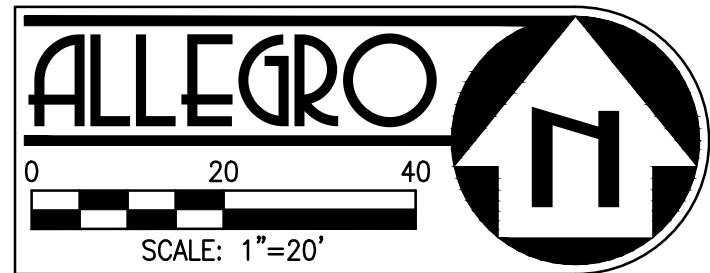


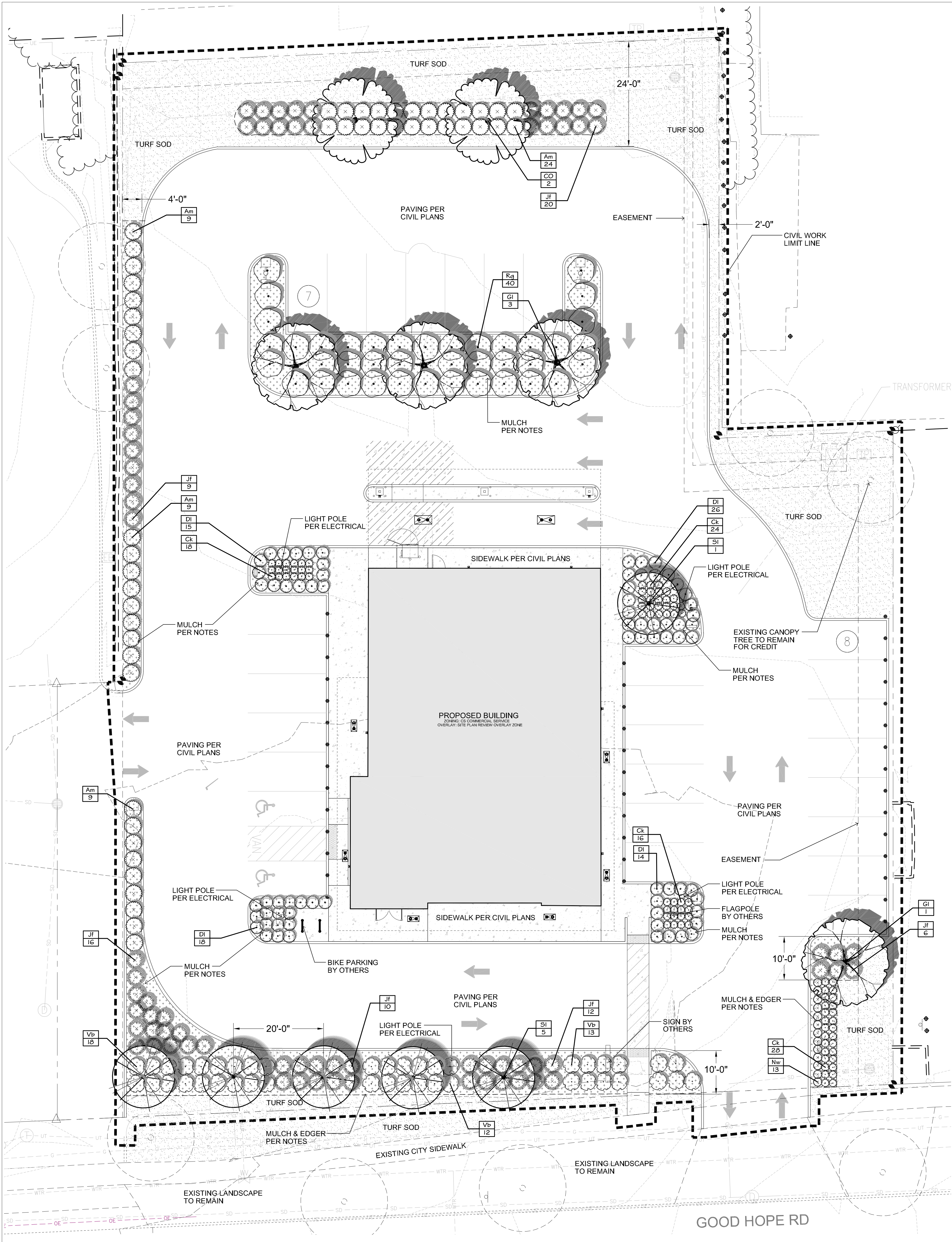
ALLEGRO CIVIL ENGINEERS
4322 N. LINCOLN AVE. SUITE A
CHICAGO, IL 60618
(872) 270-3691

| | | |
|----------------------|-------|----------------|
| MRJ/BBE | A/JH | Owner Approval |
| Drawn | Check | As indicated |
| Job No. 2023-003-004 | | Scale |

PRELIMINARY SITE
PLAN

Title
C2.0
Sheet





Landscape Requirements:

Zoning: CS Commercial Service
Overlay District: Site Plan Review Overlay Zone

SITE DATA
Parking Spaces: 28
Landscape Area (On-Property, Excluding Easements): 7,626 SF
Good Hope Rd Landscape Frontage: 138 LF
Existing Canopy Trees on Site to Remain for Credit: 1

SITE TRIANGLES
In all zoning districts, 10 feet for the intersection of an access drive and a street

PARKING LOT LANDSCAPING REQUIREMENTS
1 canopy tree per 4 parking spaces
Calculation: 28 / 4 = 7 Canopy Trees

LANDSCAPED AREA REQUIREMENTS
1 low shrubs (or 2 perennials) per 25 SF of landscaped area
Calculation: 7,626 / 25 = 305 Low Shrubs

GOOD HOPE RD FRONTAGE REQUIREMENTS
1 canopy tree per 20 LF of frontage
Calculation: 138 / 20 = 6 Trees

GENERAL LANDSCAPE REQUIREMENTS & NOTES
Ornamental trees shall be considered canopy trees if they meet the minimum size requirements. Ornamental trees shall be set back at least 5' from any sidewalk. No more than 50% of total trees required may be ornamental trees.

Canopy trees located within 20' of the street lot line may be credited toward street frontage screening requirements.

Planting Areas for Trees
100 SF minimum of surface area
150 cubic feet minimum of planting soil

Planting Sizes
Canopy Tree: 2.5" caliper (Two 1.5" caliper trees may be substituted)
Evergreen Tree: 6' Height
Low Shrubs (4' Height Max): 3 gallon
Tall Shrubs (6' Height Minimum): 3 gallon
Perennials/ Ornamental Grasses: 1 gallon

PLANT SCHEDULE

| OVERSTORY TREE | CODE | BOTANICAL NAME | COMMON NAME | SIZE | CONTAINER | QTY | REMARKS |
|--------------------|------|--|----------------------------------|-----------|-----------|-----|---------|
| | CO | Celtis occidentalis | Common Hackberry | 2.5" Cal. | B&B | 2 | |
| | GI | Gleditsia triacanthos inermis 'Skycole' TM | Skyline Thornless Honey Locust | 2.5" Cal. | B&B | 4 | |
| ORNAMENTAL TREES | CODE | BOTANICAL NAME | COMMON NAME | SIZE | CONTAINER | QTY | REMARKS |
| | SI | Syringa reticulata 'Ivory Silk' | Ivory Silk Japanese Tree Lilac | 2.5" Cal. | B&B | 6 | |
| SHRUBS | CODE | BOTANICAL NAME | COMMON NAME | SIZE | CONTAINER | QTY | REMARKS |
| | Am | Aronia melanocarpa 'Morton' TM | Iroquois Beauty Black Chokeberry | 3 gal. | Pot | 51 | |
| | DI | Diervilla lonicera | Dwarf Bush Honeysuckle | 3 gal. | Pot | 73 | |
| | JF | Juniperus chinensis 'Sea Green' | Sea Green Juniper | 3 gal. | Pot | 73 | |
| | Rg | Rhus aromatica 'Gro-Low' | Gro-Low Fragrant Sumac | 3 gal. | Pot | 40 | |
| | Vb | Viburnum trilobum 'Bailey Compact' | Compact American Cranberry Bush | 3 gal. | Pot | 43 | |
| ANNUALS/PERENNIALS | CODE | BOTANICAL NAME | COMMON NAME | SIZE | CONTAINER | QTY | REMARKS |
| | Nw | Nepeta x faassenii 'Walkers Low' | Walkers Low Catmint | 1 gal. | Pot | 13 | |
| GRASSES | CODE | BOTANICAL NAME | COMMON NAME | SIZE | CONTAINER | QTY | REMARKS |
| | Ck | Calamagrostis x acutiflora 'Karl Foerster' | Feather Reed Grass | 1 gal. | Pot | 86 | |

General Notes:

- See Civil Engineer's plans for grading layout and requirements
- Contractor to coordinate all work in the city right-of-way with City of Milwaukee Works Department.
- Sod all disturbed areas except plant beds and mulch beds.
- All existing utilities must be verified.

Landscape Symbols Legend:



76TH & GOOD HOPE - W2-112

7630 GOOD HOPE RD
MILWAUKEE, WI 53223

~PRELIMINARY~
NOT INTENDED FOR
CONSTRUCTION

CALYX

CALYX DESIGN GROUP
LANDSCAPE ARCHITECTURE
475 CLEVELAND AVENUE N | SUITE 101A
SAINT PAUL, MN 55104
(651) 788-0018

| | | |
|---|-------------------|------------|
| 2 | CITY RESUBMITTAL | 09.15.2023 |
| 1 | CLIENT REVIEW SET | 07.19.2023 |

| Delta | Issue | Description | Date |
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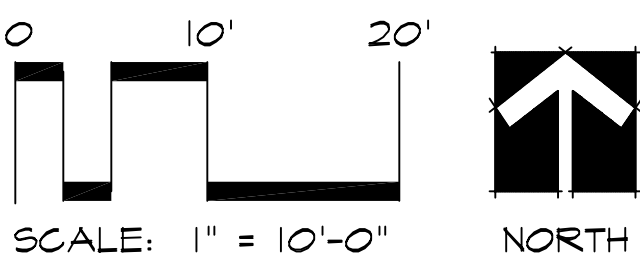
ALLEGRO CIVIL ENGINEERS
4322 N. LINCOLN AVE, SUITE A
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(872) 270-3691

| | | |
|----------------------|-------|----------------|
| MRJ/BBE | AJH | Owner Approval |
| Drawn | Check | As indicated |
| Job No. 2023-003-004 | | Scale |

LANDSCAPE
LAYOUT PLAN

L1.1

Sheet

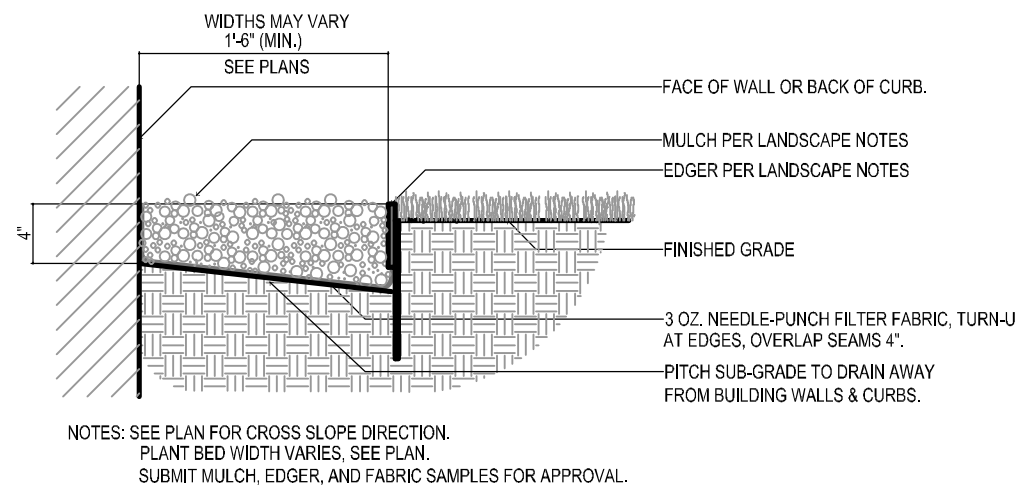


Landscape Notes & Requirements:

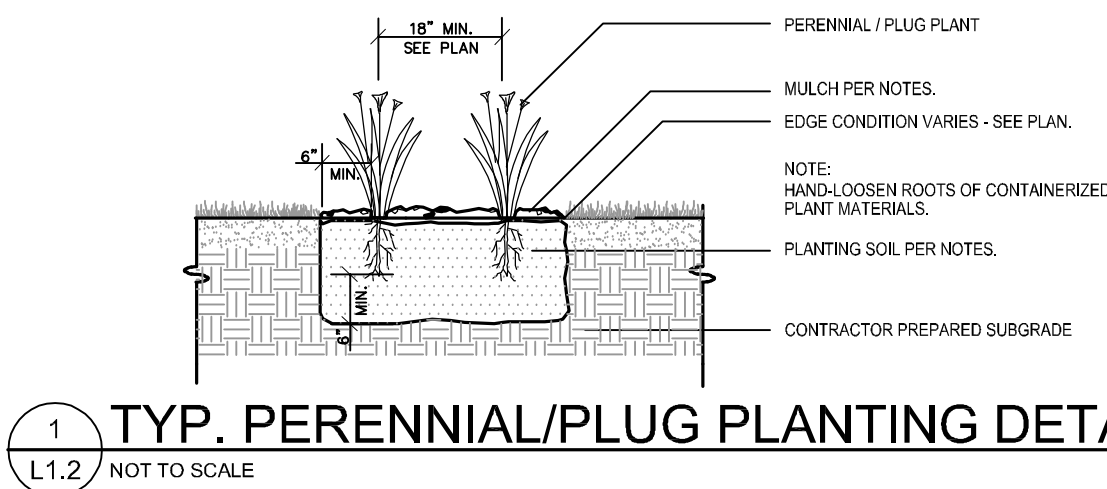
- Landscape contractor to provide nursery pull list (bill of lading) including plant species and sizes shipped to the site. Additionally, the landscape contractor shall provide nursery stock traceability, proving none of the materials provided contain or are genetic strains of the neonicotinoid family including acetamiprid, clothianidin, imidacloprid, nitenpyram, nithiazine, thiacloprid and thiamethoxam.
- Refer to civil plan sheets for grading, drainage, site dimensions, survey, tree removal, proposed utilities & erosion control.
- All plant material shall comply with the latest edition of the American Standard for Nursery Stock, American Association of Nurserymen. Unless noted otherwise, deciduous shrubs shall have at least 5 canes at the specified shrub height. Plant material shall be delivered as specified. All deciduous trees are measured at 48" from finished grade to determine tree diameter (DBH). All coniferous trees are measured from finished grade to the top of the central leader. If no central leader is present on coniferous trees, that plant is rejected and must be replaced immediately.
- Plan takes precedence over plant schedule if discrepancies in quantities exist.
- All proposed plants shall be placed as close to the location(s) indicated on the plan as possible. Contact the landscape architect if discrepancies arise during plant installation that require deviating location(s) from those shown on the plans.
- Adjustment in location of proposed plant material may be needed in field. Should an adjustment be required, the client will provide field approval. Significant changes may require city review and approval.
- The project landscape contractor shall be held responsible for watering and properly handling all plant materials brought on the site both before and after installation. Schedule plant deliveries to coincide with expected installation time within 36 hours.
- All plant materials shall be fertilized upon installation as specified.
- The landscape contractor shall provide the owner with a watering schedule appropriate to the project site conditions and to plant material growth requirements.
- If the landscape contractor is concerned or perceives any deficiencies in the plant selections, soil conditions, drainage or any other site condition that might negatively affect plant establishment, survival or guarantee, they must bring these deficiencies to the attention of the landscape architect & client prior to bid submission. Plant bed drainage concerns during plant installation shall be brought to the attention of the Owner and General Contractor immediately.
- Contractor shall establish to his/ her satisfaction that soil and compaction conditions are adequate to allow for proper drainage at and around the building site.
- Contractor is responsible for ongoing maintenance of all newly installed material for the duration of the plant warranty, with the exception of turf sod, which shall be maintained for 30 days after installation or until the first mowing, whichever comes first. Contractor must bag clippings from initial mowing and remove from the job site. Any acts of vandalism or damage which may occur prior to warranty start shall be the responsibility of the contractor. Contractor shall provide the owner with O&M information, including (but not limited to), written instructions on proper lawn mowing height, yearly lawn maintenance recommendations, proper plant pruning information, plant & lawn fertilization schedule, and disease/pest control.
- The contractor shall guarantee newly planted material through one calendar year from the date punch list review. Plants that exhibit more than 20% die-back damage shall be replaced at no additional cost to the owner. The contractor shall also provide adequate tree wrap and deer/rodent protection measures for the plantings during the warranty period.
- This layout plan constitutes our understanding of the landscape requirements listed in the ordinance. Changes and modifications may be requested by the city based on applicant information, public input, council decisions, etc.
- The landscape contractor shall be responsible for obtaining any permits and coordinating inspections as required throughout the work process.
- Plant size & species substitutions must be approved in writing prior to acceptance in the field.
- Irrigation: All newly planted areas shall be irrigated. Refer to Sheet L1.3.
- Landscape Contractor is responsible for coordination with the General Contractor, to protect the new improvements on and off-site during landscape work activities. Report any damage to the General Contractor immediately.
- Mulch: Planting beds to receive **rock mulch** shall be locally available $\frac{3}{4}$ " river pebble rock mulch, to a depth of 4-inches over free-draining weed mat. Submit mulch sample for review and approval. **Tree saucer mulch** to be four inches (4") depth Eastern Red Cedar mulch for trees outside the plant bed. Install per tree planting detail.
- Edger to be 16 GA Plated Finish Perforated Edger, Coyote or approved Equal. Stake every 18" minimum. Submit sample for approval.
- All planting areas shall be prepared prior to installation activities with clean, imported topsoil. Provide a firm planting bed free of stones, sticks, construction debris, etc.
- The Landscape Contractor shall furnish samples of all landscape materials for approval prior to installation.
- The Landscape Contractor shall clear and grub the underbrush from within the work limits to remove dead branches, leaves, trash, weeds and foreign materials.
- The landscape contractor shall contact Gopher State One Call no less than 48 hours before digging for field utility locations.
- The landscape contractor shall be responsible for the removal of erosion control measures once vegetation has been established to the satisfaction of the municipal staff. This includes silt curtain fencing and sediment logs placed in the landscape.
- The landscape contractor shall be responsible for visiting the site to become familiar with the conditions prior to bidding and installation. Coordinate with the general contractors on matters such as fine grading, landscaped area conditions, staging areas, irrigation connection to building, etc.
- Any work performed beyond the property line shall be restored to predevelopment condition. The landscape contractor is responsible for gaining approval for any work beyond the property line.
- All sub-cut areas of the site that are designated on the site plan as open space for landscape shall be graded with imported, pulverized topsoil. Slope away from building. See note 32 below.
- Landscape contractor must prove the open sub-grade of all planting areas after their excavation is capable of infiltrating a minimum requirement of 1/4-inch of water per hour prior to installation of plant materials, topsoil, irrigation, weed mat, and mulch. Planting areas not capable of meeting this requirement shall have 4" diameter X 48" depth holes augured every 36" on-center and filled with WisDOT Free-Draining Coarse Filter Aggregate. Re-test sub-grade percolation for compliance to infiltration minimum requirement.
- Fencing (if noted) per Architect's Plans and Specifications.
- Landscape contractor shall include in their bid to remove any existing shrubs, sod, edger, fabric, and edger that interferes with new improvements shown in this package.
- Landscape Contractor and Excavator shall be responsible for providing 18" depth topsoil in plant beds and 24" in tree pits.

~PRELIMINARY~
NOT INTENDED FOR
CONSTRUCTION

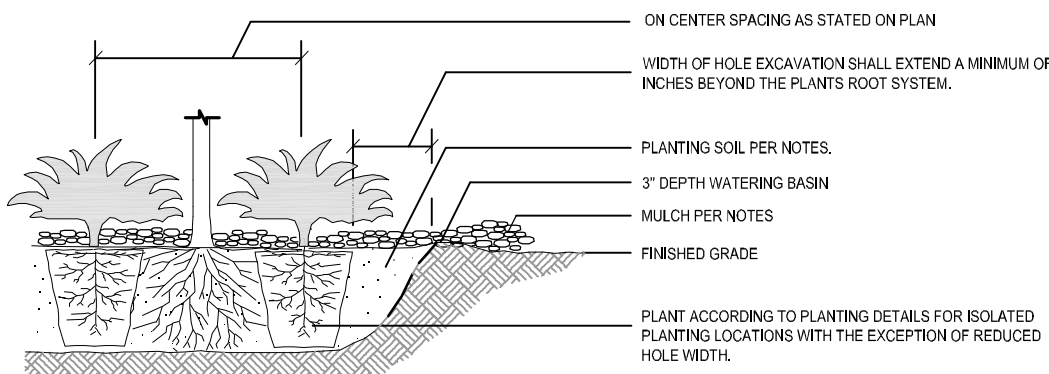
CALYX
CALYX DESIGN GROUP
LANDSCAPE ARCHITECTURE
475 CLEVELAND AVENUE N | SUITE 101A
SAINT PAUL, MN 55104
(651) 788-9018



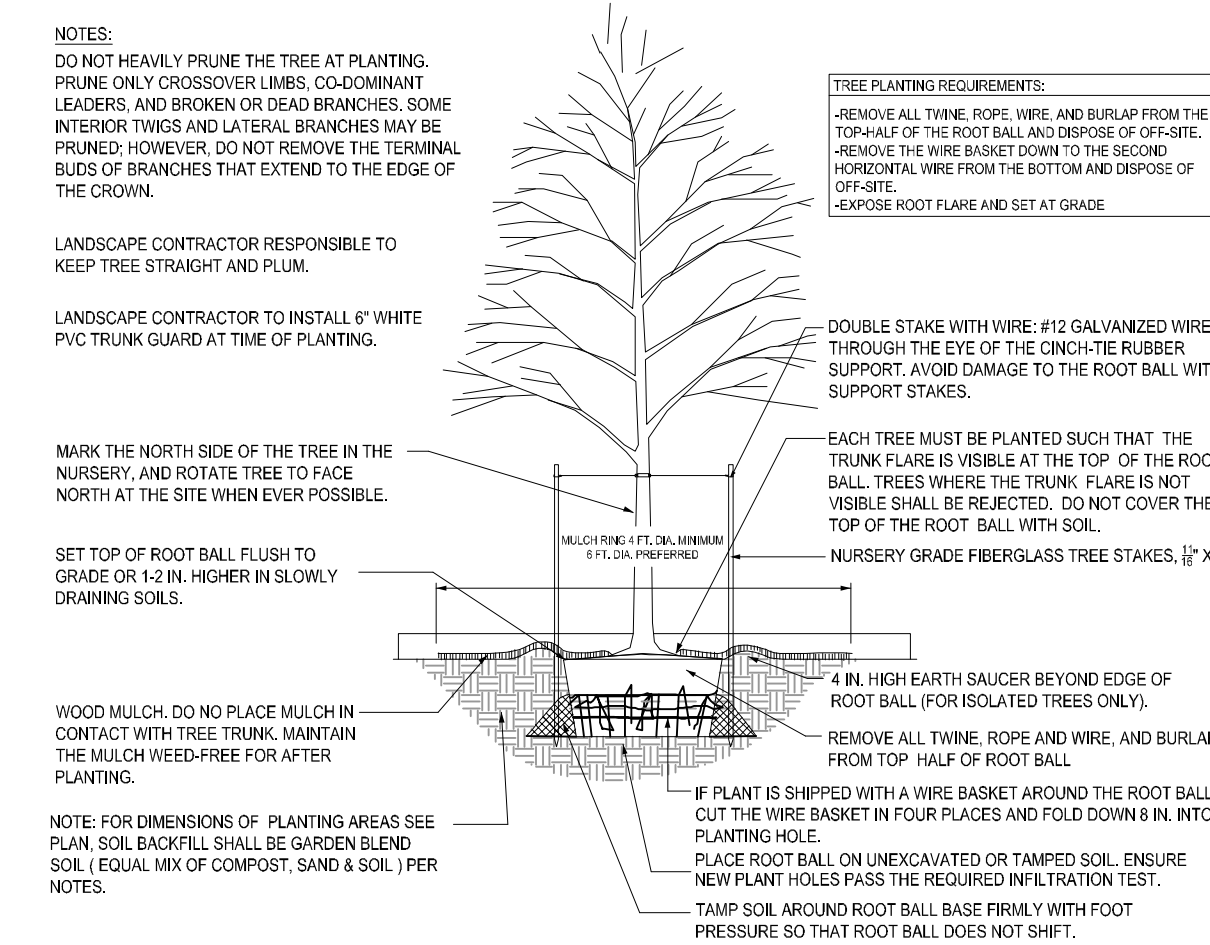
3 TYP. MULCH DETAIL
L1.2 NOT TO SCALE



1 TYP. PERENNIAL/PLUG PLANTING DETAIL
L1.2 NOT TO SCALE



2 TYP. SHRUB PLANTING - SECTION
L1.2 NOT TO SCALE



4 DECIDUOUS TREE PLANTING - SECTION
L1.2 NOT TO SCALE

| | | |
|---|-------------------|------------|
| 2 | CITY RESUBMITTAL | 09.15.2023 |
| 1 | CLIENT REVIEW SET | 07.19.2023 |

| Delta | Issue | Description | Date |
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ALLEGRO CIVIL ENGINEERS
4322 N. LINCOLN AVE, SUITE A
CHICAGO, IL 60618
(872) 270-3691

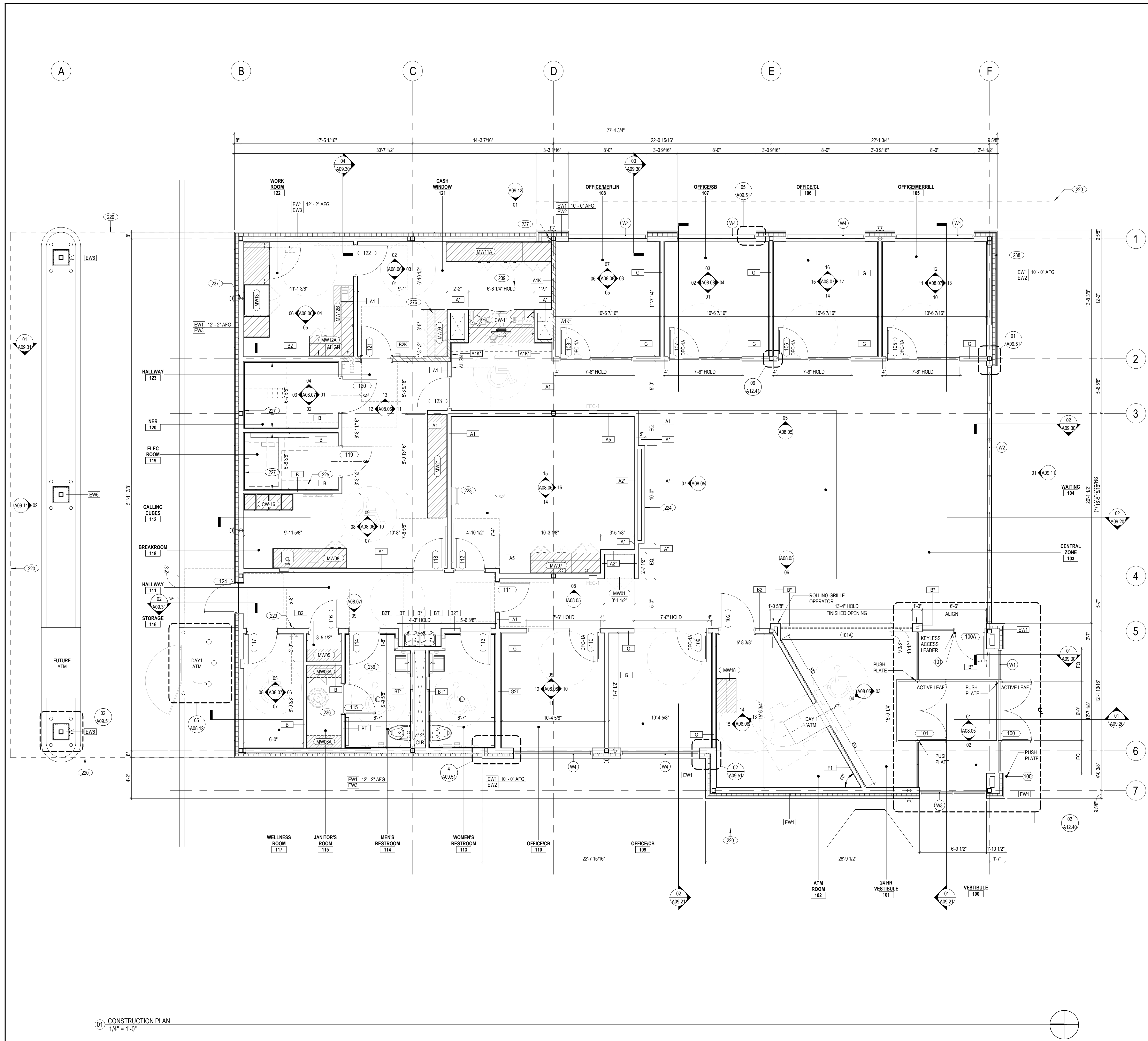
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|----------------------|-------|----------------|
| MRJ/BBE | AJH | Owner Approval |
| Drawn | Check | As indicated |
| Job No. 2023-003-004 | | Scale |

LANDSCAPE
DETAILS

Title

L1.2

Sheet



01 CONSTRUCTION PLAN
1/4" = 1'-0"

KEYNOTES

| NO. | DESCRIPTION |
|-----|---|
| 220 | LINE OF CANOPY ABOVE. |
| 223 | ROOF ACCESS LADDER (ROOF ACCESS HATCH ABOVE). |
| 224 | PROVIDE 4" HIGH PRECAST CONCRETE PAD FOR THE CENTRAL INVERTER, COORDINATE LOCATION WITH THE ELECTRICAL DRAWINGS. |
| 225 | PROVIDE 3/4" FIRE RATED PLYWOOD BACKER BOARD ON ALL SIDES INDICATED. INSTALLED ABOVE WALL BASE TO 8'-0" HIGH. PAINT PLYWOOD AS PER FINISH PLAN (DO NOT PAINT OVER FIRE RATED STAMP). ALL WALL POWER/DATA OUTLETS SHALL BE RECESSED AND FLUSH WITH THE PLYWOOD PANELS. |
| 227 | WELLNESS ROOM SIGNAGE BY SIGNAGE VENDOR. |
| 229 | WELLNESS ROOM SIGNAGE BY SIGNAGE VENDOR. |
| 237 | CLEAN OUTS ON THE EXTERIOR SIDE @ 24" ABOVE FINISHED FLOOR. |
| 238 | RED LINE DENOTES EDGE OF SLAB. |
| 239 | G.C. TO COORDINATE HOLD DIMENSION WITH CSR LINE SHOP DRAWINGS. |
| 276 | DAY 2 MILLWORK |

SHEET NOTES

- A. FOR ADDITIONAL GENERAL NOTES, LEGENDS AND SCHEDULES, REFER TO SHEETS A00.00, A00.10, A00.40, AND A00.50.
B. UNLESS OTHERWISE NOTED, LOCATE HINGE SIDE OF ALL DOORS 4" FROM ADJACENT PERPENDICULAR PARTITION.
C. VERIFY ALL EQUIPMENT WITH VENDOR.
D. PROVIDE BLOCKING FOR ALL WALL-MOUNTED EQUIPMENT AND ACCESSORIES.
E. PROVIDE WATER RESISTANT GYPSUM BOARD AT WET AREA.
F. PROVIDE EMBLEM SIGN IF REQUIRED.

LEGEND

- NEW PARTITION
REFERENCE TO PARTITION TYPE
- NEW DOOR
- COLUMN GRID
- OFFICE
ROOM NUMBER
DOOR NUMBER
DOOR NUMBER
HARDWARE
DOOR TYPE
SHEET NOTES
- REVISION REFERENCE
- DIRECTION OF ELEVATION
ELEVATION NUMBER ON SHEET
- SHEET WHERE SHOWN
DETAIL NUMBER
SHEET WHERE SHOWN
DESCRIPTION OF SIMILAR OR OPPOSITE
- AREA TO BE DETAILED
- MILLWORK
MILLWORK SCHEDULE TAG
- ALIGN
FIRE EXTINGUISHER CABINET (F.E.C.)
BLOCKING REQUIRED FOR MILLWORK

BANK OF AMERICA

76th & GOOD HOPE - W12-112

7630 GOOD HOPE RD
MILWAUKEE, WI 53223

| DELTA | ISSUE | DESCRIPTION | DATE |
|-------|--------------------------|-------------|------|
| 5 | ISSUED FOR DD FINAL | 07.14.2023 | |
| 4 | ISSUED FOR DD 90% REVIEW | 07.13.2023 | |
| 2 | ISSUED FOR SD FINAL | 06.16.2023 | |
| 1 | ISSUED FOR SD 90% REVIEW | 05.03.2023 | |

IA INTERIOR ARCHITECTS

CHARLOTTE
615 S. COLLEGE ST., SUITE 725
CHARLOTTE, NC 28202
TEL 704-908-1540

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Owner Approval
478ACX.1104.018 1/4" = 1'-0"
Job No. Scale

CONSTRUCTION PLAN

A02.01

NOTE TO AOR:
SIGNAGE BY BANK VENDOR. A/E SHALL COORDINATE WITH OWNER
AND OWNER VENDOR. PROVIDE BLOCKING / POWER AND INDICATE
THE SECTION DETAILS FOR THE REQUIRED PENETRATIONS.

[illegible]

| EXTERIOR CLADDING SYSTEM | |
|--------------------------|--|
| EPS-1 | CITADEL ENVELOPE 2000 RAINSCREEN (RS), FINISH: CITADEL CLEAR ANODIZED SATIN |
| EPS-1A | ACM MANUFACTURER: ARCONIC, REYNOBOND ATTACHMENT: EAST COAST METAL SYSTEM EC-200 DRY JOINT SYSTEM, FINISH: CLEAR ANODIZED SATIN METAL THICKNESS: RBCACFR |
| EPS-3 | CITADEL ENVELOPE 2000 RAINSCREEN (RS), FINISH: CITADEL ARCTIC WHITE SATIN |
| EPS-3A | ACM MANUFACTURER: ARCONIC, REYNOBOND ATTACHMENT: EAST COAST METAL SYSTEM EC-200 DRY JOINT SYSTEM, FINISH: PURE WHITE (COLORWELD500) METAL THICKNESS: 4.0FRCSPWH4 |
| EPS-6 | PURE+FREEFORM HORIZONTAL FLUSH WALL METAL PANEL SYSTEM. FINISH: ROMA NOCE #S963 SATIN |
| EPS-6A | TRESPA PURA PANEL ON SPECTRUM UNITY CLASSIC SYSTEM. PU30 TROPICAL, IP/ MATTE/ BROWN CORE |

NOTE TO AOR:
EPS-1A IS AN ALTERNATE TO EPS-1.

EPS-3A IS AN ALTERNATE TO EPS-3.

AOR TO REVIEW ALTERNATE SIZING AND SEAM DETAILS WITH STORE DESIGN PRIOR TO CONSTRUCTION.

NOTE TO AOR:
VERIFY THE PROPOSED CLADDING WITH STORE DESIGN. ALTERNATE DETAILS ON A09.34.

OPTION 1: EPS-5
OR
OPTION 2: EPS-6A

| | |
|--|---|
| FLASHING BASE | |
| SS-1 | BRAKE METAL BASE AT PT-03 COLOR SHALL MATCH WALL FINISH PER SAMPLE |
| SS-2 | BRAKE METAL BASE AT EPS-3/EPS-3A COLOR SHALL MATCH WALL FINISH PER SAMPLE |
| SS-3 | BRAKE METAL BASE AT EPS-5 COLOR SHALL MATCH WALL FINISH PER SAMPLE |
| SS-4 | BRAKE METAL BASE AT EPS-5A COLOR SHALL MATCH WALL FINISH PER SAMPLE |
| | |
| BRAKE METAL | |
| BM-1 | BRAKE METAL TO MATCH ALUMINIUM STOREFRONT SYSTEM |
| | |
| EXTERIOR PAINT | |
| (PAINTED TO MATCH STUCCO) | |
| EXPT-17 | BENJAMIN MOORE CHARCOAL SLATE FLAT |
| | |
| EXTERIOR SEALANT COLOR | |
| GLAZING AT STOREFRONT | BLACK |
| METAL PANEL/SIDING TO METAL PANEL/SIDING | MATCH CLIP |
| WINDOW FRAME/ STOREFRONT TO STUCCO | MATCH FRAME |
| METAL PANEL/SIDING TO STUCCO | MATCH STUCCO |
| METAL PANEL/SIDING TO STOREFRONT | MATCH FRAME |

7630 GOOD HOPE RD
MILWAUKEE, WI 53223

| | | |
|---|--------------------------|------------|
| 5 | ISSUED FOR DD FINAL | 07.14.2023 |
| 4 | ISSUED FOR DD 90% REVIEW | 07.13.2023 |
| 3 | COE SET | 05.16.2023 |
| 2 | ISSUED FOR SD FINAL | 05.16.2023 |
| 1 | ISSUED FOR SD 90% REVIEW | 05.03.2023 |

| DELTA | ISSUE | DESCRIPTION | DATE |
|-------|-------|-------------|------|
|-------|-------|-------------|------|

IA | INTERIOR
ARCHITECTS

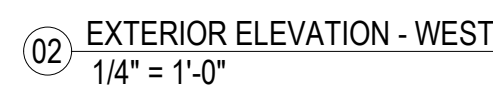
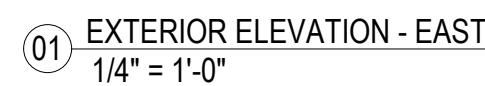
CHARLOTTE
615 S. COLLEGE ST. SUITE 725
CHARLOTTE, NC 28202
TEL 704-908-1540

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WRITTEN CONSENT OF THE ARCHITECT.

| | |
|-----------------|--------------|
| Owner Approval | |
| 47BACX.1104.018 | As indicated |
| Job No. | Scale |

EXTERIOR ELEVATIONS

A09.11



A09.12



Existing Photo



Proposed Photo



Existing

| | |
|---------------------|----------|
| Asset Zone: | Sign |
| Asset Type: | Exterior |
| Sign Number: | EXT-001 |
| Existing Sign Type: | |
| Face Material: | |
| Graphics Material: | |
| Overall Height: | |
| Face Height: | |
| Face Width: | |
| Illuminated: | |
| Electrical: | |
| Wall Material: | |
| Sign Comment: | |

Proposed

| | | | |
|---------------------------|---|------------------------|-------------|
| Asset Type: | Exterior | Overall Height: | 14' |
| Sign Number: | EXT-001 | Overall Width: | 8'-6 5/8" |
| Sign Type: | Custom | Logo Height: | |
| Description: | Custom 14' A2ng Pylon | Letter Height: | 5 5/8" |
| Action: | New | Illuminated: | Illuminated |
| Comments: | We assume signage criteria for this zone limits ground signs OAH to 14'. Recommend to building standard A2ng pylon at 14' height instead of 16'. | | |
| Restoration Notes: | Field verification is required for all ground signs to ensure that the recommended sign will fit in the recommended location, taking into account all set-backs, obstructions, underground utilities, etc. If a problem is detected by the field verification, an IFR should be submitted for modification by Monigle Associates prior to any manufacturing . New electrical work required. Field verify available circuits and access prior to fabrication. Restore ground material to base of new sign. | | |

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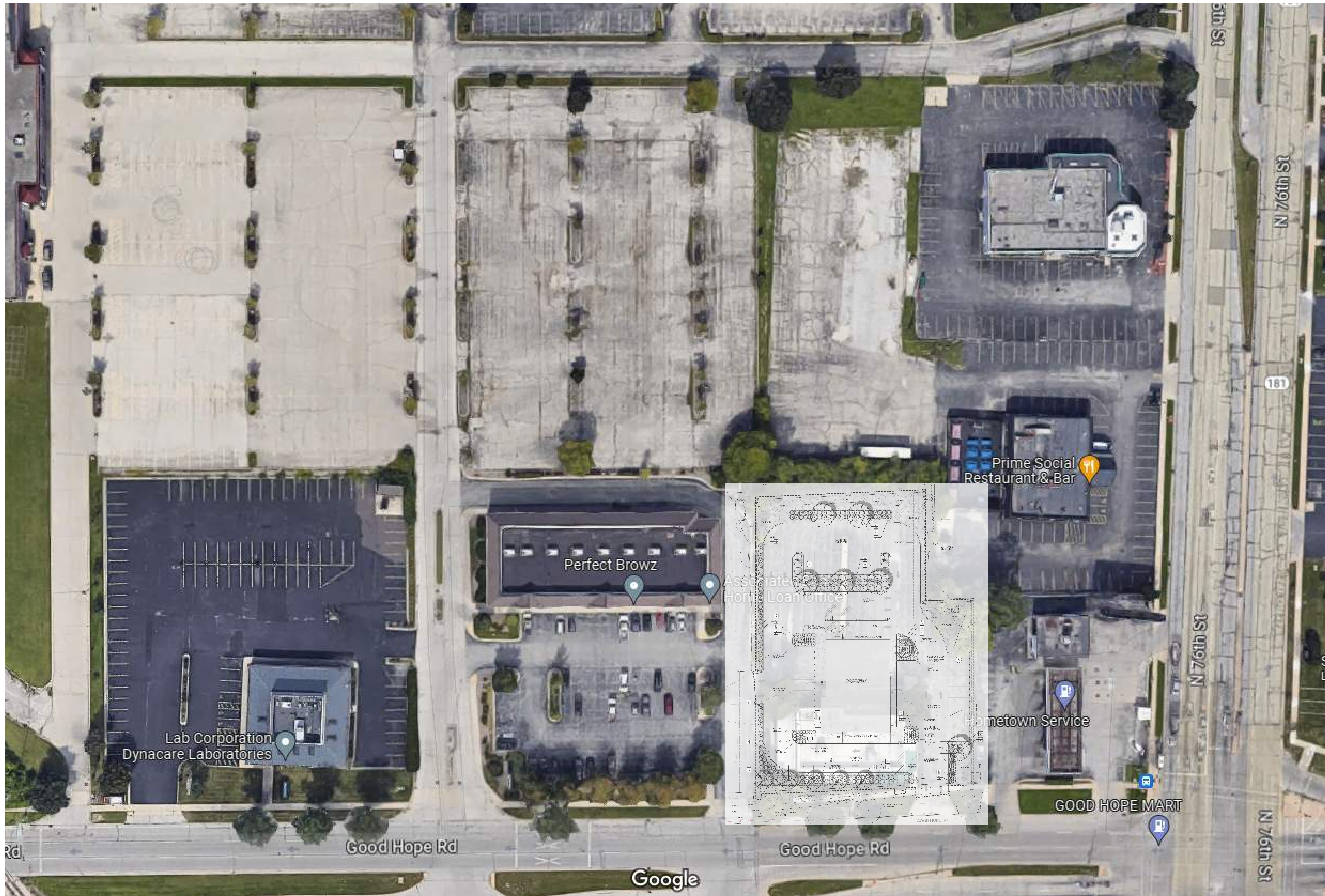


Physical barriers containing landscape materials used to separate parking areas and independent outlots from internal circulation system

Direct access to shopping center is provided on west side of site

Area of proposed new bank

Existing sidewalk provided adjacent to public street



REPRESENTATIVE ONLY



REPRESENTATIVE ONLY



REPRESENTATIVE ONLY




BANK OF AMERICA

Do Not Enter



REPRESENTATIVE ONLY



REPRESENTATIVE ONLY



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