

## **SURVEY NOTES:**

1. TOPOGRAPHIC/BOUNDARY SURVEY PROVIDED BY CHAPUT LAND SURVEYS, DATED MARCH 30, 2023.
2. BASIS OF BEARINGS: BEARINGS ARE REFERENCED TO THE SOUTH LINE OF THE SE 1/4 OF SECTION 16, WHICH IS ASSUMED TO BEAR S87°33'06"W.
3. BENCHMARK: XXX.
4. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

## **GENERAL NOTES:**

1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY AND COUNTY OF MILWAUKEE, WisDOT, AND WISCONSIN STANDARDS AND SPECIFICATIONS.
2. ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
3. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND LOCAL CODES. WHEN CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY. THE CONTRACTOR SHALL CAUSE A CURRENT COPY OF SAID CODES TO BE MAINTAINED ON SITE AT ALL TIMES.
4. ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE GOVERNED BY LOCAL CODES.
5. THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
6. THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

## **ACCESSIBILITY NOTES:**

1. ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE LATEST WISCONSIN ACCESSIBILITY CODE, AND WITH THE AMERICANS WITH DISABILITIES ACT (ADA), LATEST EDITION.
2. RAMPS SHALL NOT EXCEED A RUNNING SLOPE OF 1:12 (8.33%).
3. RAMPS ARE DEFINED AS ANY WALKWAY BETWEEN SLOPES 1:20 (5%) AND 1:12 (8.33%) AND SHALL HAVE A MINIMUM WIDTH OF 4 FEET AND A MAXIMUM CROSS-SLOPE OF 2%. RAMPS EXCEEDING 30 INCHES VERTICAL CHANGE SHALL HAVE INTERMEDIATE (2% MAX SLOPE) LANDINGS HAVING A MINIMUM LENGTH IN THE DIRECTION OF TRAVEL OF 60 INCHES. BOTTOM LANDINGS AT CHANGES IN RAMP DIRECTION SHALL HAVE A MINIMUM LENGTH OF 72 INCHES.
4. MAXIMUM CROSS-SLOPE ON ANY WALK OR RAMPS SHALL BE 2%. ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
5. ALL WALKS SHALL HAVE A MINIMUM 4 FOOT CLEAR WIDTH FOR ACCESSIBLE CONFORMANCE.

## SITE INFORMATION:

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TAX ID: 107-0233-000  
ZONING: CS (COMMERCIAL SERVICE)  
OVERLAY: SPROZ (SITE PLAN REVIEW OVERLAY ZONE)  
FLOOD ZONE: THE PROPERTY LIES WITHIN FLOOD ZONE 'X' PER FIRM MAP NO: 55079C0019E,  
WITH AN EFFECTIVE DATE OF SEPTEMBER 26, 2008. ZONE X IS DEFINED AS "AREA  
OUTSIDE THE 1% ANNUAL CHANCE FLOODPLAIN".

<b><u>SUMMARY:</u></b>		
TOTAL PARCEL AREA	±40,617 SF	(±0.932 ACRES)
TOTAL DISTURBED AREA	±39,346 SF	(±0.903 ACRES)
BUILDING FOOTPRINT	±4,320 SF	
<b><u>DISTURBED AREA SUMMARY:</u></b>		
	EXISTING	PROPOSED
IMPERVIOUS AREA	±36,817 SF	±30,676 SF
PERVIOUS AREA	±3,800 SF	±9,941 SF
CHANGE IN IMPERVIOUS AREA		±6,141 SF DECREASE
<b><u>SETBACKS:</u></b>		
	LANDSCAPE	BUILDING
FRONT	10'	0'
SIDE	0'	0'
REAR	0'	0'
<b><u>PARKING SUMMARY:</u></b>		
	PROPOSED	REQUIRED
STANDARD STALLS (9'x18')	26	6
ADA STALLS (8'x18')	2	1
TOTAL	28	7 (4 + (4320-2000)/1000)

## LEGEND

PROPERTY LINE

PROXIMATE LIMIT OF DISTURBANCE  
1-FOOT CONTOUR  
5-FOOT CONTOUR

## EXISTING

— — — — — 1  
— — — — — 5  
— — — — — WTR  
— — — — — SAN  
— — — — — SD  
— — — — — OE  
— — — — — UE  
— — — — — UT  
— — — — — F  
— — — — — G

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76TH & GOOD HOPE - W2-112

7630 GOOD HOPE RD  
MILWAUKEE, WI 53223

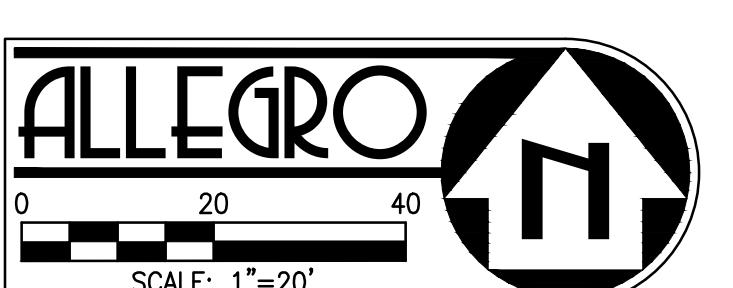
## **SITE PLAN KEY NOTES**

- 1 PROPOSED PCC 6" TALL BARRIER CURB
- 2 PROPOSED TYPE 4-B INLINE ACCESSIBLE CURB RAMP WITH DETECTABLE WARNING TRUNCATED DOMES
- 3 PROPOSED TYPE 7-A MID BLOCK ACCESSIBLE CURB RAMP WITH DETECTABLE WARNING TRUNCATED DOMES
- 4 PROPOSED TYPE 7-A MID BLOCK ACCESSIBLE CURB RAMP (MODIFIED) WITH DETECTABLE WARNING TRUNCATED DOMES
- 5 PROPOSED ACCESSIBLE PARKING STALL WITH ACCESSIBLE LOADING AREA AND PAVEMENT MARKINGS, ADA SIGN AND SIGN POST
- 6 PROPOSED PAVEMENT DIRECTIONAL ARROW AND STOP BAR, TRAFFIC WHITE PAINT, MINIMUM TWO COATS. DIMENSIONS PER MUTCD STANDARDS (TYP) TO MATCH EXISTING STRIPING
- 7 PROPOSED 4" WIDE PARKING STALL STRIPING, TRAFFIC WHITE PAINT, MINIMUM 2 COATS TO MATCH EXISTING STRIPING.
- 8 PROPOSED 5' WIDE PEDESTRIAN CROSSWALK, 4" WIDE STRIPING, TRAFFIC WHITE PAINT, MINIMUM 2 COATS TO MATCH EXISTING STRIPING.
- 9 PROPOSED FLAGPOLE. SEE ARCHITECTURAL PLANS.
- 10 PROPOSED 4"-DIAMETER VEHICLE BOLLARD
- 11 PROPOSED BUILDING COLUMN WITH PROTECTIVE BOLLARDS. SEE ARCHITECTURAL PLANS.
- 12 PROPOSED INVERTED "U" BICYCLE RACK (2)
- 13 PROPOSED BUILDING OVERHANG. SEE ARCHITECTURAL PLANS.
- 14 PROPOSED DRIVE-UP SERVICE ATM WITH PROTECTIVE BOLLARDS (9'X19' VEHICLE ENVELOPE SHOWN FOR STACKING).
- 15 EXISTING ELECTRICAL TRANSFORMER TO REMAIN
- 16 PROPOSED "DO NOT ENTER" R5-1 SIGN

2	SITE PLAN REVIEW	09.15.2023
1	CLIENT REVIEW SET	07.19.2023



ALLEGRO CIVIL ENGINEERS  
4322 N. LINCOLN AVE. SUITE A  
CHICAGO, IL 60618  
(312) 973-2224



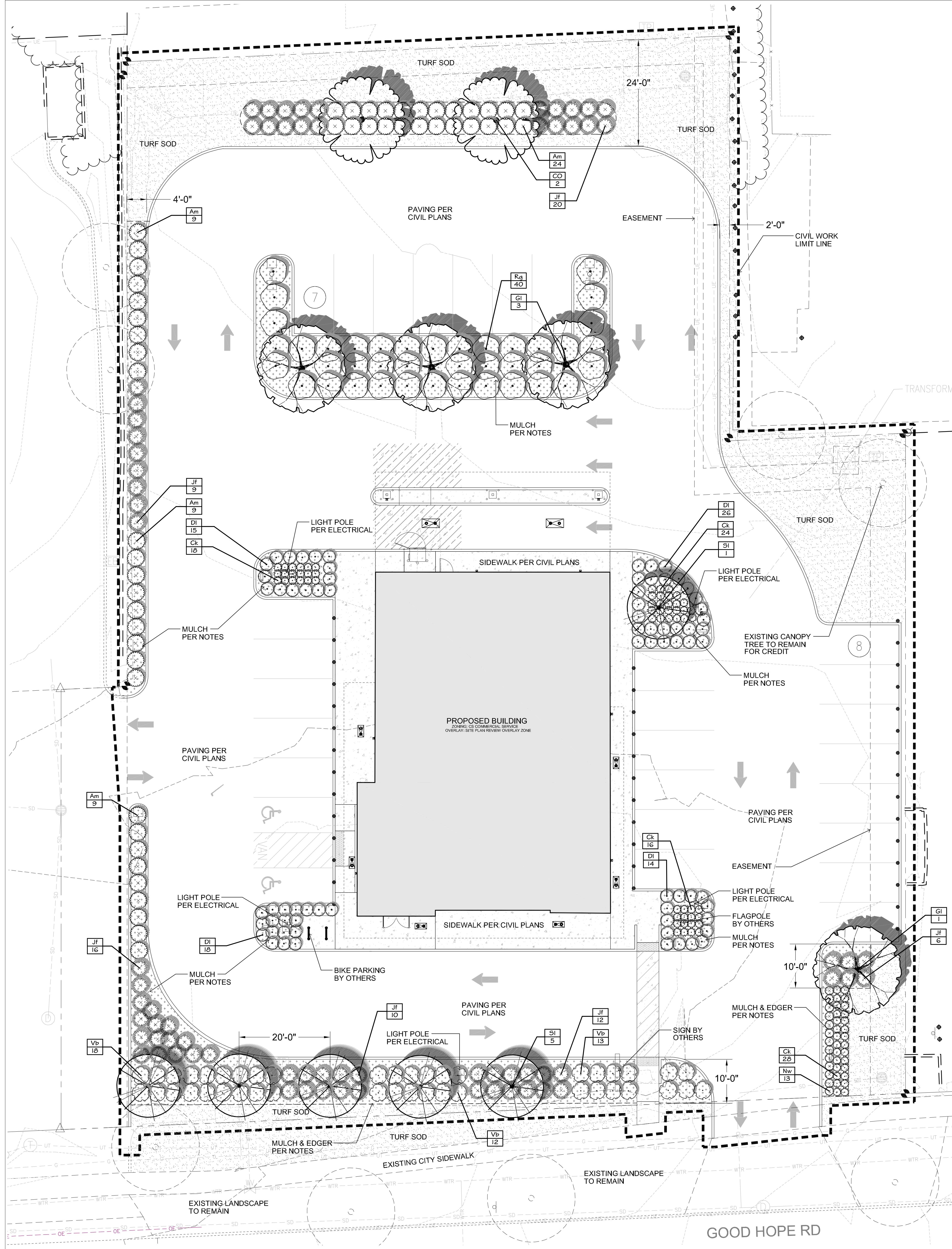
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WISCONSIN'S ONE-CALL CENTER 811 OR (800) 242-8511

MRJ/BBE	AJH	
Drawn	Check	Owner Approval
		As indicated
Job No. 6000-000-001	Serial No.	00000000000000000000000000000000

# **PRELIMINARY SITE PLAN**

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### Landscape Requirements:

Zoning: CS Commercial Service  
Overlay District: Site Plan Review Overlay Zone

**SITE DATA**  
Parking Spaces: 28  
Landscape Area (On-Property, Excluding Easements): 7,626 SF  
Good Hope Rd Landscape Frontage: 138 LF  
Existing Canopy Trees on Site to Remain for Credit: 1

**SITE TRIANGLES**  
In all zoning districts, 10 feet for the intersection of an access drive and a street

**PARKING LOT LANDSCAPING REQUIREMENTS**  
1 canopy tree per 4 parking spaces  
Calculation: 28 / 4 = 7 Canopy Trees

**LANDSCAPED AREA REQUIREMENTS**  
1 low shrub (or 2 perennials) per 25 SF of landscaped area  
Calculation: 7,626 / 25 = 305 Low Shrubs

**GOOD HOPE RD FRONTAGE REQUIREMENTS**  
1 canopy tree per 20 LF of frontage  
Calculation: 138 / 20 = 6 Trees

**GENERAL LANDSCAPE REQUIREMENTS & NOTES**  
Ornamental trees shall be considered canopy trees if they meet the minimum size requirements. Ornamental trees shall be set back at least 5' from any sidewalk. No more than 50% of total trees required may be ornamental trees.  
Canopy trees located within 20' of the street lot line may be credited toward street frontage screening requirements.

**Planting Areas for Trees**  
100 SF minimum of surface area  
150 cubic feet minimum of planting soil

**Planting Sizes**  
Canopy Tree: 2.5" caliper (Two 1.5" caliper trees may be substituted)  
Evergreen Tree: 6' Height  
Low Shrubs (4' Height Max): 3 gallon  
Tall Shrubs (6' Height Minimum): 3 gallon  
Perennials/Ornamental Grasses: 1 gallon

### General Notes:

1. See Civil Engineer's plans for grading layout and requirements
2. Contractor to coordinate all work in the city right-of-way with City of Milwaukee Works Department.
3. Sod all disturbed areas except plant beds and mulch beds.
4. All existing utilities must be verified.

### Landscape Symbols Legend:

New Rock Mulch Per Notes

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76TH & GOOD HOPE - W2-112

7630 GOOD HOPE RD  
MILWAUKEE, WI 53223

**~PRELIMINARY~  
NOT INTENDED FOR  
CONSTRUCTION**

**CALYX**  
CALYX DESIGN GROUP  
LANDSCAPE ARCHITECTURE  
475 CLEVELAND AVENUE N | SUITE 101A  
SAINT PAUL, MN 55104  
(651) 788-9018

2 CITY RESUBMITTAL 09.15.2023  
1 CLIENT REVIEW SET 07.19.2023

Delta Issue Description Date

**ALLEGRO**  
CIVIL ENGINEERS

ALLEGRO CIVIL ENGINEERS  
4322 N. LINCOLN AVE. SUITE A  
CHICAGO, IL 60618  
(872) 270-3691

MRJBBE Drawn AJH Check Owner Approval  
As indicated  
Job No. 2023-003-004 Scale

**LANDSCAPE  
LAYOUT PLAN**

**L1.1**  
Sheet

## Landscape Notes & Requirements:

1. Landscape contractor to provide nursery pull list (bill of lading) including plant species and sizes shipped to the site. Additionally, the landscape contractor shall provide nursery stock traceability, proving none of the materials provided contain or are genetic strains of the neonicotinoid family including acetamiprid, clothianidin, imidacloprid, nitenpyram, nithiazine, thiacloprid and thiamethoxam.
2. Refer to civil plan sheets for grading, drainage, site dimensions, survey, tree removal, proposed utilities & erosion control.
3. All plant material shall comply with the latest edition of the American Standard for Nursery Stock, American Association of Nurserymen. Unless noted otherwise, deciduous shrubs shall have at least 5 canes at the specified shrub height. Plant material shall be delivered as specified. All deciduous trees are measured at 48" from finished grade to determine tree diameter (DBH). All coniferous trees are measured from finished grade to the top of the central leader. If no central leader is present on coniferous trees, that plant is rejected and must be replaced immediately.
4. Plan takes precedence over plant schedule if discrepancies in quantities exist.
5. All proposed plants shall be placed as close to the location(s) indicated on the plan as possible. Contact the landscape architect if discrepancies arise during plant installation that require deviating location(s) from those shown on the plans.
6. Adjustment in location of proposed plant material may be needed in field. Should an adjustment be required, the client will provide field approval. Significant changes may require city review and approval.
7. The project landscape contractor shall be held responsible for watering and properly handling all plant materials brought on the site both before and after installation. Schedule plant deliveries to coincide with expected installation time within 36 hours.
8. All plant materials shall be fertilized upon installation as specified.
9. The landscape contractor shall provide the owner with a watering schedule appropriate to the project site conditions and to plant material growth requirements.
10. If the landscape contractor is concerned or perceives any deficiencies in the plant selections, soil conditions, drainage or any other site condition that might negatively affect plant establishment, survival or guarantee, they must bring these deficiencies to the attention of the landscape architect & client prior to bid submission. Plant bed drainage concerns during plant installation shall be brought to the attention of the Owner and General Contractor immediately.
11. Contractor shall establish to his/ her satisfaction that soil and compaction conditions are adequate to allow for proper drainage at and around the building site.
12. Contractor is responsible for ongoing maintenance of all newly installed material for the duration of the plant warranty, with the exception of turf sod, which shall be maintained for 30 days after installation or until the first mowing, whichever comes first. Contractor must bag clippings from initial mowing and remove from the job site. Any acts of vandalism or damage which may occur prior to warranty start shall be the responsibility of the contractor. Contractor shall provide the owner with O&M information, including (but not limited to), written instructions on proper lawn mowing height, yearly lawn maintenance recommendations, proper plant pruning information, plant & lawn fertilization schedule, and disease/pest control.
13. The contractor shall guarantee newly planted material through one calendar year from the date punch list review. Plants that exhibit more than 20% die-back damage shall be replaced at no additional cost to the owner. The contractor shall also provide adequate tree wrap and deer/rodent protection measures for the plantings during the warranty period.
14. This layout plan constitutes our understanding of the landscape requirements listed in the ordinance. Changes and modifications may be requested by the city based on applicant information, public input, council decisions, etc.
15. The landscape contractor shall be responsible for obtaining any permits and coordinating inspections as required throughout the work process.
16. Plant size & species substitutions must be approved in writing prior to acceptance in the field.
17. Irrigation: All newly planted areas shall be irrigated. Refer to Sheet L1.3.
18. Landscape Contractor is responsible for coordination with the General Contractor, to protect the new improvements on and off-site during landscape work activities. Report any damage to the General Contractor immediately.
19. Mulch: Planting beds to receive rock mulch shall be locally available 3" river pebble rock mulch, to a depth of 4-inches over free-draining weed mat. Submit mulch sample for review and approval. Tree saucer mulch to be four inches (4") depth Eastern Red Cedar mulch for trees outside the plant bed. Install per tree planting detail.
20. Edger to be 16 GA Plated Finish Perforated Edger, Coyote or approved Equal. Stake every 18" minimum. Submit sample for approval.
21. All planting areas shall be prepared prior to installation activities with clean, imported topsoil. Provide a firm planting bed free of stones, sticks, construction debris, etc.
22. The Landscape Contractor shall furnish samples of all landscape materials for approval prior to installation.
23. The Landscape Contractor shall clear and grub the underbrush from within the work limits to remove dead branches, leaves, trash, weeds and foreign materials.
24. The landscape contractor shall contact Gopher State One Call no less than 48 hours before digging for field utility locations.
25. The landscape contractor shall be responsible for the removal of erosion control measures once vegetation has been established to the satisfaction of the municipal staff. This includes silt curtain fencing and sediment logs placed in the landscape.
26. The landscape contractor shall be responsible for visiting the site to become familiar with the conditions prior to bidding and installation. Coordinate with the general contractors on matters such as fine grading, landscaped area conditions, staging areas, irrigation connection to building, etc.
27. Any work performed beyond the property line shall be restored to predevelopment condition. The landscape contractor is responsible for gaining approval for any work beyond the property line.
28. All sub-cut areas of the site that are designated on the site plan as open space for landscape shall be graded with imported, pulverized topsoil. Slope away from building. See note 32 below.
29. Landscape contractor must prove the open sub-grade of all planting areas after their excavation is capable of infiltrating a minimum requirement of 1/4-inch of water per hour prior to installation of plant materials, topsoil, irrigation, weed mat, and mulch. Planting areas not capable of meeting this requirement shall have 4" diameter X 48" depth holes augured every 36" on-center and filled with WisDOT Free-Draining Coarse Filter Aggregate. Re-test sub-grade percolation for compliance to infiltration minimum requirement.
30. Fencing (if noted) per Architect's Plans and Specifications.
31. Landscape contractor shall include in their bid to remove any existing shrubs, sod, edger, fabric, and edger that interferes with new improvements shown in this package.
32. Landscape Contractor and Excavator shall be responsible for providing 18" depth topsoil in plant beds and 24" in tree pits.

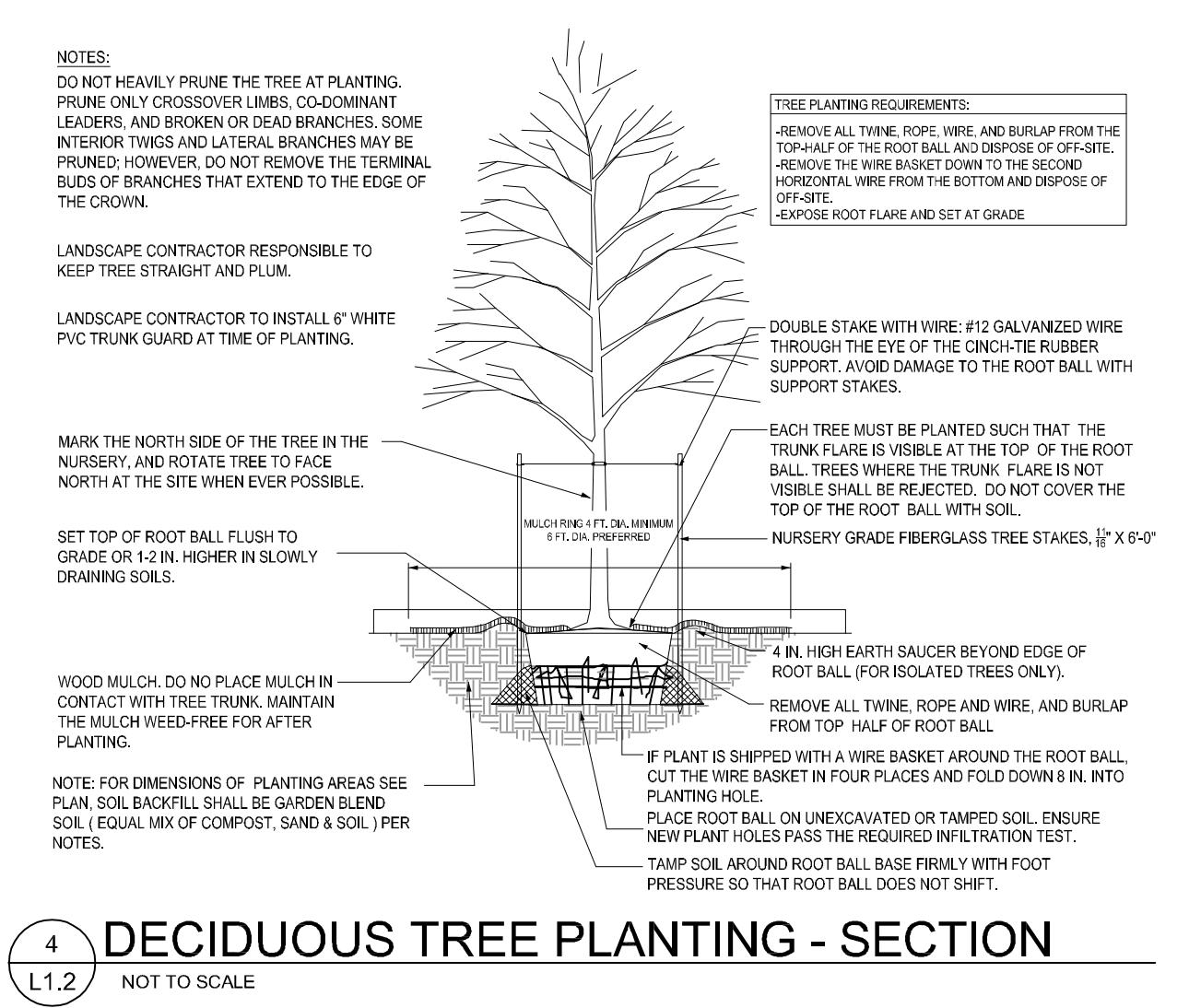
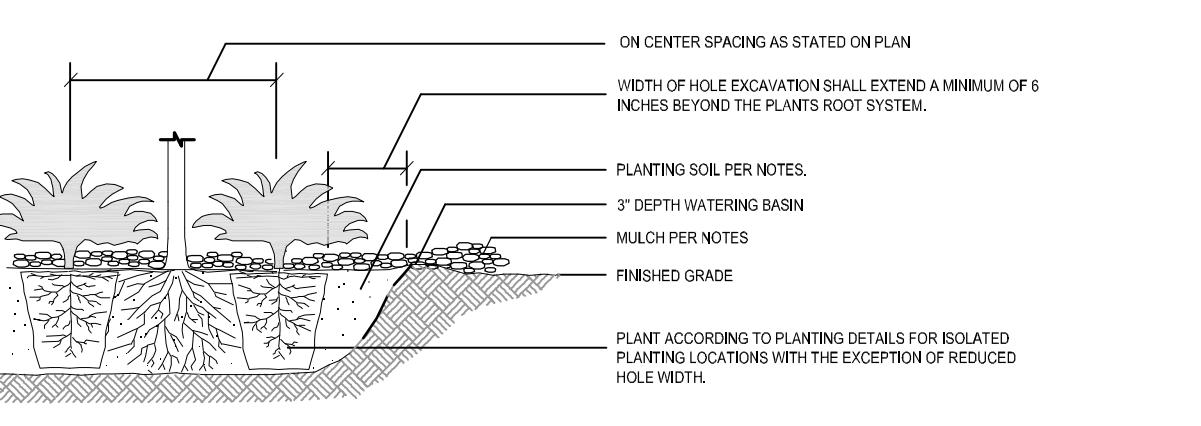
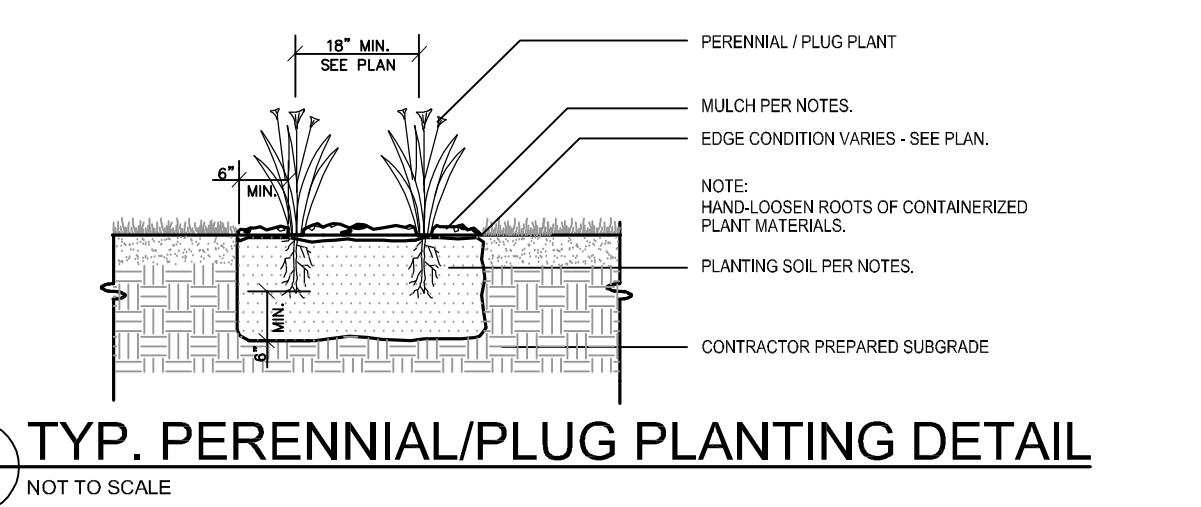
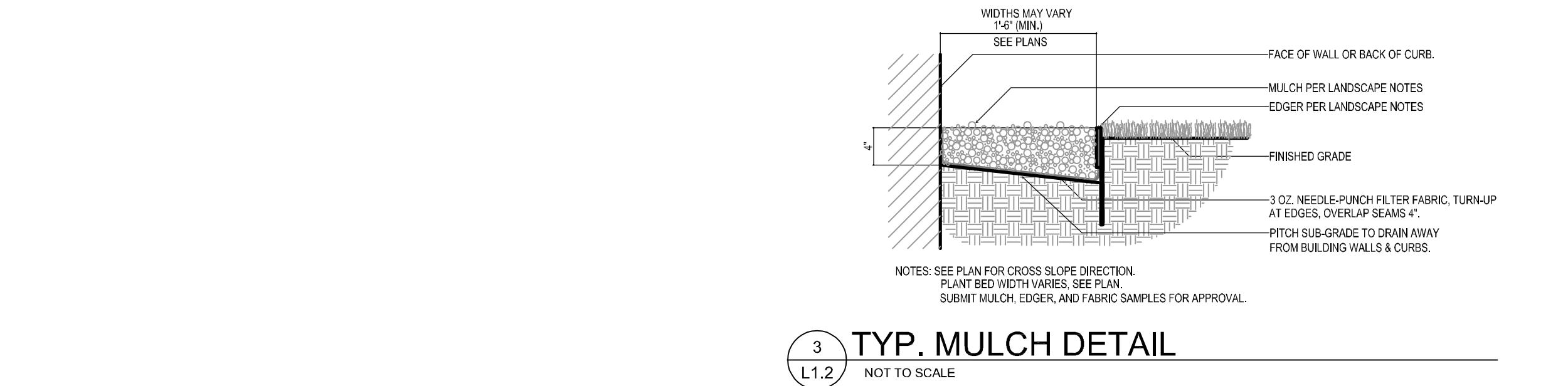
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7630 GOOD HOPE RD  
MILWAUKEE, WI 53223

~PRELIMINARY~  
NOT INTENDED FOR  
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CALYX DESIGN GROUP  
LANDSCAPE ARCHITECTURE  
475 CLEVELAND AVENUE N | SUITE 101A  
SAINT PAUL, MN 55104  
(651) 788-9018



2 CITY RESUBMITTAL  
1 CLIENT REVIEW SET  
07.19.2023

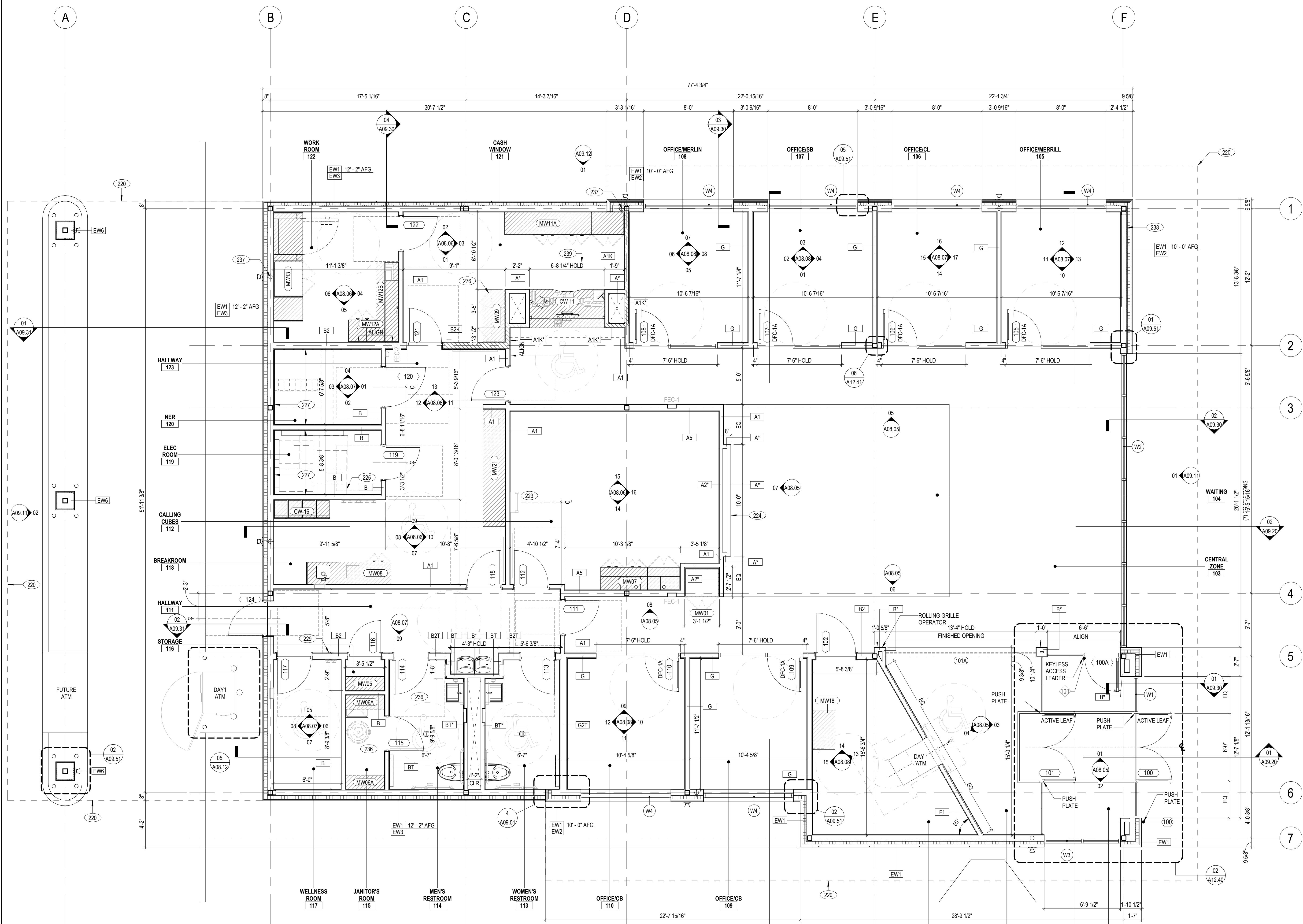
Delta Issue Description Date

ALLEGRO  
CIVIL ENGINEERS

ALLEGRO CIVIL ENGINEERS  
4322 N. LINCOLN AVE. SUITE A  
CHICAGO, IL 60618  
(872) 270-3691

MR/JBB  
Drawn  
AJH  
Check  
Owner Approval  
As indicated  
Job No. 2023-003-004  
Scale

LANDSCAPE  
DETAILS  
L1.2  
Sheet



## KEYNOTES

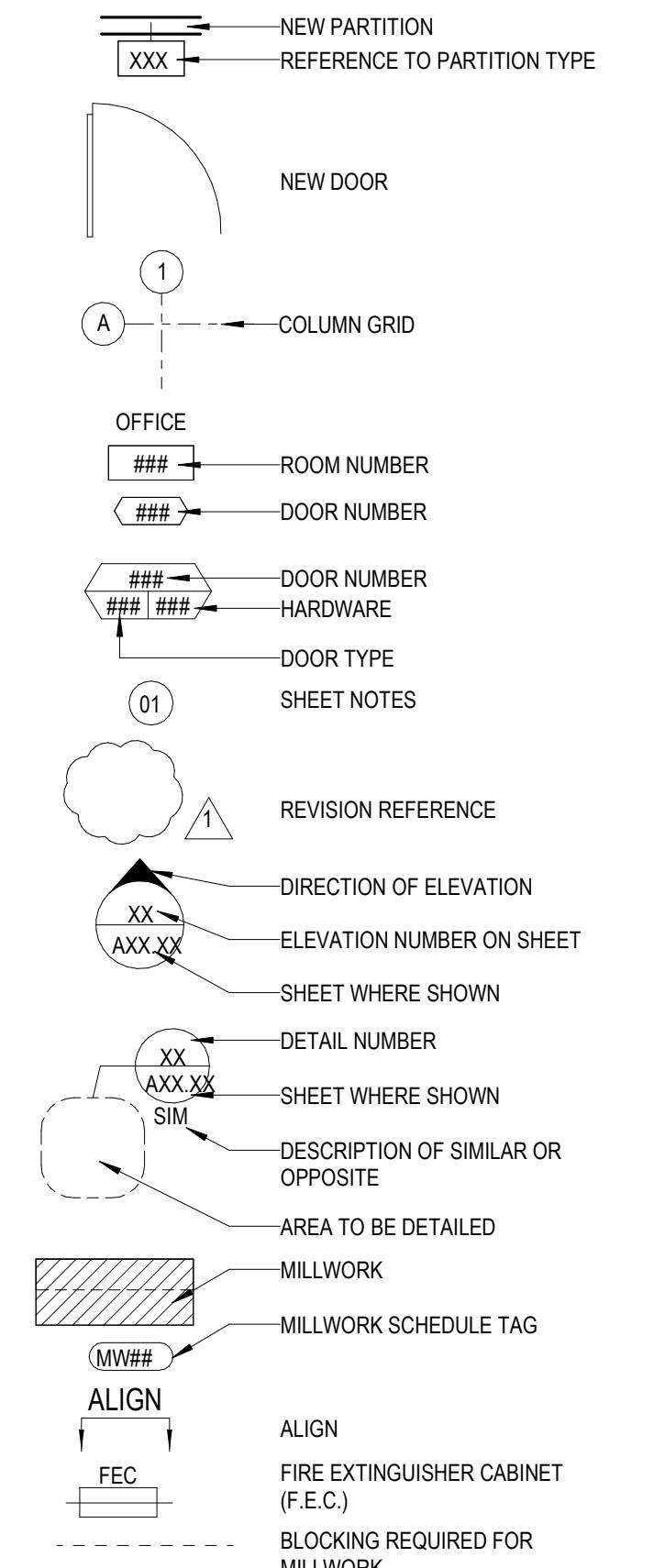
NO.	DESCRIPTION
220	LINE OF CANOPY ABOVE.
223	ROOF ACCESS LADDER (ROOF ACCESS HATCH ABOVE).
224	PROVIDE 3/4" F.T. PLYWOOD BLOCKING.
225	PROVIDE 4" HIGH PRECAST CONCRETE PAD FOR THE CENTRAL INVERTER. COORDINATE LOCATION WITH THE ELECTRIC CONTRACTOR.
227	PROVIDE 3/4" FIRE RATED PLYWOOD BACKER BOARD ON ALL SIDES INDICATED. INSTALLED ABOVE WALL BASE TO 8'0" HIGH. PAINT PLYWOOD AS PER FINISH PLAN (DO NOT PAINT OVER FIRE RATED STAMP). ALL WALL POWER/DATA OUTLETS SHALL BE RECESSED AND FLUSH WITH THE PLYWOOD PANELS.
229	WELLNESS ROOM SIGNAGE BY SIGNAGE VENDOR.
236	PROVIDE COMPLETE SEALANT AT ALL TOP OF PARTITIONS AT THE METAL DECK ELEVATION.
237	CLEAN OUTS ON THE EXTERIOR SIDE @ 24" ABOVE FINISHED FLOOR.
238	RED LINE DENOTES EDGE OF SLAB.
239	G.C. TO COORDINATE HOLD DIMENSION WITH CSR LINE SHOP DRAWINGS.
276	DAY 2 MILLWORK.

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MILWAUKEE, WI 53223

## SHEET NOTES

A. FOR ADDITIONAL GENERAL NOTES, LEGENDS AND SCHEDULES, REFER TO SHEETS A00.00, A00.10, A00.40, AND A00.50.  
 B. UNLESS OTHERWISE NOTED, LOCATE HINGE SIDE OF ALL DOORS 4" FROM ADJACENT PERPENDICULAR PARTITION.  
 C. VERIFY ALL EQUIPMENT WITH VENDOR.  
 D. PROVIDE BLOCKING FOR ALL WALL-MOUNTED EQUIPMENT AND ACCESSORIES.  
 E. PROVIDE WATER RESISTANT GYPSUM BOARD AT WET AREA.  
 F. PROVIDE EMBLEM SIGN IF REQUIRED.

## LEGEND



5 ISSUED FOR DD FINAL 07.14.2023  
 4 ISSUED FOR DD 90% REVIEW 07.13.2023  
 2 ISSUED FOR SD FINAL 05.16.2023  
 1 ISSUED FOR SD 90% REVIEW 05.03.2023

DELTA ISSUE DESCRIPTION DATE

IA INTERIOR  
ARCHITECTS

## CHARLOTTE

615 S. COLLEGE ST. SUITE 725  
CHARLOTTE, NC 28202  
TEL 704-908-1540

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Owner Approval

47BACX.1104.018

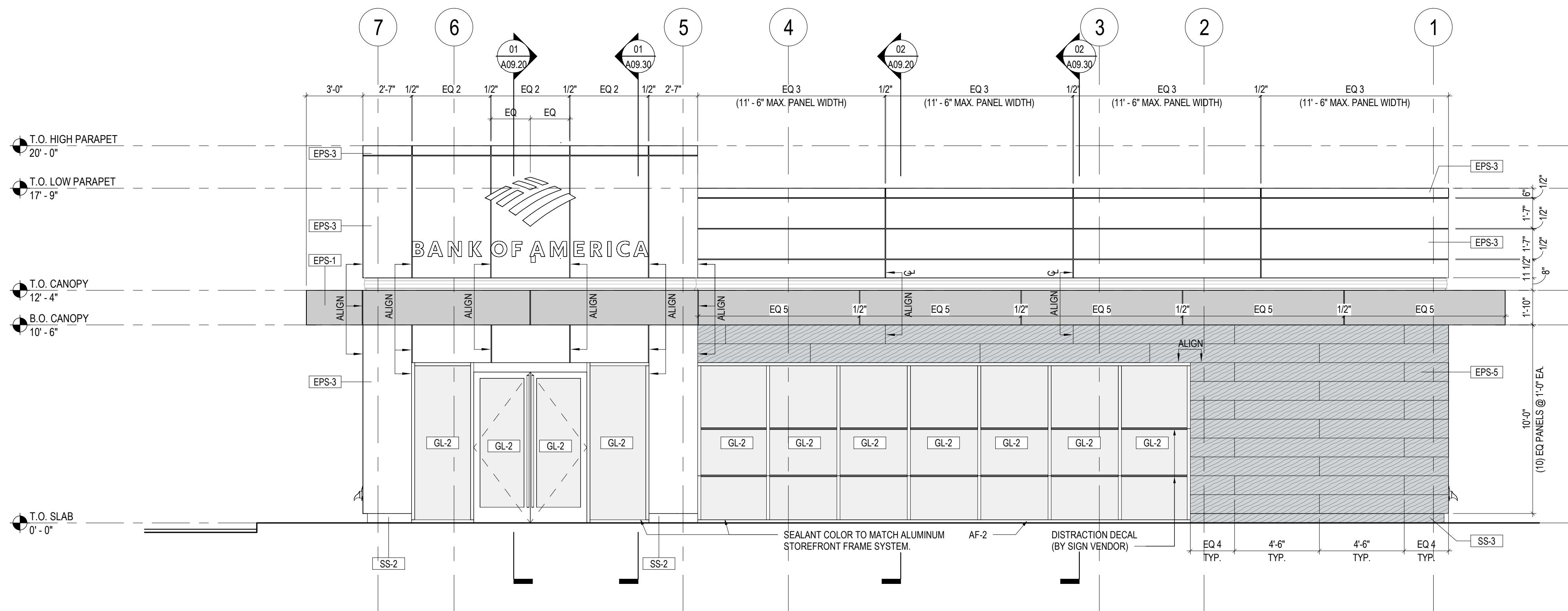
Job No.

1/4" = 1'-0"

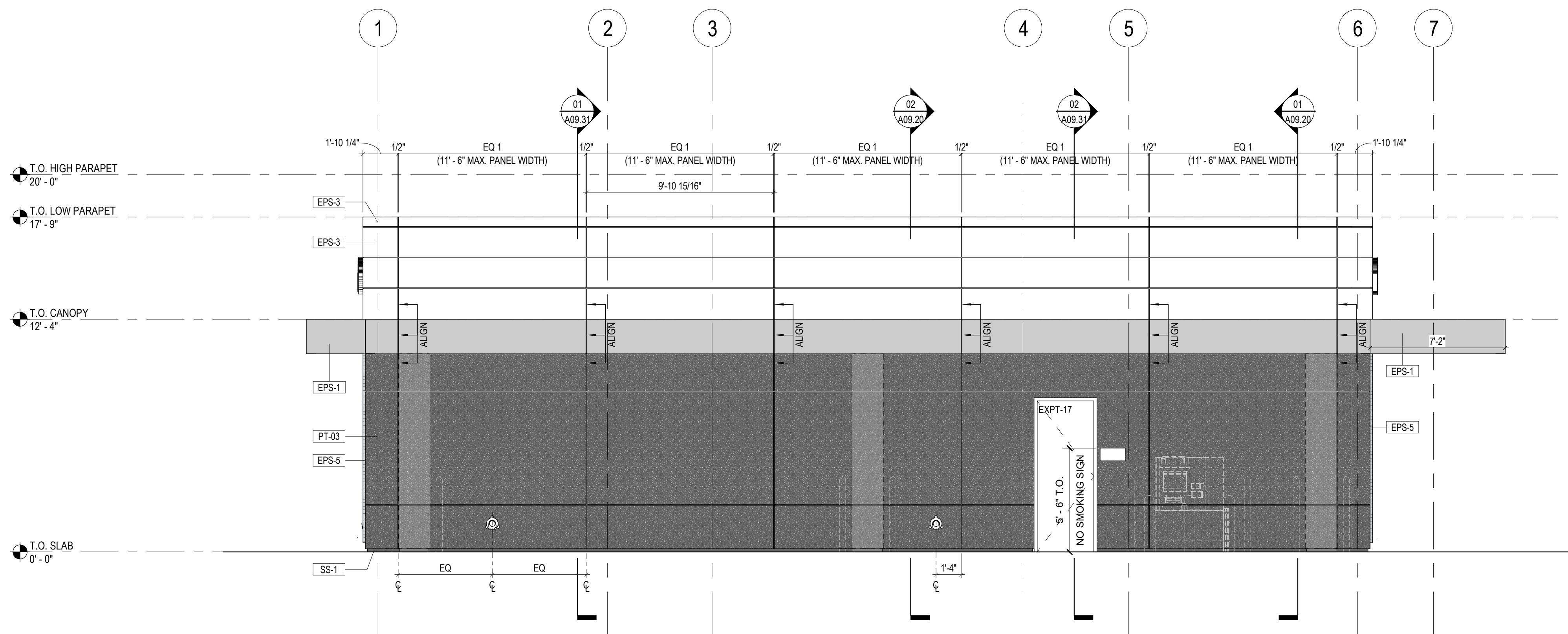
Scale

## CONSTRUCTION PLAN

A02.01



01 EXTERIOR ELEVATION - SOUTH  
1/4" = 1'-0"



02 EXTERIOR ELEVATION - NORTH  
1/4" = 1'-0"

**NOTE TO AOR:**  
PANEL SIZINGS SHOWN FOR DESIGN INTENT. MAXIMUM SIZES  
SHOULD BE SELECTED BASED ON MANUFACTURER  
RECOMMENDATION AND LOCAL JURISDICTION REQUIREMENTS.

**NOTE TO AOR:**  
SIGNAGE BY BANK VENDOR. A/E SHALL COORDINATE WITH OWNER AND OWNER VENDOR. PROVIDE BLOCKING / POWER AND INDICATE THE SECTION DETAILS FOR THE REQUIRED PENETRATIONS.

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# 76th & GOOD HOPE – WI2-112

**7630 GOOD HOPE RD  
MILWAUKEE, WI 53223**

## SHEET NOTES

## LEGEND

## ALUMINUM GLAZING FRAME

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GLAZING	
GL-02	1" CLEAR TEMPERED INSULATED GLAZING AS SPECIFIED
GL-03	1/2" TEMPERED MONOLITHIC GLASS
GL-04	5/8" TEMPERED MONOLITHIC GLASS

STUCCO/ PLASTER	
PT-03	PAREX USA PREMIER STUCCO - PAREX ARMOURWALL 3000 STUCCO ASSEMBLY COLOR: BENJAMIN MOORE CHARCOAL SLATE FLAT
PT-04	PAREX USA PREMIER STUCCO - PAREX ARMOURWALL 3000 STUCCO ASSEMBLY COLOR: BENJAMIN MOORE CHARCOAL SLATE FLAT

COLOR: TO MATCH EPS-1

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STUCCO ACCESSORIES

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(PAINTED TO MATCH STUCCO)

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SA-2	NARROW CHANNEL SCREED AS SPECIFIED. PAINTED TO MATCH
------	--

5	ISSUED FOR DD FINAL	07.14.2023
4	ISSUED FOR DD 90% REVIEW	07.13.2023
3	COE SET	05.16.2023
2	ISSUED FOR SD FINAL	05.16.2023
1	ISSUED FOR SD 90% REVIEW	05.03.2023

DELTA ISSUE DESCRIPTION DATE

# IA | INTERIOR ARCHITECTS

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CHARLOTTE, NC 28202  
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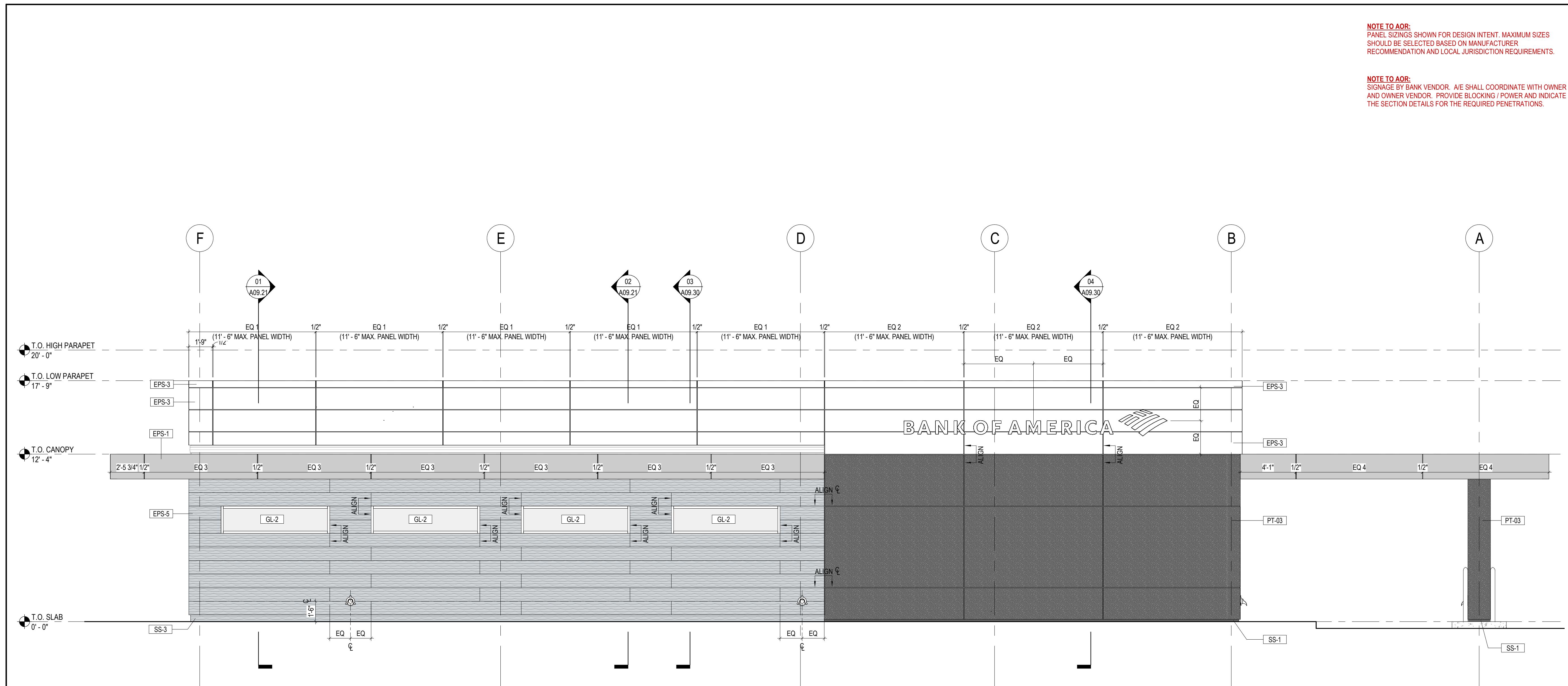
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Owner Approval  
47BACX.1104.018 As indicated

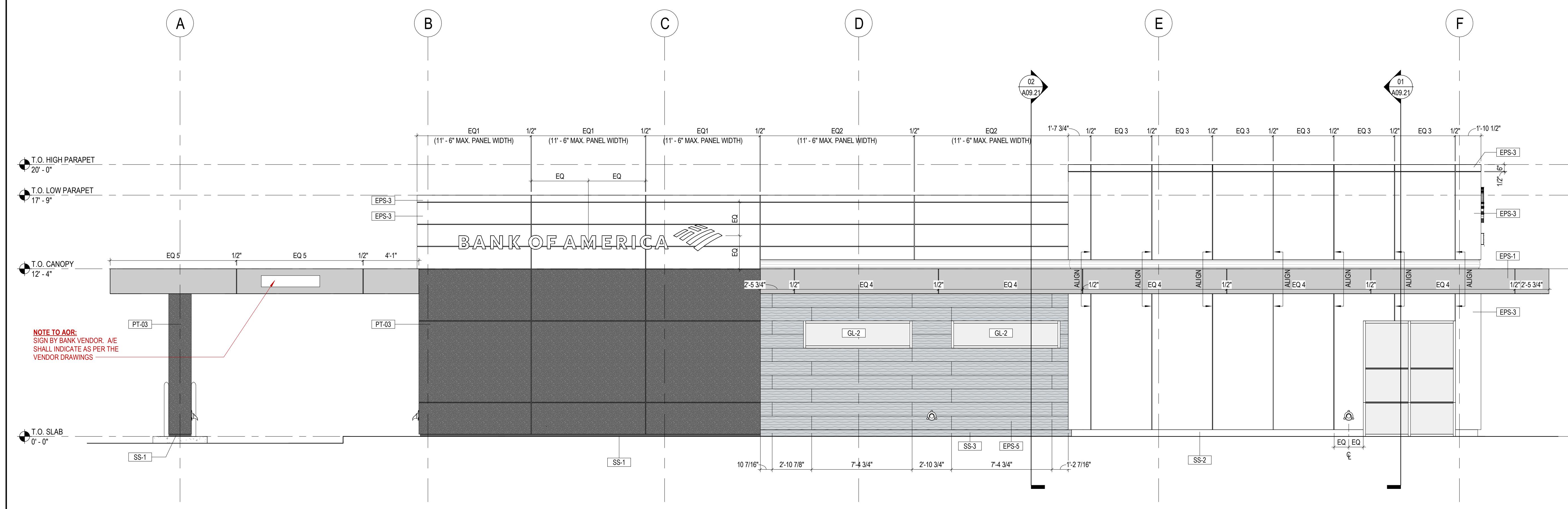
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## **EXTERIOR ELEVATIONS**

A09.11



01 EXTERIOR ELEVATION - EAST  
1/4" = 1'-0"



02 EXTERIOR ELEVATION - WEST  
1/4" = 1'-0"

**NOTE TO AOR:**  
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SHOULD BE SELECTED BASED ON MANUFACTURER  
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**NOTE TO AOR:**  
SIGNAGE BY BANK VENDOR. A/E SHALL COORDINATE WITH OWNER AND OWNER VENDOR. PROVIDE BLOCKING / POWER AND INDICATE THE SECTION DETAILS FOR THE REQUIRED PENETRATIONS.

## KEYNOTES

**BANK OF AMERICA** 

## 76th & GOOD HOPE – WI2-112

**7630 GOOD HOPE RD  
MILWAUKEE, WI 53223**

## SHEET NOTES

## LEGEND

ALUMINUM GLAZING FRAME

1

GLAZING	
GL-02	1" CLEAR TEMPERED INSULATED GLAZING AS SPECIFIED
GL-03	1/2" TEMPERED MONOLITHIC GLASS

#### STUCCO/PLASTER

STUCCO/PLASTER	
PT-03	PAREX USA PREMIER STUCCO - PAREX ARMOURWALL 3000 STUCCO ASSEMBLY COLOR: BENJAMIN MOORE CHARCOAL SLATE FLAT
PT-04	PAREX USA PREMIER STUCCO - PAREX ARMOURWALL 3000 STUCCO ASSEMBLY

1. *What is the relationship between the two concepts of the self?*

STUCCO ACCESSORIES  
(PAINTED TO MATCH STUCCO)

---

SA-2 NARROW CHANNEL SCREED AS SPECIFIED, PAINTED TO MATCH

**NOTE TO AOR:**  
EPS-1A IS AN ALTERNATE TO EPS-1.  
  
EPS-3A IS AN ALTERNATE TO EPS-3.  
  
AOR TO REVIEW ALTERNATE SIZING AND  
SEAM LOCATIONS WITH STORE DESIGN

**NOTE TO AOR:**  
VERIFY THE PROPOSED CLADDING WITH  
STORE DESIGN. ALTERNATE DETAILS ON  
A09.34

OPTION 2: EPS-5A

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WALL FINISH PER SAMPLE

MATCH WALL FINISH PER

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WALL FINISH PER SAMPLE

WALL FINISH PER SAMPLE

## ANSWER

\_\_\_\_\_  
STEM

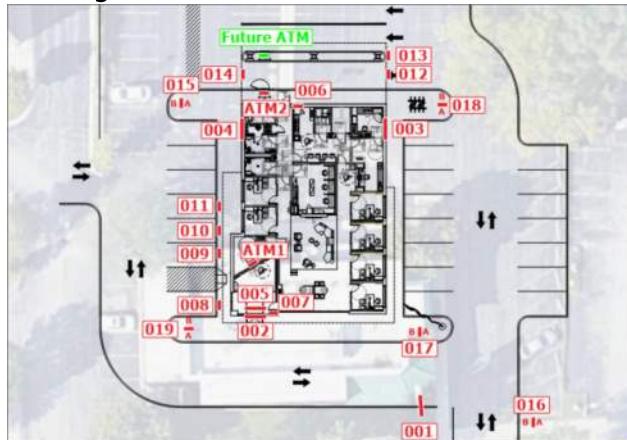
## EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS

A09.12

BLACK  
MATCH CLIP  
MATCH FRAME  
MATCH STUCCO  
MATCH FRAME

## Existing Photo



## Proposed Photo

## Custom A2ng at 14'-0" OAH



## Existing

**Asset Zone:** Sign  
**Asset Type:** Exterior  
**Sign Number:** EXT-001  
**Existing Sign Type:**  
**Face Material:**  
**Graphics Material:**  
**Overall Height:**  
**Face Height:**  
**Face Width:**  
**Illuminated:**  
**Electrical:**  
**Wall Material:**  
**Sign Comment:**

## Proposed

<b>Asset Type:</b>	Exterior	<b>Overall Height:</b>	14'
<b>Sign Number:</b>	EXT-001	<b>Overall Width:</b>	8'-6 5/8"
<b>Sign Type:</b>	Custom	<b>Logo Height:</b>	
<b>Description:</b>	Custom 14' A2ng Pylon	<b>Letter Height:</b>	5 5/8"
<b>Action:</b>	New	<b>Illuminated:</b>	Illuminated
<b>Comments:</b>	We assume signage criteria for this zone limits ground signs OAH to 14'. Recommend to building standard A2ng pylon at 14' height instead of 16'.		
<b>Restoration Notes:</b>	Field verification is required for all ground signs to ensure that the recommended sign will fit in the recommended location, taking into account all set-backs, obstructions, underground utilities, etc. If a problem is detected by the field verification, an IFR should be submitted for modification by Monigle Associates prior to any manufacturing. New electrical work required. Field verify available circuits and access prior to fabrication. Restore ground material to base of new sign.		

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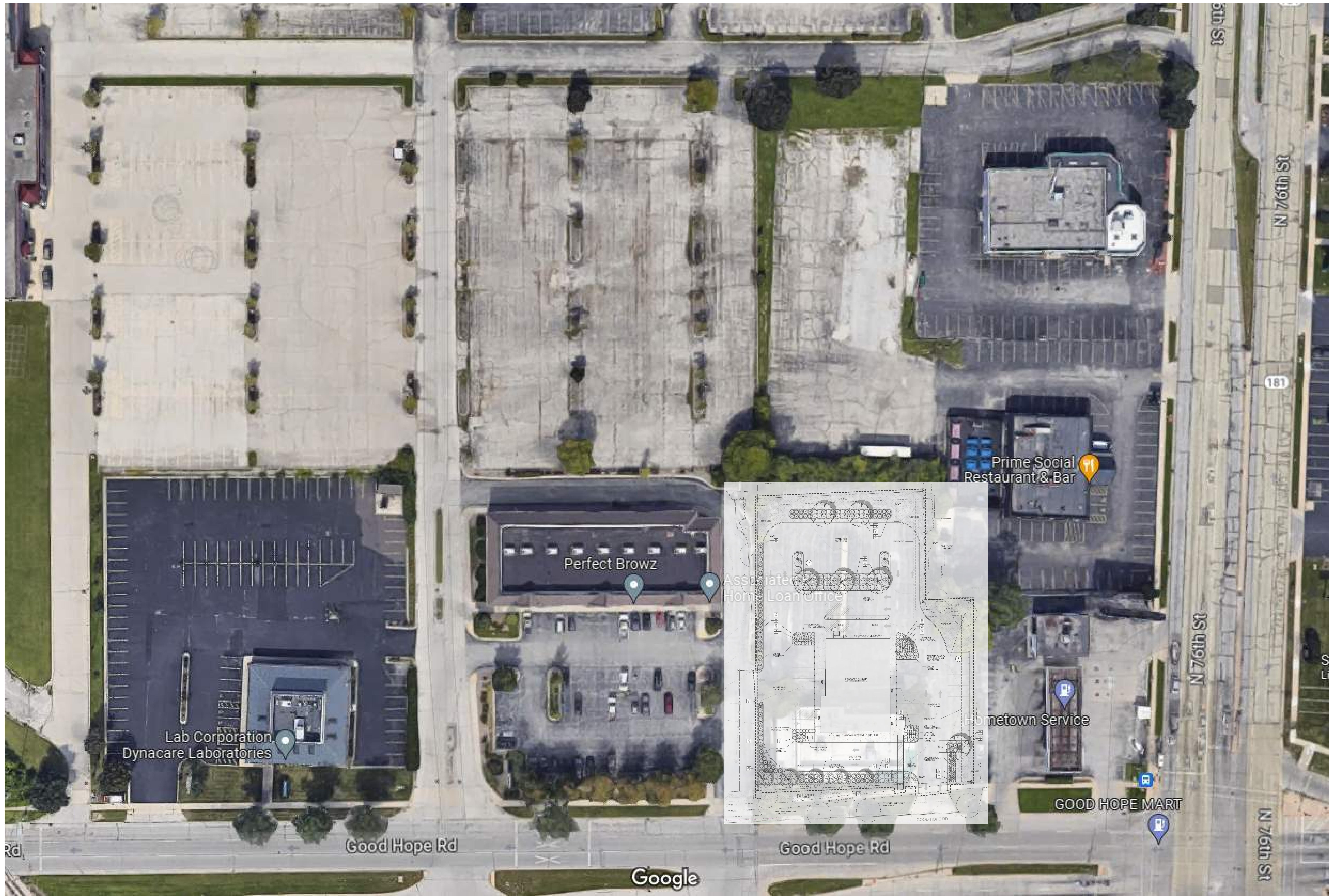
monigle



Direct access to shopping center is provided on west side of site

Area of proposed new bank

Existing sidewalk provided adjacent to public street



**REPRESENTATIVE ONLY**



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