



August 12, 2014

City Clerk James Owczarski
Office of the City Clerk

Commissioner Art Dahlberg
Dept. of Neighborhood Services

Commissioner Richard Marcoux
Attn: Elaine Miller
Department of City Development

City Attorney Grant F. Langley
Attn: Tom Miller
Office of the City Attorney

Commissioner Ghassan Korban
Attn: Michael Loughran
Department of Public Works

City Engineer Jeffrey S. Polenske
Attn: Michael Loughran

City Planning Manager
Vanessa Koster

Re: Air space lease petition from Northwestern Mutual Campus Connection Project

Dear Committee Members:

In accordance with Section 245-14 of the Milwaukee Code of Ordinances, I am forwarding to you materials relating to an application for an air space lease filed by Northwest Mutual Campus Connection Project. The lease is being requested for a bridge connecting the Van Buren street office building to the east side of Van Buren. The property address is 727-733 N. Van Buren Street.

I am asking that the City Clerk prepare the appropriate file for introduction at the next Council meeting.

I am asking that all of you review the enclosed materials in preparation for a meeting in September to discuss these submittals and the committee's recommendation regarding this lease.

Should you require additional information from the applicant, please give me a call at extension 8208.

Thank you.

Sincerely,

Rachel S. Doney
Development Center

Attachments

Cc: Ald Robert J. Bauman
Catherine Young

City of
Milwaukee
Development Center

Air or Subterranean Space Lease Petition

809 N. Broadway, 1st Floor / Milwaukee, WI 53202-3617 / 414-286-8208

Submit this application with \$200 application fee to:
Milwaukee Development Center
Make check payable to City of Milwaukee.
Application fee is non-refundable.

Date 7/28/2014

TO THE HONORABLE, THE COMMON COUNCIL OF THE CITY OF MILWAUKEE:

The undersigned Northwestern Mutual Campus Connection Project

(state whether petitioner is an individual, co-partnership, Wisconsin or foreign corporation)

respectfully petitions the Common Council of the City of Milwaukee, according to the provisions of Section 66.048(3) and (4) of the Wisconsin Statutes, that the following space lease be granted:

See attached Exhibit A

of which building plans, plot plans and descriptive data showing the elevations, locations, height and size of the proposed structure and its relationship to adjoining buildings are herewith submitted.

The petitioners are the owners in fee of the following described real property:

See attached Exhibit B

also known by street and number as See Exhibit B and _____
which property is located on both sides of that portion of the (street, alley or _____) to be so leased.

This petition is subject to such terms and conditions as may be agreed up on between the City of Milwaukee and the petitioner, which terms and conditions shall be set forth in a written lease pursuant to Section 66.048(3) and (4), Wisconsin Statutes. The leasing of such space shall be subject to a determination by the Common Council of the City of Milwaukee that such space is not needed for street, alley or other public purpose and that the public interest will be served by such leasing, and upon such determination as shall be authorized by ordinance duly passed by the City of Milwaukee.

Signature Catherine Young
Catherine Young
Address 720 E. Wisconsin Street, Milwaukee, WI 53202
Phone 414-665-2557

Corporation, firm or society Northwestern Mutual Campus Connection Project
Address 720 E. Wisconsin Street, Milwaukee, WI 53202
Title or office held in same Assistant General Counsel



TO: City of Milwaukee Development Center

FROM: Northwestern Mutual Campus Connection Project
c/o Robert Reynolds, Construction Manager (414) 216-0104
LaVon M. Johns, Legal Counsel (312) 881-5168

Re: Memorandum of Ownership: Air or Subterranean Space Lease Petition:
VOB Bridge Lease

DATE: July 29, 2014

In connection with our Air and Subterranean Space Lease Petition for a Space Lease connecting the Van Buren Street Office Building to the East side of Van Buren Street (the "VOB Bridge Lease"), we hereby state that the Applicant, Northwestern Mutual Campus Connection Project, is the owner of that certain property known as 727-733 E. Van Buren and 805 E. Mason Street, Milwaukee, Wisconsin.

Attached find the following evidence of ownership:

1. That certain Quitclaim Deed, dated April 14, 1910, recorded on Vol. 605, Page 312; and
2. That certain Warranty Deed, dated January 2, 2013, recorded January 7, 2013 as Document No. 10201786.

Should you have any questions or comments, please contact Rob Reynolds or LaVon Johns at the numbers listed above.

GONZALEZ, SAGGIO AND HARLAN, L.L.C.
Attorneys at Law

www.gshllc.com

Affiliated with Gonzalez Saggio & Harlan LLP

Chicago
Two Prudential Plaza
180 North Stetson Avenue
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Chicago, IL 60601
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Cleveland, OH
Indianapolis, IN

Los Angeles, CA
Miami, FL
Milwaukee, WI
Nashville, TN
New York, NY

Pasadena, CA
Phoenix, AZ
Washington, D.C.
Wayne, NJ
West Des Moines, IA

DOC. # 10201786

RECORDED
01/07/2013 12:00PM

JOHN LA FAVE
REGISTER OF DEEDS
Milwaukee County, WI
AMOUNT: \$30.00
TRANSFER FEE: \$20,580.00
FEE EXEMPT #: 0

This document has been electronically recorded and returned to the submitter.

State Bar of Wisconsin Form 1-2003

WARRANTY DEED

Document Number

Document Name

THIS DEED, made between
VAN BUREN BUILDING COMPANY, A LIMITED PARTNERSHIP, a
Wisconsin limited partnership N/K/A MONROE BUILDING LP, a
Wisconsin limited partnership

("Grantor," whether one or more), and
THE NORTHWESTERN MUTUAL LIFE INSURANCE COMPANY, a
Wisconsin corporation

721-733 N. Van Buren

("Grantee," whether one or more)

Grantor, for a valuable consideration, conveys to Grantee the following described real estate, together with the rents, profits, future and other appurtenant interests, in MILWAUKEE County, State of Wisconsin ("Property") (if more space is needed, please attach addendum):

Lots 1, 2 and 3, Block 29, in Plat of Milwaukee, East of the River, in the Northwest 1/4 of Section 28, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin.

TOGETHER WITH the East 1/2 of the vacated alley adjoining said premises on the West.

ALSO TOGETHER WITH a non-exclusive easement for access, ingress and egress over and across the following tract of

continued

Recording Area

Name and Return Address

NORTHWESTERN MUTUAL LIFE
SHERRY SHERRY
720 E. WISCONSIN AVENUE
MILWAUKEE WI 53202

392-0919-111-7

Parcel Identification Number (PIN)

This is NOT homestead property
(s)/(s not)

Grantor warrants that the title to the Property is good, indefeasible in fee simple and free and clear of encumbrances except: municipal and zoning ordinances and agreements entered under them, recorded easements for the distribution of utility and municipal services, recorded building and use restrictions and covenants, and general taxes levied in the year of closing.

Dated as of January 2, 2013

MONROE BUILDING LP BY: VAN BUREN MANAGEMENT, INC., GENERAL PARTNER

 (SEAL)
JOEL S. LEE, PRESIDENT (SEAL)

____ (SEAL)
____ (SEAL)

AUTHENTICATION

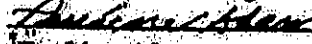
Signature(s) _____
authenticated on _____

ACKNOWLEDGMENT

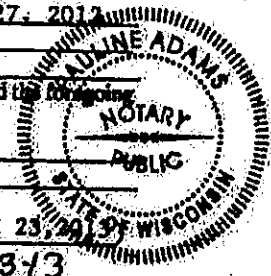
STATE OF WISCONSIN
Milwaukee COUNTY) ss.

Personally came before me on November 27, 2013
the above named JOEL S. LEE

to me known to be the person(s) who executed the foregoing instrument and acknowledged the same.


Pauline Adams
Notary Public, State of Wisconsin

My commission (is permanent) (expires June 23, 2015) WISCONSIN



TITLE: MEMBER STATE BAR OF WISCONSIN
(If not, _____
authorized by Wis. Stat. S706.06)

THIS INSTRUMENT DRAFTED BY:
ATTORNEY NICHOLE M. TORIN

(Signatures may be authenticated or acknowledged. Both are not necessary.)

WARRANTY DEED NOTE: THIS IS A STANDARD FORM. ANY MODIFICATIONS TO THIS FORM SHOULD BE CLEARLY IDENTIFIED. FORM NO. 1-2003

Type name below signature

2003 STATE BAR OF WISCONSIN

623-13
© 2003 State Bar of Wisconsin

Chicago Title Insurance Company

20900 Swenson Drive
Suite 900
P. O. Box 987
Waukesha, WI 53187-0987
(414) 796-3800

Direct Line: (414) 796-3834
Fax Number: (414) 796-3888
E-mail: smithri@ctt.com

*South
720 E. Wisconsin
including
805 E. Miss*

December 4, 1998

Ms. Catherine M. Young, Assistant General Counsel
Law Department
The Northwestern Mutual Life Insurance Company
729 East Wisconsin Avenue
Milwaukee, WI 53202

Re: Home-Office Title Deed

Dear Catherine,

Pursuant to your request, I am enclosing a certified copy of a deed by which, in 1910, The Northwestern Mutual Life Insurance Company acquired the site of its home office. For the sake of orientation, I am also enclosing a copy of a current tax map.

Abstracts were the common form of title evidence in use in 1910. As far as we know, title insurance was unavailable until Milwaukee Title Guaranty & Abstract Company, our predecessor, issued the first title policy in Wisconsin in 1918.

If we can be of any further assistance, please contact me. Thank you for this opportunity to be of service.

Sincerely,



Richard C. Smith
Resident Vice President

Know all Men by these Presents, That H. W. P. Ppham and Mary L. Ppham, his wife, of Milwaukee, County of Milwaukee, State of Wisconsin.....parties of the first part, in consideration of the sum of one dollar and three cents.....to them.....duly paid, do hereby remise, release and quit-claim unto The Northwestern Mutual Life Insurance Company of Milwaukee, County of Milwaukee, State of Wisconsin, a Wisconsin corporation.....party of the second part, and to its successors, heirs and assigns, the following described real estate, situated in the County of Milwaukee.....State of Wisconsin, to-wit:

all of Block Eighty eight, in the Seventh Ward of the City of Milwaukee.....

To Have and to Hold the same, together with all and singular the appurtenances and privileges thereto belonging or in anywise thereunto appertaining, and all the estate, right, title, interest and claim whatsoever of the said parties of the first part, either in law or equity, either in possession or expectancy, to the only proper use, benefit and behoof of the said party of the second part, its successors, heirs and assigns forever.

In Witness Whereof, the party of the first part hereunto set their hands and seals this eleventh day of April, A. D. 1910.....

IN PRESENCE OF

Caroline Ppham
Margery Haldor
J. H. Roth

H. W. P. Ppham [SEAL]
Mary L. Ppham [SEAL]
 [SEAL]
 [SEAL]

STATE OF WISCONSIN, }
Milwaukee County, } ss. Personally came before me this 11th day of April, A. D. 1910
 the above-named H. W. P. Ppham and Mary L. Ppham, his wife
 to me known to be the person who executed the foregoing instrument and acknowledged the same.

Received for Record the 14th day of April
 A. D. 1910, at 12 o'clock P.M.
H. C. Mason Register.
 Deputy



J. H. Roth
 Notary Public, Milwaukee County, Wisconsin
 My commission expires August 24, 1912



July 30, 2014

Via Hand Delivery

City of Milwaukee Development Center
809 North Broadway, 1st Floor
Milwaukee, Wisconsin 53202

Re: Northwestern Mutual Campus Connection Project Air Space Lease Petition

Dear Clerk:

Please find enclosed the Air Space Lease Petition associated with the Northwestern Mutual Campus Connection Project, 825 East Mason Street, Milwaukee, Wisconsin. If you have any questions please contact Rob Reynolds at 414-216-0104.

Very truly yours,

Edward B. Witte

Enclosure

GONZALEZ SAGGIO & HARLAN LLP
Attorneys at Law

www.gshllp.com

Affiliated with Gonzalez, Saggio and Harlan, L.L.C.

Milwaukee
111 East Wisconsin Avenue
Suite 1000
Milwaukee, WI 53202
Tel (414) 277-8500
Fax (414) 277-8521

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Chicago, IL
Cleveland, OH

Indianapolis, IN
Los Angeles, CA
Nashville, TN
New York, NY
Pasadena, CA

Phoenix, AZ
Washington, D.C.
Wayne, NJ
West Des Moines, IA

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit A

1. Space Lease for bridge connecting the Van Buren Street Office Building to the East side of Van Buren Street (the "VOB Bridge Lease")
2. Space Lease for bridge connecting North Office Building to proposed office tower to be located on the South side of East Mason Street (the "NOB Bridge Lease")

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit B

1. VOB Bridge Lease—Addresses of real property to be adjoined:

727-733 N. Van Buren Street (“733 Building”) and 805 E. Mason Street.

2. NOB Bridge Lease—Addresses of real property to be adjoined:

818 E. Mason Street (“North Office Building”) and 825 E. Mason Street.

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit C

Overall Easement Exhibit, having a date of July 15, 2015

MILWAUKEE CAMPUS EASEMENT EXHIBIT

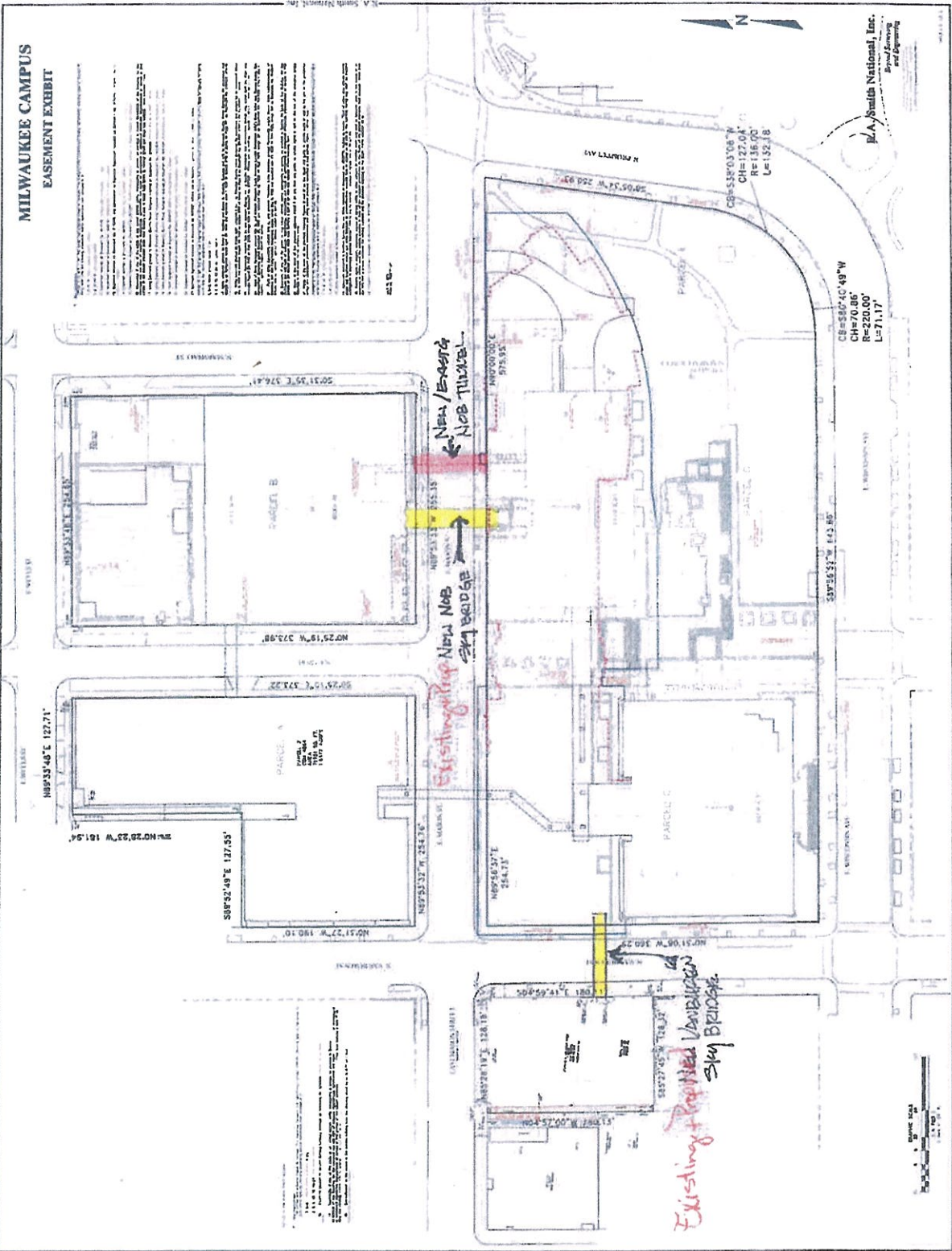
1. THE EASEMENT GRANTED HEREIN IS LIMITED TO THE USES AND PURPOSES SPECIFIED IN THE INSTRUMENTS REFERENCED HEREIN AND IS NOT TO BE CONSTRUED AS A GENERAL EASEMENT OR AS A CONVEYANCE OF ANY INTEREST IN THE LAND EXCEPT AS SO SPECIALLY PROVIDED.

2. THE EASEMENT GRANTED HEREIN IS NOT TO BE CONSTRUED AS A GENERAL EASEMENT OR AS A CONVEYANCE OF ANY INTEREST IN THE LAND EXCEPT AS SO SPECIALLY PROVIDED.

3. THE EASEMENT GRANTED HEREIN IS NOT TO BE CONSTRUED AS A GENERAL EASEMENT OR AS A CONVEYANCE OF ANY INTEREST IN THE LAND EXCEPT AS SO SPECIALLY PROVIDED.

4. THE EASEMENT GRANTED HEREIN IS NOT TO BE CONSTRUED AS A GENERAL EASEMENT OR AS A CONVEYANCE OF ANY INTEREST IN THE LAND EXCEPT AS SO SPECIALLY PROVIDED.

5. THE EASEMENT GRANTED HEREIN IS NOT TO BE CONSTRUED AS A GENERAL EASEMENT OR AS A CONVEYANCE OF ANY INTEREST IN THE LAND EXCEPT AS SO SPECIALLY PROVIDED.



New/Expanded
MOB Tunnel

Existing Proposed
New MOB
Sky Bridge

Existing Proposed
Vertical Vanway
Sky Bridge

P.A./Smith National, Inc.
Professional Surveying
and Engineering

Scale
1" = 100'



TO: City of Milwaukee Development Center

FROM: Northwestern Mutual Campus Connection Project
c/o Robert Reynolds, Construction Manager (414) 216-0104
LaVon M. Johns, Legal Counsel (312) 881-5168

Re: Memorandum of Ownership: Air or Subterranean Space Lease Petition:
NOB Bridge Lease

DATE: July 29, 2014

In connection with our Air and Subterranean Space Lease Petition for a Space Lease connecting the North Office Building to the Proposed Office Tower to be located on the South side of East Mason Street (the "NOB Bridge Lease"), we hereby state that the Northwestern Mutual Life Insurance Company (the Applicant's affiliate) is the owner of that certain property known as 818 E. Mason Street and 825 E. Mason Street, Milwaukee, Wisconsin.

Attached find the following evidence of ownership:

1. Title Policy No. 50-901-60-1016676, dated September 12, 1991.

Should you have any questions, please do not hesitate to contact either Rob Reynolds or LaVon Johns.

GONZALEZ, SAGGIO AND HARLAN, L.L.C.
Attorneys at Law

www.gshllc.com

Affiliated with Gonzalez Saggio & Harlan LLP

Chicago
Two Prudential Plaza
160 North Stetson Avenue
Suite 4425
Chicago, IL 60601
Tel (312) 236-0475
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Miami, FL
Milwaukee, WI
Nashville, TN
New York, NY

Pasadena, CA
Phoenix, AZ
Washington, D.C.
Wayne, NJ
West Des Moines, IA

OWNER'S FORM
CHICAGO TITLE INSURANCE COMPANY
SCHEDULE A

| 1 | 2 | 3 | 4 |
|--------------------|-------------------|----------------------------------|---------------------|
| OFFICE FILE NUMBER | POLICY NUMBER | DATE OF POLICY | AMOUNT OF INSURANCE |
| 1016676 | 50-901-60 1016676 | September 12, 1991 at 7:00 AM | \$90,000,000.00 |

1. Name of Insured:

NORTHWESTERN MUTUAL LIFE INSURANCE COMPANY, a Wisconsin Corporation

2. The estate or interest in the land described herein and which is covered by this policy is:

FEE SIMPLE

3. The estate or interest referred to herein is at Date of Policy vested in the Insured.

4. The land referred to in this policy is described as follows:

Parcel I:

Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, and 12, Block 96, in Plat of the Town of Milwaukee on the East Side of the River, in the Northwest 1/4 of Section 28, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin, including vacated alley between said lots.

Parcel II:

Leasehold Estate created by Lease entered into by and between the City of Milwaukee, as lessor, and Northwestern Mutual Life Insurance Company, a Wisconsin Corporation, as lessee, dated May 10, 1988 and recorded June 2, 1988 on Reel 2217, Image 534 as Document No. 6175665, demising an air space over North Cass Street between East Mason Street and East Wells Street, in the City of Milwaukee, for the purpose of enabling Lessee to construct an enclosed pedestrian bridge joining the existing parking structure located on property known as 777 North Cass Street and the new North Office Building, to be known as 818 East Mason Street, to be located on the North side of East Mason Street with the lowest part not less than 20 feet above the present roadway of North Cass Street and consisting of not more than 14 feet in width and 23.5 feet in height, said air space being more particularly described as follows: That part of North Cass Street in the City of Milwaukee, County of Milwaukee, State of Wisconsin, which is bounded and described as follows: Commencing at the Southwest corner of Block 96 in the Plat of Milwaukee, being in the Northwest 1/4 of Section 28, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin, said point being at the intersection of the

- CONTINUED -

This policy valid only if Schedule B is attached.

Schedule A Paragraph 5 Continued

Policy Number 50- 901-60 1016676

East line of North Cass Street with the North line of East Mason Street; thence North 04° 53' 52" West along the West line of said Block 96 and the East line of North Cass Street 196.28 feet to the point of beginning of said easement; (sidewalk elevation 54.6 feet, bottom of bridge elevation 75.50 feet, top of bridge elevation 99.00 feet); thence South 84° 59' 52" West 80.00 feet to a point on the West line of North Cass Street (sidewalk elevation 54.6 feet, bottom of bridge elevation 75.50 feet, top of bridge elevation 99.00 feet); thence North 04° 53' 52" West along the West line of North Cass Street 14.00 feet to a point; (sidewalk elevation 54.3 feet, bottom of bridge elevation 75.50 feet, top of bridge elevation 99.00 feet); thence North 84° 59' 52" East 80.00 feet to a point on the East line of North Cass Street; (sidewalk elevation 55.0 feet, bottom of bridge elevation 75.50 feet, top of bridge elevation 99.00 feet); thence South 04° 53' 52" East along the East line of North Cass Street 14.00 feet to the point of beginning.

Parcel III:

Leasehold Estate created by Lease entered into by and between the City of Milwaukee, as Lessor, and Northwestern Mutual Life Insurance Company, as lessee a Wisconsin Corporation, dated May 10, 1988 and recorded June 2, 1988 on Reel 2217, Image 547 as Document No. 6175666 demising an air space over East Mason Street between North Cass Street and North Marshall Street, in the City of Milwaukee, for the purpose of enabling Lessee to construct an enclosed pedestrian bridge joining the existing East Office Building located on property known as 815 East Mason Street and the New North Office Building to be known as 818 East Mason Street to be located on the North side of East Mason Street, with the lowest part not less than 16 feet above the present roadway of East Mason Street and consisting of not more than 22 feet in width and 19.5 feet in height, said air space being more particularly described as follows:

That part of East Mason Street in the City of Milwaukee, County of Milwaukee, State of Wisconsin, which is bounded and described as follow:

Commencing at the Southwest corner of Block 96 in the Plat of Milwaukee, being in the Northwest 1/4 of Section 28, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin, said point also being at the intersection of the North line of East Mason Street with the East line of North Cass Street; thence North 85° 37' 55" East along the South line of said Block 96 and the North line of East Mason Street 105.22 feet to the point of beginning of said easement (sidewalk elevation 47.1 feet, bottom of bridge elevation 61.00 feet, top of bridge elevation 80.50 feet); thence South 05° 00' 08" East 77.86 feet to a point of the South line of East Mason Street; (sidewalk elevation 46.2 feet, bottom of bridge elevation 61.00 feet, top of bridge elevation 80.50 feet); thence North 85° 31' 19" East along the South line of East Mason Street 22.00 feet to a point; (sidewalk elevation 45.8 feet, bottom of bridge elevation 61.00 feet, top of bridge elevation 80.50 feet); thence North 05° 00' 08" West 77.82 feet to a point on the North line of East Mason Street; (sidewalk elevation 46.6 feet, bottom of bridge elevation 61.00 feet, top of bridge elevation 80.50 feet); thence South 85° 37' 55" West along the North line of East Mason Street 22.00 feet to the point of beginning.

Parcel IV:

Leasehold Estate created by Lease entered into by and between the City of Milwaukee, as lessor, and Northwestern Mutual Life Insurance Company, a Wisconsin Corporation, as lessee, dated May 10, 1988 and recorded June 2, 1988 on Reel 2217, Image 559 as Document No. 6175667 demising a space underneath the surface of East Mason Street for the purpose of enabling Lessee to construct an underground pedestrian/maintenance/utility tunnel structure joining the East Office Building at 815 East Mason Street to the proposed North office Building to be known as 818 East Mason Street, said space, consisting of an area approximately 24 feet in width and 78 feet in length with a height of approximately 17 feet to extend to a depth ranging from 1 to 20



August 12, 2014

City Clerk James Owczarski
Office of the City Clerk

Commissioner Art Dahlberg
Dept. of Neighborhood Services

Commissioner Richard Marcoux
Attn: Elaine Miller
Department of City Development

City Attorney Grant F. Langley
Attn: Tom Miller
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Commissioner Ghassan Korban
Attn: Michael Loughran
Department of Public Works

City Engineer Jeffrey S. Polenske
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City Planning Manager
Vanessa Koster

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Dear Committee Members:

In accordance with Section 245-14 of the Milwaukee Code of Ordinances, I am forwarding to you materials relating to an application for an air space lease filed by Northwest Mutual Campus Connection Project. The lease is being requested for a bridge connecting the Van Buren street office building to the east side of Van Buren. The property address is 727-733 N. Van Buren Street.

I am asking that the City Clerk prepare the appropriate file for introduction at the next Council meeting.

I am asking that all of you review the enclosed materials in preparation for a meeting in September to discuss these submittals and the committee's recommendation regarding this lease.

Should you require additional information from the applicant, please give me a call at extension 8208.

Thank you.

Sincerely,

Rachel S. Doney
Development Center

Attachments

Cc: Ald Robert J. Bauman
Catherine Young

City of
Milwaukee
Development Center

Air or Subterranean Space Lease Petition

809 N. Broadway, 1st Floor / Milwaukee, WI 53202-3617 / 414-286-8208

Submit this application with \$200 application fee to:
Milwaukee Development Center
Make check payable to City of Milwaukee.
Application fee is non-refundable.

Date 7/28/2014

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The undersigned Northwestern Mutual Campus Connection Project

(state whether petitioner is an individual, co-partnership, Wisconsin or foreign corporation)

respectfully petitions the Common Council of the City of Milwaukee, according to the provisions of Section 66.048(3) and (4) of the Wisconsin Statutes, that the following space lease be granted:

See attached Exhibit A

of which building plans, plot plans and descriptive data showing the elevations, locations, height and size of the proposed structure and its relationship to adjoining buildings are herewith submitted.


The petitioners are the owners in fee of the following described real property:

See attached Exhibit B

also known by street and number as See Exhibit B and _____
which property is located on both sides of that portion of the (street, alley or _____) to be so leased.

This petition is subject to such terms and conditions as may be agreed up on between the City of Milwaukee and the petitioner, which terms and conditions shall be set forth in a written lease pursuant to Section 66.048(3) and (4), Wisconsin Statutes. The leasing of such space shall be subject to a determination by the Common Council of the City of Milwaukee that such space is not needed for street, alley or other public purpose and that the public interest will be served by such leasing, and upon such determination as shall be authorized by ordinance duly passed by the City of Milwaukee.

Signature



Catherine Young

Address 720 E. Wisconsin Street, Milwaukee, WI 53202

Phone 414-665-2557

Corporation, firm or society Northwestern Mutual Campus Connection Project

Address 720 E. Wisconsin Street, Milwaukee, WI 53202

Title or office held in same Assistant General Counsel



TO: City of Milwaukee Development Center

FROM: Northwestern Mutual Campus Connection Project
c/o Robert Reynolds, Construction Manager (414) 216-0104
LaVon M. Johns, Legal Counsel (312) 881-5168

Re: Memorandum of Ownership: Air or Subterranean Space Lease Petition:
VOB Bridge Lease

DATE: July 29, 2014

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2. That certain Warranty Deed, dated January 2, 2013, recorded January 7, 2013 as Document No. 10201786.

Should you have any questions or comments, please contact Rob Reynolds or LaVon Johns at the numbers listed above.

GONZALEZ, SAGGIO AND HARLAN, L.L.C.
Attorneys at Law

www.gshllc.com

Affiliated with Gonzalez Saggio & Harlan LLP

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Fax (312) 236-1750

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Boca Raton, FL
Boston, MA
Cleveland, OH
Indianapolis, IN

Los Angeles, CA
Miami, FL
Milwaukee, WI
Nashville, TN
New York, NY

Pasadena, CA
Phoenix, AZ
Washington, D.C.
Wayne, NJ
West Des Moines, IA

DOC. # 10201786

RECORDED
01/07/2013 12:00PM

JOHN LA FAVE
REGISTER OF DEEDS
Milwaukee County, WI
AMOUNT: \$30.00
TRANSFER FEE: \$20,580.00
FEE EXEMPT #: 0

This document has been electronically recorded and returned to the submitter.

State Bar of Wisconsin Form 1-2003

WARRANTY DEED

Document Number

Document Name

THIS DEED, made between
VAN BUREN BUILDING COMPANY, A LIMITED PARTNERSHIP, a
Wisconsin limited partnership N/K/A MONROE BUILDING LP, a
Wisconsin limited partnership

("Grantor," whether one or more), and
THE NORTHWESTERN MUTUAL LIFE INSURANCE COMPANY, a
Wisconsin corporation

721-733 N. Van Buren

("Grantee," whether one or more)

Grantor, for a valuable consideration, conveys to Grantee the following described real estate, together with the rents, profits, future and other appurtenant interests, in MILWAUKEE County, State of Wisconsin ("Property") (If more space is needed, please attach addendum):

Lots 1, 2 and 3, Block 29, in Plat of Milwaukee, East of the River, in the Northwest 1/4 of Section 28, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin.

TOGETHER WITH the East 1/2 of the vacated alley adjoining said premises on the West.

ALSO TOGETHER WITH a non-exclusive easement for access, ingress and egress over and across the following tract of

continued

Recording Area

Name and Return Address

NORTHWESTERN MUTUAL LIFE
EMERY EMERY
720 E. WISCONSIN AVENUE
MILWAUKEE WI 53202

392-0919-111-7

Parcel Identification Number (PIN)

This is NOT homesteaded property
(s)/(is not)

Grantor warrants that the title to the Property is good, indefeasible in fee simple and free and clear of encumbrances except: municipal and zoning ordinances and agreements entered under them, recorded easements for the distribution of utility and municipal services, recorded building and use restrictions and covenants, and general taxes levied in the year of closing.

Dated as of January 2, 2013

MONROE BUILDING LP BY: VAN BUREN MANAGEMENT, INC., GENERAL PARTNER



JOEL S. LEE, PRESIDENT (SEAL)

(SEAL)


(SEAL)

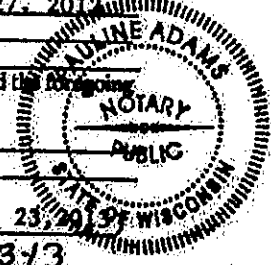
(SEAL)

AUTHENTICATION
Signature(s) _____
authenticated on _____

ACKNOWLEDGMENT
STATE OF WISCONSIN
Milwaukee COUNTY } ss.

Personally came before me on November 27, 2013
the above named JOEL S. LEE

to me known to be the person(s) who executed the foregoing instrument and acknowledged the same.

Pauline Adams
Notary Public, State of Wisconsin
My commission (is permanent) (expires) June 23, 2015



TITLE MEMBER STATE BAR OF WISCONSIN
(If not, _____
authorized by Wis. Stat. S706.06)

THIS INSTRUMENT DRAFTED BY:
ATTORNEY MICHAEL W. TORIN

Chicago Title Insurance Company

20900 Swenson Drive
Suite 900
P. O. Box 987
Waukesha, WI 53187-0987
(414) 796-3800

Direct Line: (414) 796-3834
Fax Number: (414) 796-3888
E-mail: smithri@ctt.com

*South
720 E. Wisconsin
including
805 E. Miss*

December 4, 1998

Ms. Catherine M. Young, Assistant General Counsel
Law Department
The Northwestern Mutual Life Insurance Company
729 East Wisconsin Avenue
Milwaukee, WI 53202

Re: Home-Office Title Deed

Dear Catherine,

Pursuant to your request, I am enclosing a certified copy of a deed by which, in 1910, The Northwestern Mutual Life Insurance Company acquired the site of its home office. For the sake of orientation, I am also enclosing a copy of a current tax map.

Abstracts were the common form of title evidence in use in 1910. As far as we know, title insurance was unavailable until Milwaukee Title Guaranty & Abstract Company, our predecessor, issued the first title policy in Wisconsin in 1918.

If we can be of any further assistance, please contact me. Thank you for this opportunity to be of service.

Sincerely,



Richard C. Smith
Resident Vice President

Know all Men by these Presents, That Harace W. J. Uphaus and Mary L. Uphaus, his wife, of Milwaukee, County of Milwaukee, State of Wisconsin...

parties of the first part, in consideration of the sum of one dollar and other valuable considerations to them... duly paid, do hereby remise, release and quit-claim unto The Northwestern Mutual Life Insurance Company of Milwaukee, County of Milwaukee, State of Wisconsin, a Wisconsin corporation...

the following described real estate, situated in the County of Milwaukee... State of Wisconsin, to-wit: all of Block eighty eight, in the seventh ward of the City of Milwaukee...

To Have and to Hold the same, together with all and singular the appurtenances and privileges thereto belonging or in anywise thereunto appertaining, and all the estate, right, title, interest and claim whatsoever of the said parties of the first part, either in law or equity, either in possession or expectancy, to the only proper use, benefit and behoof of the said parties of the second part, their successors, heirs and assigns forever.

In Witness Whereof, the parties of the first part have hereunto set their hands and seals this eleventh day of April, A. D. 1910...

IN PRESENCE OF

Caroline Uphaus
Margery Haldor
J. F. Roth

Harace W. J. Uphaus [SEAL]
Mary L. Uphaus [SEAL]
[SEAL]
[SEAL]

STATE OF WISCONSIN, }
Milwaukee County, } ss. Personally came before me this 11th day of April, A. D. 1910 the above named Harace W. J. Uphaus and Mary L. Uphaus, his wife to me known to be the person who executed the foregoing instrument and acknowledged the same.

Received for Record the 11th day of April, A. D. 1910, at 12:45 o'clock, P.M.
L. C. Hanson Register
Deputy



J. F. Roth
Notary Public, Milwaukee County, Wisconsin
My commission expires August 24, 1911



July 30, 2014

Via Hand Delivery

City of Milwaukee Development Center
809 North Broadway, 1st Floor
Milwaukee, Wisconsin 53202

Re: Northwestern Mutual Campus Connection Project Air Space Lease Petition

Dear Clerk:

Please find enclosed the Air Space Lease Petition associated with the Northwestern Mutual Campus Connection Project, 825 East Mason Street, Milwaukee, Wisconsin. If you have any questions please contact Rob Reynolds at 414-216-0104.

Very truly yours,

Edward B. Witte

Enclosure

GONZALEZ SAGGIO & HARLAN LLP
Attorneys at Law

www.gshllp.com

Affiliated with Gonzalez, Saggio and Harlan, L.L.C.

Milwaukee
111 East Wisconsin Avenue
Suite 1000
Milwaukee, WI 53202
Tel (414) 277-8500
Fax (414) 277-8521

Atlanta, GA
Boca Raton, FL
Boston, MA
Chicago, IL
Cleveland, OH

Indianapolis, IN
Los Angeles, CA
Nashville, TN
New York, NY
Pasadena, CA

Phoenix, AZ
Washington, D.C.
Wayne, NJ
West Des Moines, IA

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit A

1. Space Lease for bridge connecting the Van Buren Street Office Building to the East side of Van Buren Street (the "VOB Bridge Lease")
2. Space Lease for bridge connecting North Office Building to proposed office tower to be located on the South side of East Mason Street (the "NOB Bridge Lease")

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit B

1. VOB Bridge Lease—Addresses of real property to be adjoined:

727-733 N. Van Buren Street (“733 Building”) and 805 E. Mason Street.

2. NOB Bridge Lease—Addresses of real property to be adjoined:

818 E. Mason Street (“North Office Building”) and 825 E. Mason Street.

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit C

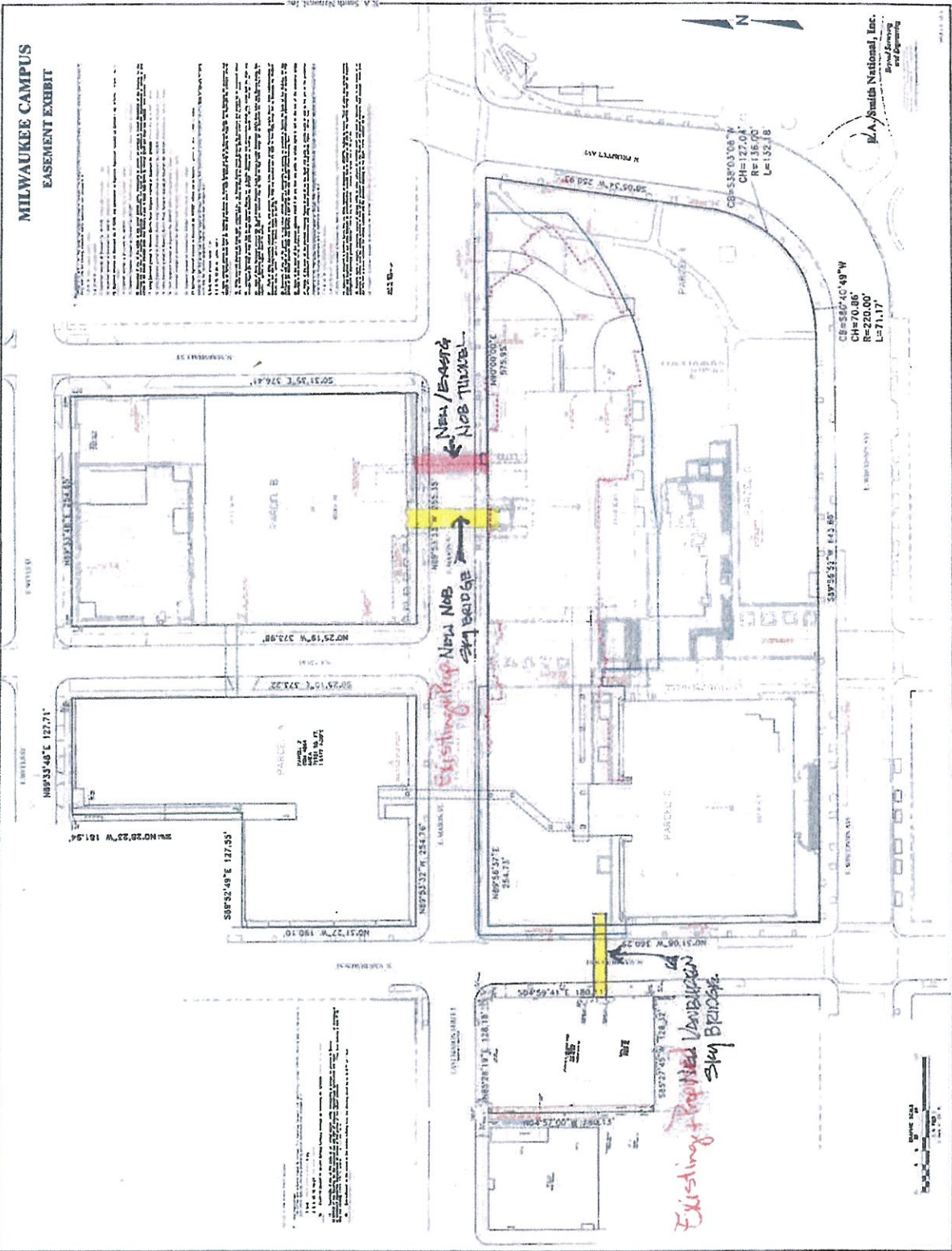
Overall Easement Exhibit, having a date of July 15, 2015

**MILWAUKEE CAMPUS
EASEMENT EXHIBIT**

THIS EASEMENT EXHIBIT IS A PART OF THE MILWAUKEE CAMPUS EASEMENT AGREEMENT, DATED AND RECORDED AS ABOVE. IT IS HEREBY CERTIFIED THAT THE EASEMENT EXHIBIT IS A TRUE AND CORRECT COPY OF THE ORIGINAL AS FILED IN THE OFFICE OF THE CLERK OF COURT, MILWAUKEE, WISCONSIN, ON THE _____ DAY OF _____, 20____.

WITNESSED MY HAND AND SEAL OF OFFICE, THIS _____ DAY OF _____, 20____.

Clerk of Court



P.A./Smith National, Inc.
Professional Surveying
and Engineering

Scale: 1" = 100'
Date: 11/11/11



TO: City of Milwaukee Development Center

FROM: Northwestern Mutual Campus Connection Project
c/o Robert Reynolds, Construction Manager (414) 216-0104
LaVon M. Johns, Legal Counsel (312) 881-5168

Re: Memorandum of Ownership: Air or Subterranean Space Lease Petition:
NOB Bridge Lease

DATE: July 29, 2014

In connection with our Air and Subterranean Space Lease Petition for a Space Lease connecting the North Office Building to the Proposed Office Tower to be located on the South side of East Mason Street (the "NOB Bridge Lease"), we hereby state that the Northwestern Mutual Life Insurance Company (the Applicant's affiliate) is the owner of that certain property known as 818 E. Mason Street and 825 E. Mason Street, Milwaukee, Wisconsin.

Attached find the following evidence of ownership:

1. Title Policy No. 50-901-60-1016676, dated September 12, 1991.

Should you have any questions, please do not hesitate to contact either Rob Reynolds or LaVon Johns.

GONZALEZ, SAGGIO AND HARLAN, L.L.C.
Attorneys at Law

www.gshllc.com

Affiliated with Gonzalez Saggio & Harlan LLP

Chicago
Two Prudential Plaza
180 North Stetson Avenue
Suite 4425
Chicago, IL 60601
Tel (312) 236-0475
Fax (312) 236-1750

Atlanta, GA
Boca Raton, FL
Boston, MA
Cleveland, OH
Indianapolis, IN

Los Angeles, CA
Miami, FL
Milwaukee, WI
Nashville, TN
New York, NY

Pasadena, CA
Phoenix, AZ
Washington, D.C.
Wayne, NJ
West Des Moines, IA

OWNER'S FORM
CHICAGO TITLE INSURANCE COMPANY
SCHEDULE A

| 1 | 2 | 3 | 4 |
|--------------------|-------------------|----------------------------------|---------------------|
| OFFICE FILE NUMBER | POLICY NUMBER | DATE OF POLICY | AMOUNT OF INSURANCE |
| 1016676 | 50-901-60 1016676 | September 12, 1991 at 7:00 AM | \$90,000,000.00 |

1. Name of Insured:

NORTHWESTERN MUTUAL LIFE INSURANCE COMPANY, a Wisconsin Corporation

2. The estate or interest in the land described herein and which is covered by this policy is:

FEE SIMPLE

3. The estate or interest referred to herein is at Date of Policy vested in the insured.

4. The land referred to in this policy is described as follows:

Parcel I:

Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, and 12, Block 96, in Plat of the Town of Milwaukee on the East Side of the River, in the Northwest 1/4 of Section 28, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin, including vacated alley between said lots.

Parcel II:

Leasehold Estate created by Lease entered into by and between the City of Milwaukee, as lessor, and Northwestern Mutual Life Insurance Company, a Wisconsin Corporation, as lessee, dated May 10, 1988 and recorded June 2, 1988 on Reel 2217, Image 534 as Document No. 6175665, demising an air space over North Cass Street between East Mason Street and East Wells Street, in the City of Milwaukee, for the purpose of enabling Lessee to construct an enclosed pedestrian bridge joining the existing parking structure located on property known as 777 North Cass Street and the new North Office Building, to be known as 818 East Mason Street, to be located on the North side of East Mason Street with the lowest part not less than 20 feet above the present roadway of North Cass Street and consisting of not more than 14 feet in width and 23.5 feet in height, said air space being more particularly described as follows: That part of North Cass Street in the City of Milwaukee, County of Milwaukee, State of Wisconsin, which is bounded and described as follows: Commencing at the Southwest corner of Block 96 in the Plat of Milwaukee, being in the Northwest 1/4 of Section 28, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin, said point being at the intersection of the

- CONTINUED -

This policy valid only if Schedule B is attached.

Schedule A Paragraph 5 Continued

Policy Number 50- 901-60 1016676

East line of North Cass Street with the North line of East Mason Street; thence North 04° 53' 52" West along the West line of said Block 96 and the East line of North Cass Street 196.28 feet to the point of beginning of said easement; (sidewalk elevation 54.6 feet, bottom of bridge elevation 75.50 feet, top of bridge elevation 99.00 feet); thence South 84° 59' 52" West 80.00 feet to a point on the West line of North Cass Street (sidewalk elevation 54.6 feet, bottom of bridge elevation 75.50 feet, top of bridge elevation 99.00 feet); thence North 04° 53' 52" West along the West line of North Cass Street 14.00 feet to a point; (sidewalk elevation 54.3 feet, bottom of bridge elevation 75.50 feet, top of bridge elevation 99.00 feet); thence North 84° 59' 52" East 80.00 feet to a point on the East line of North Cass Street; (sidewalk elevation 55.0 feet, bottom of bridge elevation 75.50 feet, top of bridge elevation 99.00 feet); thence South 04° 53' 52" East along the East line of North Cass Street 14.00 feet to the point of beginning.

Parcel III:

Leasehold Estate created by Lease entered into by and between the City of Milwaukee, as Lessor, and Northwestern Mutual Life Insurance Company, as lessee a Wisconsin Corporation, dated May 10, 1988 and recorded June 2, 1988 on Reel 2217, Image 547 as Document No. 6175666 demising an air space over East Mason Street between North Cass Street and North Marshall Street, in the City of Milwaukee, for the purpose of enabling Lessee to construct an enclosed pedestrian bridge joining the existing East Office Building located on property known as 815 East Mason Street and the New North Office Building to be known as 818 East Mason Street to be located on the North side of East Mason Street, with the lowest part not less than 16 feet above the present roadway of East Mason Street and consisting of not more than 22 feet in width and 19.5 feet in height, said air space being more particularly described as follows:

That part of East Mason Street in the City of Milwaukee, County of Milwaukee, State of Wisconsin, which is bounded and described as follow:

Commencing at the Southwest corner of Block 96 in the Plat of Milwaukee, being in the Northwest 1/4 of Section 28, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin, said point also being at the intersection of the North line of East Mason Street with the East line of North Cass Street; thence North 85° 37' 55" East along the South line of said Block 96 and the North line of East Mason Street 105.22 feet to the point of beginning of said easement (sidewalk elevation 47.1 feet, bottom of bridge elevation 61.00 feet, top of bridge elevation 80.50 feet); thence South 05° 00' 08" East 77.86 feet to a point of the South line of East Mason Street; (sidewalk elevation 46.2 feet, bottom of bridge elevation 61.00 feet, top of bridge elevation 80.50 feet); thence North 85° 31' 19" East along the South line of East Mason Street 22.00 feet to a point; (sidewalk elevation 45.8 feet, bottom of bridge elevation 61.00 feet, top of bridge elevation 80.50 feet); thence North 05° 00' 08" West 77.82 feet to a point on the North line of East Mason Street; (sidewalk elevation 46.6 feet, bottom of bridge elevation 61.00 feet, top of bridge elevation 80.50 feet); thence South 85° 37' 55" West along the North line of East Mason Street 22.00 feet to the point of beginning.

Parcel IV:

Leasehold Estate created by Lease entered into by and between the City of Milwaukee, as lessor, and Northwestern Mutual Life Insurance Company, a Wisconsin Corporation, as lessee, dated May 10, 1988 and recorded June 2, 1988 on Reel 2217, Image 559 as Document No. 6175667 demising a space underneath the surface of East Mason Street for the purpose of enabling Lessee to construct an underground pedestrian/maintenance/utility tunnel structure joining the East Office Building at 815 East Mason Street to the proposed North office Building to be known as 818 East Mason Street, said space, consisting of an area approximately 24 feet in width and 78 feet in length with a height of approximately 17 feet to extend to a depth ranging from 1 to 20

Schedule A Paragraph 5 Continued

Policy Number 50- 901-60 1016676

feet below grade, with the public right of way corridor over and dimensions of said tunnel being more particularly described as follows:
That part of East Mason Street in the City of Milwaukee, County of Milwaukee, State of Wisconsin, which is bounded and described as follows:
Commencing at the Southwest corner of Block 96 in the Plat of Milwaukee, being a Subdivision of a part of the Northwest 1/4 of Section 28, Town 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin, said point also being at the intersection of the North line of East Mason Street with the East line of North Cass Street; thence North 85° 37' 55" East along the South line of said Block 96 and the North line of East Mason Street 145.89 feet to the point of beginning of said easement; (sidewalk elevation 46.4 feet, bottom of tunnel elevation 26.67 feet, top of tunnel elevation 43.50 feet); thence South 05° 00' 08" East 7.78 feet to a point (sidewalk elevation 46.3 feet, bottom of tunnel elevation 26.67 feet, top of tunnel elevation 43.50 feet); thence North 84° 59' 52" East 19.50 feet to a point (sidewalk elevation 46.1 feet, bottom of tunnel elevation 26.67 feet, top of tunnel elevation 43.50 feet); thence South 05° 00' 08" East 59.38 feet to a point (sidewalk elevation 44.8 feet, bottom of tunnel elevation 26.67 feet, top of tunnel elevation 43.50 feet); thence South 84° 59' 52" West 0.66 feet to a point (sidewalk elevation 44.8 feet, bottom of tunnel elevation 26.67 feet, top of tunnel elevation 43.50 feet); thence South 05° 00' 08" East 10.80 feet to a point on the South line of East Mason Street (sidewalk elevation 45.2 feet, bottom of tunnel elevation 26.67 feet, top of tunnel elevation 43.50 feet); thence North 85° 31' 19" East along the South line of East Mason Street 24.00 feet to a point (sidewalk elevation 44.8 feet, bottom of tunnel elevation 26.67 feet, top of tunnel elevation 43.50 feet); thence North 05° 00' 08" West 11.02 feet to a point (top of curb elevation 44.6 feet, bottom of tunnel elevation 26.67 feet, top of tunnel elevation 43.50 feet); thence South 84° 59' 52" West 0.66 feet to a point (top of curb elevation 44.6 feet, bottom of tunnel elevation 26.67 feet, top of tunnel elevation 43.50 feet); thence North 05° 00' 08" West 66.69 feet to a point in the North line of East Mason Street (sidewalk elevation 46.1 feet, bottom of tunnel elevation 26.67 feet, top of tunnel elevation 43.50 feet); thence South 85° 37' 55" West along the North line of East Mason Street 42.17 feet to the point of beginning.

Tax Key No. 392-1636-110-9

ADDRESS: 818 E. Mason Street

CERTIFICATE NO. 215182
STATE OF WISCONSIN
MILWAUKEE COUNTY
OFFICE OF
REGISTER OF DEEDS



I, the undersigned,
Register of Deeds of
Milwaukee County,
hereby certify that
this document is a
true and correct copy
of the original on
file or record in
this office.

Witness my hand and
official seal this

DEC - 3 1998

[Signature]
Register of Deeds

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit D-1

VOB Bridge Lease

- a. Building Plans (8 copies);
- b. Legal Description of Connecting Structure (8 copies);
- c. Floor plans of areas adjacent to the connections (8 copies);
- d. Memorandum of Ownership

EXHIBIT

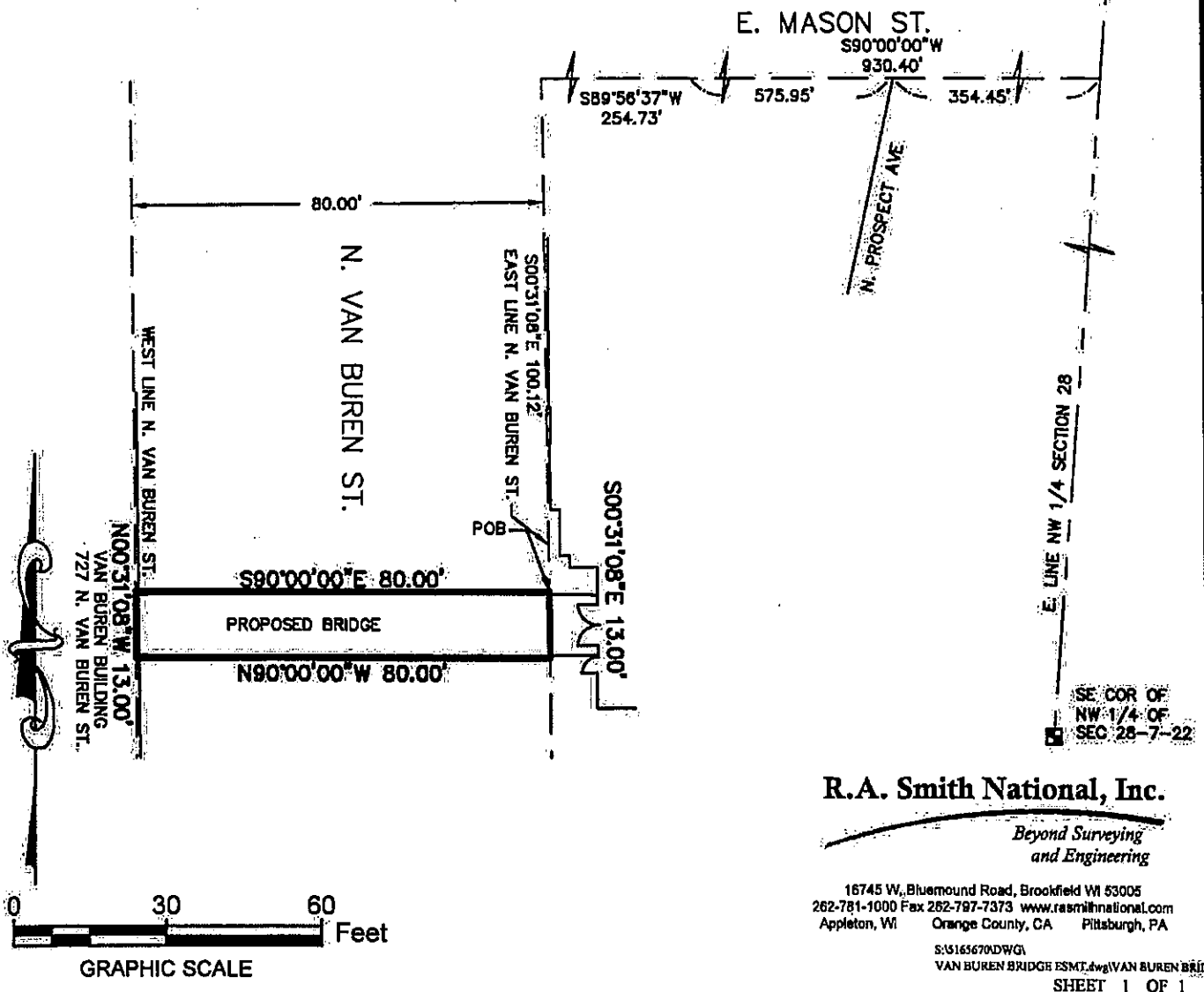
NORTH VAN BUREN STREET BRIDGE

That part of North Van Buren Street, being a part of the Northwest 1/4 of Section 28, Town 7 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin, bounded and described as follows:

P.O.C.
NE COR OF
NW 1/4 OF
SEC 28-7-22

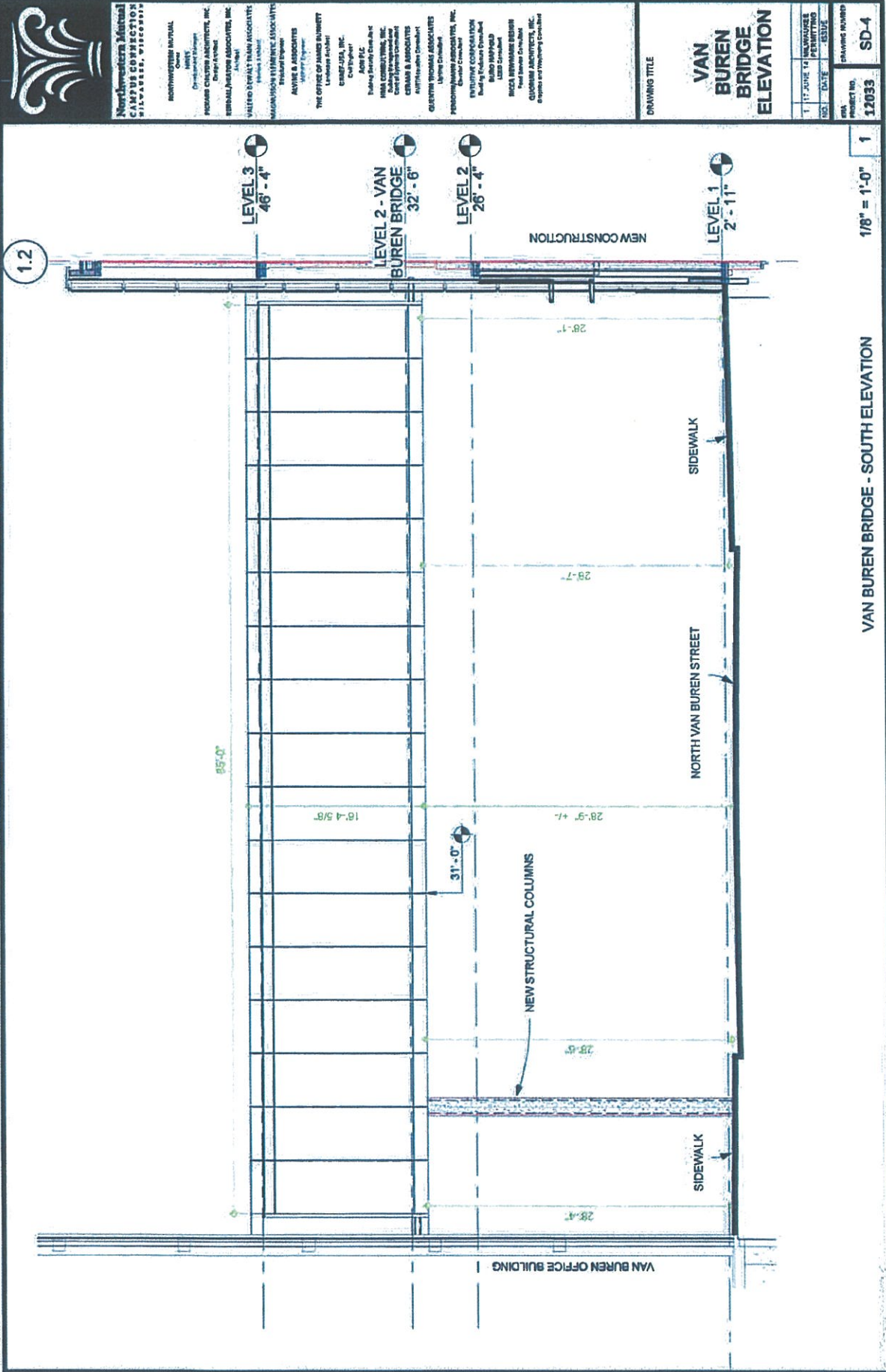
Commencing at the Northeast corner of said 1/4 Section; thence South 04°31'07" West along the East line of said 1/4 Section 1957.13 feet to a point in the extension of the South line of East Mason Street; thence South 90°00'00" West along said line and its extension 930.40 feet to an angle point in said South line; thence South 89°56'37" West 254.73 feet to a point in the East line of North Van Buren Avenue; thence South 00°31'08" East along said East line 100.12 feet to the point of beginning of said easement (sidewalk elevation 45.2 feet bottom of bridge elevation 73.1 feet, top of bridge elevation 90.5 feet); thence continuing South 00°31'08" East along said East line 13.00 feet to a point (sidewalk elevation 44.7 feet, bottom of bridge elevation 73.1 feet, top of bridge elevation 90.5 feet); thence North 90°00'00" West 80.00 feet to a point in the West line of North Van Buren Avenue (sidewalk elevation 45.2 feet, bottom of bridge elevation 73.1 feet, top of bridge elevation 90.5 feet); thence North 00°31'08" West along said West line 13.00 feet to a point (sidewalk elevation 45.5 feet, bottom of bridge elevation 73.1 feet, top of bridge elevation 90.5 feet); thence South 90°00'00" East 80.00 feet to the point of beginning. Elevations refer to City of Milwaukee datum. Containing 1,040 square feet.

June 24, 2014 The Northwestern Mutual Life Insurance Company Drawing No. 165670-RMK



R.A. Smith National, Inc.

VOB Plans



NextAmerica Minimal
CAMPUS CONNECTION
MILWAUKEE, WISCONSIN

ADMINISTRATIVE SERVICES
Owner

Architect
PETERSON ASSOCIATES, INC.
200 N. MILWAUKEE
MILWAUKEE, WI 53233

STRUCTURAL ANALYSIS ASSOCIATES, INC.
100 N. MILWAUKEE
MILWAUKEE, WI 53233

VALENTI DESIGN TEAM ASSOCIATES
100 N. MILWAUKEE
MILWAUKEE, WI 53233

MECHANICAL/ELECTRICAL/PLUMBING
BRUNNEN & ASSOCIATES
100 N. MILWAUKEE
MILWAUKEE, WI 53233

THE OFFICE OF JAMES BURNETT
Landscape Architect
100 N. MILWAUKEE
MILWAUKEE, WI 53233

PAVING
AMERICAN PAVING, INC.
100 N. MILWAUKEE
MILWAUKEE, WI 53233

TRUCKING SERVICE CONTRACTOR
HARRIS CONSULTING, INC.
100 N. MILWAUKEE
MILWAUKEE, WI 53233

CONCRETE CONTRACTOR
CROWBARK & ASSOCIATES
100 N. MILWAUKEE
MILWAUKEE, WI 53233

GENERAL CONTRACTOR
GUSTAFSON BROS. ASSOCIATES
100 N. MILWAUKEE
MILWAUKEE, WI 53233

PERMISSIONING ASSOCIATES, INC.
100 N. MILWAUKEE
MILWAUKEE, WI 53233

UTILITY CONTRACTOR
MILWAUKEE WATER DEPARTMENT
100 N. MILWAUKEE
MILWAUKEE, WI 53233

SEWER CONTRACTOR
MILWAUKEE SEWER DEPARTMENT
100 N. MILWAUKEE
MILWAUKEE, WI 53233

WALKWAY CONTRACTOR
MILWAUKEE WALKWAY DEPARTMENT
100 N. MILWAUKEE
MILWAUKEE, WI 53233

| DRAWING TITLE | | | |
|-----------------------------------|------|-------|------------------------|
| VAN BUREN BRIDGE ELEVATION | | | |
| 1 | 17 | JUNE | 18 |
| NO. | DATE | ISSUE | REVISIONS & PERMITTING |
| PROJECT NO. | | | DRAWING NUMBER |
| 120333 | | | SD-4 |
| 1 | | | 1 |

1/8" = 1'-0"

VAN BUREN BRIDGE - SOUTH ELEVATION

VOB Plans



Northwestern Mutual
100 W. Wacker Drive
MILWAUKEE, WISCONSIN

BOYD GROUP
Development Manager
FERRASO CYRUS ARCHITECTS, INC.
Design Architect
KERNAL PRINCE ARCHITECTS, INC.
Architect
VALERIO PINALETTI TRAFFIC ASSOCIATES
Traffic Analyst
MAGNIFICENT ENGINEERING ASSOCIATES
Principal Engineer

ALVAREZ & ASSOCIATES
Senior Engineer
THE OFFICE OF JAMES SUMMERT
Landscape Architect
GRIZAFUSA, INC.
Civil Engineer

BOYD GROUP
Senior Consultant
M&A CONSULTING, INC.
Building Management and
Energy Management
KELLY & ASSOCIATES
Architectural Consultant
CONCRETE TRENDS ASSOCIATES
Living Consultant

PERKINS+WILL ASSOCIATES, INC.
Structural Engineer
ENTHUSIASTIC CORPORATION
Building Envelope Consultant
M&A CONSULTING, INC.
1000 Consultant
MCCA NEWHAME DESIGN
Pool Service Consultant
QUONIAM ARCHITECTS, INC.
Outdoor and Interior Design

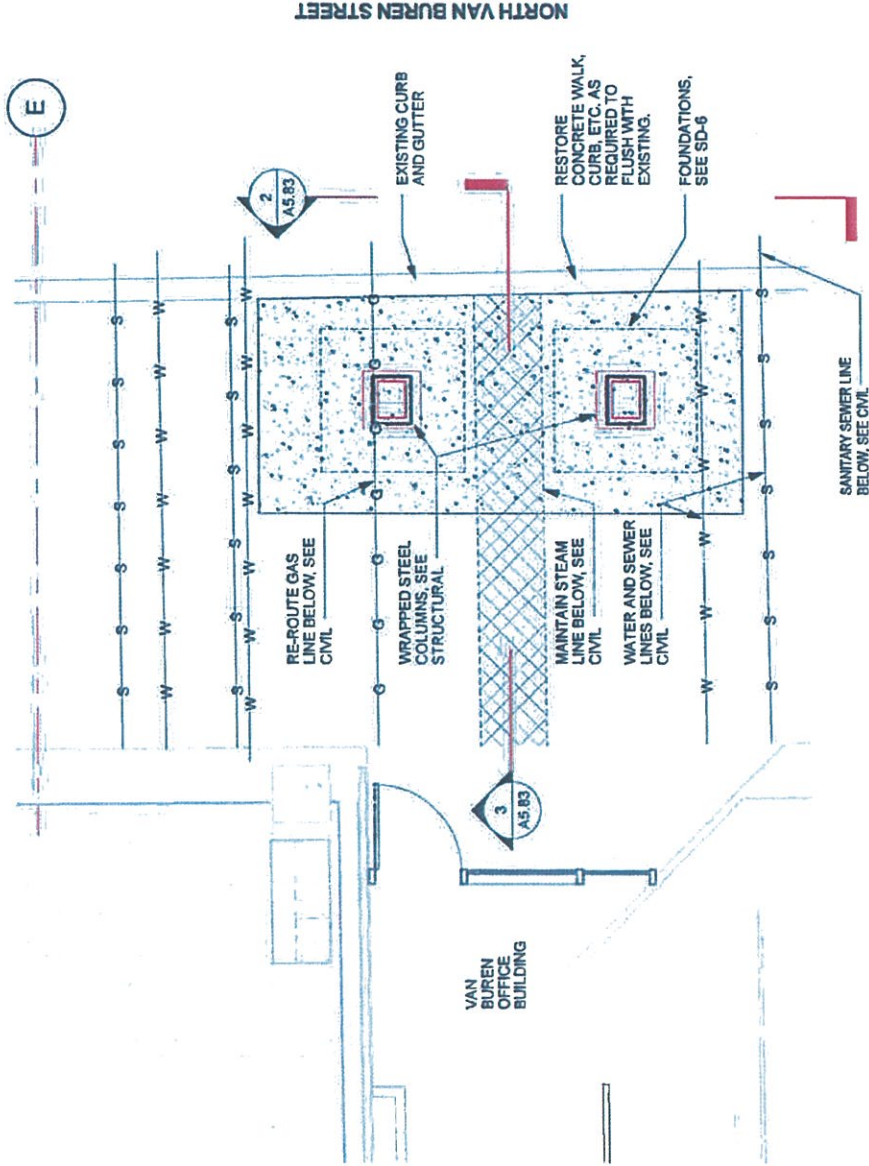
DRAWING TITLE

STREET LEVEL -
VAN
BUREN
BRIDGE

17 JUNE 14
NO. DATE REVISION
NO. DATE REVISION

PROJECT NO.
12033

DRAWING NUMBER
SD-5



STREET LEVEL - VAN BUREN BRIDGE

1/4" = 1'-0"

1

VOB Plans



CONSULTANTS
CANTOR CONTRACTING
 11000 W. 10th Street, Suite 100
 Overland Park, KS 66204
 Phone: (913) 241-1100
 Fax: (913) 241-1101
 Email: info@cantorcontracting.com

ARCHITECT
PERKINS+WILL
 1111 North Dearborn Street
 Chicago, IL 60610
 Phone: (312) 279-2000
 Fax: (312) 279-2001
 Email: info@perkinswill.com

STRUCTURAL ENGINEER
PERKINS+WILL
 1111 North Dearborn Street
 Chicago, IL 60610
 Phone: (312) 279-2000
 Fax: (312) 279-2001
 Email: info@perkinswill.com

MECHANICAL ENGINEER
PERKINS+WILL
 1111 North Dearborn Street
 Chicago, IL 60610
 Phone: (312) 279-2000
 Fax: (312) 279-2001
 Email: info@perkinswill.com

ELECTRICAL ENGINEER
PERKINS+WILL
 1111 North Dearborn Street
 Chicago, IL 60610
 Phone: (312) 279-2000
 Fax: (312) 279-2001
 Email: info@perkinswill.com

PLUMBING ENGINEER
PERKINS+WILL
 1111 North Dearborn Street
 Chicago, IL 60610
 Phone: (312) 279-2000
 Fax: (312) 279-2001
 Email: info@perkinswill.com

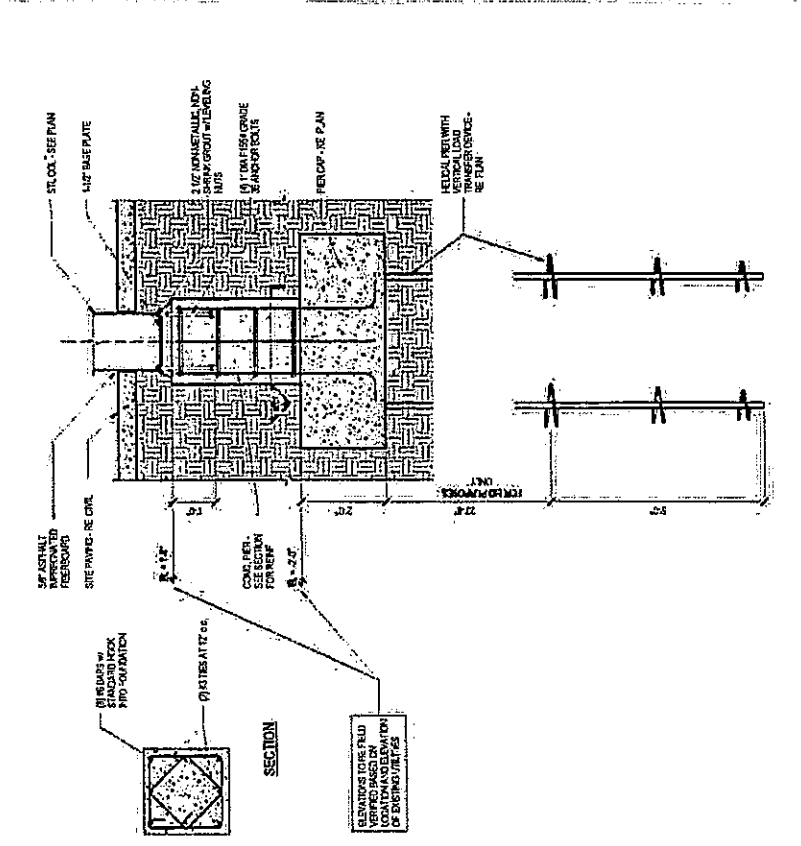
MECHANICAL ENGINEER
PERKINS+WILL
 1111 North Dearborn Street
 Chicago, IL 60610
 Phone: (312) 279-2000
 Fax: (312) 279-2001
 Email: info@perkinswill.com

ELECTRICAL ENGINEER
PERKINS+WILL
 1111 North Dearborn Street
 Chicago, IL 60610
 Phone: (312) 279-2000
 Fax: (312) 279-2001
 Email: info@perkinswill.com

PLUMBING ENGINEER
PERKINS+WILL
 1111 North Dearborn Street
 Chicago, IL 60610
 Phone: (312) 279-2000
 Fax: (312) 279-2001
 Email: info@perkinswill.com

DRAWING TITLE
VAN BUREN OFFICE BUILDING BRIDGE

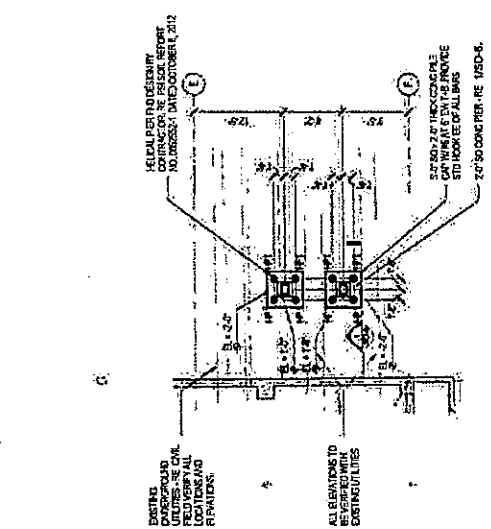
NO. 1
DATE
PROJECT NO.
12033
SD-6



1 VBOB BRIDGE FOUNDATION
 3/8"=1'-0"

| HELICAL PIER SCHEDULE | | |
|-----------------------|------------|--------------|
| MARK | AXIAL LOAD | LATERAL LOAD |
| HP1 | +40k | 0k |

NOTES: 1. THE LPPERMOST HELICAL BEARING PLATE SHOULD BE FOUND IN CENSESSONS AT A PROJECT ELEVATION AT OR BELOW -27'-0". SEE 1/SD-6.
 2. HELICAL PIERS SHALL BE DESIGNED FOR THE AXIAL LOADS GIVEN ABOVE.
 3. PRELIMINARY FOUNDATION DESIGN CRITERIA IS BASED ON INFORMATION IN SUPPLEMENTAL SOILS REPORT NUMBER 05/25/2017 DATED OCTOBER 6, 2012 BY PSL.



2 LEVEL 1 - VBOB BRIDGE FOUNDATION PLAN
 1/8"=1'-0"

VUB Plans



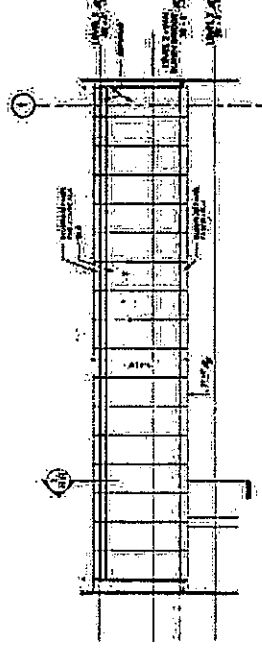
Northern Michigan
UNIVERSITY
CAMPUS CONNECTION
PROGRAM
1980-1981

- ARCHITECT: NORTHERN MICHIGAN UNIVERSITY, ARCHITECTURAL SERVICES DIVISION
- ENGINEER: PERKINS+WELLS ARCHITECTS, INC., EAST LANSING, MICHIGAN
- STRUCTURAL ENGINEER: PERKINS+WELLS ARCHITECTS, INC., EAST LANSING, MICHIGAN
- MATERIALS ENGINEER: PERKINS+WELLS ARCHITECTS, INC., EAST LANSING, MICHIGAN
- MECHANICAL ENGINEER: PERKINS+WELLS ARCHITECTS, INC., EAST LANSING, MICHIGAN
- ELECTRICAL ENGINEER: PERKINS+WELLS ARCHITECTS, INC., EAST LANSING, MICHIGAN
- PLUMBING ENGINEER: PERKINS+WELLS ARCHITECTS, INC., EAST LANSING, MICHIGAN
- LANDSCAPE ARCHITECT: PERKINS+WELLS ARCHITECTS, INC., EAST LANSING, MICHIGAN
- INTERIOR DESIGNER: PERKINS+WELLS ARCHITECTS, INC., EAST LANSING, MICHIGAN
- PAINTER: PERKINS+WELLS ARCHITECTS, INC., EAST LANSING, MICHIGAN
- CONTRACTOR: PERKINS+WELLS ARCHITECTS, INC., EAST LANSING, MICHIGAN
- GENERAL CONTRACTOR: PERKINS+WELLS ARCHITECTS, INC., EAST LANSING, MICHIGAN
- MECHANICAL CONTRACTOR: PERKINS+WELLS ARCHITECTS, INC., EAST LANSING, MICHIGAN
- ELECTRICAL CONTRACTOR: PERKINS+WELLS ARCHITECTS, INC., EAST LANSING, MICHIGAN
- PLUMBING CONTRACTOR: PERKINS+WELLS ARCHITECTS, INC., EAST LANSING, MICHIGAN
- LANDSCAPE CONTRACTOR: PERKINS+WELLS ARCHITECTS, INC., EAST LANSING, MICHIGAN
- INTERIOR CONTRACTOR: PERKINS+WELLS ARCHITECTS, INC., EAST LANSING, MICHIGAN
- PAINTER CONTRACTOR: PERKINS+WELLS ARCHITECTS, INC., EAST LANSING, MICHIGAN

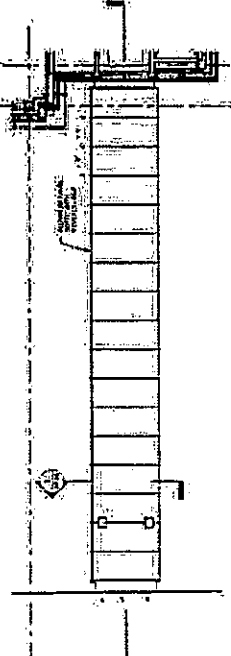


VAN BUREN BRIDGE - PLANS

AS.1



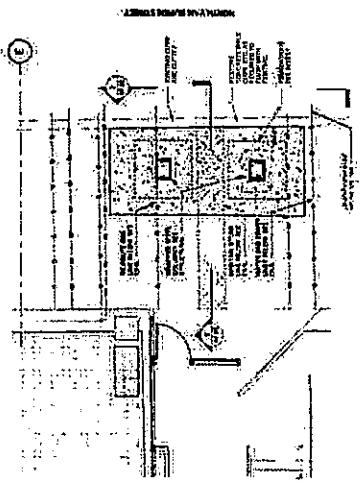
VAN BUREN BRIDGE - ARCHITECTURAL PLAN



VAN BUREN BRIDGE - STRUCTURAL PLAN



VAN BUREN BRIDGE - MECHANICAL PLAN



VAN BUREN BRIDGE - ELECTRICAL PLAN

SCALE: AS SHOWN

VOB Plans



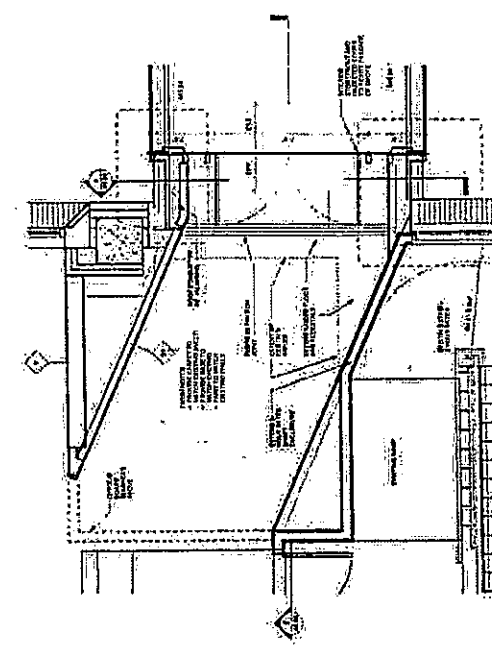
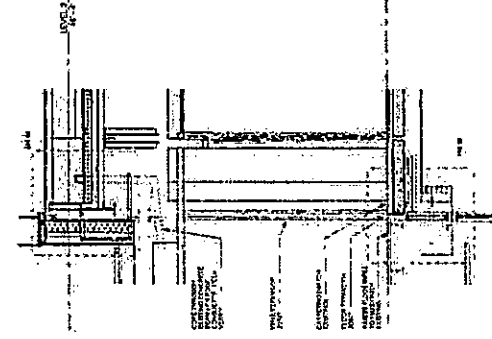
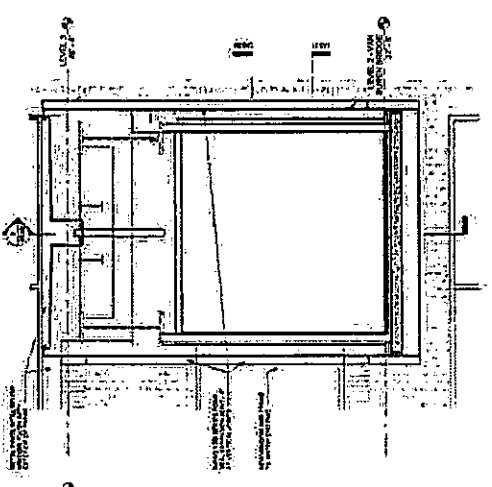
Northwestern Michigan
CAMPUS CONNECTION
EAST LANSING, MICHIGAN

- ARCHITECT:**
FORSYTH ARCHITECTURE, INC.
2100 W. GRAND AVENUE
EAST LANSING, MI 48824
- ENGINEER:**
REINOLD ENGINEERING, INC.
1000 W. GRAND AVENUE
EAST LANSING, MI 48824
- GENERAL CONTRACTOR:**
MACKINAC CONSTRUCTION, INC.
1000 W. GRAND AVENUE
EAST LANSING, MI 48824
- GENERAL CONTRACTOR:**
THE OFFICE OF JAMES W. SMITH
2100 W. GRAND AVENUE
EAST LANSING, MI 48824
- GENERAL CONTRACTOR:**
KIMBLE & ASSOCIATES
2100 W. GRAND AVENUE
EAST LANSING, MI 48824
- GENERAL CONTRACTOR:**
MILLER CONSTRUCTION, INC.
1000 W. GRAND AVENUE
EAST LANSING, MI 48824
- GENERAL CONTRACTOR:**
COTTON & ASSOCIATES
1000 W. GRAND AVENUE
EAST LANSING, MI 48824
- GENERAL CONTRACTOR:**
QUINCY TECHNICAL SERVICES
1000 W. GRAND AVENUE
EAST LANSING, MI 48824
- GENERAL CONTRACTOR:**
PERFORMANCE CONTRACTORS, INC.
1000 W. GRAND AVENUE
EAST LANSING, MI 48824
- GENERAL CONTRACTOR:**
TERRACE CONTRACTORS
1000 W. GRAND AVENUE
EAST LANSING, MI 48824
- GENERAL CONTRACTOR:**
TRIPLE CONSTRUCTION
1000 W. GRAND AVENUE
EAST LANSING, MI 48824
- GENERAL CONTRACTOR:**
MCP CONTRACTORS, LLC
1000 W. GRAND AVENUE
EAST LANSING, MI 48824
- GENERAL CONTRACTOR:**
SPECIALTY CONTRACTORS, INC.
1000 W. GRAND AVENUE
EAST LANSING, MI 48824



VAN BUREN
BRIDGE - WEST
END

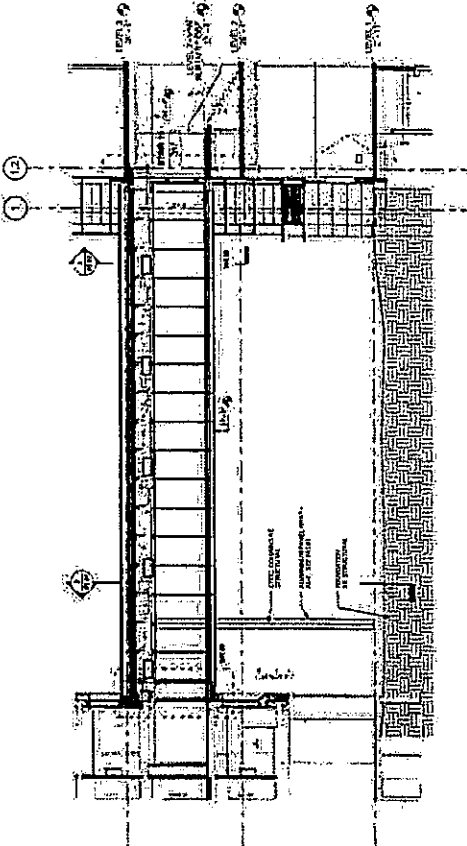
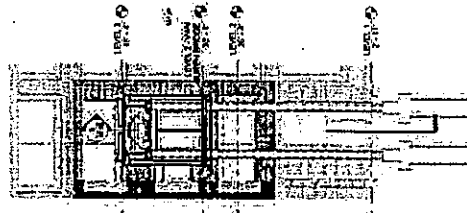
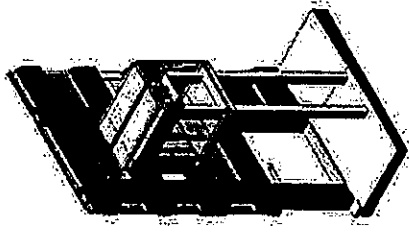
A-5.33



VAN BUREN BRIDGE - WEST END WALL ELEVATION 18' x 14' 6"

VAN BUREN BRIDGE - WEST END WALL SECTION 18' x 14' 6"

VAN BUREN BRIDGE - WEST END PLAN 18' x 14' 6"



VAN BUREN BRIDGE - WEST END WALL SECTION 18' x 14' 6"

VAN BUREN BRIDGE - WEST END SECTION 18' x 14' 6"

VAN BUREN BRIDGE - WEST END SECTION 18' x 14' 6"

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit D-1(b)

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

VOB Bridge Lease
Bridge Legal Description

THAT PART OF NORTH VAN BUREN STREET, BEING A PART OF THE NORTHWEST $\frac{1}{4}$ OF SECTION 28, TOWN 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID $\frac{1}{4}$ SECTION; THENCE SOUTH $04^{\circ}31'07''$ WEST ALONG THE EAST LINE OF SAID $\frac{1}{4}$ SECTION 1957.13 FEET TO A POINT IN THE EXTENSION OF THE SOUTH LINE OF EAST MASON STREET; THENCE SOUTH $90^{\circ}00'00''$ WEST ALONG SAID LINE AND ITS EXTENSION 930.40 FEET TO AN ANGLE POINT IN SAID SOUTH LINE; THENCE SOUTH $89^{\circ}56'37''$ WEST 254.73 FEET TO A POINT IN THE EAST LINE OF NORTH VAN BUREN AVENUE; THENCE SOUTH $00^{\circ}31'08''$ EAST ALONG SAID EAST LINE 100.12 FEET TO THE POINT OF BEGINNING OF SAID EASEMENT (SIDEWALK ELEVATION 45.2 FEET BOTTOM OF BRIDGE ELEVATION 73.1 FEET, TOP OF BRIDGE ELEVATION 90.5 FEET); THENCE CONTINUING SOUTH $00^{\circ}31'08''$ EAST ALONG SAID EAST LINE 13.00 FEET TO A POINT (SIDEWALK ELEVATION 44.7 FEET, BOTTOM OF BRIDGE ELEVATION 73.1 FEET, TOP OF BRIDGE ELEVATION 90.5 FEET); THENCE NORTH $90^{\circ}00'00''$ WEST 80.00 FEET TO A POINT IN THE WEST LINE OF NORTH VAN BUREN AVENUE (SIDEWALK ELEVATION 45.2 FEET, BOTTOM OF BRIDGE ELEVATION 73.1 FEET, TOP OF BRIDGE ELEVATION 90.5 FEET); THENCE NORTH $00^{\circ}31'08''$ WEST ALONG SAID WEST LINE 13.00 FEET TO A POINT (SIDEWALK ELEVATION 45.5 FEET, BOTTOM OF BRIDGE ELEVATION 73.1 FEET, TOP OF BRIDGE ELEVATION 90.5 FEET); THENCE SOUTH $90^{\circ}00'00''$ EAST 80.00 FEET TO THE POINT OF BEGINNING. ELEVATIONS REFER TO CITY OF MILWAUKEE DATUM. CONTAINING 1,040 SQUARE FEET.

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit D-1(c)

VOB-Floor Plans



Northwestern Mutual
 FINANCIAL SERVICES GROUP
 315 STATE STREET
 MILWAUKEE, WI 53202

ROTHSCHILD MUTUAL
 FINANCIAL SERVICES GROUP

PERKINS+WILL
 ARCHITECTS, INC.
 100 N. LAKE STREET
 CHICAGO, IL 60601

VERBAUWEN/PERKINS+WILL
 ARCHITECTS, INC.
 100 N. LAKE STREET
 CHICAGO, IL 60601

VALDES TRAVEL TRAVEL ASSOCIATES
 TRAVEL ASSOCIATES

ALUMINUM SILL MULLION ASSOCIATES
 ALUMINUM SILL MULLION ASSOCIATES

ALVAREZ & ASSOCIATES
 ARCHITECTS

THE OFFICE OF JAMES BURNEY
 ARCHITECTS

GRANZLUM, INC.
 CIVIL ENGINEER

ADRIAN P.C.
 ARCHITECTS

MARK CONSULTING, INC.
 ARCHITECTS

CONCRETE CONSULTANTS
 CONCRETE CONSULTANTS

CONCRETE CONSULTANTS
 CONCRETE CONSULTANTS

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DRAWING TITLE

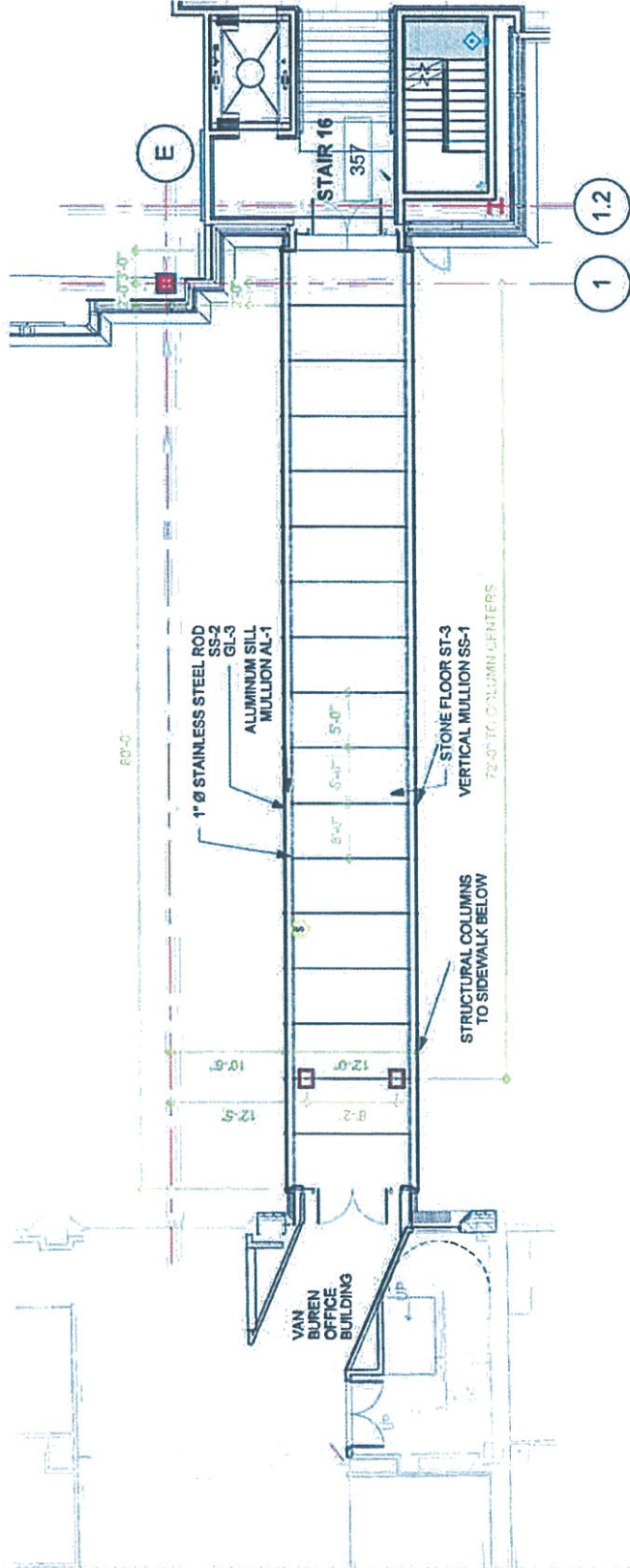
VAN BUREN OFFICE BUILDING BRIDGE

| NO. | DATE | ISSUE |
|-----|------------|---------------------|
| 1 | 07 JUNE 14 | ISSUANCE PERMITTING |

DRAWING NUMBER
SD-3

1" = 10'-0"

VAN BUREN BRIDGE FLOOR PLAN



1

VUB + LOOK Plans

GENERAL NOTE - CHECK FOR ALL

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. ALL PERMITS AND APPROVALS SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. ALL PERMITS AND APPROVALS SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.

3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. ALL PERMITS AND APPROVALS SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.

4. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. ALL PERMITS AND APPROVALS SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.

5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. ALL PERMITS AND APPROVALS SHALL BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.

eva

epstein ahern architects

1000 W. WISCONSIN ST.
MILWAUKEE, WI 53233
TEL: 414.224.1100
WWW.EVA-ARCHITECTS.COM

Northwestern Mutual
PROJECT INFORMATION

**NORTHWESTERN
MUTUAL VBOB**

733 N VAN BUREN
MILWAUKEE,
WISCONSIN 53202

BLANK AND REVISION
BID PACKAGE 3

REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|----------|--------------------|
| 1 | 10/20/11 | ISSUED FOR BIDDING |
| 2 | 11/02/11 | ISSUED FOR BIDDING |

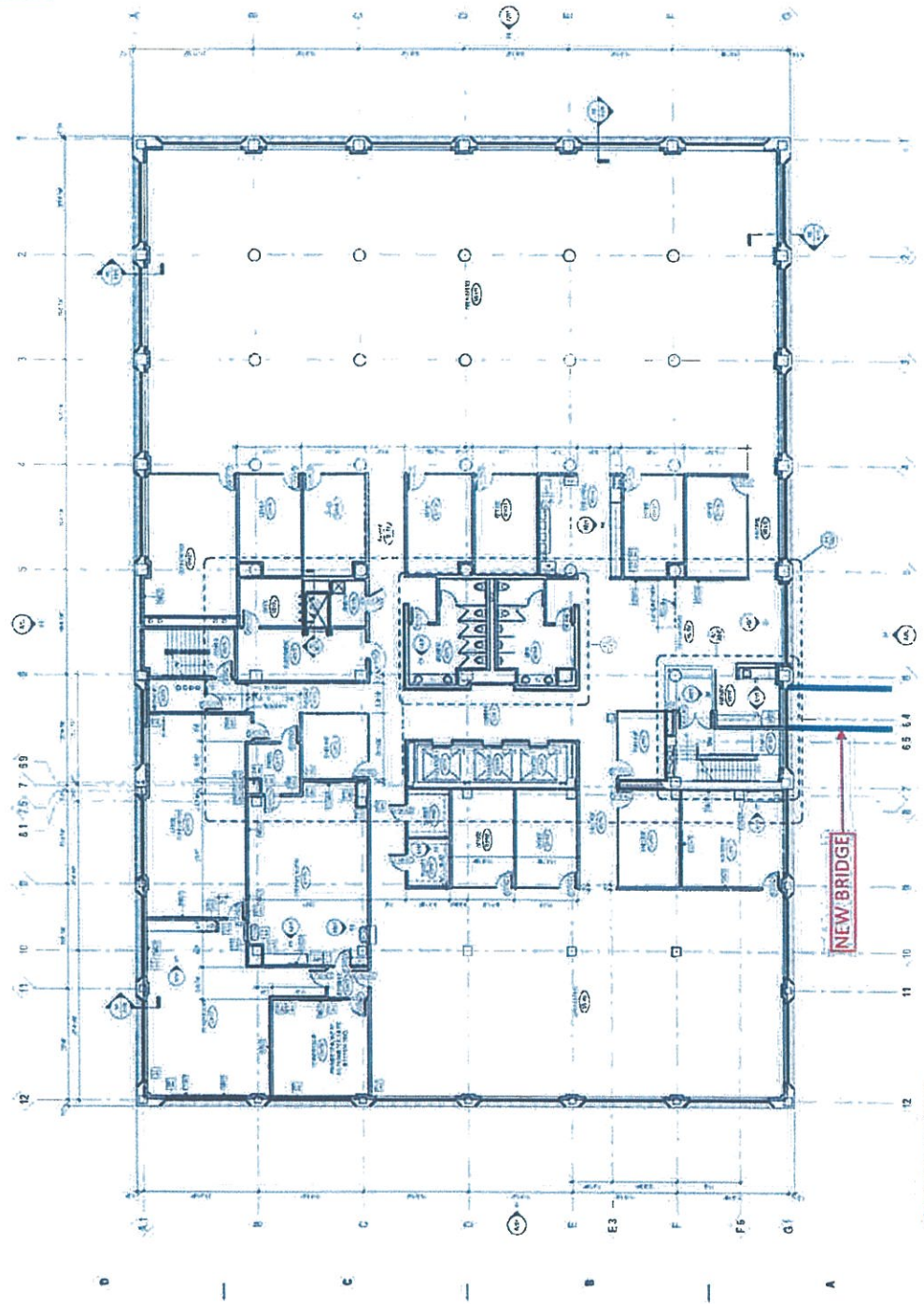
NOTES

1. NORTH

SHEET INFORMATION

| PROJECT NUMBER | DATE |
|----------------|----------|
| 110702 | 10/20/11 |

THIRD FLOOR PLAN
A103



THIRD FLOOR PLAN (TOP-3)

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit D-1(d)

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit D-2

NOB Bridge Lease

- a. Building Plans (8 copies);
- b. Legal Description of Connecting Structure (8 copies);
- c. Floor plans of areas adjacent to the connections (8 copies);
- d. Memorandum of Ownership

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit D-2(a)

EXHIBIT

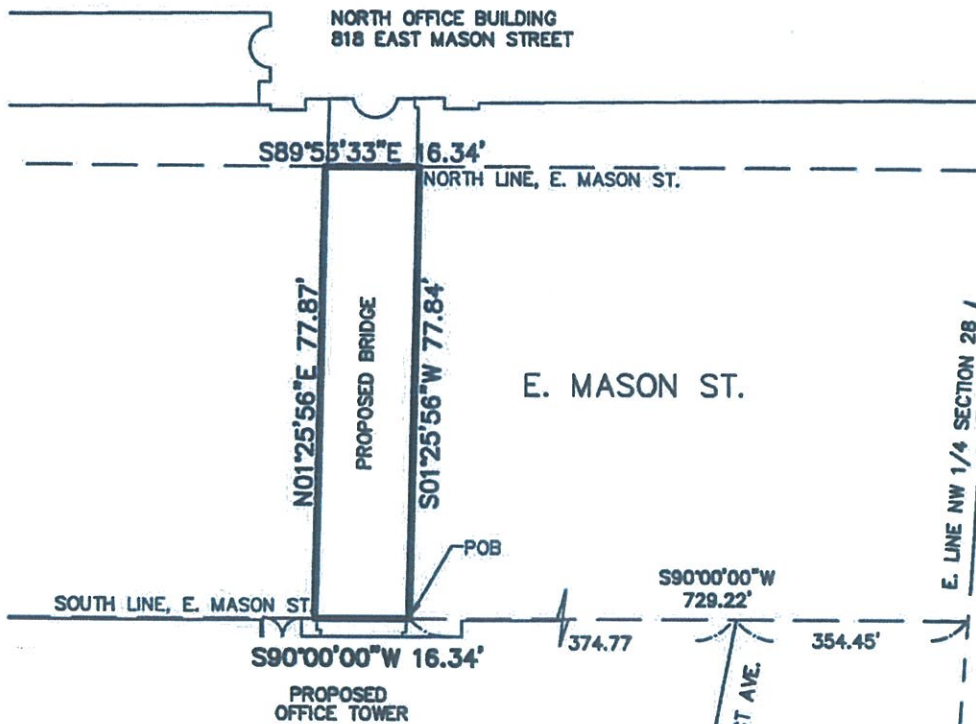
EAST MASON STREET BRIDGE

That part of East Mason Street, being a part of the Northwest 1/4 of Section 28, Town 7 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin, bounded and described as follows:

P.O.C.
NE COR OF
NW 1/4 OF
SEC 28-7-22

Commencing at the Northeast corner of said 1/4 Section; thence South 04°31'07" West along the East line of said 1/4 Section 1957.13 feet to a point in the extension of the South line of East Mason Street; thence South 90°00'00" West along said line and its extension 729.22 feet the point of beginning of said easement (sidewalk elevation 45.9 feet, bottom of bridge elevation 66.0 feet, top of bridge elevation 84.7 feet); thence continuing South 90°00'00" West along said South line 16.34 feet to a point (sidewalk elevation 46.2 feet, bottom of bridge elevation 66.0 feet, top of bridge elevation 84.7 feet); thence North 01°25'56" East 77.87 feet to a point in the North line of East Mason Street (sidewalk elevation 46.9 feet, bottom of bridge elevation 66.0 feet, top of bridge elevation 84.7 feet); thence South 89°53'33" East along said North line 16.34 feet to a point (sidewalk elevation 46.8, bottom of bridge elevation 66.0 feet, top of bridge elevation 84.7 feet); thence South 01°25'56" West 77.84 feet to the point of beginning. Elevations refer to City of Milwaukee Datum. Containing 1,272 square feet.

June 24, 2014 The Northwestern Mutual Life Insurance Company Drawing No. 165670-RMK



R.A. Smith National, Inc.

S:\165670\DWG\MASON BRIDGE ESMT.dwg. MASON BRIDGE. 6/24/2014 1:56:32 PM, Jpc



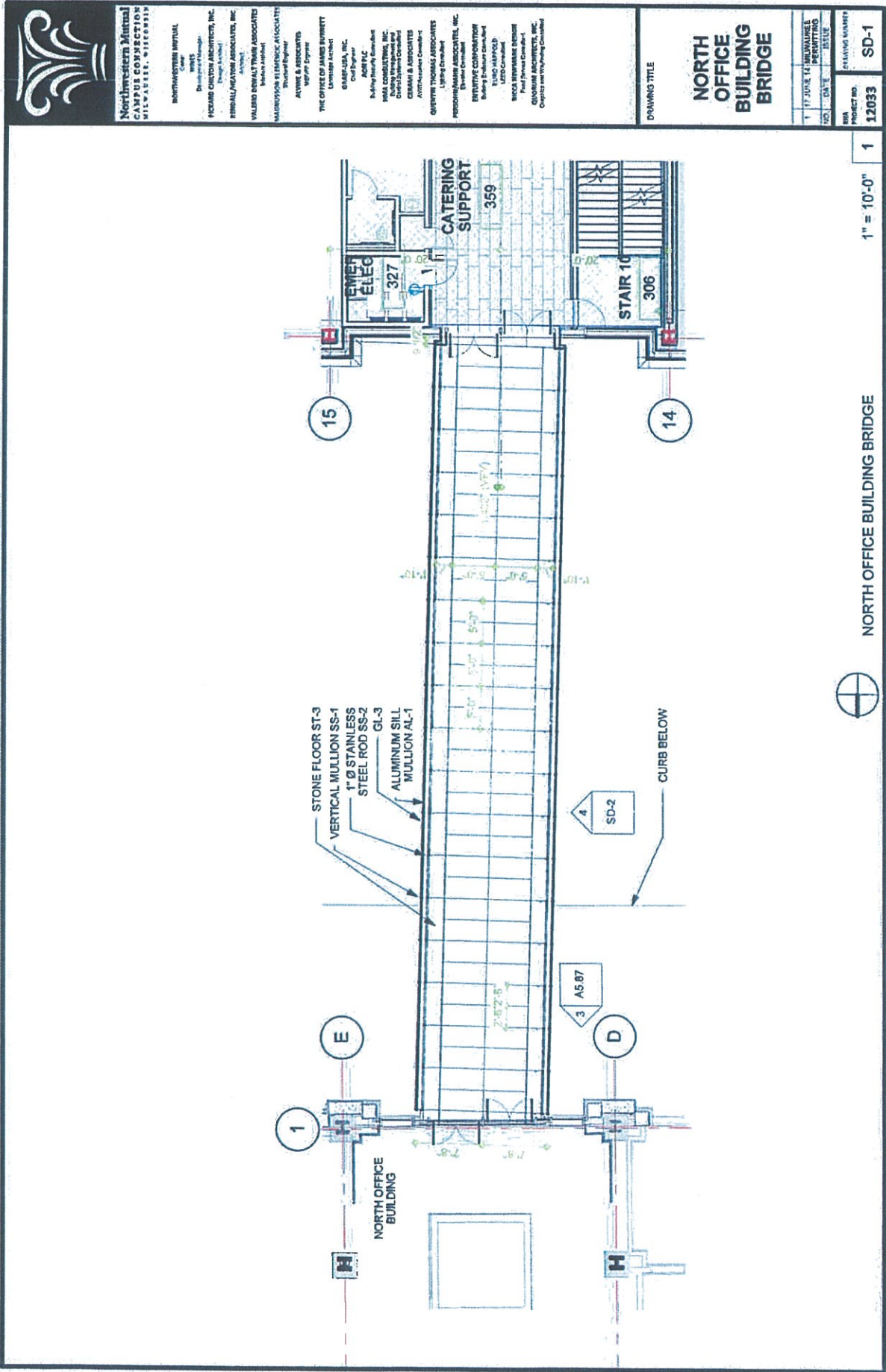
R.A. Smith National, Inc.

*Beyond Surveying
and Engineering*

16745 W. Bluemound Road, Brookfield WI 53005
262-781-1000 Fax 262-787-7373 www.rasmithnational.com
Appleton, WI Orange County, CA Pittsburgh, PA

S:\165670\DWG\MASON BRIDGE ESMT.dwg\MASON BRIDGE

NOB Plans



Northwestern Mutual
CAMPUS CONNECTION
 MILWAUKEE, WISCONSIN

ARCHITECTS:
 THE OFFICE OF JAMES BURRY
 1000 N. MILWAUKEE AVENUE
 MILWAUKEE, WI 53233

STRUCTURAL ENGINEER:
 ALVIN & ASSOCIATES
 1000 N. MILWAUKEE AVENUE
 MILWAUKEE, WI 53233

MECHANICAL ENGINEER:
 FICKLER CONSULTING ASSOCIATES, INC.
 1000 N. MILWAUKEE AVENUE
 MILWAUKEE, WI 53233

ELECTRICAL ENGINEER:
 FICKLER CONSULTING ASSOCIATES, INC.
 1000 N. MILWAUKEE AVENUE
 MILWAUKEE, WI 53233

PLUMBING ENGINEER:
 FICKLER CONSULTING ASSOCIATES, INC.
 1000 N. MILWAUKEE AVENUE
 MILWAUKEE, WI 53233

GENERAL CONTRACTOR:
 THE BRIDGE GROUP
 1000 N. MILWAUKEE AVENUE
 MILWAUKEE, WI 53233

DATE: 11/17/11

DRAWING TITLE
NORTH OFFICE BUILDING BRIDGE

| | | |
|-----|----------|----------------------|
| NO. | DATE | REVISION |
| 1 | 11/17/11 | MILWAUKEE PERMITTING |
| 2 | | REVISED |
| 3 | | REVISED |

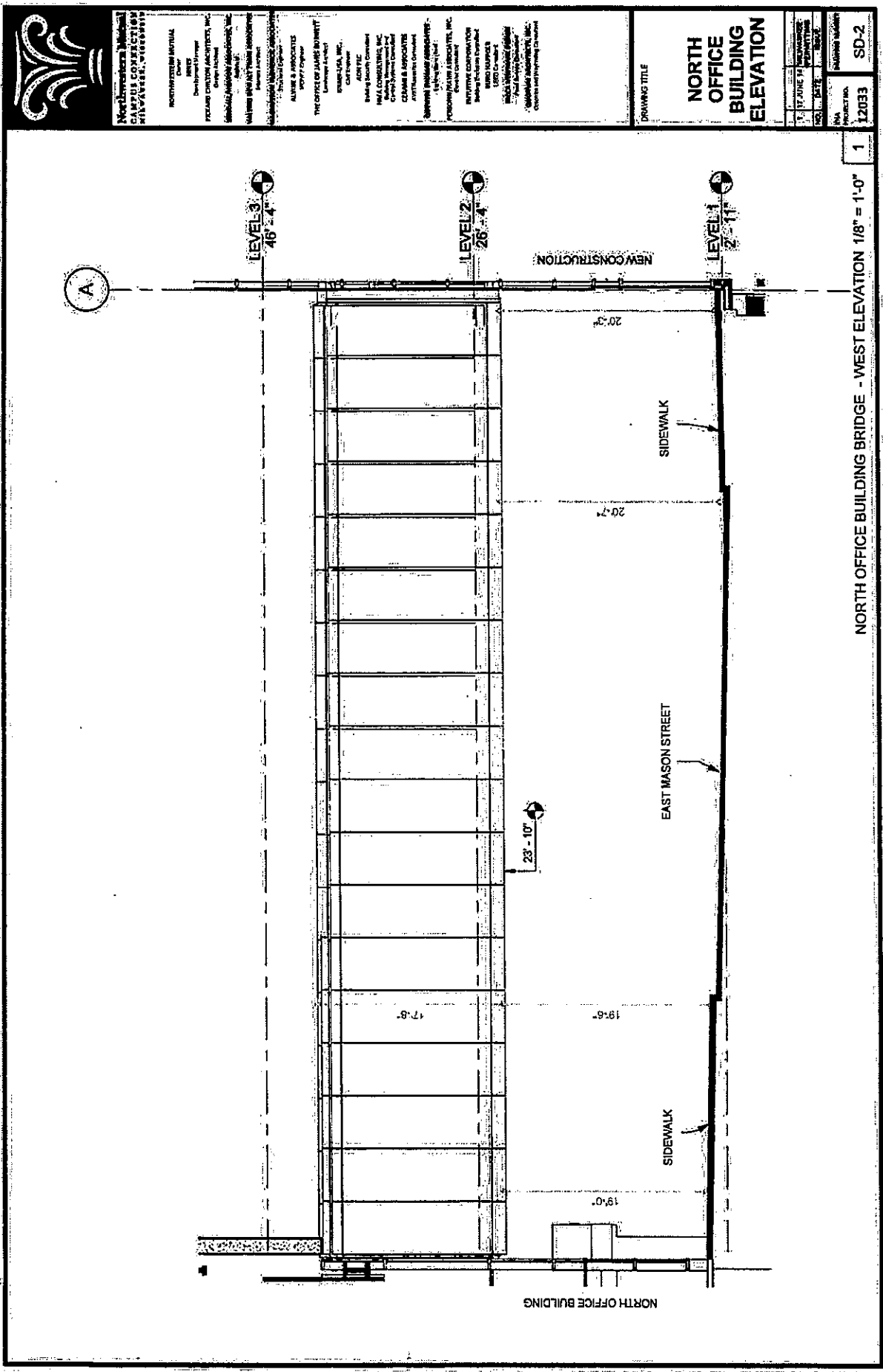
PROJECT NO. **12033**
 DRAWING NO. **SD-1**

1" = 10'-0"

NORTH OFFICE BUILDING BRIDGE



NOB Plans



North Office Building Bridge
 1177 JUNE 17, 2010
 1177 JUNE 17, 2010
 1177 JUNE 17, 2010

ARCHITECTURAL FIRM
 THE OFFICE OF JAMES BOWEN
 1177 JUNE 17, 2010

CLIENT
 NORTH OFFICE BUILDING BRIDGE
 1177 JUNE 17, 2010

DESIGNER
 JAMES BOWEN
 1177 JUNE 17, 2010

DATE
 1177 JUNE 17, 2010

PROJECT NO.
 12033

SCALE
 1/8" = 1'-0"

PROJECT TITLE
 NORTH OFFICE BUILDING BRIDGE - WEST ELEVATION

| | | | |
|-------|------------|-------------|-----------------------|
| NO. 1 | DATE | BY | REVISION |
| 1 | 11/17/2010 | JAMES BOWEN | ISSUED FOR PERMITTING |
| 2 | 11/17/2010 | JAMES BOWEN | ISSUED FOR PERMITTING |
| 3 | 11/17/2010 | JAMES BOWEN | ISSUED FOR PERMITTING |

PROJECT NO. 12033
 SCALE 1/8" = 1'-0"
 PROJECT TITLE NORTH OFFICE BUILDING BRIDGE - WEST ELEVATION

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit D-2(b)

NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

NOB Bridge Lease
Bridge Legal Description

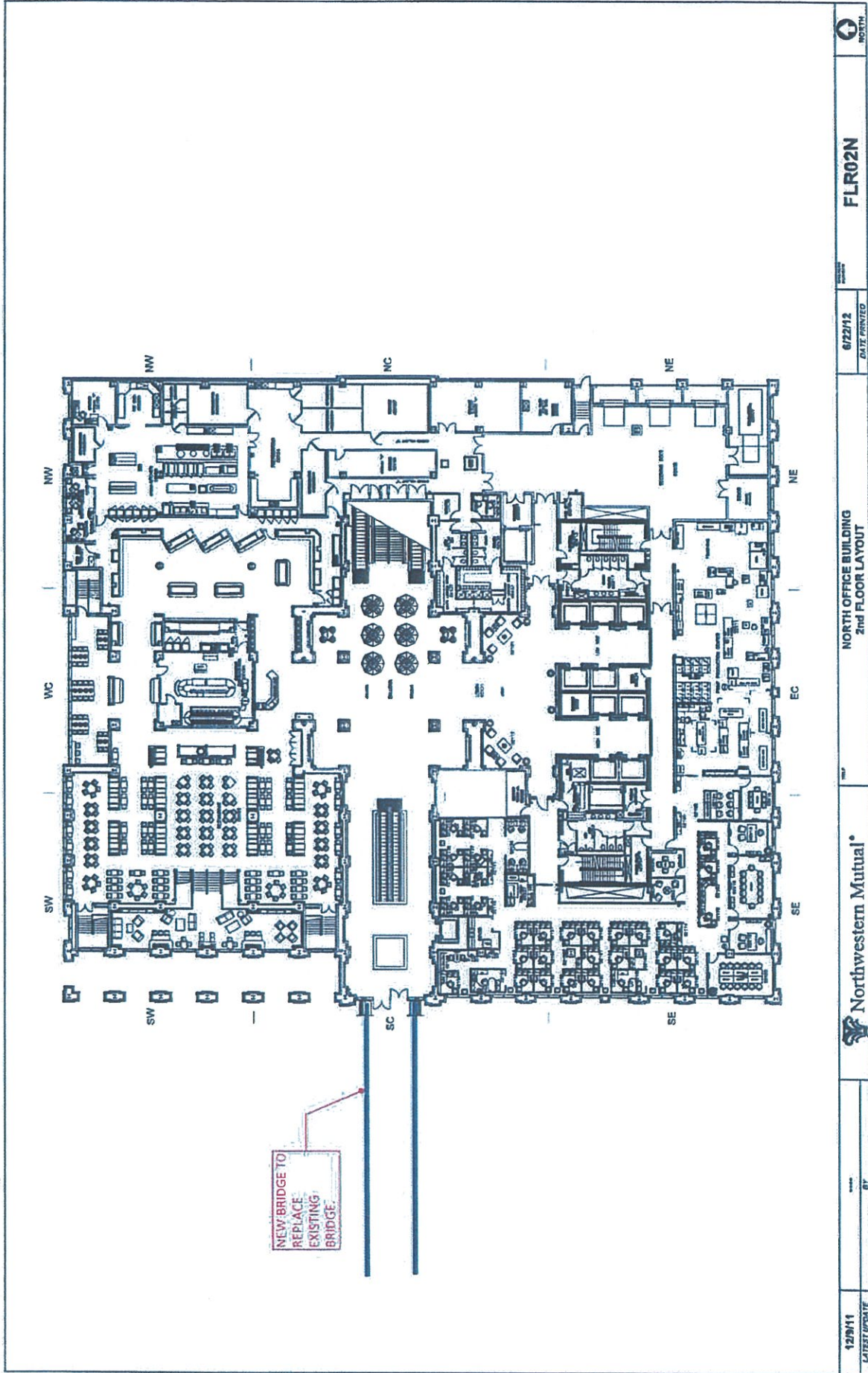
THAT PART OF EAST MASON STREET, BEING A PART OF THE NORTHWEST 1/4 OF SECTION 28, TOWN 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID 1/4 SECTION; THENCE SOUTH 04°31'07" WEST ALONG THE EAST LINE OF SAID 1/4 SECTION 1957.13 FEET TO A POINT IN THE EXTENSION OF THE SOUTH LINE OF EAST MASON STREET; THENCE SOUTH 90°00'00" WEST ALONG SAID LINE AND ITS EXTENSION 729.22 FEET THE POINT OF BEGINNING OF SAID EASEMENT (SIDEWALK ELEVATION 45.9 FEET, BOTTOM OF BRIDGE ELEVATION 66.0 FEET, TOP OF BRIDGE ELEVATION 84.7 FEET); THENCE CONTINUING SOUTH 90°00'00" WEST ALONG SAID SOUTH LINE 16.34 FEET TO A POINT (SIDEWALK ELEVATION 46.2 FEET, BOTTOM OF BRIDGE ELEVATION 66.0 FEET, TOP OF BRIDGE ELEVATION 84.7 FEET); THENCE NORTH 01°25'56" EAST 77.87 FEET TO A POINT IN THE NORTH LINE OF EAST MASON STREET (SIDEWALK ELEVATION 46.9 FEET, BOTTOM OF BRIDGE ELEVATION 66.0 FEET, TOP OF BRIDGE ELEVATION 84.7 FEET); THENCE SOUTH 89°53'33" EAST ALONG SAID NORTH LINE 16.34 FEET TO A POINT (SIDEWALK ELEVATION 46.8, BOTTOM OF BRIDGE ELEVATION 66.0 FEET, TOP OF BRIDGE ELEVATION 84.7 FEET); THENCE SOUTH 01°25'56" WEST 77.84 FEET TO THE POINT OF BEGINNING. ELEVATIONS REFER TO CITY OF MILWAUKEE DATUM. CONTAINING 1,272 SQUARE FEET.

**NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition**

Exhibit D-2(c)

NOB Floor Plans



NORTHWESTERN MUTUAL CAMPUS CONNECTION PROJECT
Air or Subterranean Space Lease Petition

Exhibit D-2(d)