

***Amendment to Detailed Planned Development known as
Good Hope Industrial Center for expansion of the
HellermannTyton facility
File Number 151449
Project Description & Statement of Intent***



2625 S. Greeley Street, Ste 203
Milwaukee, WI 53207

info@foundationarchitects.com
Phone (414) 403-3433

www.foundationarchitects.com

Project Description:

HellermannTyton Corporation, a world leader in manufacturing cable management identification and connectivity solutions for automotive, electrical and datacom markets, is proposing a First Amendment to the Detailed Planned Development (DPD, FN151449) for the property at 6701 West Good Hope Road. Hellermann Tyton has been located at this site for 4 years, and has previously expanded its facilities at the site to meet its needs for growth. HellermannTyton currently employs a total of 305 people at this facility. We surpassed our original estimate by 103 people given as part of the previous addition Minor Modification (FNs 131372 and 140197). HellermannTyton anticipates the expansion will create a minimum of 125 new manufacturing and technical jobs for the Milwaukee area in the next 5 years. Currently, there is approximately 10,774 square feet of office on the north end of the site, 191,237 square feet of factory behind the office space, and 241 surface parking spaces on the site. The existing building (including the original building and Phase II addition) is 2 stories with similar architecture (etc) that is proposed for the office and factory addition. The purpose of this Amendment is to implement Phase III of HellermannTyton's masterplan to construct an office addition, parking structure and factory addition.

Proposal:

The office addition is a 20,520 sf footprint approximately 200' long x 80' wide with a 40' x 80' dog-leg at the middle (west end) of the site, with two floor levels totaling 41,040 sf. The office addition is attached to the existing 191,237 sf factory and will be a steel framed structure with composite concrete floors. This will provide office support space for factory operations. Building materials will consist of precast concrete, metal panel wall systems, aluminum curtainwall and entrance systems with gray tinted glazing.

This amendment also includes construction of a parking structure along the west face of the addition in the center of the site, and will be attached to the proposed factory and new office addition. The 3-level parking structure has a 32,581 sf footprint approximately 266' long x 122' wide 45' high will accommodate 339 cars, and will be constructed with precast concrete with a single helix two-way traffic configuration. The structure is an un-heated, open air design with precast spandrel and wall panels. The construction of the structure may be phased over a period of years to allow for at grade surface parking until the parking garage is erected.

The factory addition will be located on the southeast end of the site, and consists of a 106,488 sf Phase III production facility approximately 401' long x 266' wide building x 33' high (to match the height of the existing structure, which is 191,237 sq ft) precast concrete building.

Setbacks:

The Phase III factory and office additions will connect to the south façade of the existing (Phase II) facility. The additions will be approximately 41' from the east property boundary, 132' from the south property boundary, and 88' from the west property boundary. The proposed south parking lot is 60 feet from the south property boundary and the building exceeds the minimum 100 foot zoning setback from the south property boundary by 32 feet as depicted on Sheet A001 (Site Plan) and as described in a legal description located on a Play of Survey prepared by Capitol Survey Enterprises (CSE) Inc dated January 15, 2016 as follows:

That part of the Northeast ¼ of Section 22, Township 8 North, Range 21 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin, bounded and described as follows: Commencing at the Northwest

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corner of said Northeast ¼ Section; thence 89°06'56" E along the North line of said Northeast ¼ of Section 22, a distance of 664.95 feet; thence S 00°19'42" E, 1,326.34 feet; thence S 89°16'28" W, 665.50 feet; thence N 00°18'14" W, 1,324.50 feet along the West line of said Northeast ¼ Section to the Point of Beginning. EXCEPTING therefrom the Northerly 80 feet previously dedicated for roadway purposes.

Design and Building Materials:

The proposed building materials for the Phase III factory addition and parking structure shall closely match the existing building. Exterior walls will consist of precast concrete panels that are a match to the color, finish and rustication of the precast panels belonging to the existing facility. The proposed office building addition materials will consist of aluminum framed curtainwall and windows that are similar in appearance to the original building facade along Good Hope Road. The exterior walls will consist of metal panel and precast concrete with a higher degree of articulation than the factory building to identify this as an office building as seen from the Good Hope Road access drive. Attached to this Amendment to Detailed Planned Development are photographs of the context of the site, as well as lot statistics as required.

Other:

A chain-link security fence is proposed along the south, east and west property lines. This fence is an extension of the existing fencing that secures the dock and parking areas for safety and is not intended as a screening element. The fence will be constructed of galvanized posts and wire mesh and will be 7 feet in height.

Plan of Operation:

The intended use of the Phase III factory addition is an expanded production facility for manufacture of cable care management products with additional support office spaces for HellermannTyton Corporation. The size of the building is based upon the owner's needs for manufacturing systems that help customers better manage and identify wire, cable and components. The truck traffic for this process is minimal with an average of 25 shipments per day. The delivery of material is consistent with the delivery rate. HellermannTyton runs a standard first, second and third shift, and operates on weekends as well. The parking structure will be constructed to accommodate parking needs of employees and visitors.

Owners Statement of Intent:

In accordance with District Standards 295-907.

Uses: Zoned Planned Development (PD) The permitted Uses include Industrial Light Manufacturing, General Office, and Parking structure - accessory use. The proposed use includes the design and manufacture of cable care management products that include injection molded fasteners, mounts, clamps and cable ties produced from nylons and polymer plastics.

Design Standards: The structures will harmonize with the existing site and structures consistent with previous plan submittals and modifications. The design of the buildings will promote the creativity and variety of HellermannTyton while maintaining a consistent manufacturing facility appearance consistent with its previous plan submittals and modifications.

Density: There are no residential uses on this property. Refer to Site Statistics at the end of this document.

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Space Between Structures: The buildings are comprised of a construction type that allows for an unlimited area building without spaces between. The parking garage is designed as an open-air structure to provide code required fresh air without the need of mechanical ventilation and will have open space on its sides as required by the International Building Code (IBC).

Setbacks: The setback restrictions along the southern boundary will be 100 feet including an access roadway, landscaping, stormwater detention basin and berms. The south edge of the factory addition is 132 feet from the south property line. The side setbacks will be a minimum of 25 feet. The western perimeter of the site will be used for utility right-of-way, access drives and parking and landscaping. A portion of the western perimeter includes delineated wetlands that will remain. The eastern perimeter of the site abuts Brady Corporation and includes a utility easement, landscaped turf grass, asphalt paved fire department access road and a modular block retaining wall approximately 3-5' in height due to the existing grade differences.

Screening: Along the south boundary, landscaping and berms shall be constructed as a natural, attractive screen and buffer for adjoining residential properties. The earthwork of the berms will include regrading of existing rolling berms that were also used as top soil stockpiles as part of the previous project. The berms will be 5 feet higher than the residential properties to the south. A double row of spruce will be planted along the south edge of the surface parking lot on the south side of the site to prevent headlights from going into the adjacent residences. Existing loading docks will remain in place and become screened by the office addition. A new loading dock to serve the factory addition faces west and will be screened from the residential properties with plantings along the property line and a second line of plantings in the open area between the storm water detention pond and the pavement. Along the west boundary a mixture of adjoining landscaped turf grass, native tree plantings and natural wetlands adjoin Uihlein Soccer Park. Along the east boundary, landscaped turf grass and an attractive modular concrete block retaining wall approximately 3-5 feet in height to match the existing retaining wall will accommodate grade differences. (Refer to attached Landscaping Plan and Site Grading Plan).

Open Spaces: With the exception of wetlands, all open spaces on the site will be landscaped and maintained to complement the structures on the site.

The existing stormwater detention pond will remain in its original location with minor grading around the perimeter. The stormwater collected from the roofs of all buildings and impervious surfaces shall be directed via storm pipe to the detention pond as depicted on Sheet C1.0 (Site Grading Plan).

Wetland areas including Fresh (Wet) Meadow along the south and west property line and Hardwood Swamp were delineated on the previous Detailed Plan Development submittal and are being revised through an individual permit in accordance with the DNR. A combination of avoidance, minimization, filling and wetland credits are being pursued.

Circulation, Parking and Loading: Vehicular access will be provided to the site from the existing Good Hope Road entrance. With the exception of employee parking, all access to the site shall be through security access gates with intercom system. Site lighting will provide safe access to the building while maintaining the light on the property with cut off fixtures and arrangement of fixtures to limit lighting spread. Existing loading docks will

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serve the existing facility and remain in place. A new loading dock will serve the Phase III factory addition and be accessed directly from the main driveway.

The proposed plan includes additional asphalt paved parking lot and concrete dock areas will support the additional employee parking and increased plant output of manufactured products. Internal sidewalks, curbs and paved areas will provide safe access within the site. The asphalt paved Fire Apparatus Access Lane will be extended from the existing asphalt drive south where it will turn east and route around the Phase III addition and turn north along the east property boundary. The access lane will be 20' wide as it runs north adjacent to the existing facility and Phase III addition and connect to the existing access lane. The access lane will necessitate the construction of a modular block retaining wall approximately 3-5' in height due to the existing grade differences at the east boundary.

Landscaping: All landscaping vegetation shall meet ANSI Standard 260.1. All graded areas consist of landscaped turf low mow buffalo grass with native trees and shrubs, native planting areas, native/nativar landscaped islands, building plantings. All new and existing plantings shall be maintained and replaced when necessary by a local landscaping company under contract with the Owner for landscape maintenance. (Refer to attached Landscaping Plan).

Site Statistics:

	Planned Development		Amendment to DPD	
	Existing Quantity	(Alt Units)	Proposed Quantity	(% of Proposed)
Gross Land Area =	828,472 sf	(19.02 AC)	828,344 sf	(19.02 AC)
Buildings: Existing =	191,237 sf	(10.745%)	191,237 sf	(23.083%)
<u>New (Phase III) =</u>			<u>159,589 sf</u>	<u>(19.263%)</u>
Total =	191,237 sf	(23.083%)	350,826 sf	(42.353%)
Parking/Sidewalks: Existing =	173,532 sf	(20.946%)	173,532 sf	(20.946%)
<u>New (Phase III)</u>			<u>70,038 sf</u>	<u>(+8.455%)</u>
Total =	173,532 sf	(20.946%)	243,570 sf	(29.404%)
Landscaped: Existing =	436,617 sf	(52.711%)	436,617 sf	(52.711%)
<u>New (Phase III) =</u>			<u>-202,769 sf</u>	<u>(-24.479%)</u>
Total =	436,617 sf	(52.711%)	233,948 sf	(28.243%)
Parking Stalls: Existing =	241 surface stalls		241 surface stalls	
<u>New (Phase III)</u>			<u>322 parking stalls</u>	
Total =	241 surface stalls		563 stalls, of which 318 are surface and 245 will be structured in final phase.	
Floor Area Ratio (FAR)				
Floor Area Building: Existing	191,237 sf			
----- =		0.230831		
Land Area: Existing	828,472 sf			
New (Phase III) Floor Area Building			350,826 sf	
----- =				0.423526
Land Area			828,344 sf	
Parking/Sidewalks Existing =	173,532 sf		173,532 sf	
New (Phase III) =			70,038 sf	
Building: Existing	191,237 sf		191,237 sf	
<u>New (Phase III)</u>			<u>159,589 sf</u>	
Land Coverage Total	364,769 sf	(44.029%)	594,396 sf	(71.757%)

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Sincerely,

A handwritten signature in black ink that reads 'Craig Eide'.

Craig Eide, AIA
Foundation Architects, LLC

Attachments:

Photo Exhibits, 19 Pages, 8.5x11 (One Set Color and in Digital Format)
Plat of Survey with Topography 1 of 1, 1 page 24x36
Site Grading, Site Paving and Utility Plans C1.0, C2.0 & C3.0, 3 Pages 24x36
Landscaping Plans L001, L002 & L003, 3 Pages, 24x36
Site Plan A001, 1 Page, 24x36
Exterior Elevations Factory A400-F, 1 page, 24x36
Exterior Elevations Parking Garage A400-P, 1 page, 24x36
Exterior Elevations Office A400-O, 1 page, 24x36



foundation architects, llc
 2625 South Greeley Street, Ste 203
 Milwaukee, Wisconsin 53207
 p: 414.403.3433
 e: info@foundationarchitects.com
 www.foundationarchitects.com

PROJECT NAME AND LOCATION
HellermannTyton Corporation
Good Hope Road Facility Addition Phase 3
 6701 West Good Hope Road, Milwaukee, Wisconsin 53224

SHEET TITLE
VICINITY MAP

PROJECT NUMBER
 15012

DATE
 01-29-2016

SHEET NUMBER

MAP



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Looking Southeast – View of north and west façades of existing 2000 facility.



Looking Northeast – View of south façade of existing 2000 facility (2014 addition at right side of photo).

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Looking East – View of west façade of existing 2014 addition (2000 facility at left side of photo).



Looking North – View of south façade of existing 2014 addition (2000 facility beyond at left side of photo).

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Looking North – View of east façade of existing 2014 addition along east property boundary.



Looking Southwest – View of east façade of existing 2000 facility and 2014 addition.

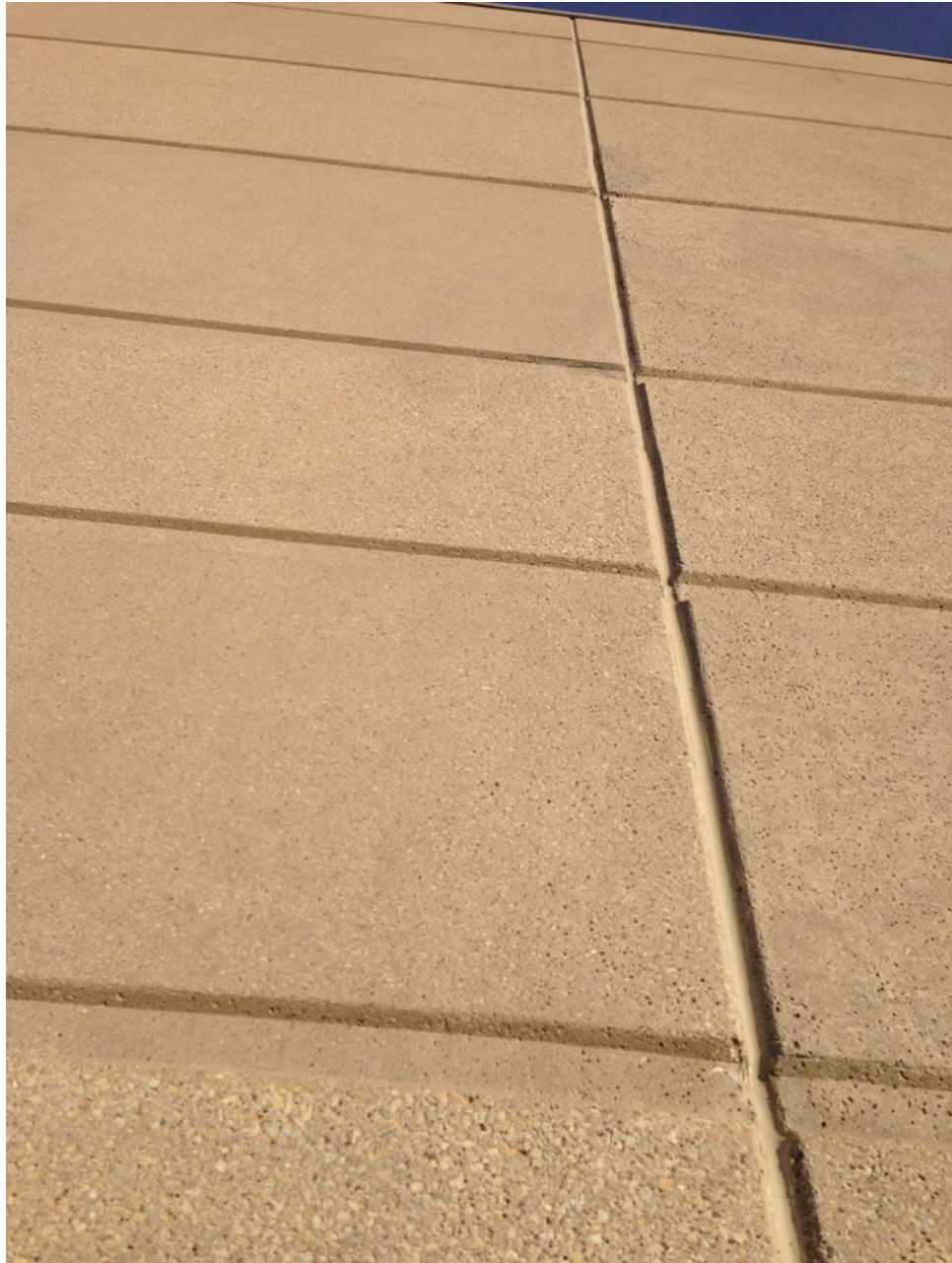
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Exterior Material Detail – Precast Concrete Panels with Horizontal Reveals

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Exterior Material detail – West Façade of existing 2000 facility.



Looking Northeast from Roof of existing 2000 facility – View of north parking lot.

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Looking Northwest from Roof of existing 2000 facility – View of north parking lot.



Looking Northeast from Roof of existing 2000 facility – View of north parking lot.

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Looking Northwest from Roof of existing 2000 facility – View of visitor parking and entry drive.



Looking Northwest from Roof of existing 2000 facility – View of entry drive and west parking lot.

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Looking Southwest from Roof of existing 2000 facility – View of entry drive and west parking lot.



Looking South from Roof of existing 2000 facility – View of entry drive and shipping docks.

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Looking Southeast from Roof of existing 2000 facility – View of shipping docks and 2014 addition.



Looking Northwest from Roof of existing 2014 addition – View of 2000 facility, shipping docks and wetland.

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Looking Northwest from Roof of existing 2014 addition – View of southwest parking lot.



Looking Southwest from Roof of existing 2014 addition – View of wooded wetlands.

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Looking Southwest from Roof of existing 2014 addition – View of fire apparatus access drive and proposed location of future addition.



Looking North – View of proposed location of future addition (south façade of existing 2014 addition beyond).

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Looking Northeast – View of adjacent Brady property boundary to the east.



Looking East – View of adjacent Brady property boundary (at SE corner of site).

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Looking Southwest toward adjacent residential neighborhood from topsoil stockpile along south property boundary.



Looking West toward adjacent Uihlein Soccer Park and existing detention pond from topsoil stockpile along south property boundary.

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Looking West – View of existing detention pond (wetland area at the right edge of photo).



Looking Northeast – View of existing detention pond and wooded wetland area beyond.

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Looking East – View of location of proposed addition.



Looking North – View of south façade of existing 2014 addition from location of proposed addition.

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Looking Northeast – View toward adjacent Brady property from location of proposed addition.



Looking East – View toward adjacent Brady property from location of proposed addition.

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Looking Southeast – View toward adjacent Brady property from location of proposed addition.



Looking South – View toward adjacent south residential neighborhood from location of proposed addition.

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Looking Southwest – View toward existing detention pond from location of proposed addition.



Looking West – View toward wooded wetland from location of proposed addition.

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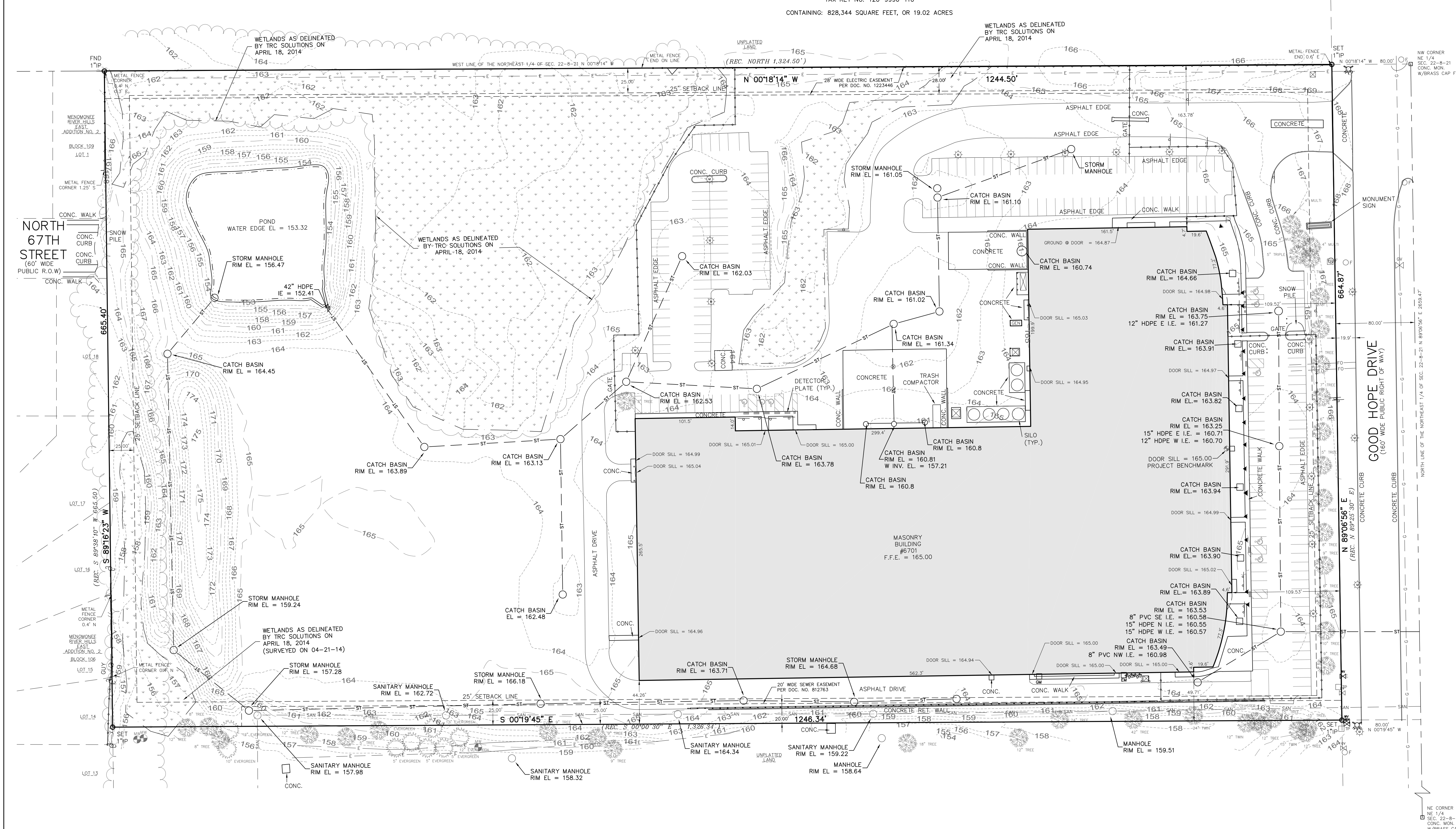
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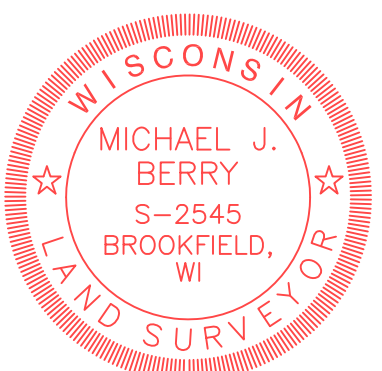


Looking Northwest – View from location of proposed addition.

LEGAL DESCRIPTION:
THAT PART OF THE NORTHEAST 1/4 OF SECTION 22, TOWNSHIP 8 NORTH, RANGE 21 EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF SAID NORTHEAST 1/4 SECTION; THENCE N 89°38'10" E, 664.95 FEET; THENCE S 00°00'30" E, 1,328.34 FEET; THENCE S 89°38'10" W, 665.50 FEET; THENCE NORTH, 1,324.50 FEET ALONG THE WEST LINE OF SAID NORTHEAST 1/4 SECTION TO THE POINT OF BEGINNING, EXCEPTING THEREFROM ANY PORTIONS THEREOF PREVIOUSLY DEDICATED FOR ROADWAY PURPOSES.
TAX KEY NO: 120-9996-110
CONTAINING: 828,344 SQUARE FEET, OR 19.02 ACRES

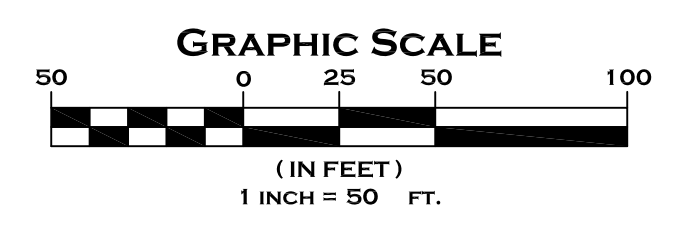


I CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY, AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSIONS OF ALL VISIBLE STRUCTURES THEREON, BOUNDARY FENCES, APPARENT EASEMENTS AND ROADWAYS AND VISIBLE ENCROACHMENTS, IF ANY.
THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE, OR GUARANTEE THE TITLE THERETO, WITHIN ONE (1) YEAR FROM DATE THEREOF.



JANUARY 15, 2016
DATE
MICHAEL J. BERRY, R.L.S.
REGISTERED LAND SURVEYOR S-2545

www.DiggersHotline.com
DIGGERS HOTLINE
DIAL 811 OR (800) 242-8511

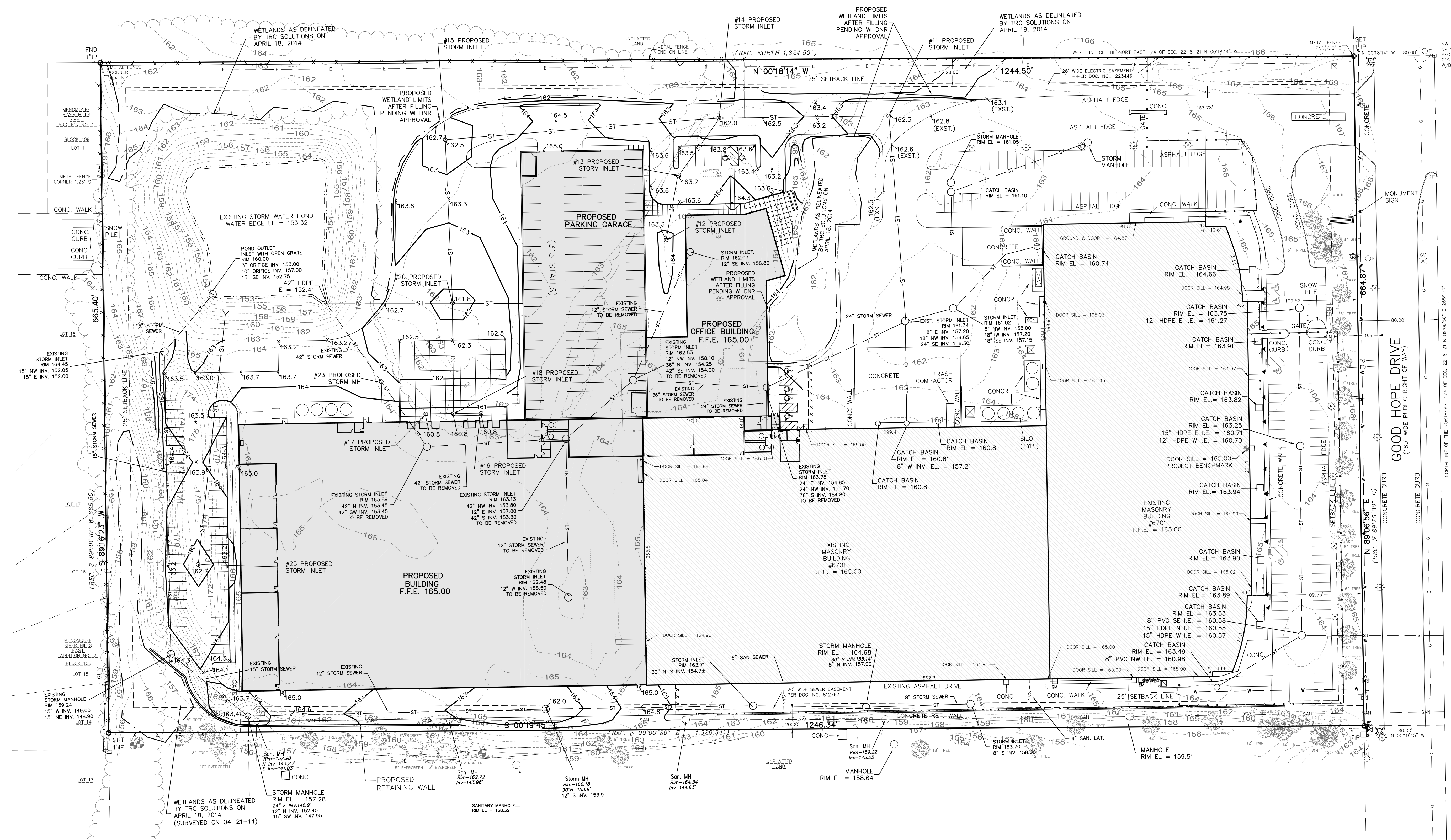


LEGEND	
- SAN	SANITARY SEWER
- ST	STORM SEWER
- W	WATER MAIN
- G	BURIED GAS LINE
- TEL	BURIED TELEPHONE LINE
- E	BURIED ELECTRIC LINE
- FO	BURIED FIBER OPTIC LINE
- U	OVERHEAD UTILITY LINES
- CATV	BURIED CABLE TELEVISION LINES
- COMB	COMBINATION SEWER
- WOOD	WOOD FENCE
- METAL	METAL FENCE
- BRUSH	EDGE OF TREES AND BRUSH
- TRANS	ELECTRIC TRANSFORMER
- METER	ELECTRIC METER
- PED	ELECTRIC PEDESTAL
- BOX	ELECTRIC BOX AT GRADE
- TEL BOX	TELEPHONE BOX AT GRADE
- TEL PED	TELEPHONE PEDESTAL
- TV PED	TV PEDESTAL
- GAS	GAS METER
- AIR	AIR CONDITIONER
- UTILITY	UTILITY POLE
- WOOD SIGN	WOOD SIGN
- METAL SIGN	METAL SIGN
- FLAG	FLAG POLE
- BOLLARD	BOLLARD
- FIRE	FIRE DEPARTMENT CONNECTION
- DOOR	DOOR SILL ELEVATION
- HYDRANT	HYDRANT
- MONITOR	MONITORING WELL
- VALVE	WATER VALVE
- GAS VALVE	GAS VALVE
- LIGHT	METAL LIGHT POLE
- CONCRETE	CONCRETE LIGHT POLE
- WOOD	WOOD LIGHT POLE
- LIGHT	YARD LIGHT
- MAIL	MAIL BOX
- MARKER	FIBER OPTIC MARKER
- CLEANOUT	SANITARY CLEANOUT

PLAT OF SURVEY WITH TOPOGRAPHY

FOR
HELLERMAN TYTON
6701 GOOD HOPE ROAD
MILWAUKEE, WI

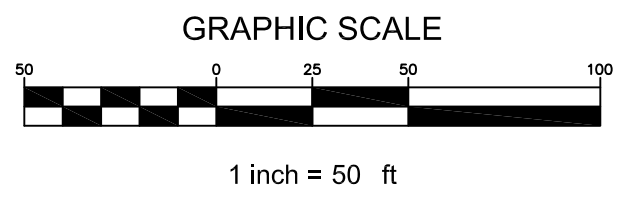
DRAWN BY:	NJF	DATE:	JAN. 15, 2016
CHECKED BY:	MJB	DRAWING No.	P-0
CSE Job No.:	15-121	SHEET	1 OF 1



LEGEND

--- 164 ---	EXISTING CONTOUR
--- 163 ---	PROPOSED CONTOUR
x162.5	PROPOSED ELEVATION
	PROPOSED SAW CUT
--- ST ---	EXISTING STORM SEWER
--- ST ---	PROPOSED STORM SEWER
--- SAN ---	EXISTING SANITARY SEWER
--- SAN ---	PROPOSED SANITARY SEWER
--- W ---	EXISTING WATER MAIN
--- W ---	PROPOSED WATER MAIN
--- B ---	BURIED GAS MAIN
--- E ---	OVER HEAD WIRE
--- E ---	BURIED ELECTRIC

- NOTES:**
1. SPOT GRADES ALONG THE CURB ARE AT THE BOTTOM OF THE CURB.
 2. THE PROPOSED DEVELOPMENT INVOLVED THE FILLING OF 1.70 ACRES OF WETLANDS. THE WETLAND FILLING IS SUBJECT TO W DNR REVIEW AND PERMIT ISSUING.
 3. THE PROPOSED STORM SEWER HAS BEEN DESIGNED FOR THE 100-YEAR DESIGN STORM EVENT.
 4. THE EXISTING STORM WATER POND HAS BEEN SIZED FOR THE FUTURE EXPANSION OF THE SITE.

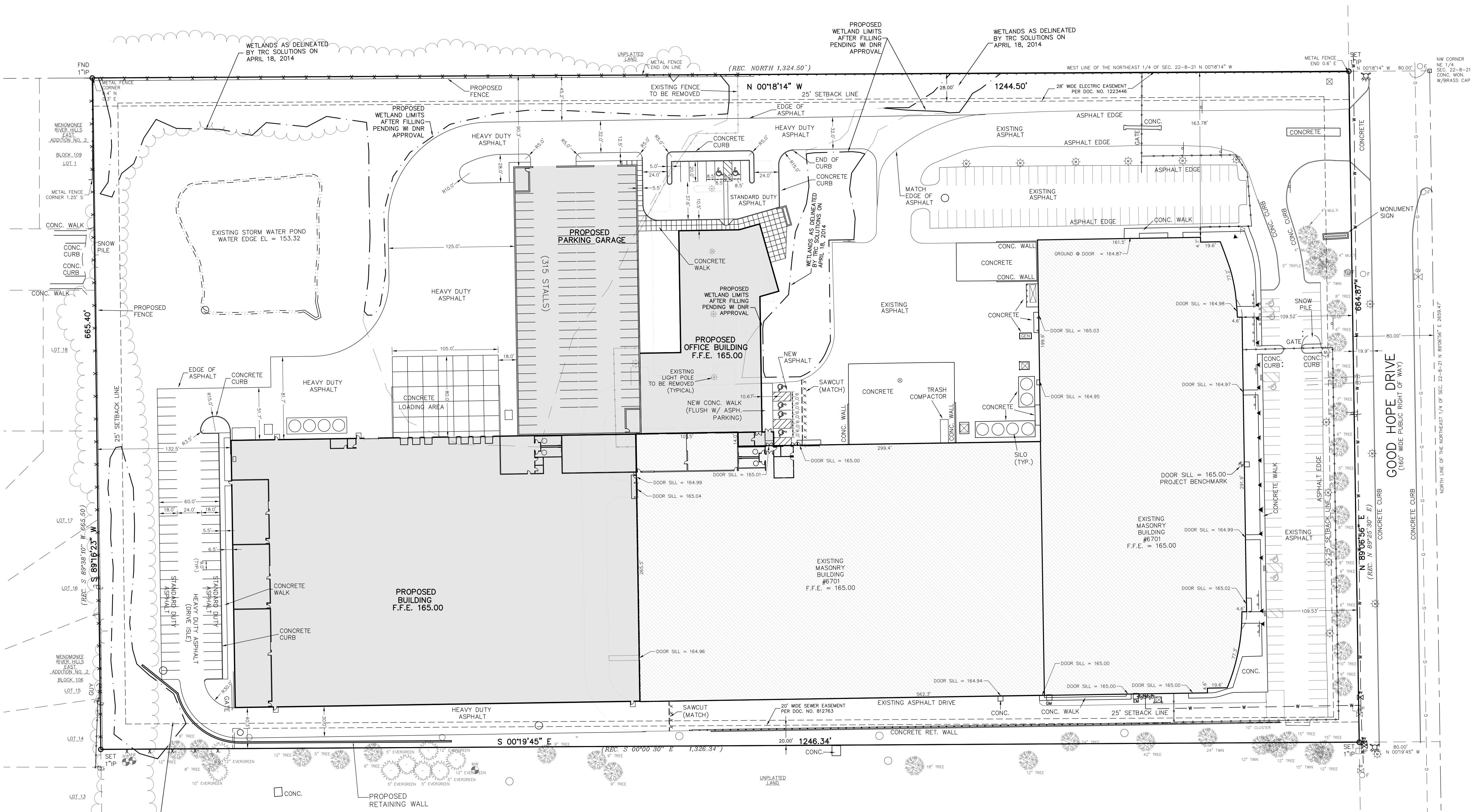


TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL DIGGERS HOTLINE
 1-800-342-8811
 TOLL FREE
 WE STATE: NO DISTURBANCE REQUIRED UNLESS WORK DATE NOTICE BEFORE YOU DIG WISCONSIN
 MLW AREA 259-1181

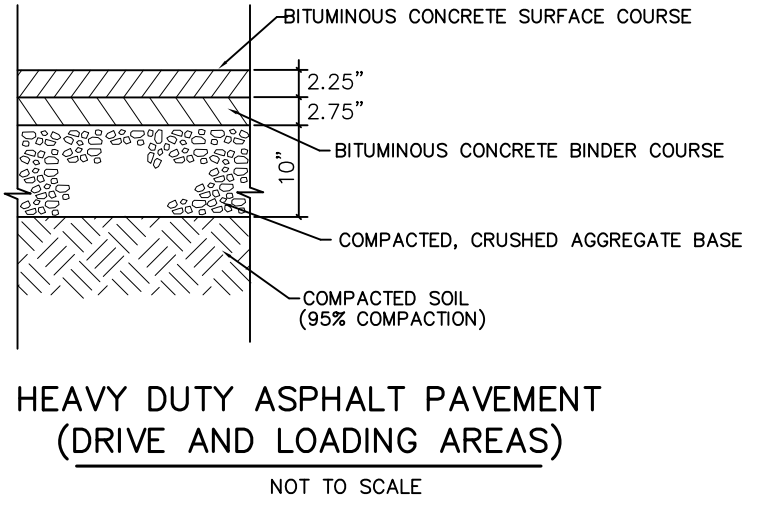
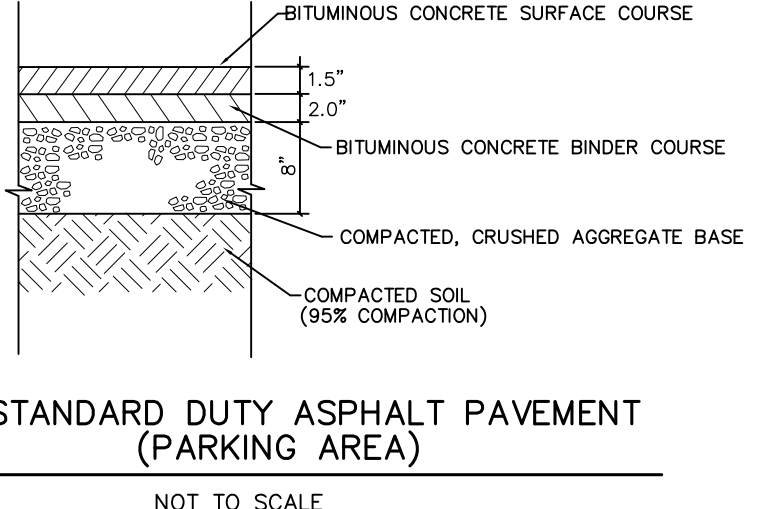
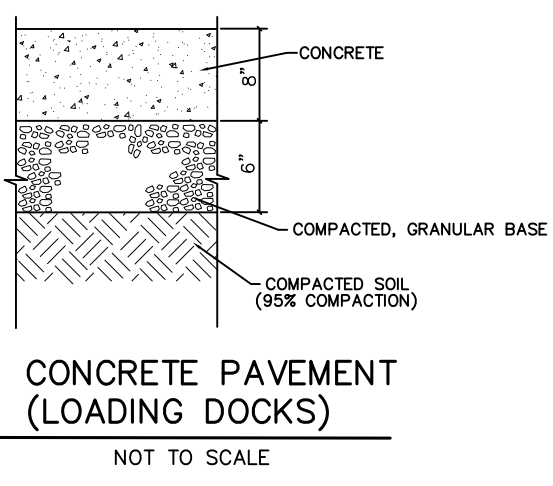
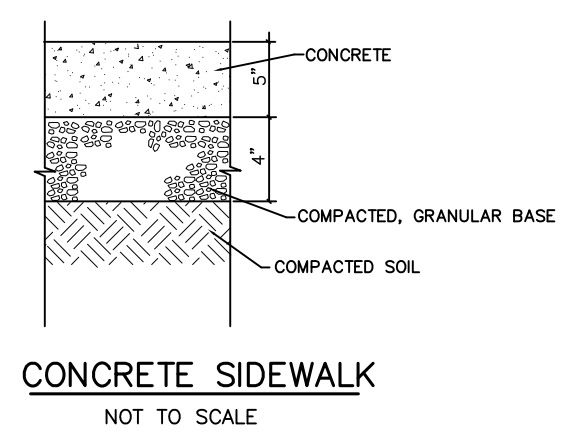
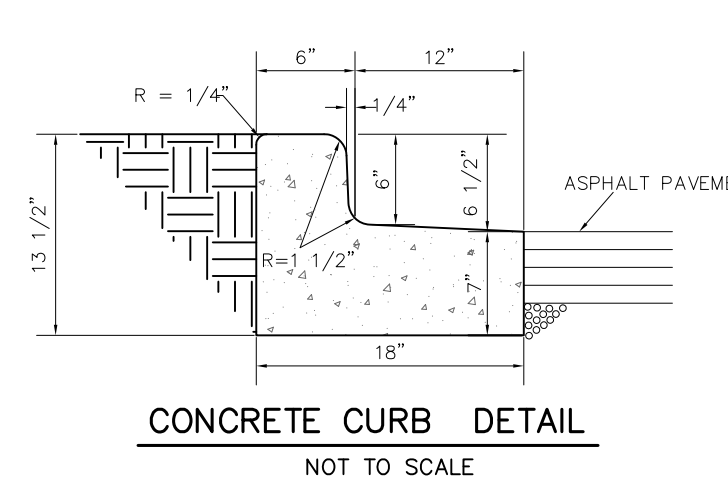
HELLERMANN TYTON
 6701 W. GOOD HOPE RD. MILWAUKEE, WI

CJE NO.: 1401-02RI
 JANUARY 29, 2016

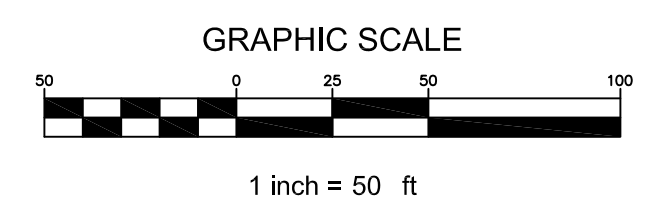


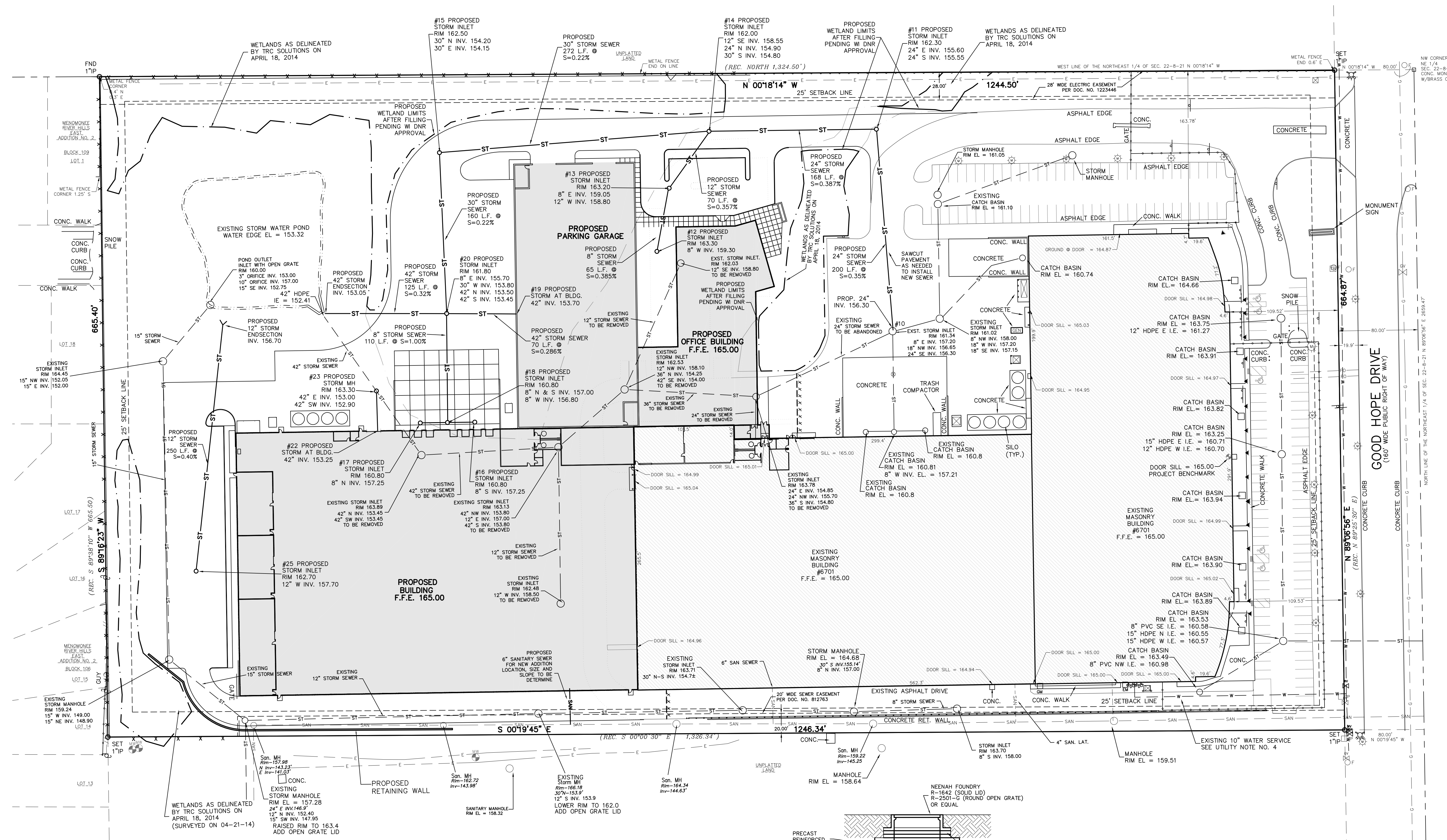
TO OBTAIN LOCATIONS OF
 PARCELS' UNDERGROUND
 UTILITIES IN WISCONSIN

CALL DIGGERS HOTLINE
 1-800-242-8611
 TOLL FREE
 WIS. STATUTE 180.0175(1874)
 NOTICE BEFORE YOU EXCAVATE
 M.W.K. AREA 259-1181



NOTES:
 1. DIMENSIONS ARE TO THE FACE OF THE CURB.
 2. THE PROPOSED DEVELOPMENT INVOLVED THE FILLING OF 1.70 ACRES OF WETLANDS. THE WETLAND FILLING IS SUBJECT TO WI DNR REVIEW, APPROVAL AND PERMIT ISSUING.

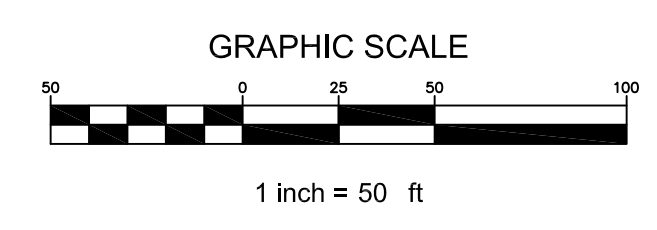
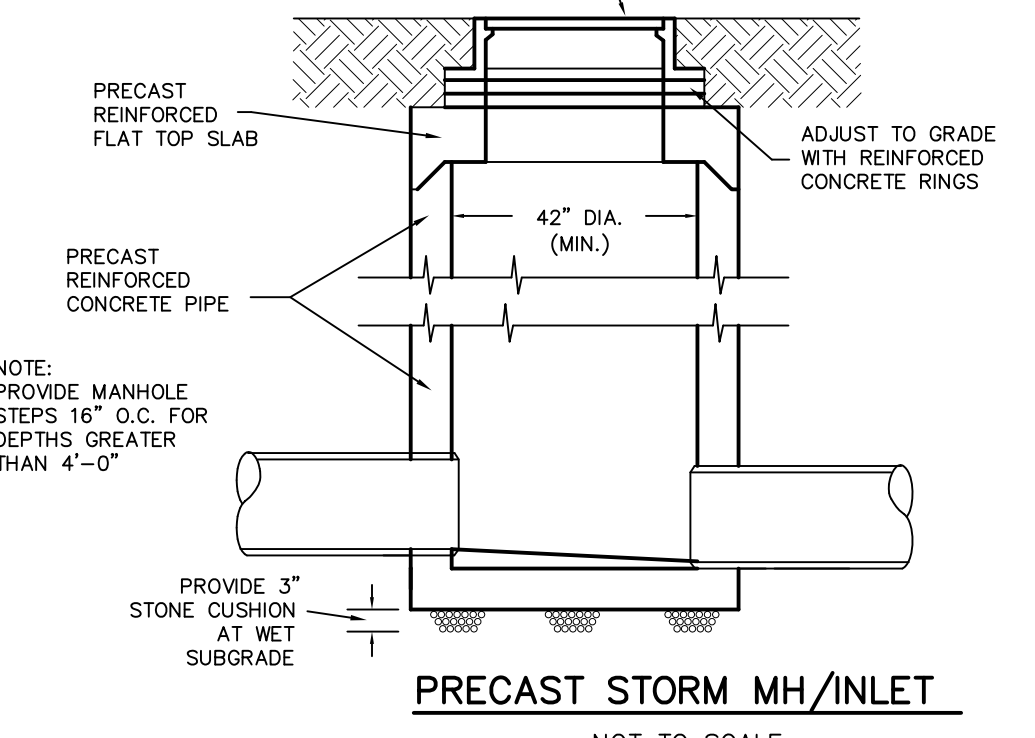




- NOTES:**
1. ALL STORM SEWER, SANITARY SEWER, AND WATER MAIN MATERIALS AND INSTALLATION PER APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (STANDARD SPECIFICATIONS), WISCONSIN ADMINISTRATIVE PLUMBING CODE AND THE CITY OF MILWAUKEE REQUIREMENTS.
 2. ALL TRENCHES IN PAVEMENT AREAS SHALL HAVE GRAVEL BACKFILL.
 3. PRIOR TO CONSTRUCTION THE EXACT SIZE AND LOCATION OF SANITARY AND WATER SERVICE TO PROPOSED BUILDING SHALL BE DETERMINED OR VERIFIED BY THE PLUMBING CONSULTANT/CONTRACTOR.
 4. THE WATER SERVICE AND FIRE PROTECTION TO THE NEW BUILDING ADDITIONS WILL BE PROVIDED BY THE EXISTING SERVICE THROUGH THE EXISTING BUILDING.
 5. THE CONTRACTOR SHALL VERIFY ALL SEWER AND WATER CONNECTIONS PRIOR TO UTILITY CONSTRUCTION. NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.
 6. THE PROPOSED STORM SEWER HAS BEEN DESIGNED FOR THE 100-YEAR DESIGN STORM EVENT.
 7. THE EXISTING STORM WATER POND HAS BEEN SIZED FOR THE FUTURE EXPANSION OF THE SITE.

LEGEND

	PROPOSED SAW CUT
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING WATER MAIN
	PROPOSED WATER MAIN
	BURIED GAS MAIN
	OVER HEAD WIRE
	BURIED ELECTRIC



TO OBTAIN LOCATIONS OF PARCELS UNDERGROUND RECORDS IN WISCONSIN

CALL DIGGERS HOTLINE
 1-800-242-6811
 TOLL FREE

WIS. STATUTE 180.07(5)(187A)
 NOTICE: BEHIND 3" IRON BARS
 MILWAUKEE AREA 259-1181



foundation architects LLC

2625 S. Greeley Street, Ste 203
Milwaukee, WI 53207

info@foundationarchitects.com
Phone (414) 403-3433

www.foundationarchitects.com

CONSULTANT

PROJECT TITLE AND LOCATION

Hellermann Tyton Corporation
Good Hope Road Facility Addition Phase 3
6701 West Good Hope Road
Milwaukee, Wisconsin 53224

REVISIONS

- ▲
- ▲
- ▲
- ▲
- ▲
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- ▲

SET TYPE
AMENDMENT TO DETAILED PLANNED DEVELOPMENT
FOUNDATION ARCHITECTS PROJECT NUMBER 15012

DATE
02-11-2016

SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER

L001

- SHADE TREES (DECIDUOUS)**
- EBA European Black Alder
 - CLH Chicagoland Hackberry
 - AGMH Autumn Gold Maidenhair
 - SWO Swamp White Oak

- ORNAMENTAL TREES (DECIDUOUS)**
- ABS Autumn Brilliance Serviceberry
 - TCH Thornless Cockspear Hawthorn

- EVERGREEN TREES**
- CF Concolor Fir
 - NS Norway Spruce
 - BHS Black Hills Spruce

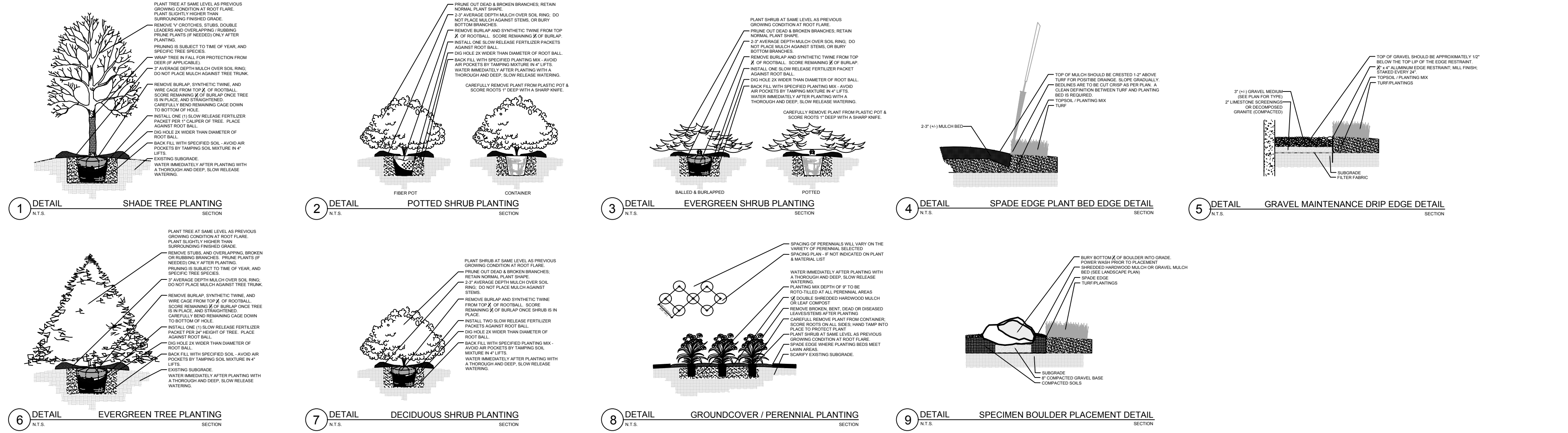
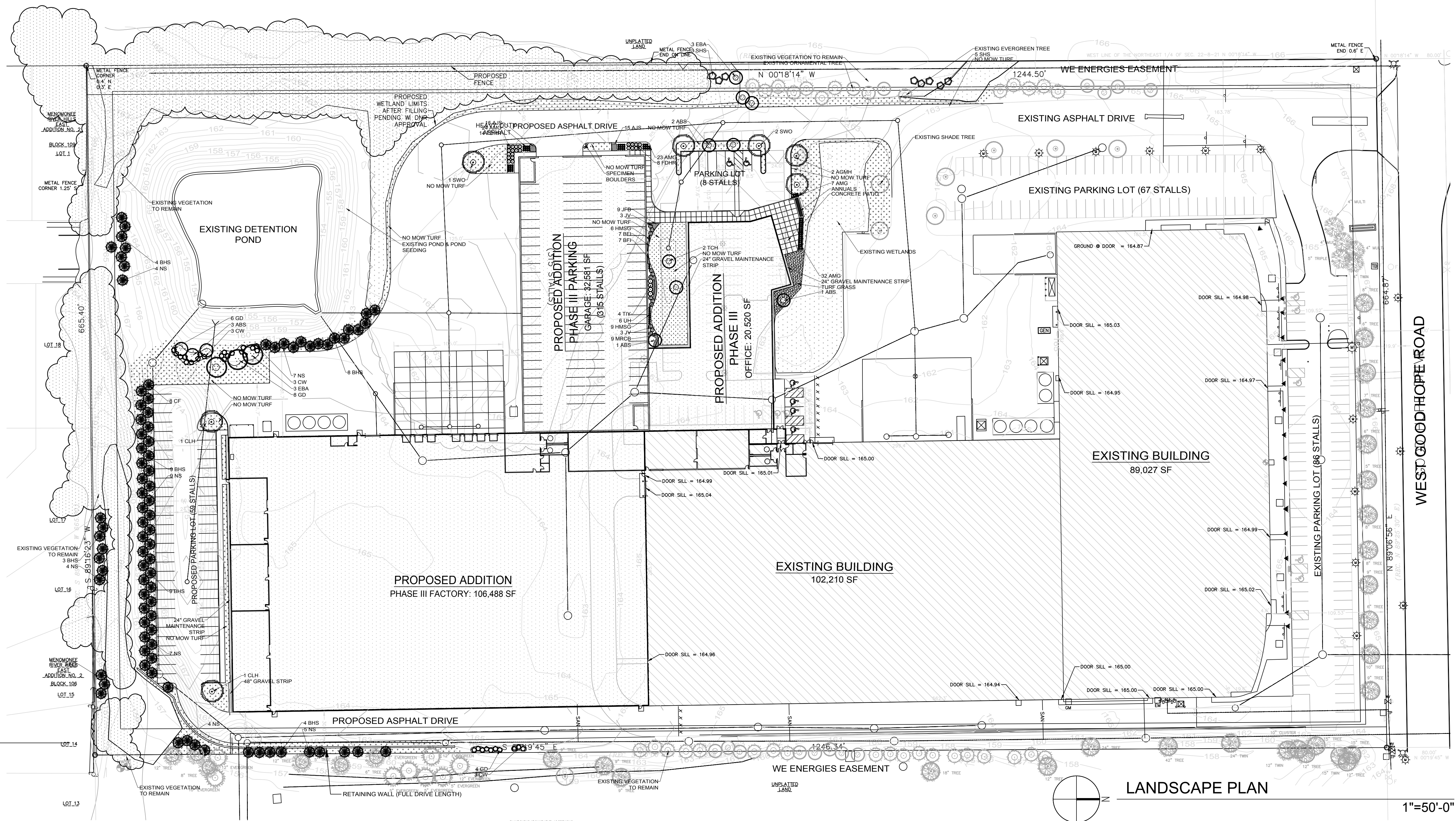
- EVERGREEN SHRUBS**
- TIY Taunton Intermediate Yew

- DECIDUOUS SHRUBS**
- GD Gray Dogwood
 - CW Common Witchhazel
 - UH Unique Hydrangea
 - SHS Staghorn Sumac
 - FDHR Frau Dagmar Hastrup Rugosa Rose
 - JV Judd Viburnum

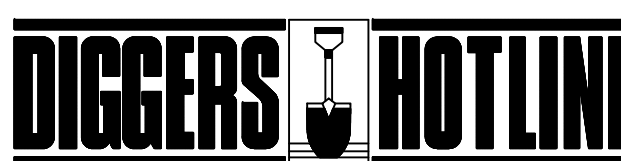
- ORNAMENTAL GRASSES**
- HMSG Heavy Metal Switch Grass
 - AMG Autumn Moor Grass

- HERBACEOUS PERENNIALS & ANNUALS**
- ANNUALS 50 SF Planter
 - JFB Jack Frost Brunnera
 - MRCB Midnight Rose Coralbells
 - BFI Blue Flag Iris
 - AJS Autumn Joy Sedum

PLANT ABBREVIATION KEY



PLANTING & HARDSCAPE DETAILS



Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com



One Redwood Court
Racine, Wisconsin 53402
ph 262.639.9733
fx 262.639.9737
david@wdvheller.com

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 - AGMH Autumn Gold Maidenhair
 - SWO Swamp White Oak

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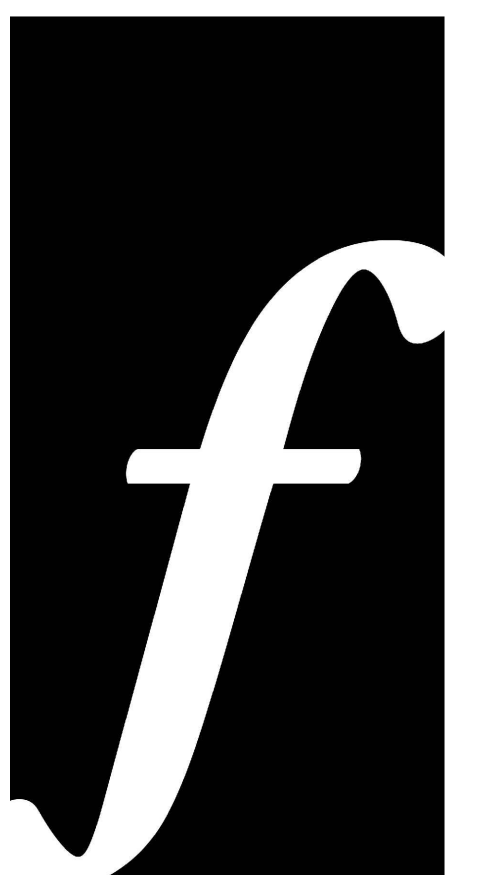
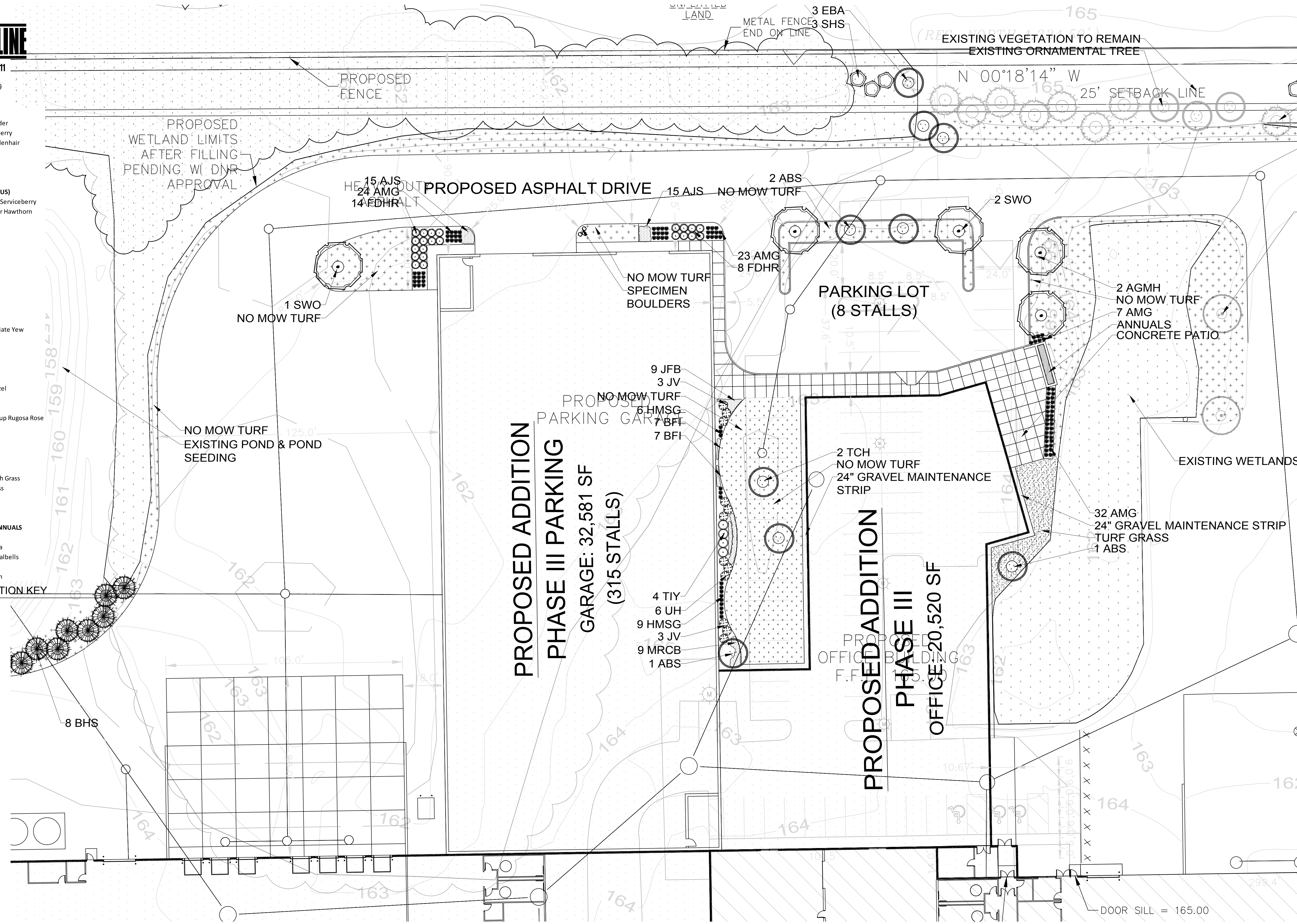
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PLANT ABBREVIATION KEY



foundation architects LLC
 2625 S. Greeley Street, Ste 203
 Milwaukee, WI 53207
 info@foundationarchitects.com
 Phone (414) 403-3433
 www.foundationarchitects.com

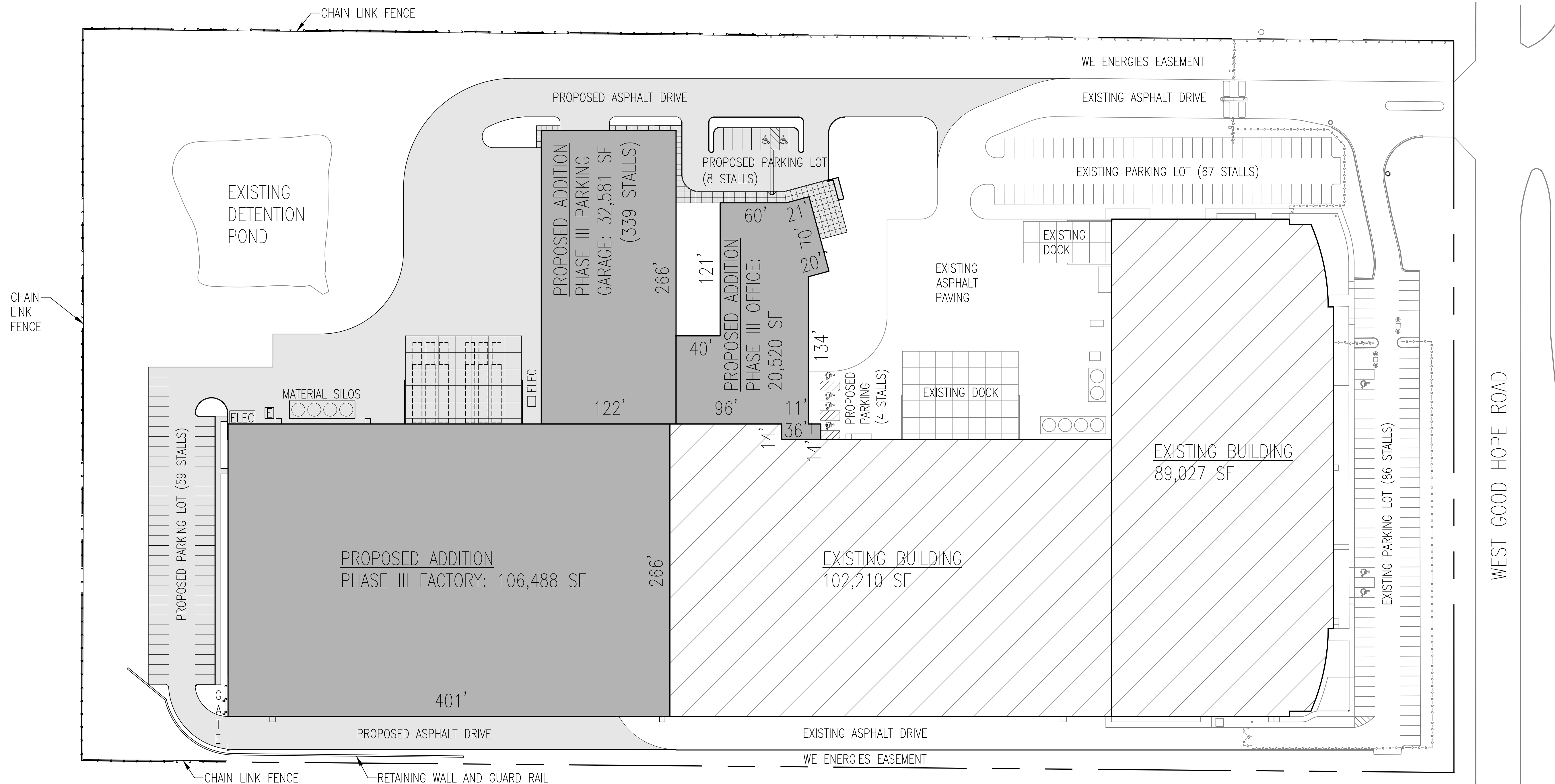
CONSULTANT
 PROJECT TITLE AND LOCATION

Hellermann Tyton Corporation
 Good Hope Road Facility Addition Phase 3
 6701 West Good Hope Road
 Milwaukee, Wisconsin 53224

REVISIONS

1	AMENDMENT TO DETAILED PLANNED DEVELOPMENT
2	FOUNDATION ARCHITECTS PROJECT NUMBER 15012

DATE: 02-11-2016
 SHEET TITLE: ENLARGED LANDSCAPE PLAN
 SHEET NUMBER:



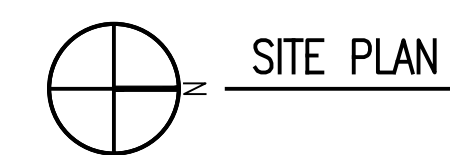
AMENDMENT TO DPD, FILE NO. 151449

GROSS LAND AREA (PER 2016 PLAT OF SURVEY)	828,344 SF (19.02 AC)
BUILDINGS:	
EXISTING (PER 2012 ALTA SURVEY)	191,237 SF
PHASE III FACTORY	106,488 SF
PHASE III OFFICE	20,520 SF
PHASE III PARKING GARAGE	32,581 SF
TOTAL	350,826 SF
PARKING / SIDEWALKS, ETC.:	
EXISTING	173,532 SF
PHASE III	70,038 SF
TOTAL	243,570 SF
LANDSCAPED (GRASS, PLANTS, TREES)	233,948 SF
PARKING STALLS:	
EXISTING	241
PHASE III	322
TOTAL	*563
FLOOR AREA RATIO (FAR) - PHASE III	
FLOOR AREA BUILDING	350,826
LAND AREA	828,344
	= .423526
LAND COVERAGE - PHASE III	
PARKING / SIDEWALKS, ETC	243,570 SF
BUILDING	350,826 SF
TOTAL	594,396 SF

*563 PARKING STALLS OF WHICH 318 ARE SURFACE (AT GRADE) AND 245 WILL BE STRUCTURED IN A PARKING GARAGE (ABOVE GRADE) IN FINAL PHASE.

EXISTING CONDITIONS: FILE NO. 140197

GROSS LAND AREA (PER 2012 ALTA SURVEY)	828,472 SF (19.02 AC)
BUILDINGS:	
EXISTING (PER 2012 ALTA SURVEY)	89,027 SF
PHASE II	102,210 SF
TOTAL	191,237 SF
PARKING / SIDEWALKS, ETC.:	
EXISTING	75,317 SF
PHASE II	98,215 SF
TOTAL	173,532 SF
LANDSCAPED (GRASS, PLANTS, TREES)	436,617 SF
PARKING STALLS:	
EXISTING	86
PHASE II	155
TOTAL	241
FLOOR AREA RATIO (FAR) - PHASE II	
FLOOR AREA BUILDING	191,237
LAND AREA	828,472
	= .230831
LAND COVERAGE - PHASE II	
PARKING / SIDEWALKS, ETC	173,532 SF
BUILDING	191,237 SF
TOTAL	364,769 SF



1"=50'-0"



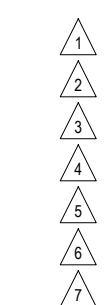
foundation architects LLC
 2625 S. Greeley Street, Ste 203
 Milwaukee, WI 53207
 info@foundationarchitects.com
 Phone (414) 403-3433
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CONSULTANT

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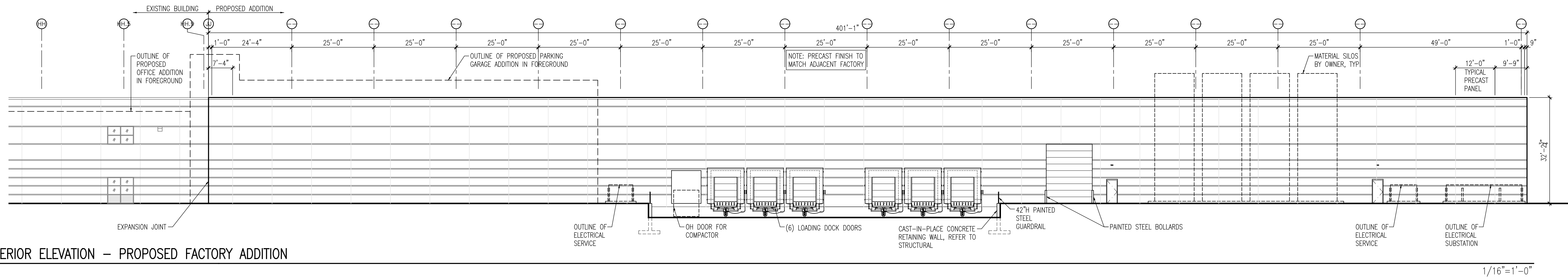
SET TYPE
 AMENDMENT TO DETAILED PLANNED
 DEVELOPMENT
 FOUNDATION ARCHITECTS PROJECT NUMBER
 15012

DATE
 01-29-2016

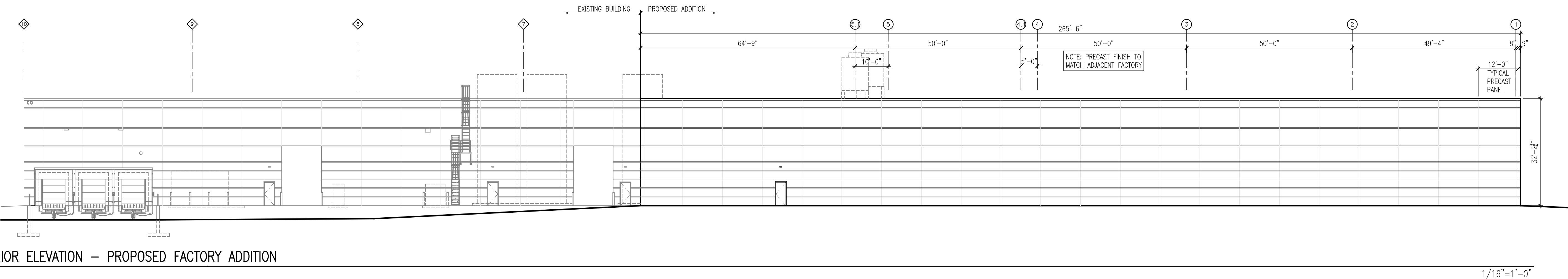
SHEET TITLE
 SITE PLAN

SHEET NUMBER

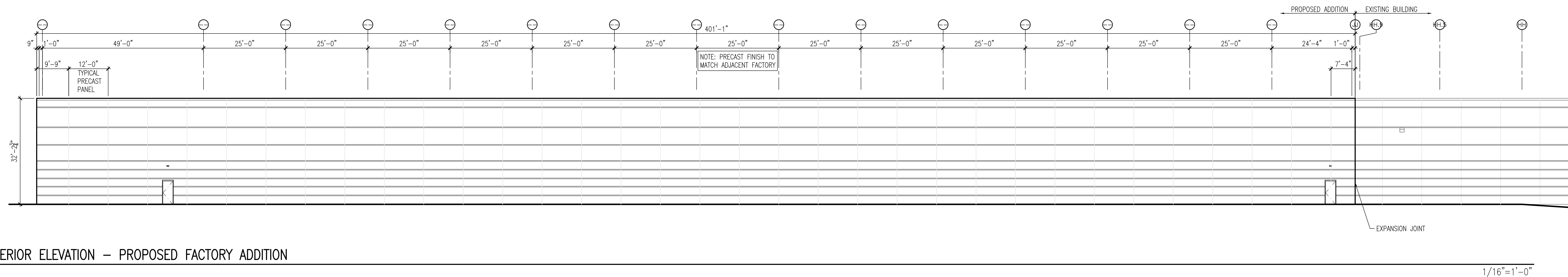
A001



A1
A400 WEST
EXTERIOR ELEVATION – PROPOSED FACTORY ADDITION



B1
A400 SOUTH
EXTERIOR ELEVATION – PROPOSED FACTORY ADDITION



C1
A400 EAST
EXTERIOR ELEVATION – PROPOSED FACTORY ADDITION



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Milwaukee, WI 53207

info@foundationarchitects.com
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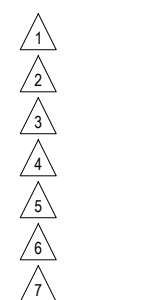
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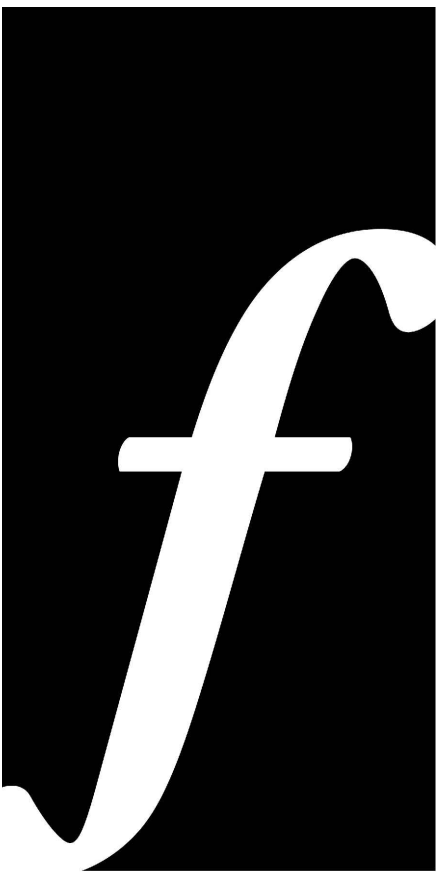
SET TYPE
AMENDMENT TO DETAILED PLANNED
DEVELOPMENT
FOUNDATION ARCHITECTS PROJECT NUMBER
15012

DATE
01-29-2016

SHEET TITLE
EXTERIOR ELEVATIONS - FACTORY

SHEET NUMBER

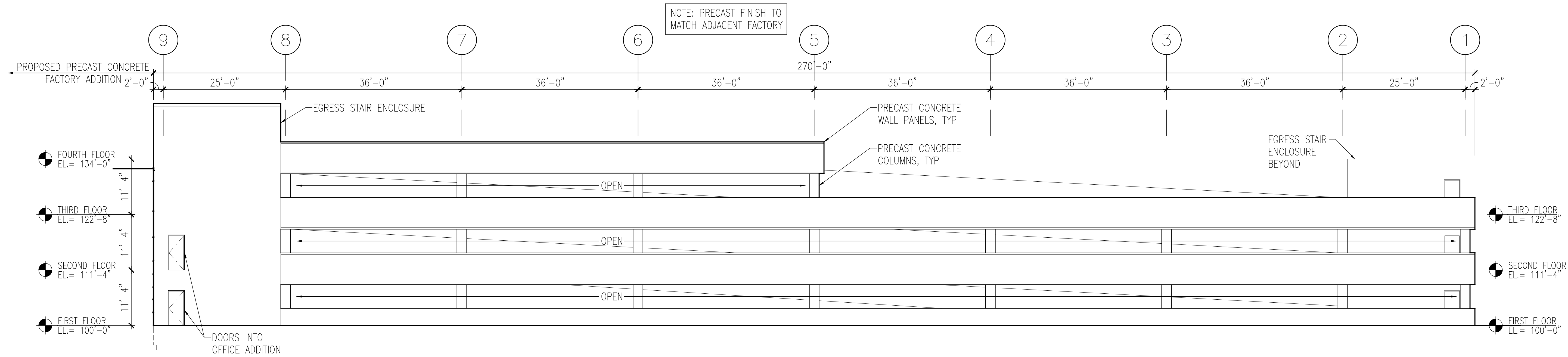
A400-F



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 Milwaukee, WI 53207
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 Phone (414) 403-3433
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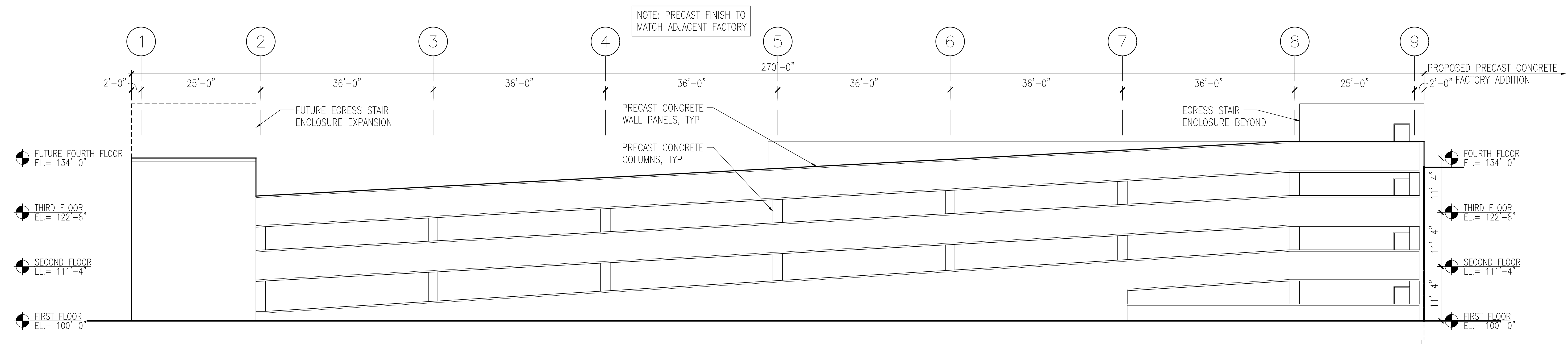
CONSULTANT

PROJECT TITLE AND LOCATION



B1
A400 EXTERIOR ELEVATION - PROPOSED PARKING GARAGE ADDITION
NORTH

3/32"=1'-0"



D1
A400 EXTERIOR ELEVATION - PROPOSED PARKING GARAGE ADDITION
SOUTH

3/32"=1'-0"

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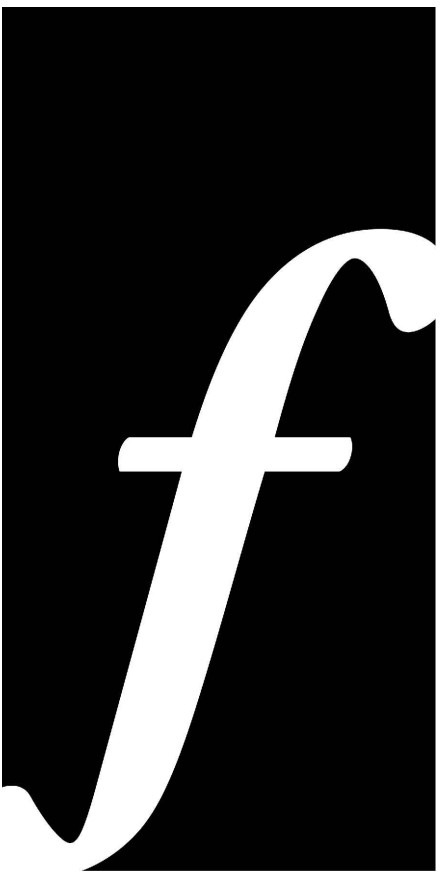
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SET TYPE
 AMENDMENT TO DETAILED PLANNED DEVELOPMENT
 FOUNDATION ARCHITECTS PROJECT NUMBER
 15012

DATE
 01-29-2016

SHEET TITLE
 EXTERIOR ELEVATIONS - PARKING GARAGE
 SHEET NUMBER

A400-P



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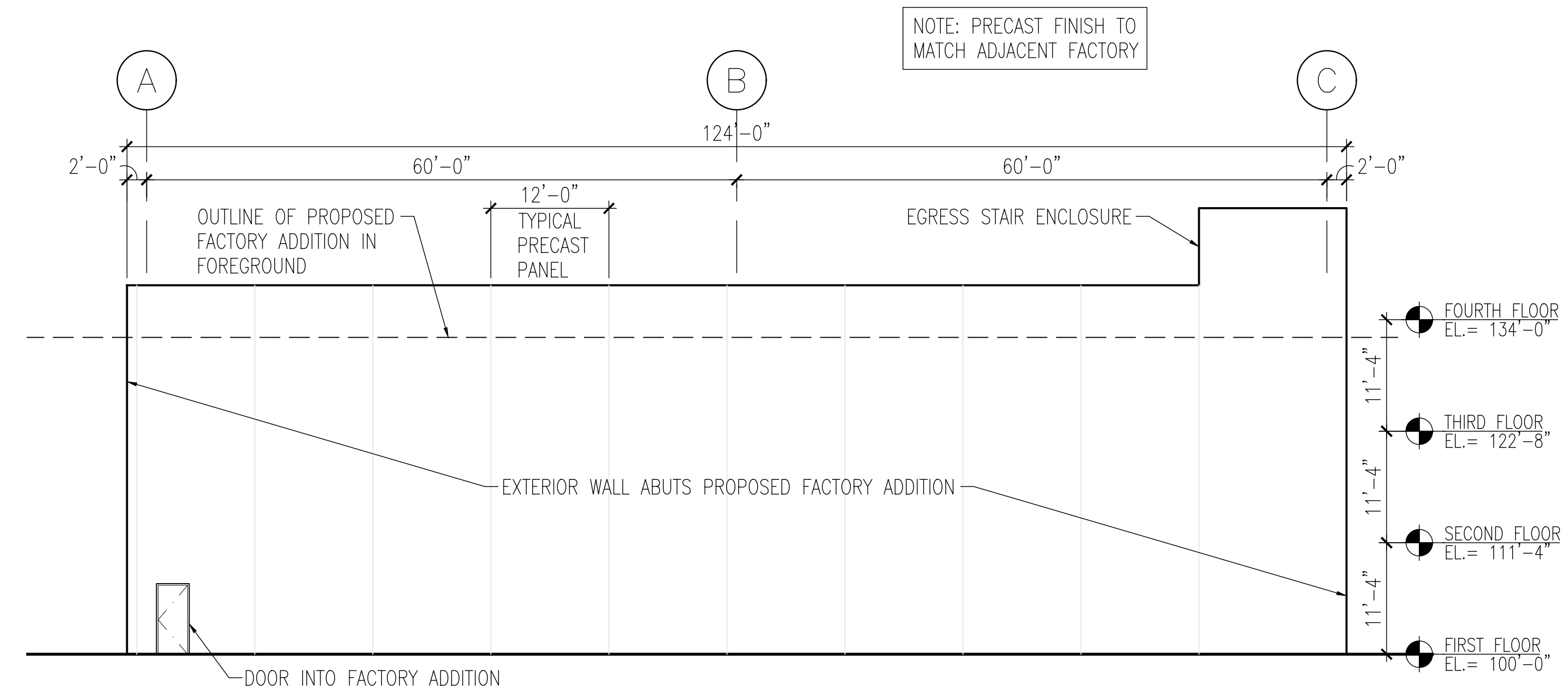
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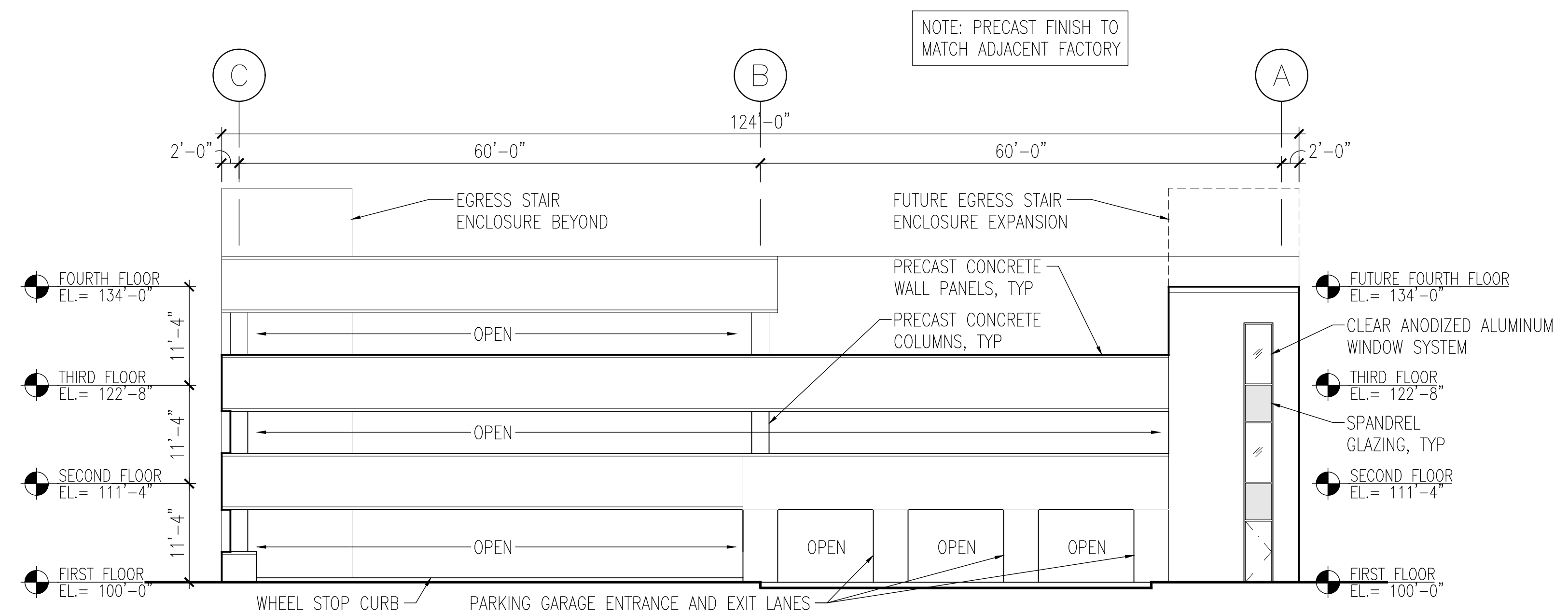
CONSULTANT

PROJECT TITLE AND LOCATION



B3
A401 EAST
EXTERIOR ELEVATION - PROPOSED PARKING GARAGE ADDITION

3/32"=1'-0"



D3
A401 WEST
EXTERIOR ELEVATION - PROPOSED PARKING GARAGE ADDITION

3/32"=1'-0"

Hellermann Tyton Corporation
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REVISIONS

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SET TYPE
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DEVELOPMENT
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15012

DATE
01-29-2016

SHEET TITLE
EXTERIOR ELEVATIONS - PARKING
GARAGE
SHEET NUMBER

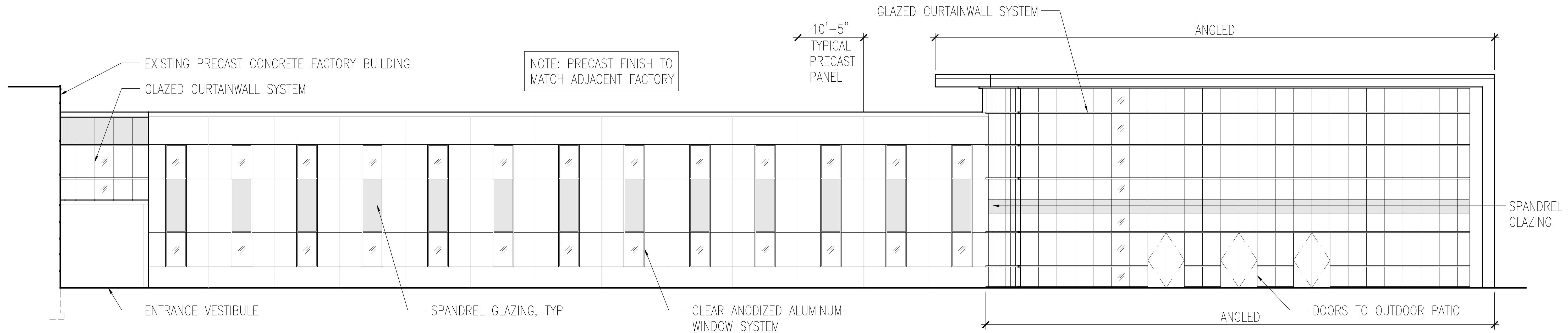
A401-P



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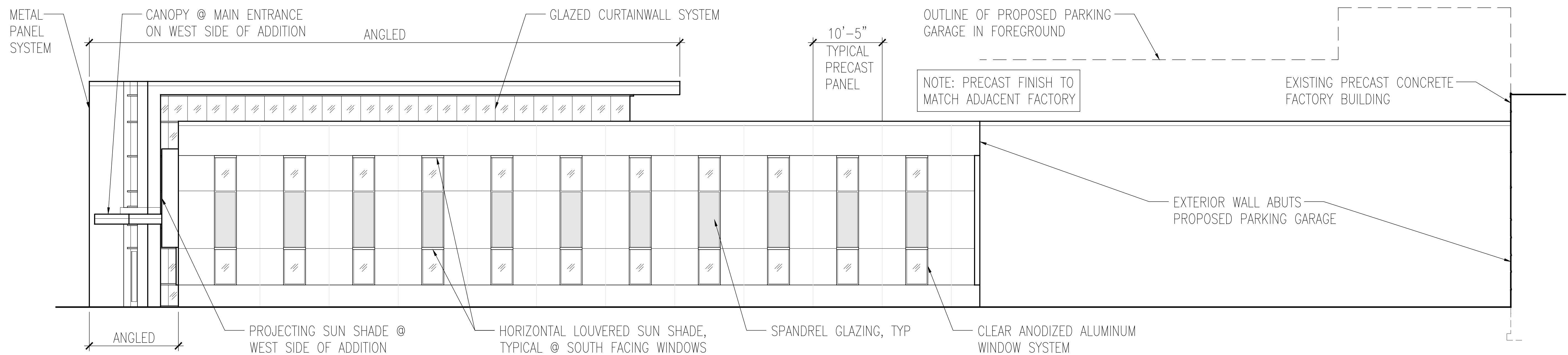
CONSULTANT

PROJECT TITLE AND LOCATION



B1
A400 NORTH
 EXTERIOR ELEVATION - PROPOSED OFFICE ADDITION

1/8"=1'-0"



D1
A400 SOUTH
 EXTERIOR ELEVATION - PROPOSED OFFICE ADDITION

1/8"=1'-0"

Hellermann Tyton Corporation
 Good Hope Road Facility Addition Phase 3
 6701 West Good Hope Road
 Milwaukee, Wisconsin 53224

REVISIONS

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SET TYPE
 AMENDMENT TO DETAILED PLANNED
 DEVELOPMENT
 FOUNDATION ARCHITECTS PROJECT NUMBER
 15012

DATE
 01-29-2016

SHEET TITLE
 EXTERIOR ELEVATIONS - OFFICE

SHEET NUMBER

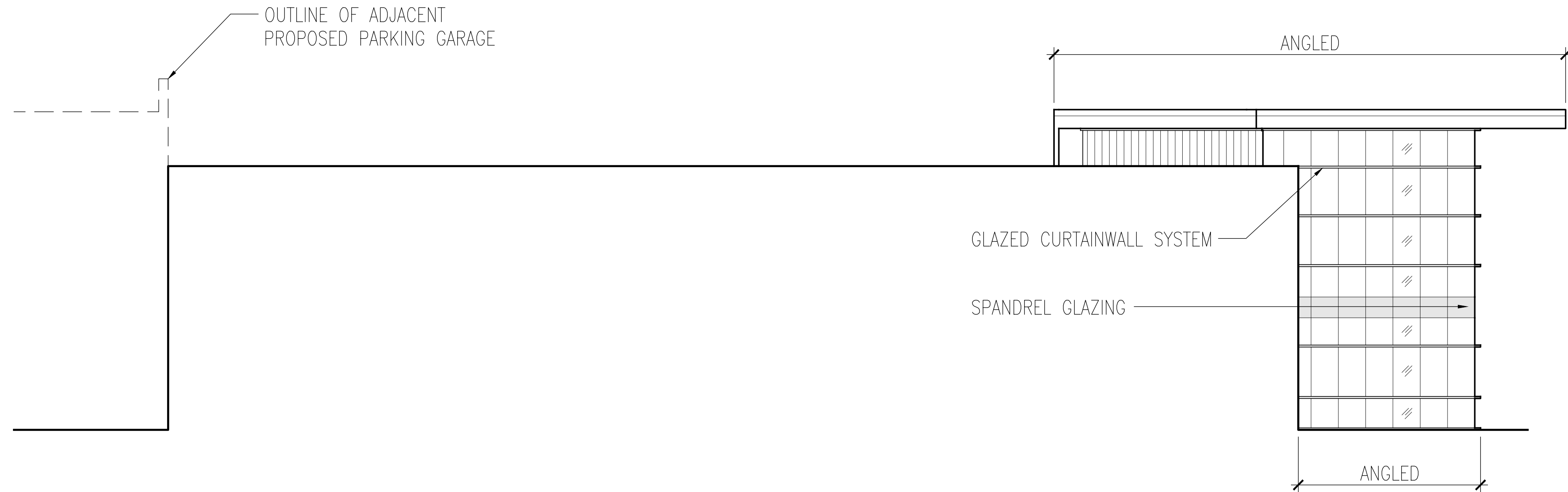
A400-O



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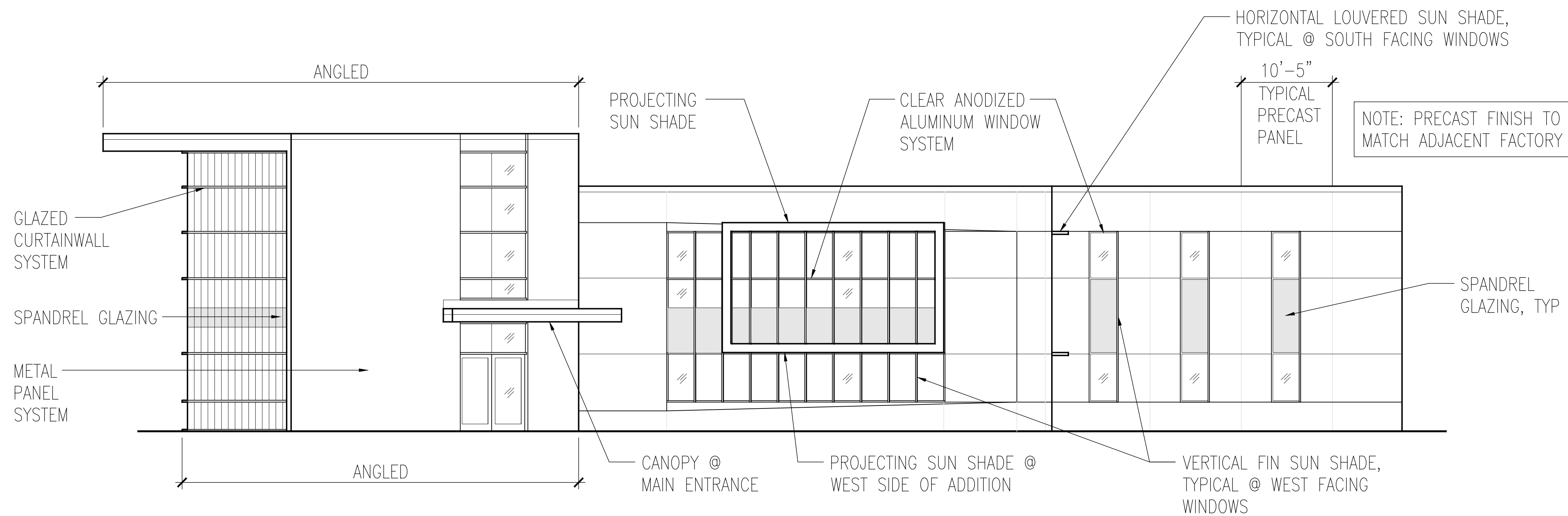
CONSULTANT

PROJECT TITLE AND LOCATION



B2
A401
EAST
EXTERIOR ELEVATION - PROPOSED OFFICE ADDITION

1/8"=1'-0"



D2
A401
WEST
EXTERIOR ELEVATION - PROPOSED OFFICE ADDITION

1/8"=1'-0"

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REVISIONS

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DATE
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SHEET TITLE
 EXTERIOR ELEVATIONS - OFFICE

SHEET NUMBER

A401-O