



MILWAUKEE  
**HISTORIC  
PRESERVATION  
COMMISSION**

LIVING WITH HISTORY

# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

**Property**

2742 W. STATE ST., **Concordia Historic District, City Of Milwaukee, owner**

**Description of work**

Tear off existing roof shingles. Install new GAF Timberline Natural Shadow roof shingles in pewter gray color. Replace built-in gutters as needed. Tuckpoint and repair all chimneys as needed. Clean brick chimneys. Replace all missing and damaged siding on rear and east elevations with new, matching wood siding. Install new attic window trim to match original in the east cross gable. Replace front porch deck boards and stairs. Replace missing soffit and fascia on southeast corner of east side gable with new wood to match the original. Replace missing crown moldings, fascia boards, soffits and brackets as needed on all elevations. Remove non-original porch at northwest (rear) corner of building and install a new hood over the rear door. Install new ladder style wood door at northwest corner of building. Remove the non-original wood shingles on the round front tower walls and replace with new wood shingles laid in even courses with an exposure to match the original wood shingles in the east gable. Replace front concrete steps and walk.

**Date issued**

6/24/2011

PTS ID 73475 COA, exterior repairs

In accordance with the provisions of Section 308-81(9) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

All work will be done according to attached photos, specifications and drawings. Mortar for tuckpointing of chimneys must match the original in terms of color, texture, hardness, joint width and joint finish. Chimneys can be cleaned using chemical cleaner only followed by hot water wash. Care must be taken so that the water wash does not erode the surface of the brick. Chimneys will be topped with a new stone cap, at least 3-1/2" thick but no more

than 4" thick and will overhang the brick course below it by 1 inch. All new finish wood and trim will match the original in terms of design, dimension and profile. Any new siding will be radial-sawn clapboards only in eastern white pine or eastern red spruce. A continuous ridge vent can be installed on roof and any box vents on the roof must not be visible from the street. New, front concrete steps and walk to match existing footprint. New front porch deck will be made of center-match (tongue and groove) flooring. All new finish wood must be primed and painted upon completion. Please note that research has shown that when , new, bare wood is exposed to the exterior r elements for a period of only a week or two, the life of the paint job applied over it will be reduced. Design for brackets beneath bay window on east elevation must be submitted to HPC staff for review and approval prior to installation.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact Paul Jakubovich of the Historic Preservation staff as follows: Phone: (414) 286-5712 Fax: (414) 286-3004 E-mail: [pjakub@milwaukee.gov](mailto:pjakub@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.mkedcd.org/build](http://www.mkedcd.org/build), or call (414) 286-8210.



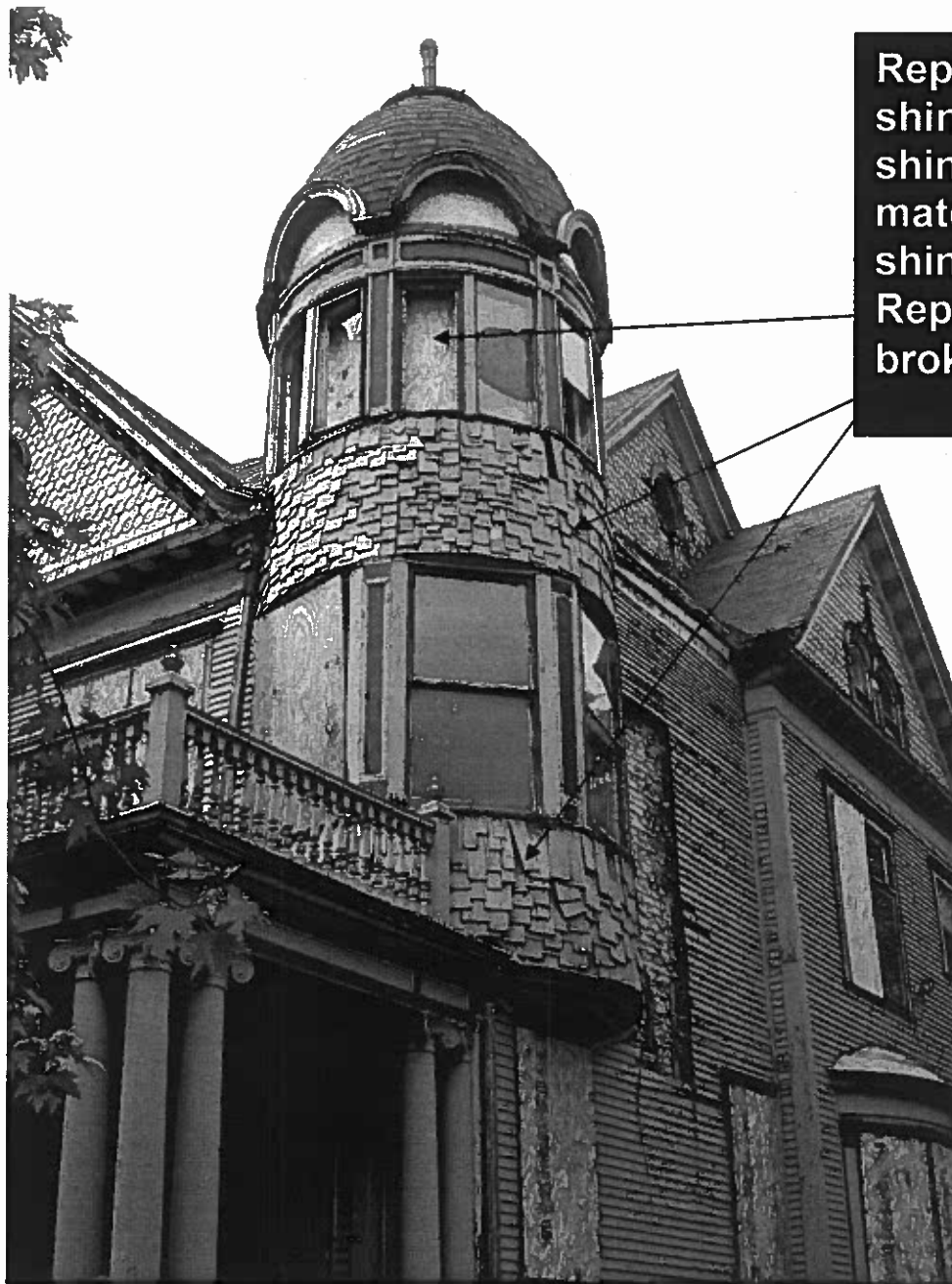
---

Paul Jakubovich  
City of Milwaukee Historic Preservation

Copies to: Development Center, Ald. Robert Bauman, Yves La Pierre real estate, Inspector Joel Walloch (286-8160)



2742 W. State St.



Replace existing, non-original shingles on tower with new, clear shingles laid in even courses to match the exposure of the shingles in the side gables. Repair/replace missing and broken tower windows.

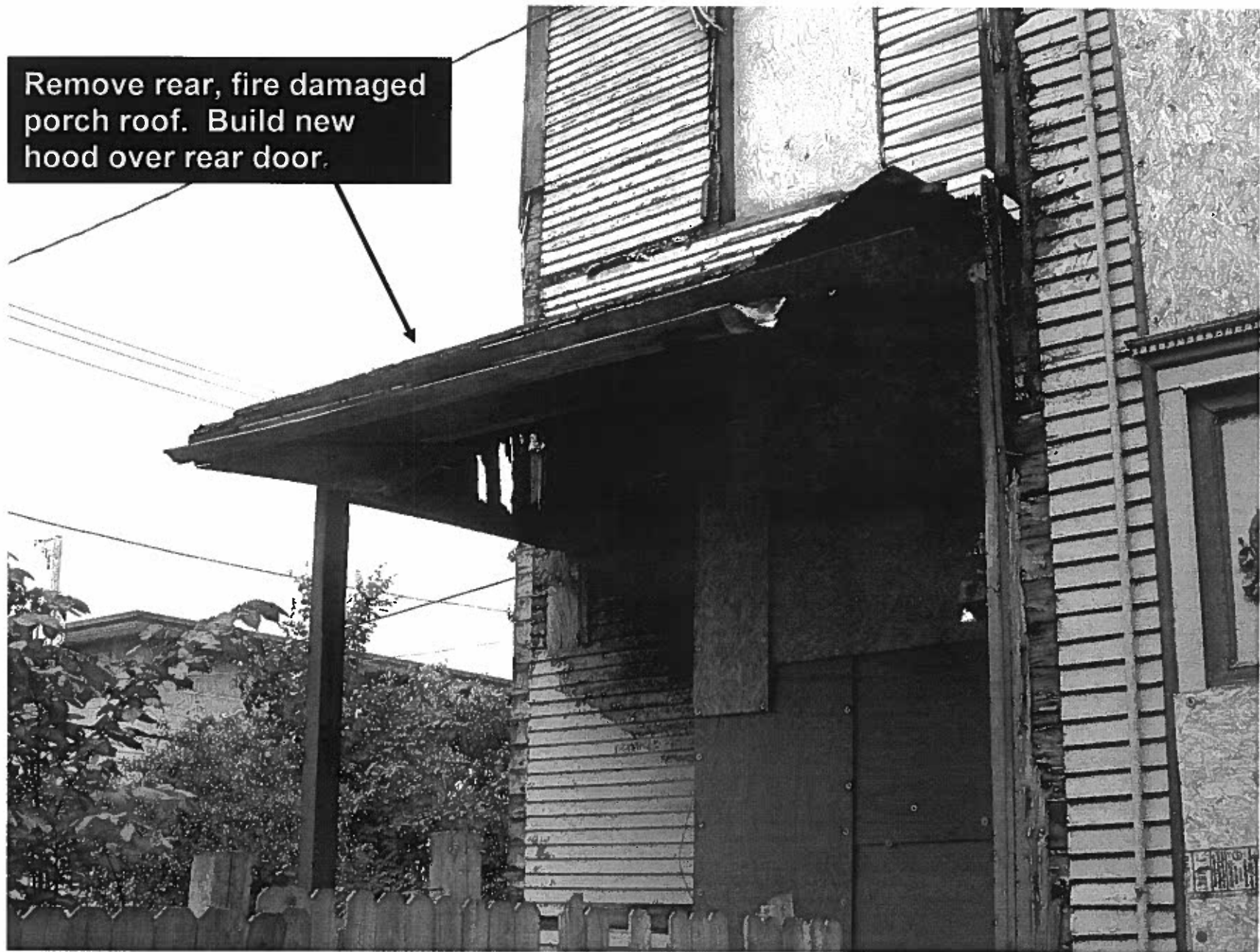


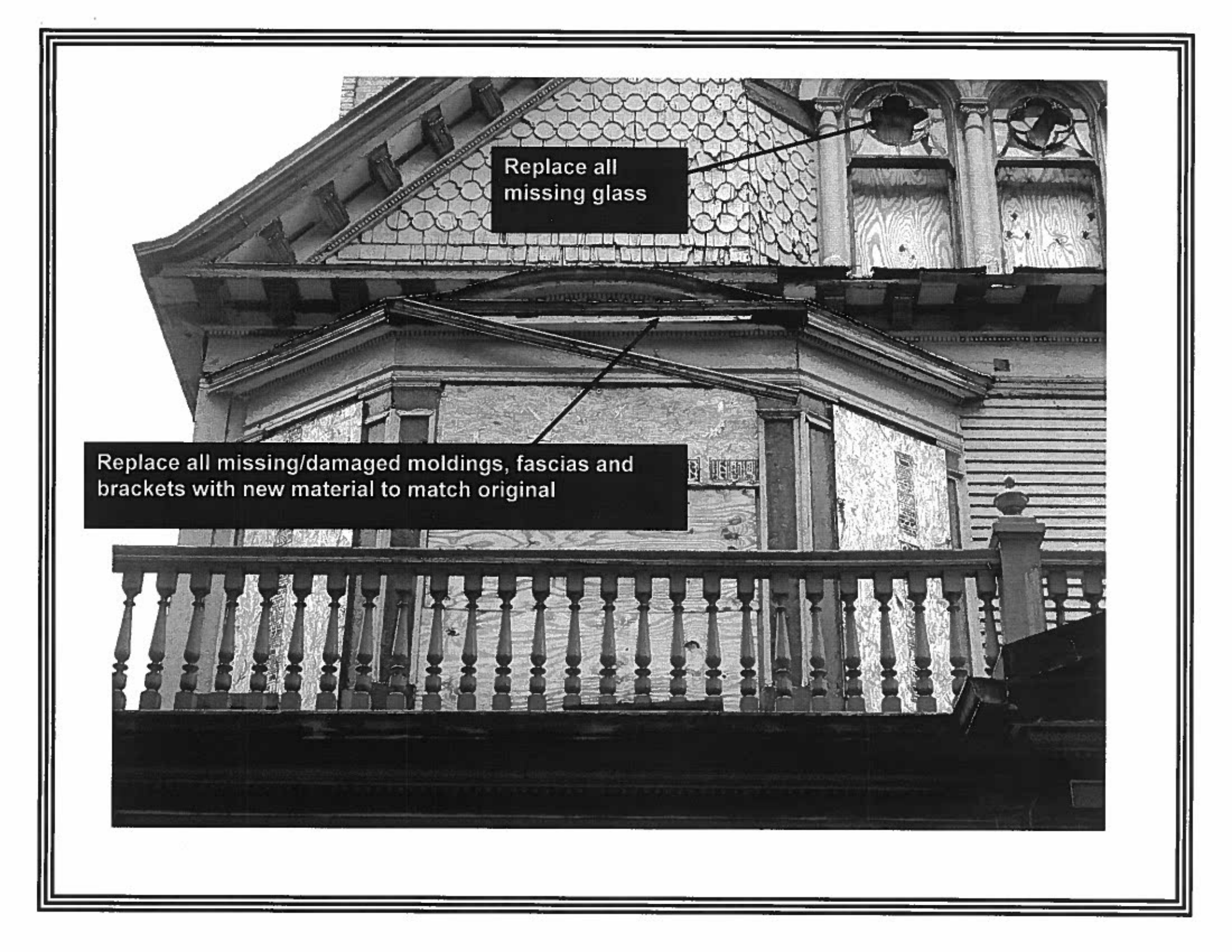
This area to be patched  
in with new radially-  
sawn clapboards to  
match the existing  
profile and exposure

East Elevation



Remove rear, fire damaged porch roof. Build new hood over rear door.





Replace all missing glass

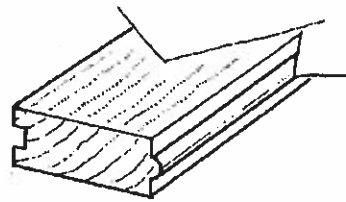
Replace all missing/damaged moldings, fascias and brackets with new material to match original

# Porches



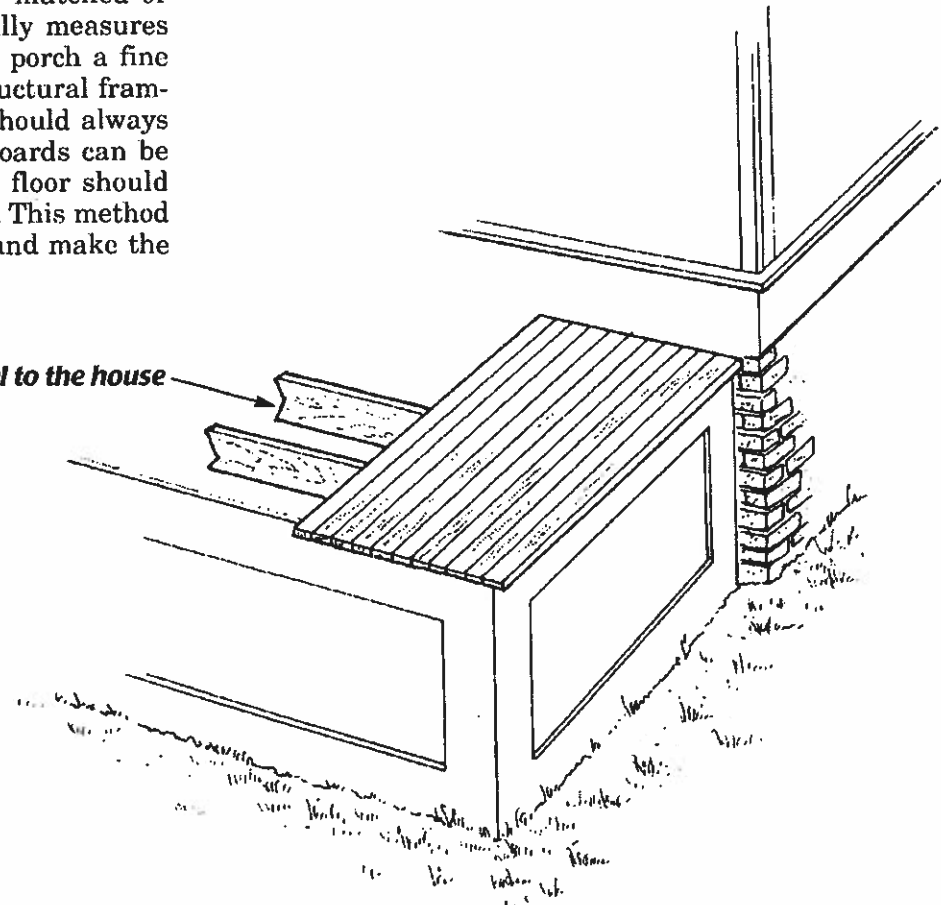
## Traditional Porch Floors

**P**orch floors should be constructed of center matched or tongue-and-groove wooden flooring, which typically measures 2-1/4" wide by 3/4" thick. This flooring gives the porch a fine finished appearance. The joists, which are the structural framing members to which the flooring is attached, should always be run parallel to the house so that the floor boards can be installed perpendicular to the house. The porch floor should also be very slightly pitched away from the house. This method of construction for a porch floor will shed water and make the porch last longer.



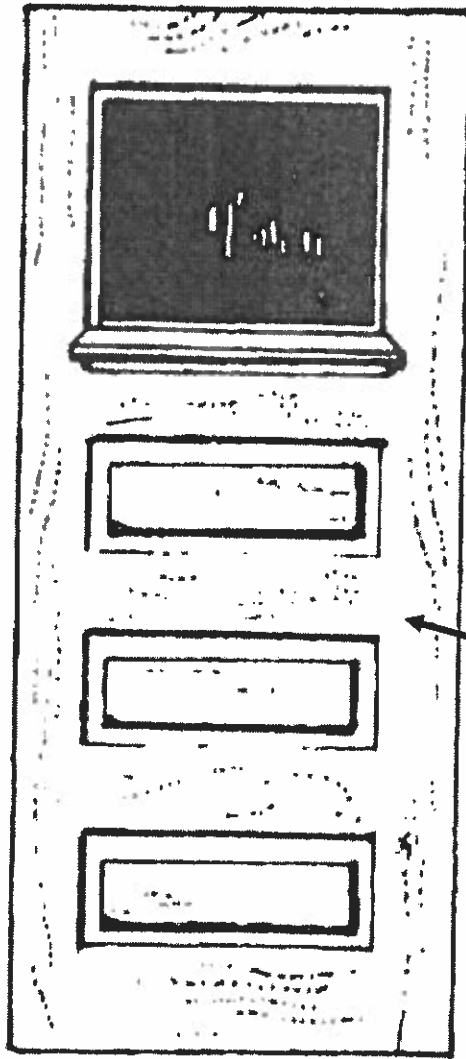
*Center match or tongue-and-groove flooring*

*Joists parallel to the house*



Tongue and groove, also called center-match flooring to be installed on front porch deck. Note direction of floorboards.





Design for ladder-style new rear door to replace the one that was destroyed by the fire.

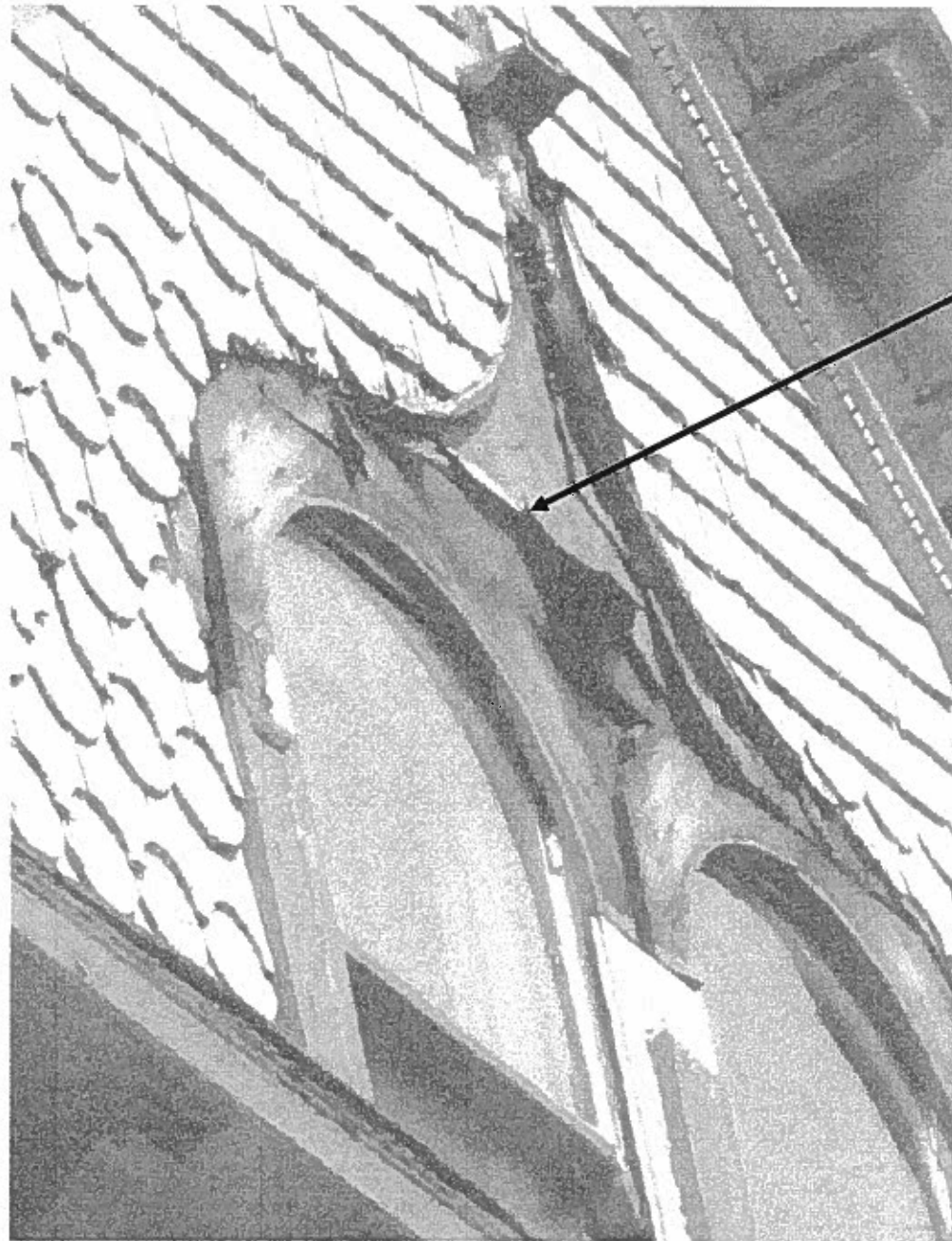
Queen Anne  
1885-1895



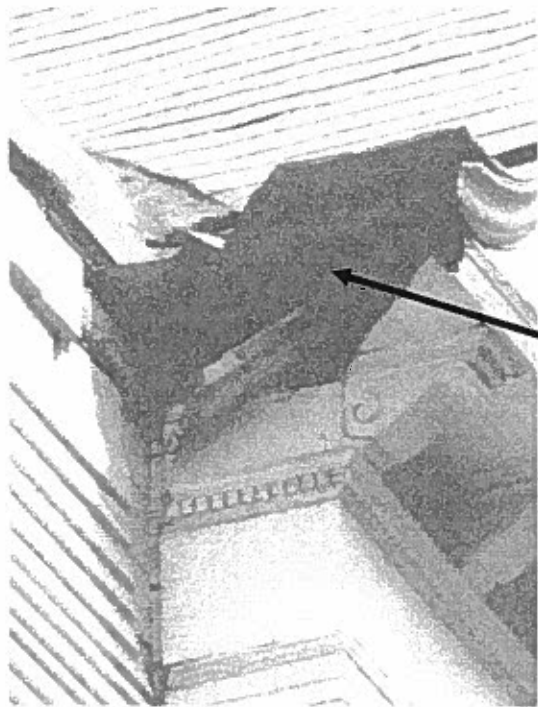
**Front concrete steps and service walk to be replaced with new concrete in same footprint.**



Fire damage on north elevation  
to be repaired with new,  
radially-sawn pine clapboards



Missing window top to be replaced to match the similar existing window tops of the same design on the house



Rebuild damaged and missing soffit, fascia and trim where needed. Rebuild built-in rain gutters as needed. All molding profiles and original designs must be duplicated exactly.

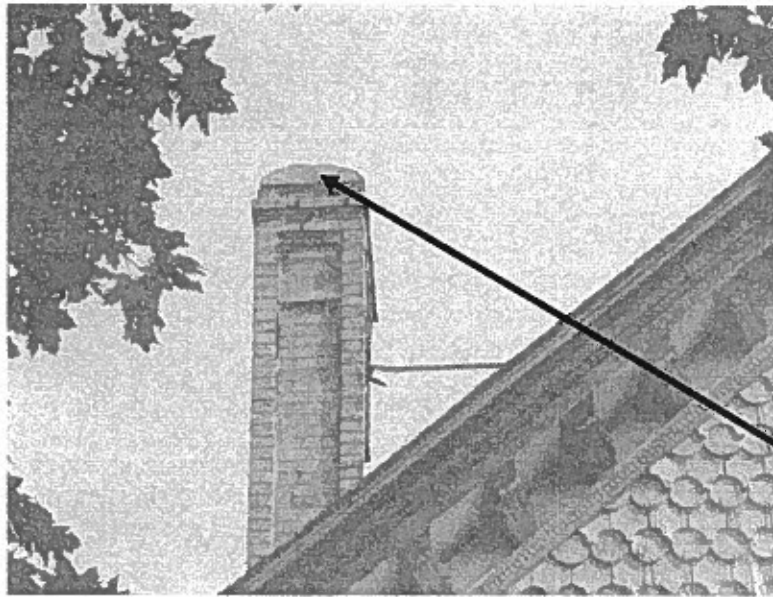
15. Missing soffit and fascia on southeast corner of east side gable.



Replace missing brackets under bay window on east elevation

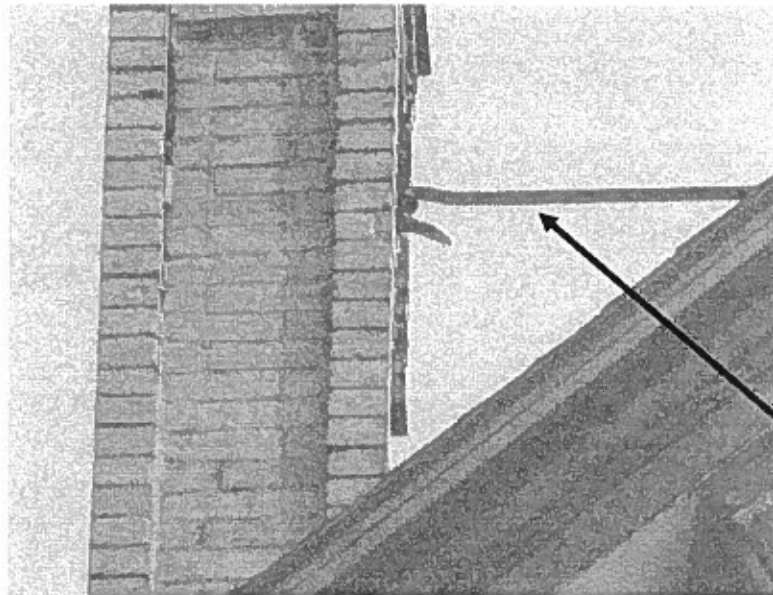
Note: Bracket design has not been supplied. Bracket design must be reviewed and approved by HPC prior to installation





3. Front elevation chimney on west roof

Front chimney to be cleaned and tuckpointed/rebuilt as needed. All new mortar must match the original in terms of joint, width, finish, texture and color. A stone cap, 3-1/2" in thickness, to overhang the course below it by 1 inch may be installed at the top the chimney in place of the existing concrete cap.

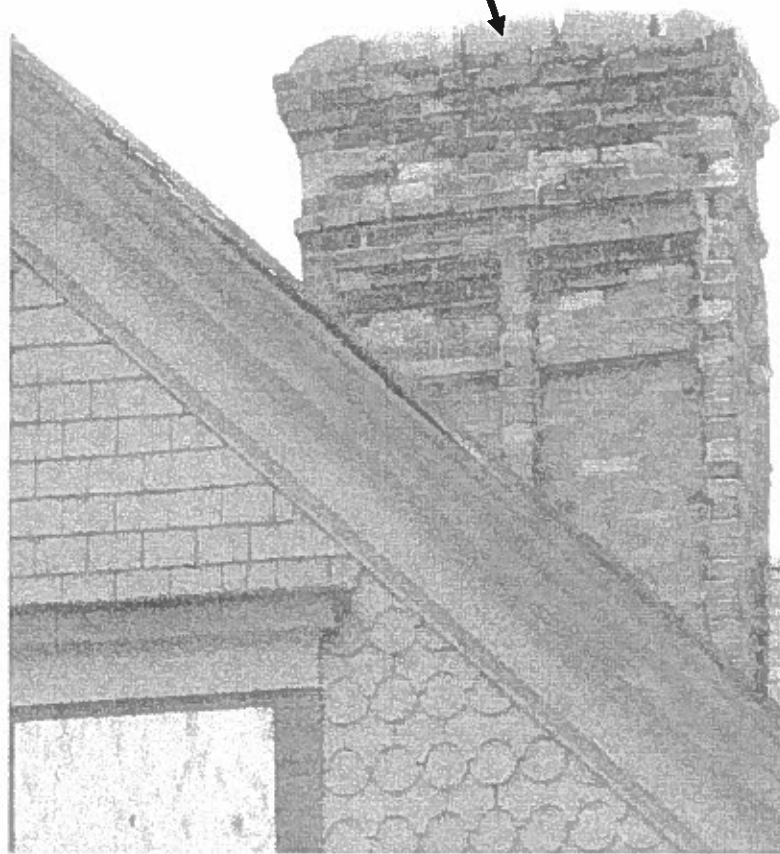


4. Front chimney connection with tie bar and hook

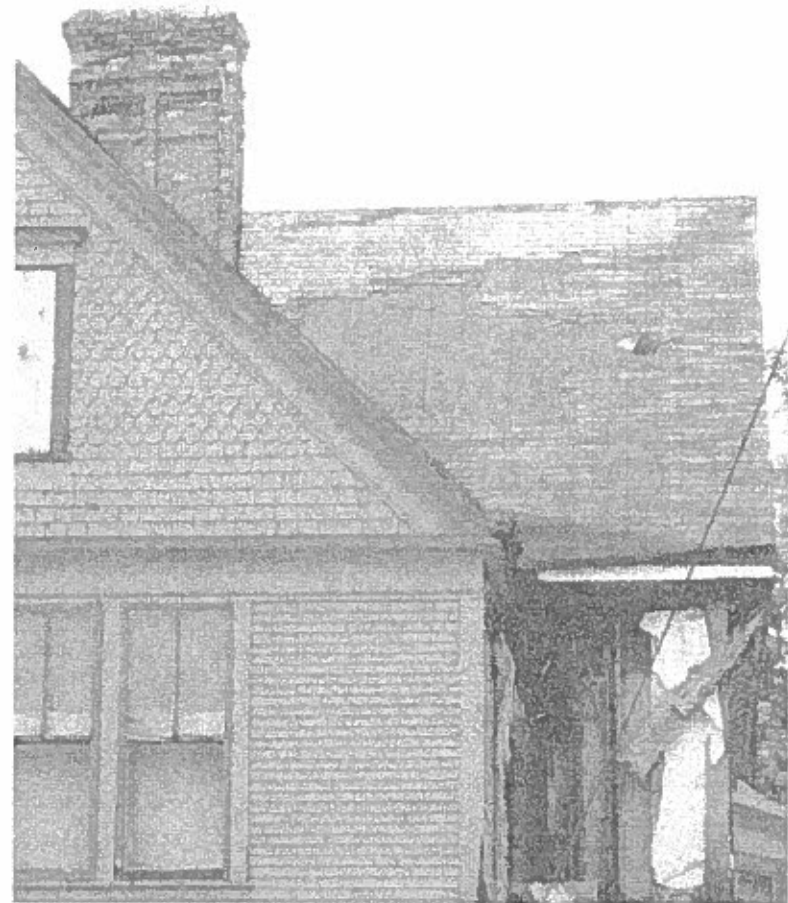
Hook must be preserved in its original location

Remove existing cap  
and replace with stone

8. Rear chimney (close up) showing need for cleaning and possible repair

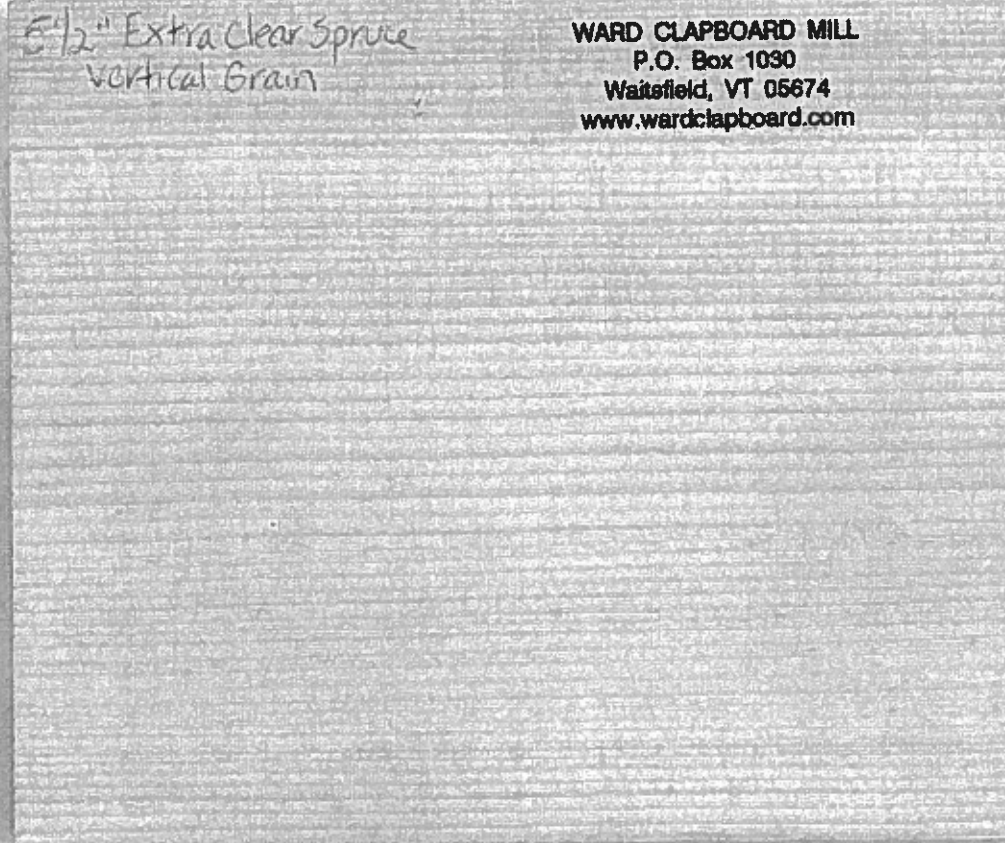


7. Rear chimney taken from north side of building



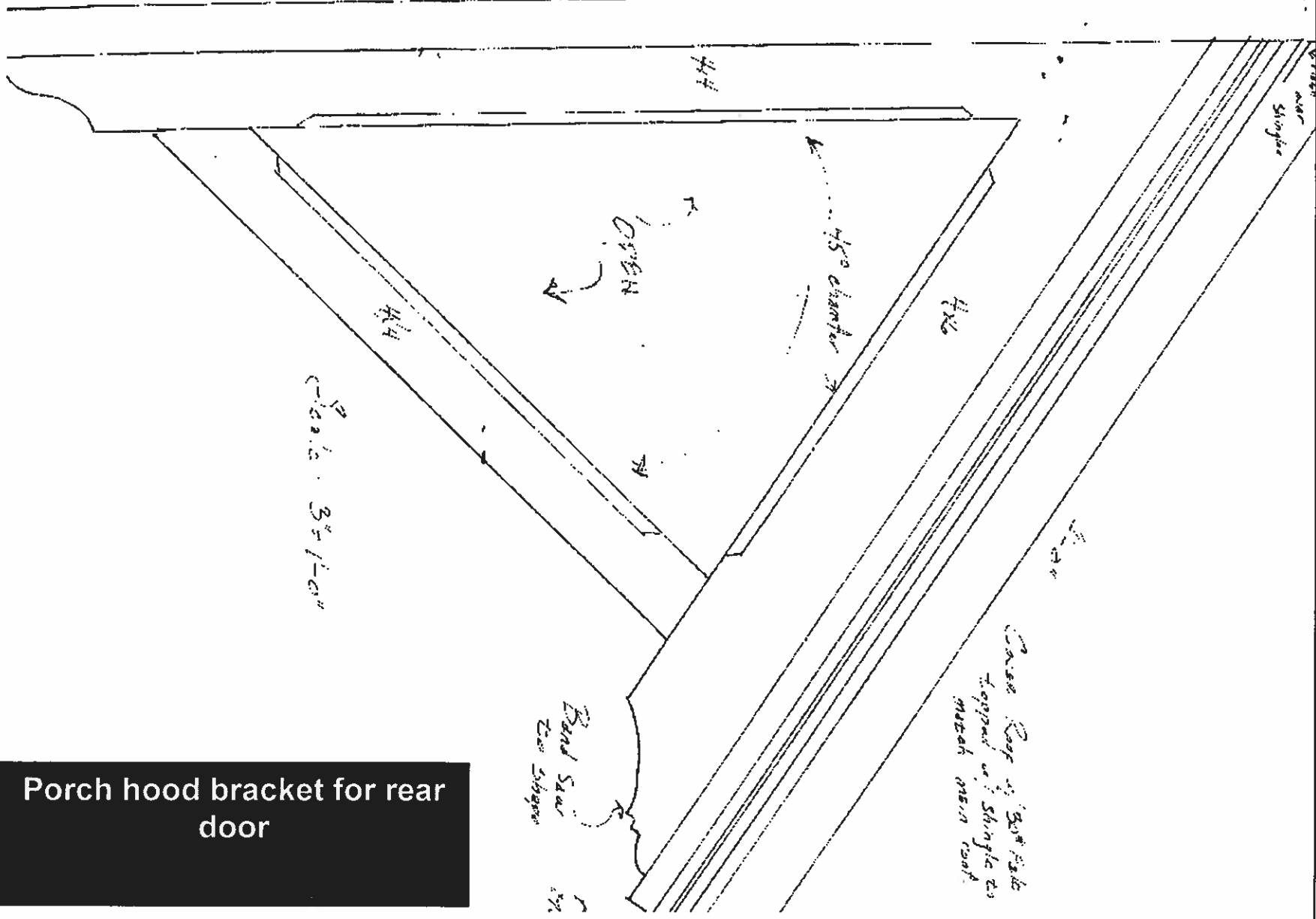
Rear chimney must be preserved in its original design. It can be tuckpointed and cleaned using a chemical cleaner and a hot water wash (no baking soda, walnut shells or other abrasives are permitted). The top of the chimney should be fitted with a stone cap, 3-1/2" in thickness that overhangs the brick course beneath it by one inch.

***Radially-sawn* clapboards to be used for repair work on the house**



An example of *radially-sawn* clapboard with its characteristic narrow, even grain pattern and crisp, sharp edges. These clapboards because of the way they were cut from the log, lay flatter, hold painted better and longer, and look better compared with plain-sawn clapboards.

4'-8"



Porch hood bracket for rear door