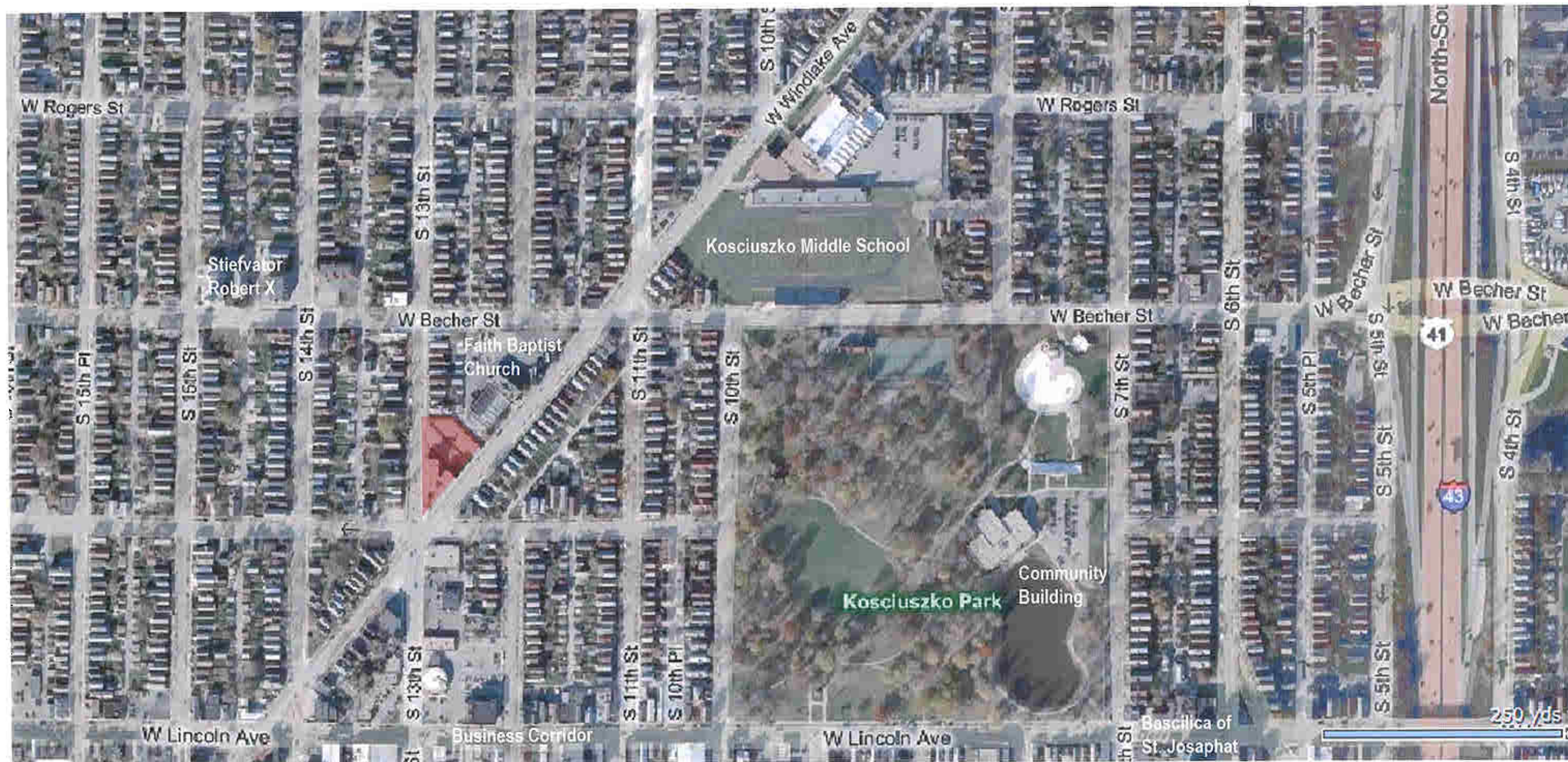




**Mercy Housing**  
**AT THE JOHNSTON CENTER**  
 1230 West Grant Street and 1220 West Windlake Avenue

KorbTredo Architects

DESIGN PLANNING URBANISM



**VICINITY MAP**

 Project Area



Mercy Housing

# AT THE JOHNSTON CENTER

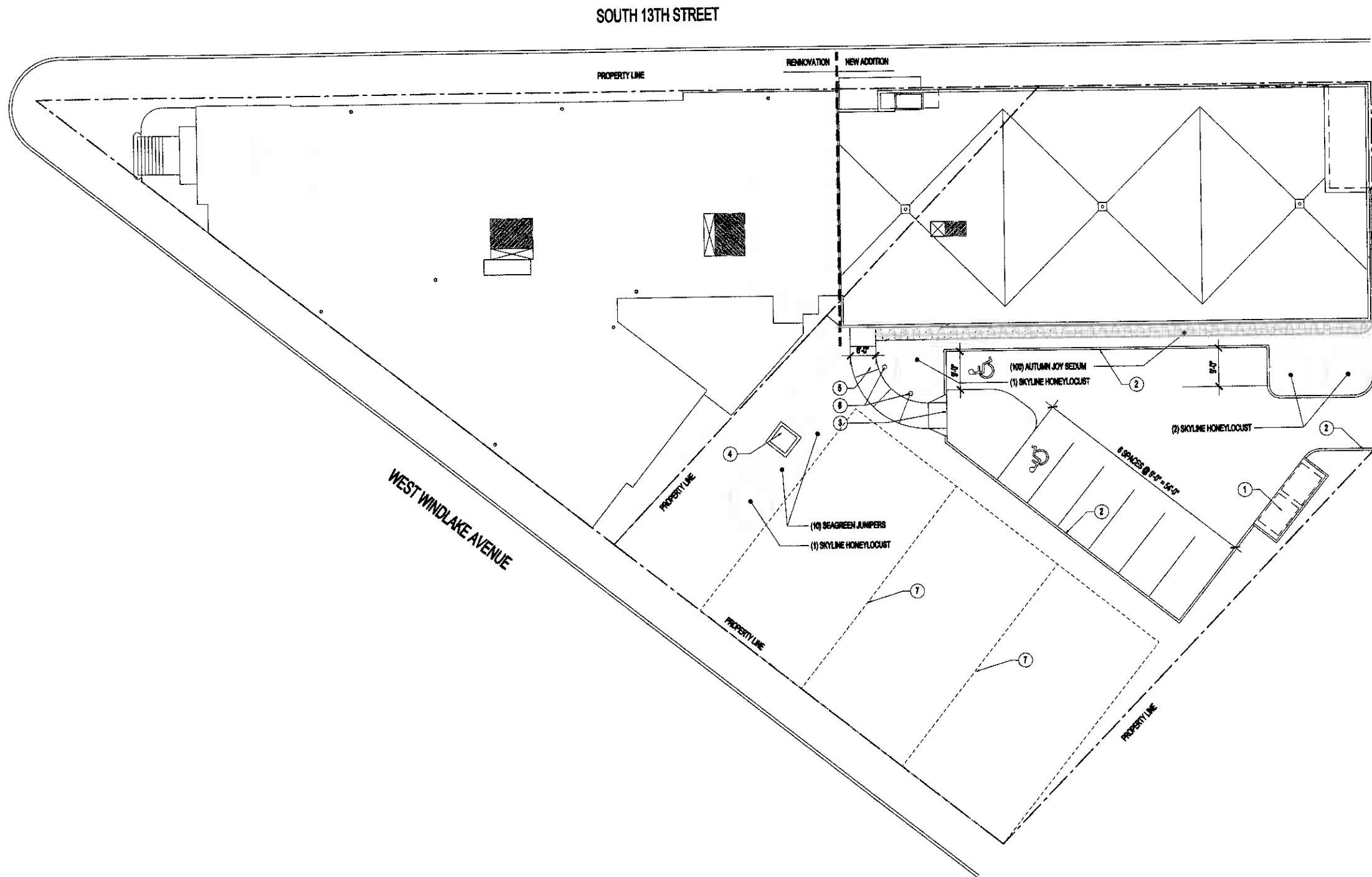
1230 West Grant Street and 1220 West Windlake Avenue



## ACCESS MAP

Proposed access to the building occurs at the existing alley shown above and right in the yellow zone.

NO.	SYMBOL	SCIENTIFIC NAME	COMMON NAME	NO. PER	SPACING	NOTES
1	(Symbol)	SEAGREEN JUMPER	SEAGREEN JUMPER	10	8' x 8'	1 PER 8' x 8'
2	(Symbol)	SKYLINE HONEYLOCUST	SKYLINE HONEYLOCUST	1	8' x 8'	1 PER 8' x 8'
3	(Symbol)	AUTUMN JOY SEDUM	AUTUMN JOY SEDUM	100	8' x 8'	100 PER 8' x 8'
4	(Symbol)	SKYLINE HONEYLOCUST	SKYLINE HONEYLOCUST	2	8' x 8'	2 PER 8' x 8'
5	(Symbol)	SKYLINE HONEYLOCUST	SKYLINE HONEYLOCUST	2	8' x 8'	2 PER 8' x 8'
6	(Symbol)	SKYLINE HONEYLOCUST	SKYLINE HONEYLOCUST	2	8' x 8'	2 PER 8' x 8'
7	(Symbol)	SKYLINE HONEYLOCUST	SKYLINE HONEYLOCUST	2	8' x 8'	2 PER 8' x 8'
8	(Symbol)	SKYLINE HONEYLOCUST	SKYLINE HONEYLOCUST	2	8' x 8'	2 PER 8' x 8'
9	(Symbol)	SKYLINE HONEYLOCUST	SKYLINE HONEYLOCUST	2	8' x 8'	2 PER 8' x 8'
10	(Symbol)	SKYLINE HONEYLOCUST	SKYLINE HONEYLOCUST	2	8' x 8'	2 PER 8' x 8'



1 SITE/LANDSCAPE PLAN  
1" = 8'0"

PRELIMINARY - NOT FOR CONSTRUCTION

JOHNSTON CENTER  
Proposed Addition & Alterations  
100 WEST WINDLAKE AVENUE  
MILWAUKEE, WISCONSIN 53224

REVISION	DATE

ROOF PLAN  
C100

- SEE PLAN NOTES:**
1. NEW SHAMPOO ENCLOSURE
  2. NEW P. CUBA & OUTLET
  3. NEW ACCESSIBLE CURB CUT
  4. NEW TRANSFORMER LOCATION
  5. NEW CONCRETE SIDEWALK PAVES TO BRIDGE
  6. LIGHTING INSTALLATION
  7. FENCE & DEVELOPMENT
- SEE PLAN SYMBOLS:**
- A. CALL DIMENSIONS HORIZ. FROM 0' TO 10' FROM THE STREET OF ANY WORK, 1/8" = 1'-0".
  - B. EXISTING TOPOGRAPHIC INFORMATION OBTAINED FROM WISCONSIN DEPARTMENT OF NATURAL RESOURCES. LOCATIONS MAY NOT BE ACCURATE OR COMPLETE. CONTRACTOR SHALL VERIFY ALL HORIZONTAL LOCATIONS FROM TO BEINGING SURVEYING CORNER FOR BOUNDARY CORRELATION. VERIFY COMPASS AS NECESSARY TO PROCEED BEHIND TO THE SITE AND TO PERFORM WORK.
  - C. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND COORDINATES. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE EXISTING CONDITIONS.
  - D. CONTRACTOR SHALL VERIFY ALL PERMITS REQUIRED TO PERFORM WORK IN ACCORDANCE WITH REGULATORY AND PROCEDURES OF ANY AND ALL APPLICABLE AGENCIES.
  - E. CONTRACTOR SHALL VERIFY PERMITS, LICENSES AND REVIEW WITH ARCHITECT FROM TO BEINGING WORK.
  - F. CONTRACTOR SHALL PROVIDE ALL PERMITS, LICENSES AND REVIEW WITH ARCHITECT ON THE DRAWING.
  - G. USE ONE DRAWING FOR ADDITIONAL SITE INFORMATION, INCLUDING CONCRETE CUT, PAVING, CURBS, UTILITY SHIELDING, SIGNAGE, FURNISHING, AND SECTION CONTROL PLAN.
  - H. USE STRUCTURAL DRAWING FOR PLACEMENT OF STUCCO.
  - I. USE MECHANICAL DRAWING FOR LOCATION OF ON-SITE EQUIPMENT.
  - J. USE ELECTRICAL PLAN FOR LOCATION OF SITE ELECTRICAL PANEL, INCLUDING ON-SITE EQUIPMENT, CONDUITS AND ELECTRICAL LINES, AND WIRING.
  - K. USE LANDSCAPE DRAWING FOR LOCATION OF LANDSCAPE FIRM AND FOR ANY OTHER FIRM INFORMATION.

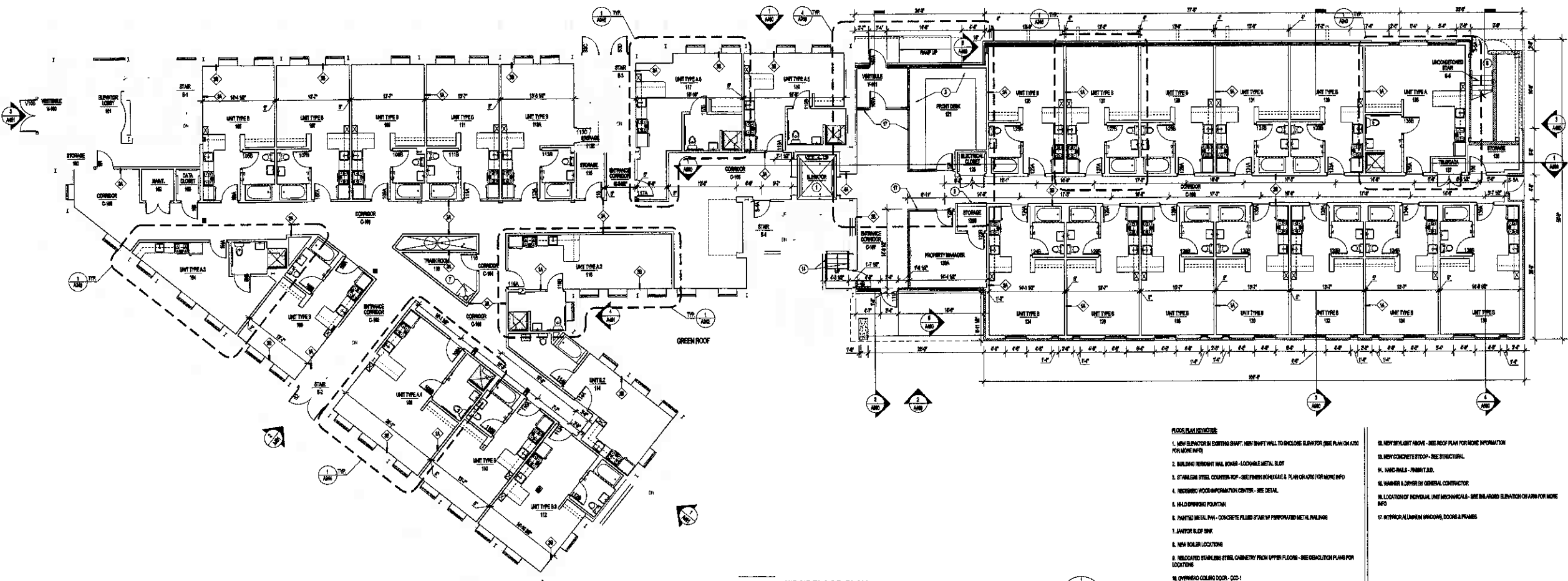
**PRELIMINARY - NOT FOR CONSTRUCTION**

PROJECT:  
**JOHNSTON CENTER**  
 Proposed Addition &  
 Alterations  
 1200 WEST GRANT STREET &  
 1200 WEST WISCONSIN AVENUE  
 MILWAUKEE, WISCONSIN 53233

REVISION NO.	DATE

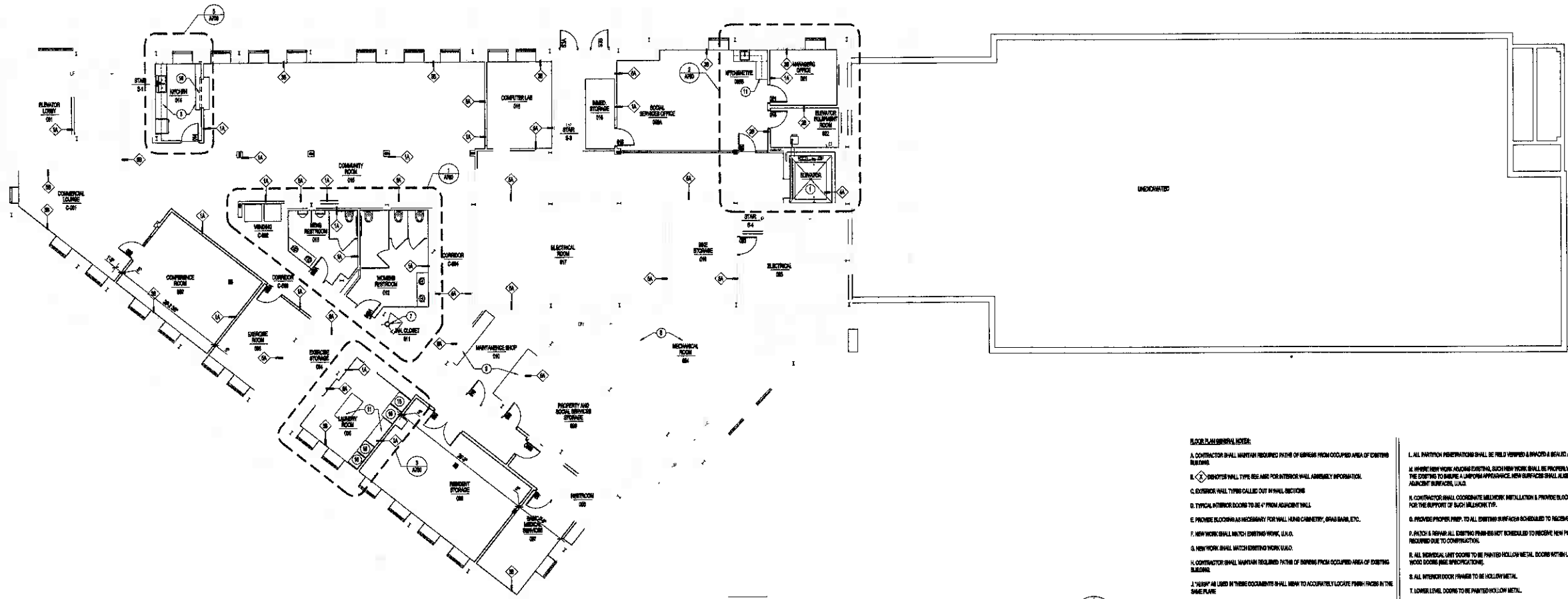
PROJECT NO.: 1001  
 SCALE: ARCHES  
 DRAWING NO.: 1001-01  
 DATE: 12/20/00

BASEMENT & FIRST FLOOR PLANS  
**A200**  
 © 2000 KISH TRADE ARCHITECTS, INC.



**2 FIRST FLOOR PLAN**  
 10'-0" = 1"

- FLOOR PLAN NOTES:**
1. NEW ELEVATOR IN EXISTING SHWFT. NEW SHWFT WALL TO ENCLOSE SHWFT FOR USE PLAN ON ADD FOR MORE INFO.
  2. BUILDING PERMIT WALL WORK - LOCKABLE METAL SLUT
  3. STAINLESS STEEL COUNTER TOP - SEE FINISH SCHEDULE & PLAN ON ADD FOR MORE INFO
  4. NECESSARY WOOD INFORMATION CENTER - SEE DETAIL
  5. WELD SPINDLE PORTALS
  6. PAINTED METAL PAN - CONCRETE FILLED STAIR W/ PERFORATED METAL WALKING
  7. PARTIAL SLOP SINK
  8. NEW SINK LOCATION
  9. RELOCATED STAINLESS STEEL CABINETS FROM UPPER FLOORS - SEE REMEDIATION PLANS FOR LOCATION
  10. OVERHEAD COILING DOOR - CDS-1
  11. NEW HOLLOW - SEE FINISH SCHEDULE & COMMENTARY FOR FINISH
  12. NEW BRACKET ABOVE - SEE ROOF PLAN FOR MORE INFORMATION
  13. NEW CONCRETE FLOOR - SEE STRUCTURAL
  14. HAND-PAULS - FINISH L.D.
  15. NUMBER & SYMBOL BY GENERAL CONTRACTOR
  16. LOCATION OF INDIVIDUAL UNIT MECHANICALS - SEE BALANCED ELEVATION ON ADD FOR MORE INFO
  17. INTERIOR LAMIN W/COORS, DOORS & FRAMES



**1 BASEMENT FLOOR PLAN**  
 10'-0" = 1"

- FLOOR PLAN GENERAL NOTES:**
1. CONTRACTOR SHALL MAINTAIN REQUIRED PATHS OF EGRESS FROM OCCUPIED AREA OF EXISTING BUILDING.
  2. EXISTING WALL TYPE AND FOR INTERIOR WALL ANNOTATION INFORMATION.
  3. EXTERIOR WALL TYPE CALLED OUT BY WALL ANNOTATION
  4. TYPICAL INTERIOR DOORS TO BE 4" FROM ADJACENT WALL
  5. PROVIDE SCHEDULE AS NECESSARY FOR WALL HANG CABINETS, SHWTS, ETC.
  6. NEW WORK SHALL MATCH EXISTING WORK, I.E.A.D.
  7. NEW WORK SHALL MATCH EXISTING WORK, I.E.A.D.
  8. CONTRACTOR SHALL MAINTAIN REQUIRED PATHS OF EGRESS FROM OCCUPIED AREA OF EXISTING BUILDING.
  9. STAIR ALL LIVED IN THESE OCCUPANCY SHALL NEW TO ACCURATELY LOCATE FINISH FRAMES IN THE SHWFTS.
  10. TYPICAL DOOR TYPE AS SHOWN IN THESE DOORS SHALL MEET THE CONDITION IN THE SAME OR REPRODUCITIVE FOR ALL SIMILAR CONDITIONS I.E.A.D.
  11. ALL PARTITION REVISIONS SHALL BE FIELD VIEWED & SPACED & BULGED AS REQUIRED
  12. WHERE NEW WORK ADJACENT EXISTING, SUCH NEW WORK SHALL BE PROPERLY INTEGRATED BY THE EXISTING TO MAINTAIN A UNIFORM APPEARANCE. NEW SURFACES SHALL MATCH ADJACENT SURFACES, I.E.A.D.
  13. CONTRACTOR SHALL COORDINATE MECHANICAL INSTALLATION & PROVIDE BLOWING AIR REQUIRED FOR THE SUPPORT OF SUCH WORK I.E.A.D.
  14. PROVIDE PROPER PAPER TO ALL EXISTING SURFACES BORED TO RECEIVE NEW FRAMES
  15. PATCH & REPAIR ALL EXISTING FINISHES NOT SCHEDULED TO RECEIVE NEW FINISHES AS REQUIRED DUE TO CORROSION.
  16. ALL INDIVIDUAL UNIT DOORS TO BE PAINTED HOLLOW METAL. DOORS WITHIN LOTS TO BE FLUSH WOOD DOORS (SEE SPECIFICATIONS)
  17. ALL INTERIOR DOOR FRAMES TO BE HOLLOW METAL
  18. LOWER LEVEL DOORS TO BE PAINTED HOLLOW METAL.

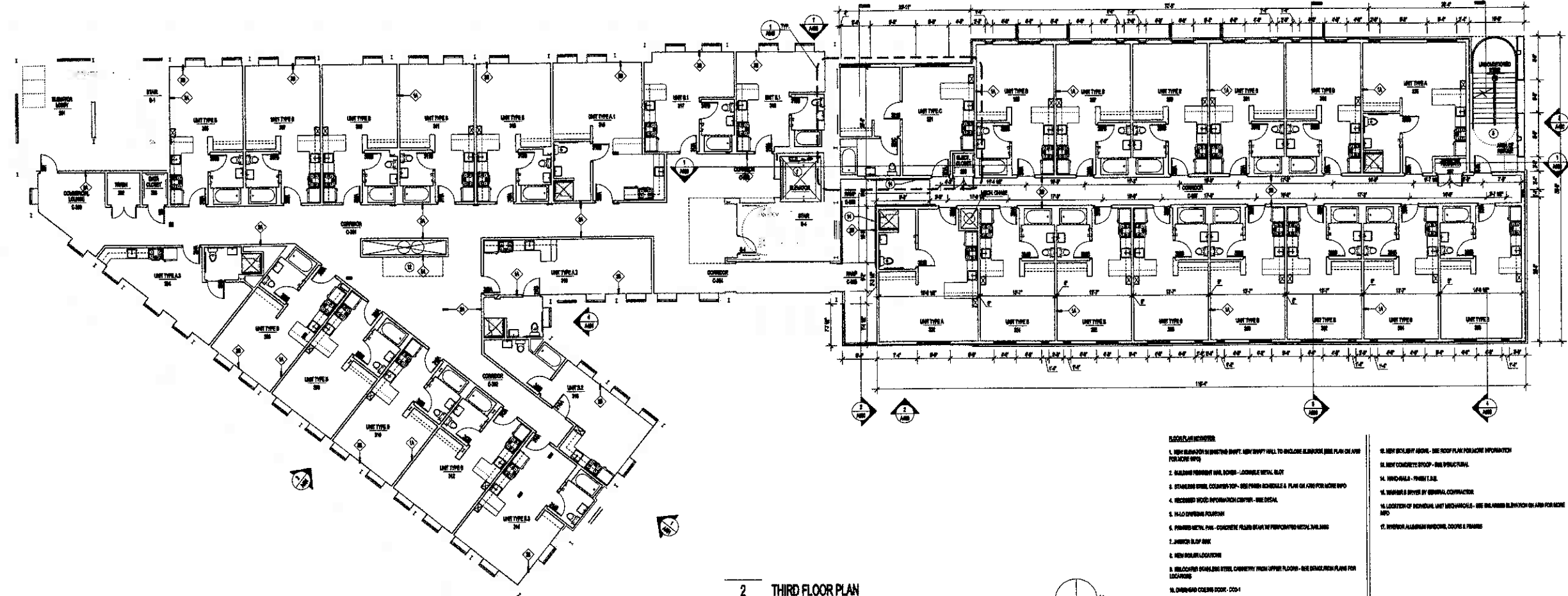
**PRELIMINARY - NOT FOR CONSTRUCTION**

PROJECT: **JOHNSTON CENTER  
Proposed Addition &  
Alterations**  
ADDRESS: 122 WEST SWIFT STREET &  
122 WEST WINDLASS AVENUE  
WORCESTER, MASSACHUSETTS 01608

REVISION NO.	DATE

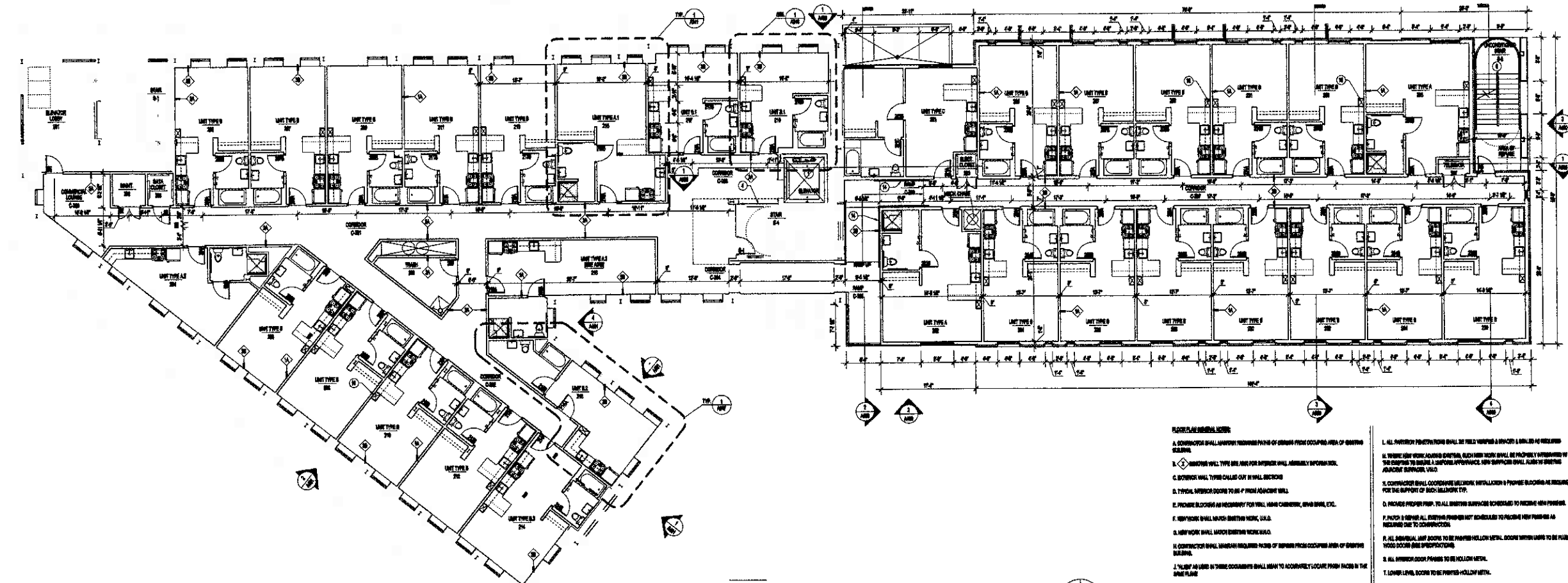
  

PROJECT NO.	DATE
SCALE	AS SHOWN
FRAME	FROM OCCUPANCY
DATE	11/20/2018 09:00



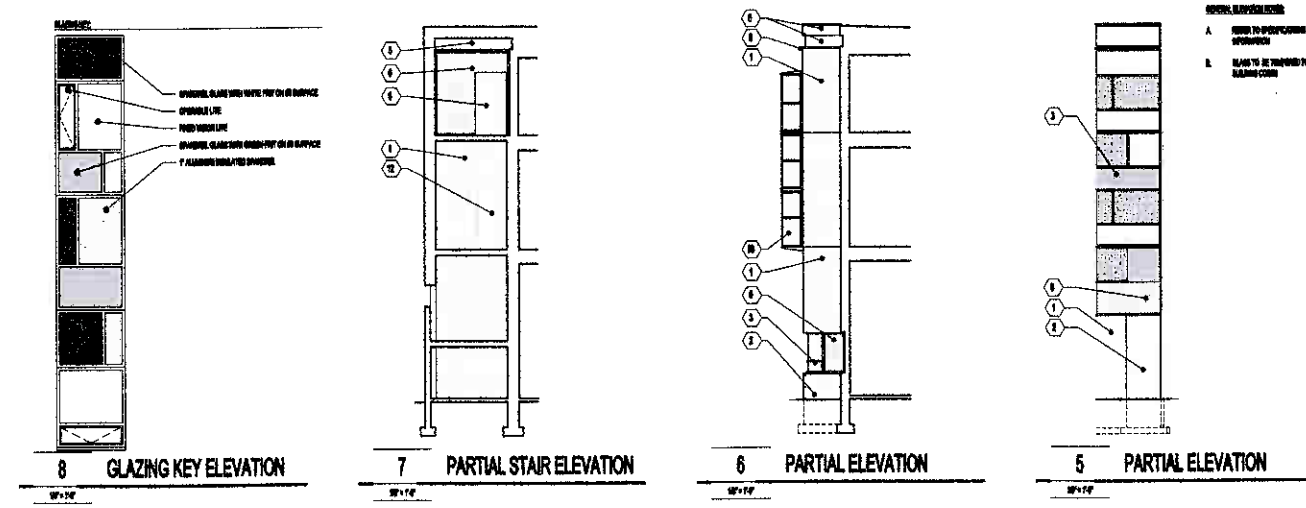
**2 THIRD FLOOR PLAN**

- FLOOR PLAN NOTES:**
1. NEW BRICKS TO MATCH EXIST. NEW BRICKS TO MATCH EXISTING BRICKS IN USE FOR FACILITY.
  2. BRICKS TO MATCH EXIST. BRICKS - CONCRETE BRICKS.
  3. STAINLESS STEEL COOKTOPS - SEE FINISH SCHEDULE & PLAN ON ARCHITECTURE.
  4. RECESSED WOOD INFORMATION CENTER - SEE DETAIL.
  5. H.A.O. OPENING PLASTER.
  6. FINISH METAL PANEL - CONCRETE PANELS TO BE FINISHED WITH METAL PANELS.
  7. LAMINATE SLAB ON GRC.
  8. NEW BRICKS TO MATCH EXIST.
  9. BRICKS TO MATCH EXIST. BRICKS - CONCRETE BRICKS TO MATCH EXISTING BRICKS IN USE FOR FACILITY.
  10. BRICKS TO MATCH EXIST. BRICKS - CONCRETE BRICKS TO MATCH EXISTING BRICKS IN USE FOR FACILITY.
  11. NEW BRICKS TO MATCH EXIST. BRICKS TO MATCH EXISTING BRICKS IN USE FOR FACILITY.
  12. NEW BRICKS TO MATCH EXIST. BRICKS TO MATCH EXISTING BRICKS IN USE FOR FACILITY.
  13. NEW BRICKS TO MATCH EXIST. BRICKS TO MATCH EXISTING BRICKS IN USE FOR FACILITY.
  14. NEW BRICKS TO MATCH EXIST. BRICKS TO MATCH EXISTING BRICKS IN USE FOR FACILITY.
  15. NEW BRICKS TO MATCH EXIST. BRICKS TO MATCH EXISTING BRICKS IN USE FOR FACILITY.
  16. NEW BRICKS TO MATCH EXIST. BRICKS TO MATCH EXISTING BRICKS IN USE FOR FACILITY.
  17. NEW BRICKS TO MATCH EXIST. BRICKS TO MATCH EXISTING BRICKS IN USE FOR FACILITY.
  18. NEW BRICKS TO MATCH EXIST. BRICKS TO MATCH EXISTING BRICKS IN USE FOR FACILITY.
  19. NEW BRICKS TO MATCH EXIST. BRICKS TO MATCH EXISTING BRICKS IN USE FOR FACILITY.
  20. NEW BRICKS TO MATCH EXIST. BRICKS TO MATCH EXISTING BRICKS IN USE FOR FACILITY.



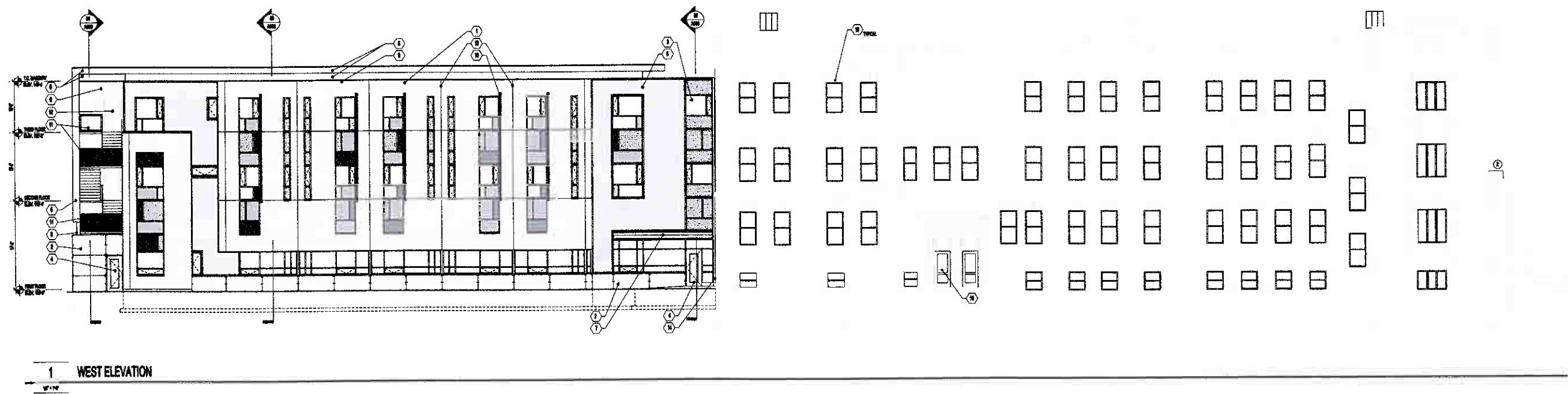
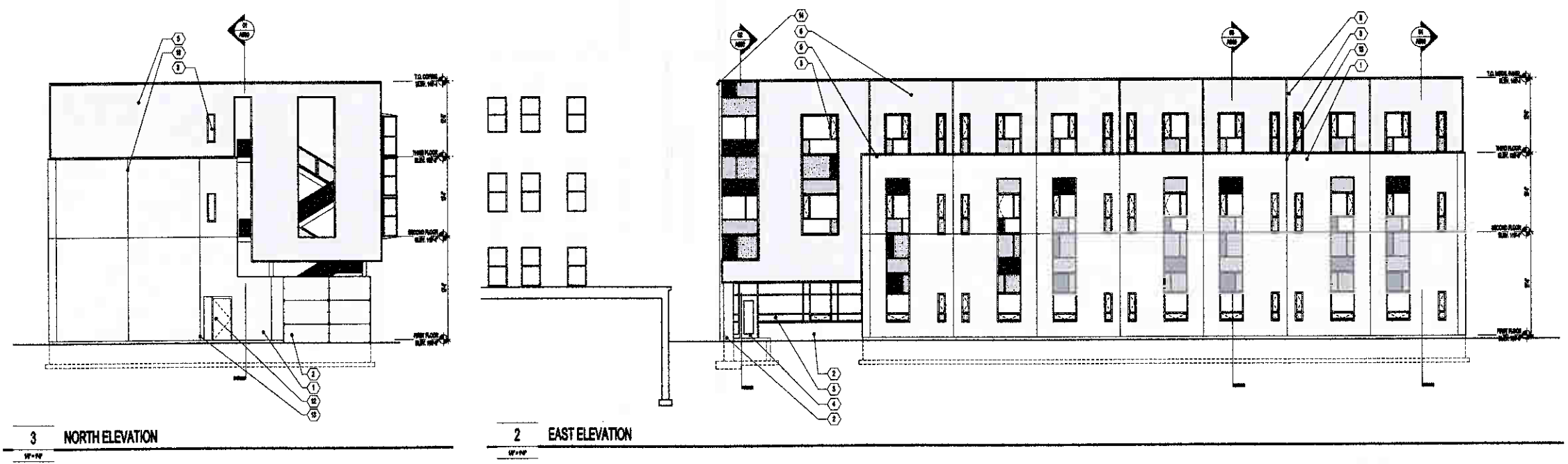
**1 SECOND FLOOR PLAN**

- FLOOR PLAN NOTES:**
1. ALL PARTITION PENETRATIONS SHALL BE FIELD WELDED & SPACED & BOLTED AS REQUIRED BY DESIGN.
  2. ALL PARTITION PENETRATIONS SHALL BE FIELD WELDED & SPACED & BOLTED AS REQUIRED BY DESIGN.
  3. ALL PARTITION PENETRATIONS SHALL BE FIELD WELDED & SPACED & BOLTED AS REQUIRED BY DESIGN.
  4. ALL PARTITION PENETRATIONS SHALL BE FIELD WELDED & SPACED & BOLTED AS REQUIRED BY DESIGN.
  5. ALL PARTITION PENETRATIONS SHALL BE FIELD WELDED & SPACED & BOLTED AS REQUIRED BY DESIGN.
  6. ALL PARTITION PENETRATIONS SHALL BE FIELD WELDED & SPACED & BOLTED AS REQUIRED BY DESIGN.
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  9. ALL PARTITION PENETRATIONS SHALL BE FIELD WELDED & SPACED & BOLTED AS REQUIRED BY DESIGN.
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  17. ALL PARTITION PENETRATIONS SHALL BE FIELD WELDED & SPACED & BOLTED AS REQUIRED BY DESIGN.
  18. ALL PARTITION PENETRATIONS SHALL BE FIELD WELDED & SPACED & BOLTED AS REQUIRED BY DESIGN.
  19. ALL PARTITION PENETRATIONS SHALL BE FIELD WELDED & SPACED & BOLTED AS REQUIRED BY DESIGN.
  20. ALL PARTITION PENETRATIONS SHALL BE FIELD WELDED & SPACED & BOLTED AS REQUIRED BY DESIGN.



EXTERIOR FINISHES KEY		
MATERIAL	FINISH	NOTES
1. EXTERIOR WALL CONCRETE/BLANK BRICK	CLAY COATED BRICK	
2. CONCRETE/BLANK BRICK	CLAY COATED BRICK	APPROVED FOR USE WITH INSULATION
3. EXTERIOR WALL CONCRETE/BLANK BRICK	CLAY COATED BRICK	
4. EXTERIOR WALL CONCRETE/BLANK BRICK	CLAY COATED BRICK	
5. EXTERIOR WALL CONCRETE/BLANK BRICK	CLAY COATED BRICK	
6. EXTERIOR WALL CONCRETE/BLANK BRICK	CLAY COATED BRICK	
7. EXTERIOR WALL CONCRETE/BLANK BRICK	CLAY COATED BRICK	
8. EXTERIOR WALL CONCRETE/BLANK BRICK	CLAY COATED BRICK	
9. EXTERIOR WALL CONCRETE/BLANK BRICK	CLAY COATED BRICK	
10. EXTERIOR WALL CONCRETE/BLANK BRICK	CLAY COATED BRICK	
11. EXTERIOR WALL CONCRETE/BLANK BRICK	CLAY COATED BRICK	
12. EXTERIOR WALL CONCRETE/BLANK BRICK	CLAY COATED BRICK	
13. EXTERIOR WALL CONCRETE/BLANK BRICK	CLAY COATED BRICK	
14. EXTERIOR WALL CONCRETE/BLANK BRICK	CLAY COATED BRICK	
15. EXTERIOR WALL CONCRETE/BLANK BRICK	CLAY COATED BRICK	
16. EXTERIOR WALL CONCRETE/BLANK BRICK	CLAY COATED BRICK	
17. EXTERIOR WALL CONCRETE/BLANK BRICK	CLAY COATED BRICK	
18. EXTERIOR WALL CONCRETE/BLANK BRICK	CLAY COATED BRICK	
19. EXTERIOR WALL CONCRETE/BLANK BRICK	CLAY COATED BRICK	
20. EXTERIOR WALL CONCRETE/BLANK BRICK	CLAY COATED BRICK	

**KTA**  
K&S Trade Architects, Inc.  
700 N. Market St., Suite 210  
Pawcatuck, Connecticut 06257  
Phone: 860-439-1111  
Fax: 860-439-1112



PRELIMINARY - NOT FOR CONSTRUCTION

JOHNSTON CENTER  
Proposed Addition & Alterations  
PROGRAM: 320 WEST SHORT STREET & 320 WEST THIRD STREET, PAWCATUCK, CONNECTICUT 06257

NO.	DATE

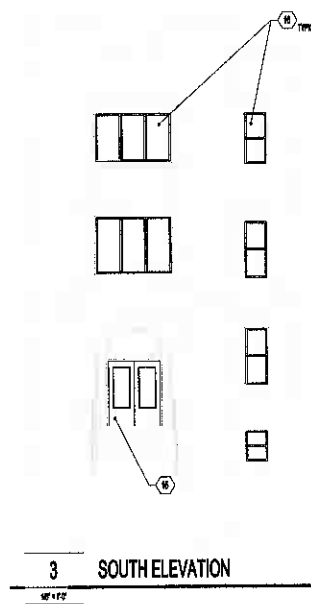
PROJECT NO. 001  
SCALE: AS SHOWN  
DATE: 08/20/2010  
DRAWN BY: J. HARRIS  
CHECKED BY: J. HARRIS

EXTERIOR ELEVATIONS  
**A400**  
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GENERAL NOTES:  
 A. REFER TO SPECIFICATIONS FOR PRODUCT REQUIREMENTS  
 B. CLASH TO BE RESOLVED PER APPLICABLE BUILDING CODES

ITEM#	FINISH	NOTES
1	EXPOSED FACE CONCRETE BLOCK CURBING	CLAMP ONT BRUSH
2	CURTAIN WALL CONCRETE	CLAMP ONT BRUSH
3	TYPICALLY BROWN ALUMINUM EXTERIOR SYSTEM	CLAMP ANODIZED
4	TYPICALLY BROWN ALUMINUM EXTERIOR SYSTEM	CLAMP ANODIZED
5	METAL PANEL SYSTEM	PAINT
6	CORROSION RESISTANT METAL PANEL SYSTEM	PAINT
7	ALUMINUM CLAD STEEL FRAMED GLAZING	PAINT
8	STRUCTURAL STEEL	PAINT
9	ALUMINUM CLADDING	PAINT
10	VERTICAL GLAZING - DOUBLE FRAME AND PERFORMANCE STEEL PANEL INFILL	PAINT
11	VERTICAL GLAZING - DOUBLE FRAME AND PERFORMANCE STEEL PANEL INFILL	PAINT
12	WALL AND FLOOR METAL JOIST	PAINT
13	WALL AND FLOOR METAL JOIST	PAINT
14	PREPARED EXTERIOR JOIST CHAIR	CLAMP ANODIZED
15	NEW METAL JOIST AND FRAMES	PAINT
16	SHIELDING WINDOW JOIST	PAINT

**KTA**  
 Kutz Trade Architects, Inc.  
 701 N. Milwaukee St., Suite 210  
 Milwaukee, Wisconsin 53233  
 PHONE: 414.224.1111  
 FAX: 414.224.1112



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