

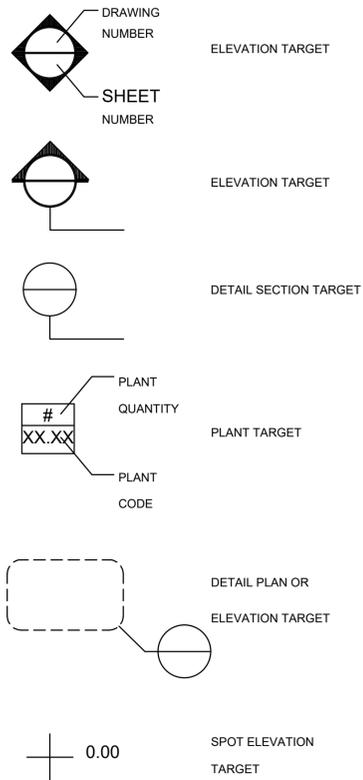
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ABBREVIATIONS:

&	AND
@	AT
BIT	BITUMINOUS
CB	CATCH BASIN
CONC	CONCRETE
CJ	CONTROL JOINT
CL	CENTERLINE
DIA	DIAMETER
EL	ELEVATION
EJ	EXPANSION JOINT
EXIST	EXISTING
G	GUTTER
H	HEIGHT
HP	HIGH POINT
INV	INVERT
INLET	DRAIN INLET
L	LENGTH
LBS, #	POUNDS
MH	MANHOLE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT INCLUDED IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
PC	PORTLAND CEMENT
PCC	PORTLAND CEMENT CONCRETE
R	RADIUS
SIM	SIMILAR
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VCP	VITRIFIED CLAY PIPE
VIF	VERIFY IN FIELD
W	WIDTH
WT	WEIGHT
W/	WITH

SYMBOLS:



LOCATION MAP



LINCOLN PLAYFIELD RENOVATION

SITE #: 756
PROJECT #: 7096
100% CONSTRUCTION DOCUMENTS

DIVISION III - LINCOLN PLAYFIELD
300 W. LINCOLN AVENUE, MILWAUKEE 53207



A department of MPS

Lincoln Playfield Renovation

SITE #756
 PROJECT #7096
 300 W Lincoln Avenue
 Milwaukee, WI 53207



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ISSUANCES

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100% DD		09/29/2021
75% CD		11/03/2021
	DESIGN DEVELOPMENT RIVERFRONT	04/19/2023
95% CD		08/18/2023
100% CD		09/15/2023

ARCHITECT OF RECORD



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CONSTRUCTION BARRICADE NOTES

- WHERE FENCE OPENINGS EXIST OR ARE CREATED WHEN FENCING IS REMOVED, OR IN CONDITIONS WHERE A SEPARATION IS NEEDED BETWEEN AN AREA TO BE RECONSTRUCTED AND AN AREA TO REMAIN AND THERE IS NO EXISTING FENCING, A TEMPORARY 6 FOOT HIGH CHAIN LINK FENCE, SELF SUPPORTED, FREE STANDING SHALL BE USED AND MAINTAINED UNTIL THE PROJECT IS COMPLETE, OR FENCE FABRIC IS RE-INSTALLED.

CONSTRUCTION BARRICADING SHALL BE MAINTAINED ON A DAILY BASIS TO ASSURE THAT AT THE END OF EACH WORK DAY THE SITE IS SECURED

CODE INFORMATION:

APPLICABLE CODES AND STANDARDS

- BUILDING CODE: ----- 2015 INTERNATIONAL BUILDING CODE WITH WISCONSIN AMENDMENTS SPS 362
 2015 INTERNATIONAL EXISTING BUILDING CODE WITH WISCONSIN AMENDMENTS SPS 366
- ACCESSIBILITY CODE:----- 2015 INTERNATIONAL BUILDING CODE WITH WISCONSIN AMENDMENTS SPS 362
 2009 ICC/ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES MECHANICAL CODE:
- MECHANICAL CODE: ----- 2015 INTERNATIONAL MECHANICAL CODE WITH WISCONSIN AMENDMENTS SPS 364
- PLUMBING CODE: ----- 2014 WISCONSIN PLUMBING CODE SPS 381-387
- ELECTRICAL CODE: ----- 2011 NFPA 70 NATIONAL ELECTRICAL CODE WITH WISCONSIN AMENDMENTS SPS 316
- ENERGY CODE: ----- 2015 IECC INTERNATIONAL ENERGY CONSERVATION CODE WITH WISCONSIN AMENDMENTS SPS 363
- FIRE CODE: ----- 2006 INTERNATIONAL FIRE CODE ADOPTED PER MILWAUKEE CODE OF ORDINANCES (MCO 214-3).
- ZONING CODE: ----- MILWAUKEE CODE OF ORDINANCES CH 295.

Project No : 9104

Drawn : RM	File : 9104_covr.dwg
Checked : BK	Scale : AS NOTED
Approved : BM	

Sheet Title:
COVER SHEET

Drawing Number:

G001



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Lincoln Playfield Renovation

SITE #756
PROJECT #7096
300 W Lincoln Avenue
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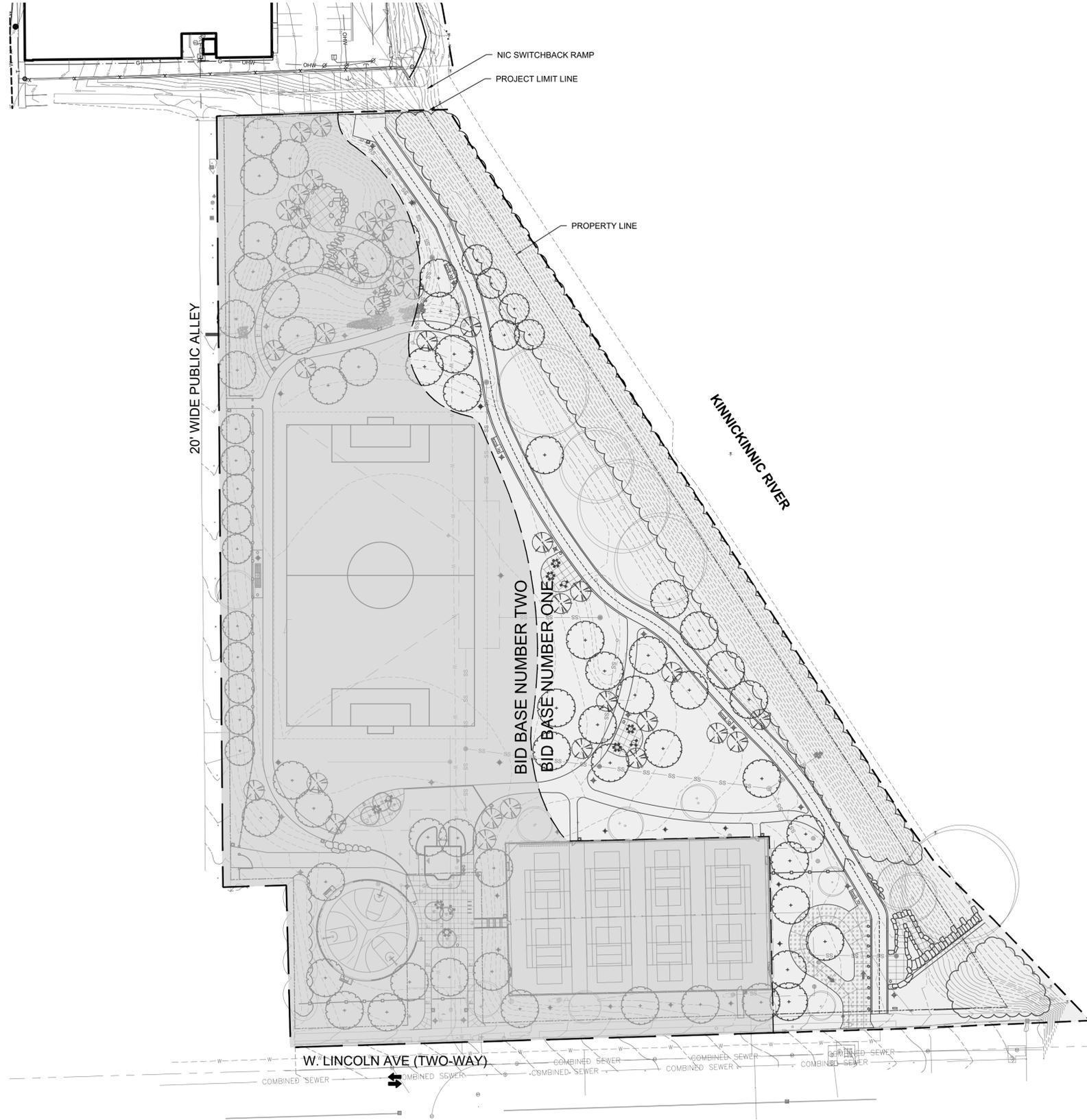
MEP Engineering

LEGEND

PROPERTY LINE

BASE BID NUMBER ONE- GRANT FUNDED
PROJECT ELEMENTS EAST OF DELINEATION

BASE BID NUMBER TWO- ALL OTHER WORK IS
NON-GRANT FUNDED WEST OF DELINEATION



ISSUANCES

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DESIGN DEVELOPMENT RIVERFRONT		04/19/2023
95% CD		08/18/2023
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Sheet Title:
**OVERALL BID SEPARATION
 (FOR REFERENCE ONLY)**

Drawing Number:

G002

1 OVERALL BID SEPARATION (FOR REFERENCE ONLY)
 1" = 50'-0"





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Lincoln Playfield Renovation

SITE #756
PROJECT #7096
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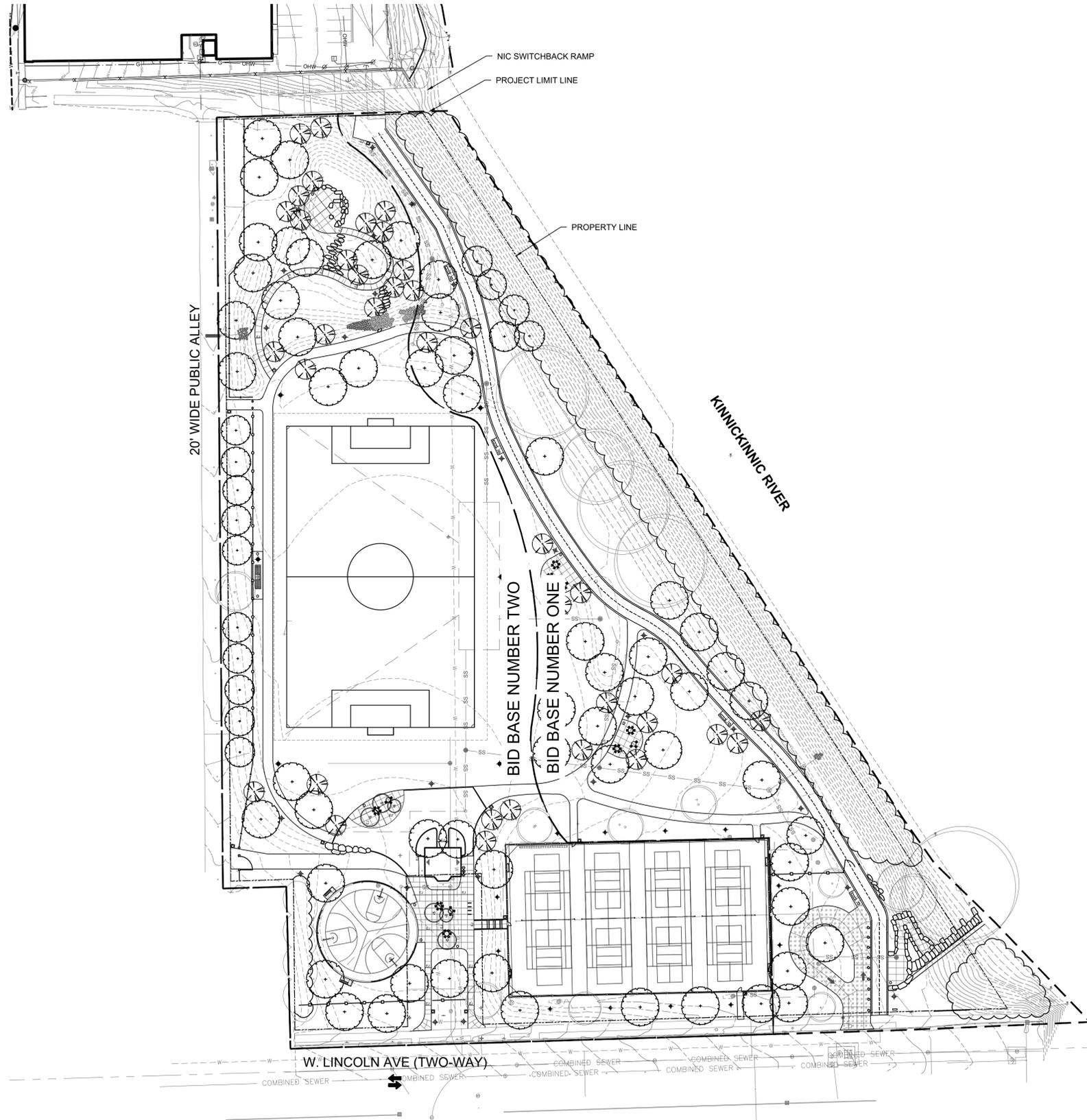
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Sheet Title:

OVERALL SITE PLAN (FOR REFERENCE ONLY)

Drawing Number:

G003

1 OVERALL SITE PLAN (FOR REFERENCE ONLY)
1" = 50'-0"





A department of MPS

Lincoln Playfield Renovation

SITE #756
PROJECT #7096
300 W Lincoln Avenue
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Scale : AS NOTED

Approved : BM

Sheet Title:

GENERAL NOTES

Drawing Number:

G004

GENERAL NOTES:

1. SURVEY AND BASE PLAN INFORMATION PROVIDED BY CHAPUT LANDSURVEY, 05/19/2021.
2. PROJECT ELEVATIONS CORRELATE TO THE MILWAUKEE CITY DATUM, INDICATED AS CDD UNO.
3. COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND ORDINANCES FOR ALL SCOPE AND OPERATIONS.
4. BEFORE SUBMITTING A PROPOSAL FOR THIS WORK, THE CONTRACTOR SHALL VISIT THE PREMISES AND ACQUAINT HIMSELF FULLY WITH THE EXISTING CONDITIONS, TEMPORARY CONSTRUCTION REQUIRED, QUANTITIES AND ELEMENTS OF WORK REQUIRED, ETC. ANY BID SHALL INCLUDE ALL SUMS REQUIRED TO DO THE WORK WITHIN THE EXISTING CONDITIONS. DISRUPTION OF NORMAL ACTIVITIES IN THE WORK AREA MUST BE KEPT TO A MINIMUM.
5. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION, DIMENSIONS, AND ELEVATIONS FOR CONFORMANCE WITH THE DRAWINGS. ALL DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE AOR AND LA.
6. COORDINATE WITH THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING ELEMENTS NOT SHOWN IN THESE DRAWINGS, ETC.
7. THE LANDSCAPE ARCHITECTURAL DRAWINGS ARE TO BE USED IN CONJUNCTION WITH THE ARCHITECTURAL AND OTHER DISCIPLINES' DRAWINGS. ALL DIMENSIONS, ELEVATIONS, DETAILS, BUILDING COMPONENTS, ETC. ARE TO BE CHECKED AGAINST ALL DOCUMENTS AS WELL AS THE PROJECT SPECIFICATIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE AOR AND LA IMMEDIATELY, AND RESOLVED PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR TO COORDINATE THE WORK OF ALL TRADES AND MAKE NECESSARY INVESTIGATIONS AND FIELD MEASUREMENTS.
8. SHOP DRAWINGS PREPARED BY THE CONTRACTOR AND/OR HIS SUPPLIERS SHALL BE REVIEWED BY THE AOR AND LA ONLY FOR CONFORMANCE WITH THE DESIGN CONCEPT. NO WORK SHALL BE STARTED WITHOUT SUCH REVIEW.
9. CONTRACTOR SHOP DRAWINGS PREPARED BY SUPPLIERS AND/OR SUBCONTRACTORS SHALL BE REVIEWED BY THE CONTRACTOR PRIOR TO SUBMISSION TO THE AOR AND LA.
10. CONTRACTOR SHOP DRAWINGS SUBMITTED PRIOR TO PERMIT RECEIPT ARE SUBJECT TO CHANGE. ADDITIONAL SERVICES FOR SUBSEQUENT REVIEW BY THE AOR AND LA, WILL BE PAID BY THE CONTRACTOR, AT NO COST TO THE OWNER.
11. CONTRACTOR SHOP DRAWINGS AND CALCULATIONS SHALL BE PROVIDED FOR ARCHITECTURAL REVIEW PRIOR TO AOR, SOR AND LA FOR REVIEW. ALL STRUCTURAL PREFABRICATED ITEMS TO BE SEALED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF WISCONSIN.
12. DETAILS AND SECTIONS DESIGNATED AS "TYPICAL" APPLY TO AREAS WHERE CONDITIONS ARE SIMILAR TO THOSE INDICATED BY DETAIL OR DETAIL TITLE UNO.
13. WATERSTOPS, VAPOR BARRIERS, ETC. SHOWN ON LANDSCAPE ARCHITECTURAL DRAWINGS ARE SCHEMATIC. SEE ARCHITECTURAL DRAWINGS FOR MORE INFORMATION ON WATER, MOISTURE AND CONDENSATION RESISTANCE DETAILING.
14. MISCELLANEOUS ITEMS TO BE DESIGNED FOR UNO HEREIN OR WHEN REFERRING TO STRUCTURAL:
 - a. STAIRS 100 PSF LIVE LOAD, 300 LBS CONCENTRATED LOAD AT CENTER OF STAIR TREAD.
15. HANDRAIL VERTICAL AND HORIZONTAL THRUST OF 50 LBS./FT. APPLIED AT THE TOP OF THE RAILING OR A CONCENTRATED LOAD OF 200 LBS./FT. IN ANY DIRECTION, WHICHEVER PRODUCES THE GREATEST STRESS.
16. PRIOR TO THE COMMENCEMENT OF ANY INDIVIDUAL SCOPE OF WORK, CONVEENE A PRE-CONSTRUCTION CONFERENCE WITH AOR, LA, CONTRACTOR AND ANY ASSOCIATED AND RELEVANT DESIGN TEAM MEMBERS, SUBCONTRACTORS AND AHJ TO REVIEW WORK SCOPE, SCHEDULE AND TO REVIEW Q&A BY DESIGN TEAM, AHJ AND CONTRACTORS. CONTRACTOR TO PROVIDE MINIMUM 5 BUSINESS DAY NOTICE FOR ALL MEETINGS.
17. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS TO COMPLETE WORK SCOPE AT NO COST TO OWNER UNO.
18. FOLLOW ALL LOCAL AND STATE STANDARDS, INCLUDING APPLICABLE DOT STANDARDS FOR WORK WITHIN THE RIGHT-OF-WAY. SUBMIT PLAN OF CONSTRUCTION STAGING FOR APPROVAL PRIOR TO START OF WORK.
19. IF WORK REQUIRES SIDEWALK OR STREET CLOSURE, CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY WORK AND MATERIALS TO DO SO.
20. INSTALL AND MAINTAIN MIN 6"HT CHAINLINK CONSTRUCTION FENCING AS INDICATED WITHIN SPECIFICATIONS TO PROTECT THE WORK FOR PUBLIC SAFETY AND TO PROVIDE SECURITY. ADJUST FENCING TO ACCOMMODATE PROGRESS OF CONSTRUCTION. MAINTAIN FENCING IN PLACE UNTIL SUBSTANTIAL PROJECT COMPLETION OR AS DIRECTED BY THE OWNER. INSTALL GATES FOR CONSTRUCTION ACCESS AS REQUIRED.
21. MODIFY AND RESTORE SITE CONDITIONS TO GAIN ACCESS INTO THE SITE. OWNER NOT RESPONSIBLE FOR RESTORATION COSTS DUE TO CONTRACTOR NEGLIGENCE DURING CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ACCURATELY DOCUMENT THE EXISTING CONDITIONS OF THE SITE.
22. VERIFY THE EXACT LOCATIONS OF ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO THE START OF LANDSCAPE OPERATIONS. CONTRACTOR TO MAKE EVERY EFFORT POSSIBLE TO LOCATE ALL PRIVATE UTILITIES. CONTRACTOR TO ALSO BE RESPONSIBLE FOR MAINTAINING ALL UTILITY LOCATIONS AS MARKED BY THE UTILITY COMPANIES AND OWNER'S REPRESENTATIVE THROUGHOUT THE DURATION OF LANDSCAPE CONSTRUCTION.
23. BEFORE ANY EXCAVATION ON THE SITE, CALL TO LOCATE ANY EXISTING UTILITIES ON THE SITE. BECOME FAMILIAR WITH THE LOCATIONS OF ALL BURIED UTILITIES IN THE AREAS OF WORK BEFORE START OF OPERATIONS. REPAIR OR REPLACE ANY BURIED CONDUITS, CABLES OR PIPING DAMAGED DURING THE INSTALLATION OF THE WORK, AT NO COST TO OWNER.
24. REMOVE FROM THE SITE IN A LEGAL MANNER ANY AND ALL DEBRIS GENERATED DURING CONSTRUCTION OPERATIONS.
25. DO NOT INTERFERE WITH THE USE OF ADJACENT PROPERTIES INCLUDING BUT NOT LIMITED TO BUILDINGS, PARKING LOTS, STREETS OR ALLEYS.
26. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, FENCING, FURNISHINGS, AND PLANTINGS, TREES, AND LAWNS FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUTS, AND OTHER HAZARDS CREATED BY SITE IMPROVEMENTS. IF ANY DAMAGE OCCURS, REPAIR TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO OWNER.
27. PROTECT AND/OR RESTORE EXISTING LAWN TO EXCELLENT CONDITION WITH TOPSOIL AND SOD. CONTRACTOR IS RESPONSIBLE FOR REPLACING ALL LANDSCAPE MATERIAL REMOVED OR DAMAGED DUE TO CONSTRUCTION ACTIVITIES AT NO ADDITIONAL COST TO OWNER.
28. VERIFY SITE CONDITIONS BEFORE PROCEEDING WITH WORK AND REPORT ANY CONFLICT WITH AOR AND LA.
29. QUANTITIES ARE SHOWN FOR REFERENCE ONLY. ALL QUANTITIES TO BE CONFIRMED BY CONTRACTOR. FOR ALL FINISH MATERIALS AND SITE FURNISHINGS CONTRACTOR TO PROVIDE 5% OR 1 ITEM MIN FOR ALL LOOSE ITEMS TO OWNER UNO.
30. IDENTIFY AND REPORT ANY SUBSOIL, SOIL AND/OR DRAINAGE ISSUES IMMEDIATELY TO THE ATTENTION OF THE AOR AND LA.
31. VERIFY ALL DIMENSIONS IN FIELD AND BRING ANY DISCREPANCIES IMMEDIATELY TO THE ATTENTION OF THE AOR AND LA.
32. COORDINATE WORK WITH ALL OTHER TRADES.
33. RESTORE ANY AREAS IMPACTED BY CONSTRUCTION OPERATIONS WHETHER WITHIN OR OUTSIDE OF PROJECT LIMITS.
34. PERFORM ALL MAINTENANCE ACTIVITIES WITHIN THE PROJECT LIMITS THROUGH FINAL ACCEPTANCE.

EXCAVATION AND BACKFILL NOTES:

1. BEFORE ANY CONSTRUCTION OPERATIONS ARE STARTED, REMOVE ALL BITUMINOUS PAVEMENT, LOOSE GRAVEL, FOUNDATIONS, BLACK LOAM AND FILL ENCOUNTERED WITHIN THE AREA TO BE OCCUPIED BY NEW CONSTRUCTION. NONE OF THIS MATERIAL OR OTHER EXCAVATED ON-SITE SOILS, WHICH ARE FOUND TO BE UNSUITABLE, SHALL BE STORED FOR FILL WITHIN OR ADJACENT TO PROPOSED STRUCTURES. STORED GRAVEL AND SOIL ON SITE FOR POTENTIAL RE-USE UNO.
2. GENERAL MACHINE EXCAVATION FOR FOOTINGS SHALL STOP NOT LESS THAN ONE-HALF THE THICKNESS OF THE FOOTING ABOVE SCHEDULED ELEVATIONS UNLESS OTHERWISE SPECIFIED. EXCAVATION TO UNDISTURBED SOIL AT REQUIRED FOOTING ELEVATION SHALL BE DONE BY HAND NOT MORE THAN 48 HOURS BEFORE THE FOOTING IS POURED UNO.
3. ALL NECESSARY CHANGES IN ELEVATION OF CONTINUOUS FOOTINGS SHALL BE MADE IN STEPS OF NOT MORE THAN 2'-0" HIGH AND A MINIMUM OF 4'-0" APART, UNO.
4. AFTER EXCAVATING FOR ALL EARTH-SUPPORTED FOOTINGS AND FOUNDATIONS, THE EXPOSED NATURAL SOIL SHALL BE THOROUGHLY COMPACTED TO 95% OF ASTM D1557 (MODIFIED PROCTOR) MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT PRIOR TO PLACING FILL.
5. FOUNDATION BACKFILL AND FILL REQUIRED TO ESTABLISH FINAL SUBGRADES SHALL CONSIST OF CA-7 (OR APPROVED EQUIVALENT) CLEAN GRANULAR MATERIAL THOROUGHLY COMPACTED IN LAYERS OF 6" TO 8" THICK. ALL EARTH-SUPPORTED SLABS SHALL HAVE AT LEAST 6" OF CA-6 (OR APPROVED EQUIVALENT) CRUSHED STONE OR WASHED GRAVEL COMPACTED TO 95% OF ASTM D-1557 (MODIFIED PROCTOR) MAXIMUM DENSITY, DIRECTLY BELOW THE SLAB AND AS RECOMMENDED BY SOIL REPORT.
6. BACKFILL PLACED DIRECTLY ADJACENT TO STRUCTURES AND/OR RETAINING WALLS SHALL BE COMPACTED CA-7 (OR APPROVED EQUIVALENT) CLEAN GRANULAR MATERIAL, COMPACTED TO 95% OF ASTM D-1557 (MODIFIED PROCTOR) MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT. AT TOP OF BACKFILL, PROVIDE A 2'-0" CAP OF COHESIVE FILL.
7. EXCAVATE AS REQUIRED FOR PLACING FOOTINGS ON SOIL CAPABLE OF SUPPORTING A MINIMUM NET ALLOWABLE SOIL BEARING PRESSURE OF 1,500 PSF, AS INDICATED IN THE GEOTECHNICAL REPORT AND AS FIELD VERIFIED AND APPROVED BY THE OWNER'S SOIL TESTING LABORATORY.
8. THE FOOTING AND FOUNDATION ELEVATIONS AND SOIL BEARING CAPACITIES AS SHOWN ON THE DRAWINGS ARE ESTIMATED FROM THE SOIL BORING DATA. FINAL EXACT ELEVATIONS AND SOIL BEARING CAPACITIES SHALL BE FIELD DETERMINED AND VERIFIED BY THE OWNER'S SOIL TESTING LABORATORY PRIOR TO PLACEMENT OF CONCRETE. THE CONTRACTOR SHALL NOTIFY THE AOR, SOR AND LA IMMEDIATELY IN THE EVENT THAT THE SOILS CONDITIONS ENCOUNTERED VARY FROM THOSE USED FOR DESIGN. ALL SOILS VERIFICATION AND TESTING TO BE COMPLETED UNDER THE DIRECTION OF A SOILS ENGINEER WHO IS A LICENSED PROFESSIONAL ENGINEER IN THE PROJECT'S JURISDICTION.
9. BACKFILL AGAINST SIDES OF FOUNDATION WALLS SHALL BE PLACED SIMULTANEOUSLY ON BOTH SIDES TO THE TOP OF THE WALL.
10. NO MUD SLABS, FOOTINGS, OR SLABS SHALL BE PLACED ONTO OR AGAINST SUBGRADE CONTAINING FREE WATER, FROST, OR ICE.
11. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY MEASURES TO PREVENT ANY FROST OR ICE FROM PENETRATING ANY FOOTING OR SLAB SUBGRADE BEFORE AND AFTER PLACEMENT OF CONCRETE UNTIL SUCH SUBGRADES ARE FULLY PROTECTED BY THE PERMANENT STRUCTURE.
12. THE CONCRETE FOR EACH ISOLATED FOOTING SHALL BE PLACED IN ONE (1) CONTINUOUS PLACEMENT.
13. ALL PERIMETER WALL AND COLUMN FOOTINGS SHALL BEAR A MINIMUM OF 4'-0" BELOW FINISHED GRADE.
14. ALL UNSUITABLE SOIL SHALL BE EXCAVATED AND REMOVED TO A MIN. OF 2'-0" BELOW FINISHED GRADE. ALL EXCAVATION FILL MATERIAL REQUIREMENTS TO REACH THE DESIGN SLAB SUBGRADE ELEVATION.
15. ALL FOUNDATIONS SHALL BE CARRIED DOWN TO THE MINIMUM DEPTHS SHOWN.
16. THE CONTRACTOR SHALL PREPARE ALL CONSTRUCTION PROCEDURES AND SEQUENCES AND SUBMIT FOR THE AOR, EOR, LA, AND GEOTECHNICAL REVIEW PRIOR TO THE START OF CONSTRUCTION.
17. FOR ADDITIONAL SITE CONDITIONS, FOUNDATION CONSTRUCTION CONSIDERATIONS AND RECOMMENDATION, REFER TO THE GEOTECHNICAL ENGINEERING REPORT DATED 01/14/21, PREPARED BY GESTRA ENGINEERING INC..

SHORING AND BRACING NOTES:

1. INDIVIDUAL STRUCTURAL COMPONENTS ARE DESIGNED TO SUPPORT LOADS IN THEIR FINALLY ERECTED POSITION AS PART OF THE TOTAL COMPLETED STRUCTURE. PROVIDE TEMPORARY SHORING, GUYING AND BRACING AS REQUIRED UNTIL ALL CONSTRUCTION AFFECTING LOAD CARRYING MEMBERS AND LATERAL STABILITY IS COMPLETED.
2. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR STABILITY OF STRUCTURE, ITS PARTS AND JOB SITE SAFETY BY USE OF GUYING, BRACING, SHORING, BARRICADES, SAFETY RAILINGS AND DEVICES DURING THE ENTIRE PERIOD OF CONSTRUCTION.
3. CONTRACTOR IS FULLY RESPONSIBLE FOR PROVIDING ALL TEMPORARY SHORING AND BRACING OF EXISTING STRUCTURAL ELEMENTS DURING CONSTRUCTION. ALL SHORING SHALL BE ADEQUATE TO SUPPORT ALL STRUCTURAL LOADINGS DURING MODIFICATION OF THE EXISTING STRUCTURES AND ERECTION OF THE NEW STRUCTURAL SUPPORT SYSTEM. TEMPORARY SHORING MUST REMAIN IN PLACE UNTIL ALL NEW STRUCTURAL MEMBERS SUPPORTING SHORED ELEMENTS ARE IN PLACE AND ALL NEW CONNECTIONS COMPLETED.

UNDERPINNING NOTES:

1. BEFORE EXCAVATION, REDUCE LOAD ON EXISTING WALL AND FOUNDATIONS AS MUCH AS POSSIBLE.
2. LIMIT EXCAVATION TO THE MINIMUM SIZE NECESSARY FOR UNDERPINNING IN STAGES. PROVIDE FOR DEWATERING AS NECESSARY FOR THE WORK TO AVOID DISTURBANCE OF BEARING MATERIAL.
3. PROVIDE SUPPORT OF THE STRUCTURE OVER SECTIONS OF THE EXCAVATION BY MEANS OF NEEDLE BEAMS, POSTS AND GRILLAGE.
4. SOILS ENGINEER TO INSPECT BEARING SURFACE PRIOR TO INSTALLATION OF UNDERPINNING. COMMENCE UNDERPINNING CONSTRUCTION AS SOON AS POSSIBLE AFTER EXCAVATION SUBGRADE HAS BEEN EXPOSED AND INSPECTED.
5. BEFORE FINAL UNDERPINNING IN CONCRETE, THE LOWER SECTIONS OF THE UNDERPINNING SHOULD BE ALLOWED TO COMPLETE THEIR SET. FINAL CONTACT WITH STRUCTURE SHOULD BE MADE BY DRY-PACKING NON-SHRINK GROUT.

CONCRETE AND FORMWORK NOTES:

1. ALL CONCRETE WORK SHALL CONFORM TO THE LATEST EDITION OF THE FOLLOWING (INCLUDING BUT NOT LIMITED TO) AMERICAN CONCRETE INSTITUTE PUBLICATIONS:
 - a. ACI 301 - SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS
 - b. ACI 304 - GUIDE FOR MEASURING, MIXING, TRANSPORTING AND PLACING CONCRETE
 - c. ACI 311 - GUIDE FOR CONCRETE INSPECTION
 - d. ACI 315 - DETAILS AND DETAILING OF CONCRETE REINFORCEMENT
 - e. ACI 318 - BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE AND COMMENTARY
 - f. ACI 347 - GUIDE TO FORMWORK FOR CONCRETE
2. CONCRETE SHALL BE AS FOLLOWS:
 - a. CONCRETE FC PSI @ 28 DAYS
 - b. FOUNDATIONS AND FOOTINGS NORMAL WEIGHT (145 PCF) F'C = 4000 PSI
 - c. GRADE BEAMS NORMAL WEIGHT (145 PCF) F'C = 4000 PSI
 - d. EXTERIOR SLAB ON GRADE NORMAL WEIGHT (145 PCF) F'C = 4000 PSI
 - e. PADS FOR MEP EQUIP. NORMAL WEIGHT (145 PCF) F'C = 4000 PSI

- f. ELEVATED SLABS, BEAMS NORMAL WEIGHT (145 PCF) F'C = 8000 PSI
3. ALL EXTERIOR EXPOSED CONCRETE SHALL BE AIR- ENTRAINED TO GIVE THE CONCRETE AN AIR CONTENT OF 6 +/- 1 1/2% BY VOLUME. WATER REDUCING PLASTICIZING ADMIXTURES MAY BE USED, PENDING APPROVAL OF THE AOR, SOR AND LA.
 4. NO CALCIUM CHLORIDE OR CHLORIDE ION PRODUCING ADD MIXTURE SHALL BE USED IN ANY CONCRETE.
 5. FORMWORK FOR ALL CONCRETE WHICH WILL BE EXPOSED IN COMPLETED STRUCTURES SHALL BE CONSTRUCTED FROM A SUITABLE PLASTIC SURFACED PLYWOOD WHICH WILL PRODUCE AN ACCEPTABLY SMOOTH SURFACE. ETC. SEE THE SPECIFICATIONS.
 6. THE CONTRACTOR SHALL SUBMIT DETAILED DRAWINGS SHOWING THE LOCATIONS OF ALL FORM TIES, CONSTRUCTION JOINTS, CURBS AND SLAB DEPRESSIONS, IF ANY, AND DESCRIBE THE CONCRETE PLACEMENT SEQUENCING. ALL CURBS SHALL BE REINFORCED WITH AT LEAST (1) - #4 CONTINUOUS AND #3 AT 16" C/C DOWELS TO THE STRUCTURE BELOW, UNO.
 7. ALL CONSTRUCTION JOINTS SHALL BE WIRE BRUSHED AND CLEANED IMMEDIATELY PRIOR TO PLACING NEW CONCRETE. ALLOW 24 HOURS MINIMUM TO ELAPSE BETWEEN POURS.
 8. SEE ARCHITECTURAL DRAWINGS FOR TYPE AND LOCATION OF ALL INTERIOR FINISH WORK, FLOOR DEPRESSIONS AND CURBS AND FOR ALL WATERPROOFING/DAMP-PROOFING DETAILS. SEE MEP DRAWINGS FOR ADDITIONAL WALL AND/OR SLAB OPENINGS, AND EQUIPMENT PADS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
 9. SLOPE CONCRETE SLABS, WHERE REQUIRED, DRAINS SHOWN ON THE ARCHITECTURAL CIVIL AND/OR MEP.
 10. CONCRETE PROTECTION FOR REINFORCING BARS SHALL BE AS FOLLOWS:
 - a. FOOTINGS 3" CLEAR, SIDES AND BOTTOM
 - b. WALLS 2" CLEAR, OUTSIDE FACE, 1 1/2" CLEAR, INSIDE FACE
 - c. SLABS 1" CLEAR, TOP AND BOTTOM
 - d. PIERS 2" CLEAR TO TIES

REINFORCING STEEL NOTES:

1. ALL REINFORCING STEEL SHALL BE HIGH STRENGTH NEW BILLET STEEL CONFORMING TO THE LATEST EDITION OF ASTM A 615, GRADE 60.
2. ALL REINFORCING STEEL SHALL BE EPOXY COATED AND SHALL CONFORM TO THE LATEST EDITION OF ASTM A775, UNO.
3. ALL WELDED WIRE FABRIC SHALL CONFORM TO THE STANDARDS OF ASTM A 186. WELDED WIRE FABRIC AT EXTERIOR EXPOSED SLABS SHALL BE EPOXY COATED AND FIELD TIED TO ASTM A775.
4. ALL CONCRETE REINFORCEMENT SHALL BE DETAILED, FABRICATED, LABELED, SUPPORTED AND SPACED IN FORMS AND SECURED IN PLACE IN ACCORDANCE WITH THE PROCEDURES AND REQUIREMENTS OUTLINED IN THE LATEST EDITIONS OF THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", ACI 318, AND THE "MANUAL OF STANDARD PRACTICE FOR DETAILING CONCRETE STRUCTURES", ACI 315. USE DIELECTRIC MATERIAL FOR BAR SUPPORTS AND NYLON COATED TIE WIRE AT EPOXY COATED BARS.
5. ALL REINFORCING SPLICES SHALL BE LAP SPLICED WHERE NECESSARY OR DESIRABLE BY WIRING TOGETHER IN CONTACT. SPLICE LENGTHS SHALL CONFORM TO LATEST ACI AND CRSI CRITERIA FOR SIZE AND TYPE OF REINFORCING STEEL AND CONCRETE COMPRESSIVE STRENGTHS SPECIFIED.
6. ALL WELDED WIRE FABRIC SHALL BE LAPPED TWO (2) FULL MESH PANELS AND TIED SECURELY. PROVIDE ADDITIONAL REINFORCING WHERE SHOWN ON THE DRAWINGS. PLACE MESH 2" FROM THE TOP OF THE SLAB. NO ELECTRICAL CONDUIT SHALL BE PLACED ABOVE THE WELDED WIRE FABRIC IN SLABS-ON-GRADE.
7. NO REINFORCING STEEL SHALL BE WELDED IN ANY WAY UNLESS PRIOR WRITTEN APPROVAL IS GIVEN BY THE AOR, SOR AND LA.
8. PROVIDE ADEQUATE AND FIELD TIED REINFORCING BARS, ETC. TO MAINTAIN SPECIFIED CLEARANCES FOR THE ENTIRE LENGTH OF ALL REINFORCING BARS. PROVIDE CONTINUOUS #4 SPACER BARS IN WALLS AND SLABS TO SUPPORT DOWELS, AS REQUIRED.
9. CHECKED SHOP DRAWINGS SHOWING REINFORCEMENT DETAILS, INCLUDING STEEL SIZES, SPACING AND PLACEMENT SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION.

STRUCTURAL STEEL NOTES:

1. ALL DETAILING, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE LATEST EDITIONS OF ALL AISC AND AWS SPECIFICATIONS AND CODES.
2. ALL STRUCTURAL STEEL WIDE FLANGE SHAPES SHALL MEET THE REQUIREMENTS OF ASTM A992, FY = 50 KSI, UNLESS NOTED OTHERWISE. ALL STRUCTURAL STEEL PIPES AND TUBES SHALL MEET THE REQUIREMENTS OF ASTM A500, GRADE B. ALL OTHER STRUCTURAL STEEL SHAPES SHALL MEET THE REQUIREMENTS OF ASTM A36 UNO ALL STEEL TO BE HOT DIP GALVANIZED.
3. ALL BOLTS, NUTS AND WASHERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A325 OR ASTM A440. ALL ANCHOR BOLTS SHALL MEET THE REQUIREMENTS OF ASTM F1554, FY=36 KSI, UNO. ALL FASTENERS TO BE HOT DIP GALVANIZED UNO.
4. ALL WELDING ELECTRODES SHALL BE E70XX, UNO. ALL WELDING SHALL BE DONE BY QUALIFIED WELDERS AND SHALL CONFORM TO AWS "CODE FOR ARC AND GAS WELDING IN BUILDING CONSTRUCTION", LATEST EDITION.
5. SHOP CONNECTIONS MAY BE WELDED UNO. MINIMUM WELDS NOT SHOWN ON THE DRAWINGS SHALL BE 1/4" FILLET WELDS ALL AROUND.
6. UNO ON THE DRAWINGS, ALL CONNECTIONS SHALL BE STANDARD DOUBLE ANGLE SHEAR CONNECTIONS. ALL BOLTS SHALL BE MINIMUM 3/4" DIAMETER. ASTM A325. THE MINIMUM NUMBER OF VERTICAL ROWS OF BOLTS SHALL BE AS SHOWN UNLESS NOTED OTHERWISE ON THE DRAWINGS. IN CASES WHERE REACTIONS ARE NOT INDICATED, PROVIDE AT LEAST 75% OF THE UNIFORM LOAD CARRYING CAPACITY OF THE BEAM AS DETERMINED IN THE TABLES FOR "UNIFORM LOAD CONSTANTS FOR BEAMS" IN THE AISC MANUAL OF STEEL CONSTRUCTION, 14TH EDITION, OR THE REACTION FORCE WHEN INDICATED ON THE DRAWING AS (F=X X KIPS).
 - a. W6,W8, W10: (2) ROWS
 - b. W12 & W14: (3) ROWS
7. SEE SPECIFICATIONS FOR CONNECTIONS DESIGN RESPONSIBILITIES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF ALL ERECTION PROCEDURES AND SEQUENCES WITH RELATION TO TEMPERATURE DIFFERENTIAL AND TEMPORARY STRUCTURAL STABILITY.
9. STEEL SHALL BE CLEANED OF RUST, LOOSE MILL SCALE AND OTHER FOREIGN MATERIALS WHERE REQUIRED FOR PROPER FABRICATION, FITTING UP OR WELDING.
10. THERE SHALL BE NO FIELD CUTTING OF STRUCTURAL STEEL MEMBERS FOR THE WORK OF OTHER TRADES WITHOUT THE PRIOR WRITTEN APPROVAL OF THE AOR, SOR AND LA.
11. REFER TO THE ARCHITECTURAL AND/OR MEP DRAWINGS FOR ADDITIONAL STRUCTURAL AND MISCELLANEOUS STEEL REQUIREMENTS. ALL EXTERIOR EDGE ANGLES, LINTELS AND SHELL ANGLS SHALL BE STAINLESS STEEL OR GALVANIZED AFTER FABRICATION. SEE SPECIFICATION FOR REQUIREMENTS.

PLANTING PROTECTION AND REMOVAL NOTES:

1. PRIOR TO THE COMMENCEMENT OF PLANTING PROTECTION AND REMOVAL SCOPE OF WORK, CONVEENE A PRE-CONSTRUCTION CONFERENCE WITH AOR, LA, CONTRACTOR AND ANY ASSOCIATED AND RELEVANT DESIGN TEAM MEMBERS. SUBCONTRACTORS AND AHJ TO REVIEW WORK SCOPE, SCHEDULE AND TO REVIEW Q&A BY DESIGN TEAM, AHJ AND CONTRACTORS. CONTRACTOR TO PROVIDE MINIMUM 5 BUSINESS DAY NOTICE FOR ALL MEETINGS.
2. CONFIRM ALL PLANTING REMOVAL AND PROTECTION QUANTITIES AND DIMENSIONS.
3. INSTALL PLANT PROTECTION FENCING PRIOR TO SITE WORK AND MAINTAIN THROUGHOUT CONSTRUCTION PERIOD. NO STORAGE OF

1. PRIOR TO THE COMMENCEMENT OF HARDSCAPE PROTECTION AND REMOVAL SCOPE OF WORK, CONVEENE A PRE-CONSTRUCTION CONFERENCE WITH AOR, LA, CONTRACTOR AND ANY ASSOCIATED AND RELEVANT DESIGN TEAM MEMBERS, SUBCONTRACTORS AND AHJ TO REVIEW WORK SCOPE, SCHEDULE AND TO REVIEW Q&A BY DESIGN TEAM, AHJ AND CONTRACTORS. CONTRACTOR TO PROVIDE MINIMUM 5 BUSINESS DAY NOTICE FOR ALL MEETINGS.
2. CONFIRM ALL HARDSCAPE REMOVAL AND PROTECTION QUANTITIES AND DIMENSIONS.
3. CAREFULLY REMOVE ALL HARDSCAPE ELEMENTS WITHIN THE DRIP LINES OF EXISTING TREES SCHEDULED TO REMAIN.
4. VERIFY REMOVALS FOR COMPLETION OF THE WORK PRIOR TO SUBMITTING BID FOR THE WORK ON THIS PROJECT. REMOVE EVERYTHING NECESSARY TO COMPLETE SITE WORK.
5. ALL STRUCTURES AND UTILITIES ARE TO REMAIN IN EXISTING LOCATIONS UNO.
6. MAINTAIN EXISTING GRADE AT BASE OF ALL EXISTING TREES TO REMAIN. PROTECT EXISTING TREES TO REMAIN AGAINST ANY DISTURBANCE INCLUDING UNNECESSARY CUTTING, BREAKING OR EXCAVATION.
7. "REMOVE" MEANS REMOVAL OF ITEM ABOVE GRADE AND REMOVAL OF ALL ELEMENTS BELOW GRADE INCLUDING, BUT NOT LIMITED TO, FOOTINGS, WIRING, GRANULAR BASE, AND PIPING THAT ARE IMMEDIATELY ADJACENT TO THE ITEMS BEING REMOVED AND NOT NEEDED FOR PROPOSED USE.
8. REMOVE EVERYTHING NECESSARY TO COMPLETE NEW SITE WORK. LABELS ARE FOR CONVENIENCE ONLY AND THE CONTRACTOR MUST VERIFY REMOVALS PRIOR TO SUBMITTING THE BID FOR THE WORK.
9. EXCAVATE ALL AREAS TO RECEIVE PAVEMENT/FOUNDATIONS. CUT OR FILL AND COMPACT THE EXCAVATED AREA TO THE PROPOSED GRADE AND CROSS SECTION PRIOR TO THE INSTALLATION OF UNDERGROUND IMPROVEMENTS. FINISH GRADE (+/-1" UNO) AND COMPACT THE SUBGRADE PRIOR TO THE PLACEMENT OF THE SUBBASE OR BASE MATERIAL. STRIP UNSUITABLE MATERIALS PRIOR TO PLACEMENT OF APPROVED CLEAN FILL.
10. SAWCUT ALL EXISTING PAVEMENT TO BE REMOVED AT EDGE OF EXISTING PAVEMENT TO REMAIN. SAWCUT CONCRETE AT NEAREST CONTROL JOINT. PROVIDE A STRAIGHT SAWCUT AT EXTENT OF ASPHALT REMOVAL LIMITS.
11. ALL MATERIALS REMOVED FROM SITE SHALL BE DISPOSED OF PER FEDERAL, STATE AND LOCAL STANDARDS.

HARDSCAPE PROTECTION AND REMOVAL NOTES:

1. PRIOR TO THE COMMENCEMENT OF HARDSCAPE PROTECTION AND REMOVAL SCOPE OF WORK, CONVEENE A PRE-CONSTRUCTION CONFERENCE WITH AOR, LA, CONTRACTOR AND ANY ASSOCIATED AND RELEVANT DESIGN TEAM MEMBERS, SUBCONTRACTORS AND AHJ TO REVIEW WORK SCOPE, SCHEDULE AND TO REVIEW Q&A BY DESIGN TEAM, AHJ AND CONTRACTORS. CONTRACTOR TO PROVIDE MINIMUM 5 BUSINESS DAY NOTICE FOR ALL MEETINGS.
2. CONFIRM ALL HARDSCAPE REMOVAL AND PROTECTION QUANTITIES AND DIMENSIONS.
3. CAREFULLY REMOVE ALL HARDSCAPE ELEMENTS WITHIN THE DRIP LINES OF EXISTING TREES SCHEDULED TO REMAIN.
4. VERIFY REMOVALS FOR COMPLETION OF THE WORK PRIOR TO SUBMITTING BID FOR THE WORK ON THIS PROJECT. REMOVE EVERYTHING NECESSARY TO COMPLETE SITE WORK.
5. ALL STRUCTURES AND UTILITIES ARE TO REMAIN IN EXISTING LOCATIONS UNO.
6. MAINTAIN EXISTING GRADE AT BASE OF ALL EXISTING TREES TO REMAIN. PROTECT EXISTING TREES TO REMAIN AGAINST ANY DISTURBANCE INCLUDING UNNECESSARY CUTTING, BREAKING OR EXCAVATION.
7. "REMOVE" MEANS REMOVAL OF ITEM ABOVE GRADE AND REMOVAL OF ALL ELEMENTS BELOW GRADE INCLUDING, BUT NOT LIMITED TO, FOOTINGS, WIRING, GRANULAR BASE, AND PIPING THAT ARE IMMEDIATELY ADJACENT TO THE ITEMS BEING REMOVED AND NOT NEEDED FOR PROPOSED USE.
8. REMOVE EVERYTHING NECESSARY TO COMPLETE NEW SITE WORK. LABELS ARE FOR CONVENIENCE ONLY AND THE CONTRACTOR MUST VERIFY REMOVALS PRIOR TO SUBMITTING THE BID FOR THE WORK.
9. EXCAVATE ALL AREAS TO RECEIVE PAVEMENT/FOUNDATIONS. CUT OR FILL AND COMPACT THE EXCAVATED AREA TO THE PROPOSED GRADE AND CROSS SECTION PRIOR TO THE INSTALLATION OF UNDERGROUND IMPROVEMENTS. FINISH GRADE (+/-1" UNO) AND COMPACT THE SUBGRADE PRIOR TO THE PLACEMENT OF THE SUBBASE OR BASE MATERIAL. STRIP UNSUITABLE MATERIALS PRIOR TO PLACEMENT OF APPROVED CLEAN FILL.
10. SAWCUT ALL EXISTING PAVEMENT TO BE REMOVED AT EDGE OF EXISTING PAVEMENT TO REMAIN. SAWCUT CONCRETE AT NEAREST CONTROL JOINT. PROVIDE A STRAIGHT SAWCUT AT EXTENT OF ASPHALT REMOVAL LIMITS.
11. ALL MATERIALS REMOVED FROM SITE SHALL BE DISPOSED OF PER FEDERAL, STATE AND LOCAL STANDARDS.

MOCKUP NOTES:

1. PRIOR TO THE COMMENCEMENT OF MOCKUPS, CONVEENE A PRE-CONSTRUCTION CONFERENCE WITH AOR, LA, CONTRACTOR AND ANY ASSOCIATED AND RELEVANT DESIGN TEAM MEMBERS, SUBCONTRACTORS AND AHJ TO REVIEW WORK SCOPE, SCHEDULE AND TO REVIEW Q&A BY DESIGN TEAM, AHJ AND CONTRACTORS. CONTRACTOR TO PROVIDE MINIMUM 5 BUSINESS DAY NOTICE FOR ALL MEETINGS.

GRADING AND EROSION CONTROL NOTES:

1. PRIOR TO THE COMMENCEMENT OF PLANTING GRADING AND EROSION CONTROL SCOPE OF WORK, CONVEENE A PRE-CONSTRUCTION CONFERENCE WITH AOR, LA, CONTRACTOR AND ANY ASSOCIATED AND RELEVANT DESIGN TEAM MEMBERS, SUBCONTRACTORS AND AHJ TO REVIEW WORK SCOPE, SCHEDULE AND TO REVIEW Q&A BY DESIGN TEAM, AHJ AND CONTRACTORS. CONTRACTOR TO PROVIDE MINIMUM 5 BUSINESS DAY NOTICE FOR ALL MEETINGS.
2. CONFIRM ALL GRADING AND EROSION CONTROL QUANTITIES AND DIMENSIONS.
3. PROVIDE ALL GRADES FOR NATURAL RUNOFF OF WATER WITHOUT LOW POINTS OR POCKETS.
4. SLOPE ALL AREAS AWAY FROM BUILDINGS AND STRUCTURES AT MIN 1.5% UNO.
5. FINISH GRADES SHALL BE SMOOTH, EVEN AND ON A UNIFORM PLANE WITH NO ABRUPT CHANGES OF SURFACE.
6. GRADES NOT OTHERWISE INDICATED SHALL BE UNIFORM AND LEVEL OR SLOPED BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN AS NECESSARY AND AS ESTABLISHED BY WALLS, CURBS, PAVING OR CATCH BASINS, ETC.
7. TOPS AND TOES OF ALL SLOPES SHAL BE ROUNDED TO PRODUCE A GRADUAL AND NATURAL APPEARING TRANSITION BETWEEN RELATIVELY LEVEL AREAS AND SLOPES UNO OR DIRECTED BY LA.
8. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS, STRUCTURES AND ALL IN-PROGRESS CONSTRUCTIONS THAT CAN BE ADVERSELY IMPACTED BY WATER DURING THE CONSTRUCTION PROCESS.
9. NO SOILS EXPORT IS PERMISSIBLE FROM THIS SITE WITHOUT THE EXPRESS APPROVAL FROM THE OWNER AND ARCHITECT.

LANDSCAPE DRAINAGE NOTES:

1. PRIOR TO THE COMMENCEMENT OF DRAINAGE SCOPE OF WORK, CONVEENE A PRE-CONSTRUCTION CONFERENCE WITH AOR, LA, CONTRACTOR AND ANY ASSOCIATED AND RELEVANT DESIGN TEAM MEMBERS, SUBCONTRACTORS AND AHJ TO REVIEW WORK SCOPE, SCHEDULE AND TO REVIEW Q&A BY DESIGN TEAM, AHJ AND CONTRACTORS. CONTRACTOR TO PROVIDE MINIMUM 5 BUSINESS DAY NOTICE FOR ALL MEETINGS.
2. CONFIRM ALL DRAINAGE QUANTITIES AND DIMENSIONS.
3. LANDSCAPE DRAINAGE SHOWN IS IN ADDITION TO CIVIL DRAINAGE. REFER TO CIVIL.
4. ALL DRAINAGE PIPING AND ACCESSORIES TO BE INSTALLED IN SEGMENTS WITH APPLICABLE CONNECTIONS. CONNECTION BETWEEN DRAINAGE PIPING IS NOT SHOWN BUT IS TO BE ASSUMED AND TO BE INCLUDED IN COSTS.
5. COORDINATE TAP LOCATIONS AND ELEVATIONS WITH CIVIL, REFER TO CIVIL.



A department of MPS

Lincoln Playfield Renovation

SITE #756
PROJECT #7096
300 W Lincoln Avenue
Milwaukee, WI 53207



landscape
architecture
urban design

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MEP Engineering

LEGEND

● INDICATES FOUND 1" IRON PIPE	○ HYDRANT	□ TELEPHONE PEDESTAL	⊕ HANDICAP SPACE
○ INDICATES FOUND CHISELED CROSS	○ WATER MANHOLE	□ CABLE PEDESTAL	⊕ CONIFEROUS TREE
+ INDICATES FOUND CHISELED CROSS	○ WATER SERVICE CURB STOP	□ CONTROL BOX	⊕ DECIDUOUS TREE
○ SANITARY MANHOLE	⌋ WELL HEAD	□ FIBER OPTIC PEDESTAL/SIGN	— PROPERTY LINE
⌋ SANITARY CLEANOUT OR VENT	○ STAND PIPE	⊕ TRAFFIC LIGHT	— SANITARY SEWER
⊕ SEPTIC TANK ACCESS COVER	○ WALL INDICATOR VALVE	⊕ COMMUNICATION MANHOLE	— STORM SEWER
⊕ M.I.S. MANHOLE	⌋ POST INDICATOR VALVE	⊕ SOIL BORING/MONITORING WELL	— WATERLINE
○ UNKNOWN MANHOLE	⌋ LIGHT POLE	⊕ WATER SURFACE	— MARKED GAS MAIN
○ STORM MANHOLE	* SPOT/YARD LIGHT	⊕ WETLANDS FLAG	— MARKED ELECTRIC
○ INLET (ROUND)	⌋ UTILITY POLE	⌋ MARSH	— OVERHEAD WIRES
⌋ INLET (SQUARE)	⌋ GUY WIRE	⌋ FLAGPOLE	— MARKED TELEPHONE
⌋ CURB INLET	⌋ GUY POLE	⌋ PARKING METER	— MARKED CABLE TV LINE
⌋ STORM SEWER END SECTION	○ ELECTRIC MANHOLE	⌋ SIGN	— MARKED FIBER OPTIC
⌋ GAS VALVE	□ ELECTRIC PEDESTAL	⌋ MAILBOX	— BURIED ELECTRIC SERVICE
⊕ GAS METER	□ ELECTRIC METER	⌋ RAILROAD CROSSING SIGNAL	— BOARD FENCE
⊕ WATER VALVE	○ TELEPHONE MANHOLE		— CHAIN LINK FENCE
			— WIRE FENCE

LEGAL DESCRIPTION

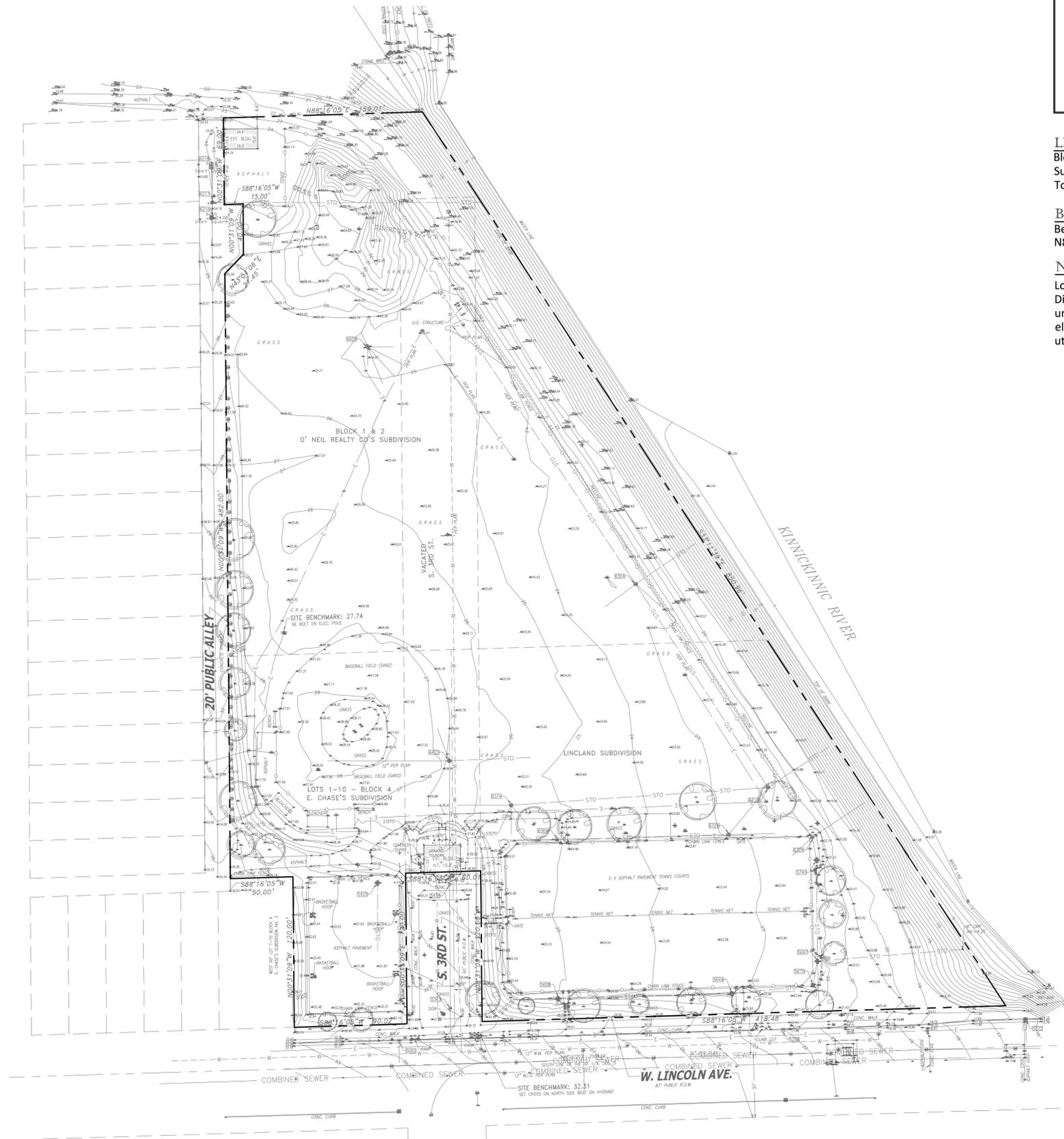
Blocks 1 and 2 in O' Neil Realty CO'S Subdivision and all of Lots 1 thru 6 and East 90 feet of Lots 7 thru 10 in Block 4 in E. Chase's Subdivision No. 3; all of Lincland Subdivision, also vacated South 3rd Street and vacated alley, all in the Southeast 1/4 of Section 5, Town 6 North, Range 22 East, in the City of Milwaukee, Milwaukee County, Wisconsin.

BASIS OF BEARINGS

Bearings are referenced to the Wisconsin State Plane Coordinate System (South Zone), in which the North line of the NE 1/4 bears N88°16'05"E.

NOTE

Location of utilities existing on or serving the surveyed property as determined by markings requested by the surveyor pursuant to a Diggers Hotline One-call center utility locate. Ticket Number 20211601665. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. Client understands only utility lines with imbedded electric tracer wires or utilities made of materials capable of electric connectivity can be marked at the surface and located. Depth of utilities may prohibit their location even with electric connectivity.



ISSUANCES

Rev. #	Description	Date Issued
100% DD		09/29/2021
75% CD		11/03/2021
DESIGN DEVELOPMENT RIVERFRONT		04/19/2023
95% CD		08/18/2023
100% CD		09/15/2023

Project No : 9104

Drawn : RM File : 9104_exst.dwg

Checked : BK Scale : AS NOTED

Approved : BM

Sheet Title:

EXISTING CONDITIONS(FOR REFERENCE ONLY)

Drawing Number:

G007

1 EXISTING CONDITIONS (FOR REFERENCE ONLY)
1" = 50'-0"





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PROJECT: 9104 MPS Lincoln Playfield Improvements		SURVEY DATE: 7/7/2022		SURVEYED BY: M. Murdock, J. Trost	
TREE SURVEY					
TREE #	COMMON NAME	LATIN NAME	DBH	CONDITION	COMMENTS
1	Green Ash	Fraxinus pennsylvanica	15	Poor	Remove
2	Green Ash	Fraxinus pennsylvanica	18	Poor	Remove
3	Littleleaf Linden	Tilia cordata	31	Poor	Split, cawly, monitor
4	Green Ash	Fraxinus pennsylvanica	14	Poor	Remove
5	Crimson King Maple	Acer platanoides 'Crimson King'	23	Good	
6	Green Ash	Fraxinus pennsylvanica	19	Poor	Remove
7	Green Ash	Fraxinus pennsylvanica	21	Poor	Remove
7A	Honeylocust	Gleditsia triacanthos var. inermis	4	Fair	
8	Green Ash	Fraxinus pennsylvanica	22	Poor	Remove
8A	Burr Oak	Quercus macrocarpa	2	Fair	
9	Crimson King Maple	Acer platanoides 'Crimson King'	22	Good	
10	Honeylocust	Gleditsia triacanthos var. inermis	21	Fair	Dead wood prune
11	Honeylocust	Gleditsia triacanthos var. inermis	21	Fair	Remove
12	Honeylocust	Gleditsia triacanthos var. inermis	23	Fair	Dead wood prune
13	Green Ash	Fraxinus pennsylvanica	32	Poor	Remove
14	Green Ash	Fraxinus pennsylvanica	28	Poor	Remove
15	Green Ash	Fraxinus pennsylvanica	32	Poor	Remove
16	Hackberry	Celtis occidentalis	39	Poor	Remove
17	Hackberry	Celtis occidentalis	34	Fair	Dead wood prune
18	Green Ash	Fraxinus pennsylvanica	30	Poor	Remove
19	Green Ash	Fraxinus pennsylvanica	28	Poor	Remove
20	Green Ash	Fraxinus pennsylvanica	16	Poor	Dead wood prune
21	Green Ash	Fraxinus pennsylvanica	32	Poor	Remove
22	Green Ash	Fraxinus pennsylvanica	24	Poor	Remove
23	Green Ash	Fraxinus pennsylvanica	25	Poor	Remove
24	Norway Maple	Acer platanoides	26	Good	
25	Green Ash	Fraxinus pennsylvanica	25	Poor	Remove
26	Littleleaf Linden	Tilia cordata	26	Fair	
27	Norway Maple	Acer platanoides	30	Poor	Prune
28	Green Ash	Fraxinus pennsylvanica	30	Dead	Remove
29	Black Walnut	Juglans nigra	21	Fair	Within naturalized area, keep, dead wood prune, 12' in from vegetation line
30	Hackberry	Celtis occidentalis	38	Good	Within naturalized area, keep, dead wood prune, 5' from fence
31	Hackberry	Celtis occidentalis	38	Fair	Within naturalized area, keep, dead wood prune, 5' from fence
32	Hackberry	Celtis occidentalis	28	Fair	Within naturalized area, keep, dead wood prune, 30' from fence
33	Hackberry	Celtis occidentalis	38	Fair	Within naturalized area, keep, dead wood prune, 5' from fence
34	Hackberry	Celtis occidentalis		Poor	Remove

LEGEND

- PROPERTY LINE
- PROJECT LIMIT LINE, CONTRACT A
- PROJECT LIMIT LINE, CONTRACT B
- TREE PROTECTION FENCING
- SAWCUT EDGE
- LIGHT TO MODERATE TREE, BRUSH AND HERBACEOUS CLEARING
- HEAVY TREE, BRUSH AND HERBACEOUS CLEARING
- EXISTING CONCRETE AND SUBBASE TO BE REMOVED TO FULL DEPTH
- EXISTING ASPHALT AND SUBBASE TO BE REMOVED TO FULL DEPTH
- EXISTING ASPHALT TO BE REPAIRED BY MILL AND OVERLAY
- EXISTING BASEBALL FIELD AND OUTFIELD TO BE REMOVED TO FULL DEPTH AND USE AS FILL ON SITE
- EXISTING SOD TO BE REMOVED TO FULL DEPTH. EXISTING TOPSOIL TO REMAIN. TO BE STOCKPILED AND REUSED.
- EXISTING LARGE WOODY VEGETATION TO BE REMOVED TO FULL DEPTH. EXISTING TOPSOIL TO REMAIN. PROTECT-IN-PLACE. DO NOT DISTURB.
- EXCAVATION NECESSARY FOR NEW WORK
- ABANDON EXISTING UNDERGROUND UTILITY
- EXISTING MATERIAL TO BE REMOVED BY HAND WITHIN DRIPLINE OF EXISTING TREE UNDER SUPERVISION OF ISA CERTIFIED ARBORIST
- EXISTING CHAIN LINK FENCE AND GATE POSTS, MESH FABRIC, CONCRETE FOOTINGS, AND CURBING TO BE REMOVED TO FULL DEPTH
- EXISTING CHAIN LINK FENCE AND GATE POSTS, MESH FABRIC, CONCRETE FOOTINGS, AND CURBING TO BE REMOVED TO FULL DEPTH
- EXISTING BACKSTOP, MESH FABRIC AND CONCRETE FOOTING(S) TO BE REMOVED TO FULL DEPTH
- EXISTING UNDERGROUND UTILITIES TO BE REMOVED
- EXISTING TOP RAIL TO BE REPAIRED OR REPLACED WHERE DAMAGED
- EXISTING TREE TO REMAIN. PROTECT-IN-PLACE. DO NOT DISTURB.
- EXISTING TREE, ROOTS AND STUMP TO BE REMOVED. FILL DEPRESSION WITH SUITABLE SOIL TO FINISH GRADE AND PROVIDE POSITIVE DRAINAGE.
- EXISTING SITE ELEMENT AND ASSOCIATED FOOTING(S) TO BE REMOVED TO FULL DEPTH AND DISCARDED
- WOODLAND CANOPY EDGE

NOTE: ALLEY WILL NOT BE AVAILABLE FOR USE OR STORAGE DURING CONSTRUCTION

ISSUANCES

Rev. #	Description	Date Issued
100%	DD	09/29/2021
75%	CD	11/03/2021
	DESIGN DEVELOPMENT RIVERFRONT	04/19/2023
95%	CD	08/18/2023
100%	CD	09/15/2023

Project No : 9104

Drawn : RM

File : 9104_demo.dwg

Checked : BK

Scale : AS NOTED

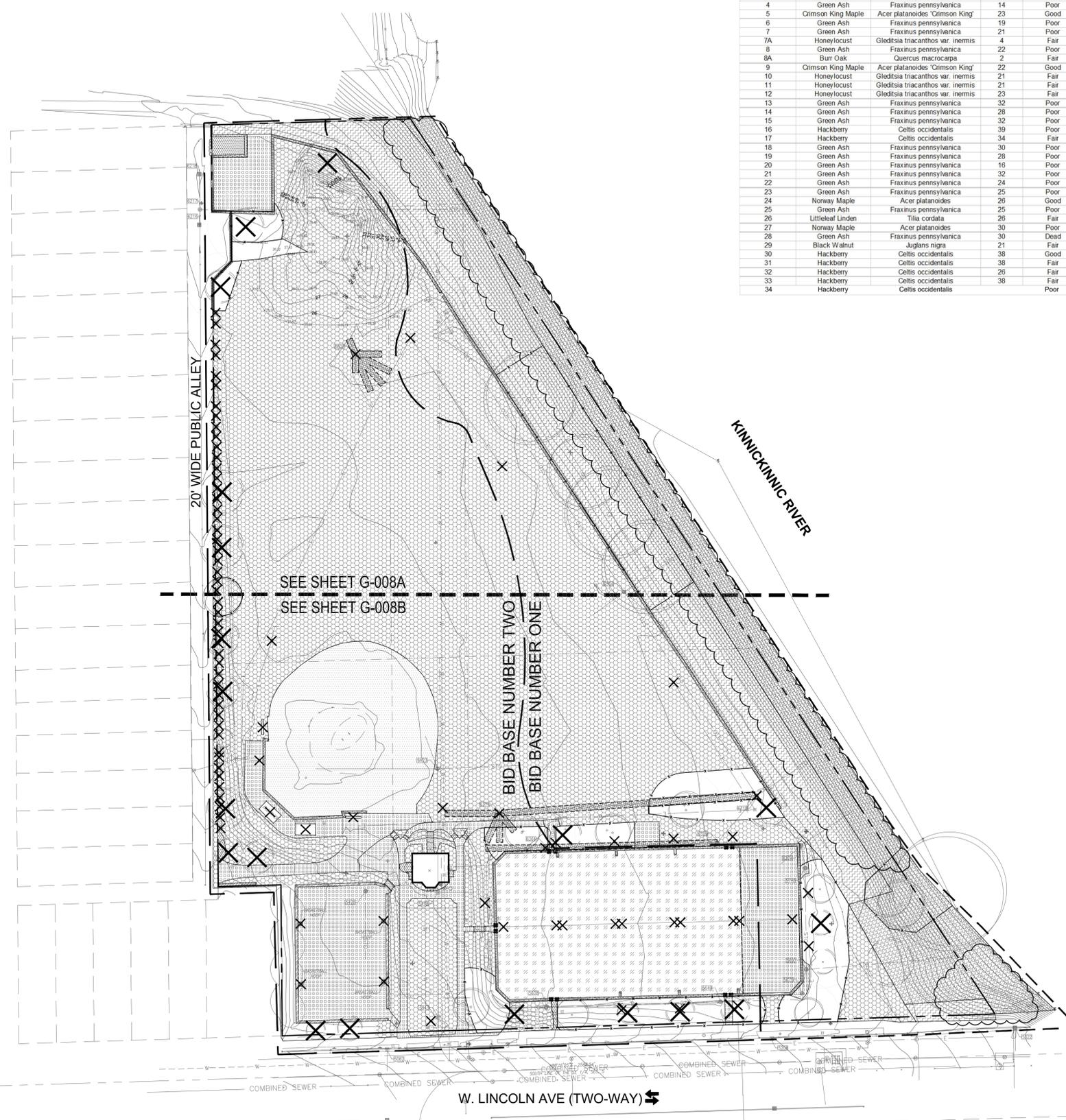
Approved : BM

Sheet Title:

PRESERVATION AND DEMOLITION PLAN

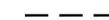
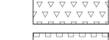
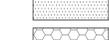
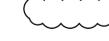
Drawing Number:

G008



PROJECT: 9104 MPS Lincoln Playfield Improvements				SURVEY DATE: 7/7/2022		SURVEYED BY: M. Murdock, J. Trost	
TREE SURVEY							
TREE #	COMMON NAME	LATIN NAME	DBH	CONDITION	COMMENTS		
1	Green Ash	Fraxinus pennsylvanica	15	Poor	Remove		
2	Green Ash	Fraxinus pennsylvanica	18	Poor	Remove		
3	Littleleaf Linden	Tilia cordata	31	Poor	Split, cavity, monitor		
4	Green Ash	Fraxinus pennsylvanica	14	Poor	Remove		
5	Crimson King Maple	Acer platanoides 'Crimson King'	23	Good			
6	Green Ash	Fraxinus pennsylvanica	19	Poor	Remove		
7	Green Ash	Fraxinus pennsylvanica	21	Poor	Remove		
7A	Honeylocust	Gleditsia triacanthos var. inermis	4	Fair			
8	Green Ash	Fraxinus pennsylvanica	22	Poor	Remove		
8A	Burr Oak	Quercus macrocarpa	2	Fair			
9	Crimson King Maple	Acer platanoides 'Crimson King'	22	Good			
10	Honeylocust	Gleditsia triacanthos var. inermis	21	Fair	Dead wood prune		
11	Honeylocust	Gleditsia triacanthos var. inermis	21	Fair	Remove		
12	Honeylocust	Gleditsia triacanthos var. inermis	23	Fair	Dead wood prune		
13	Green Ash	Fraxinus pennsylvanica	32	Poor	Remove		
14	Green Ash	Fraxinus pennsylvanica	28	Poor	Remove		
15	Green Ash	Fraxinus pennsylvanica	32	Poor	Remove		
16	Hackberry	Celtis occidentalis	39	Poor	Remove		
17	Hackberry	Celtis occidentalis	34	Fair	Dead wood prune		
18	Green Ash	Fraxinus pennsylvanica	30	Poor	Remove		
19	Green Ash	Fraxinus pennsylvanica	28	Poor	Remove		
20	Green Ash	Fraxinus pennsylvanica	16	Poor	Dead wood prune		
21	Green Ash	Fraxinus pennsylvanica	32	Poor	Remove		
22	Green Ash	Fraxinus pennsylvanica	24	Poor	Remove		
23	Green Ash	Fraxinus pennsylvanica	25	Poor	Remove		
24	Norway Maple	Acer platanoides	26	Good			
25	Green Ash	Fraxinus pennsylvanica	25	Poor	Remove		
26	Littleleaf Linden	Tilia cordata	26	Fair			
27	Norway Maple	Acer platanoides	30	Poor	Prune		
28	Green Ash	Fraxinus pennsylvanica	30	Dead	Remove		
29	Black Walnut	Juglans nigra	21	Fair	Within naturalized area, keep, dead wood prune, 12' in from vegetation line		
30	Hackberry	Celtis occidentalis	38	Good	Within naturalized area, keep, dead wood prune, 5' from fence		
31	Hackberry	Celtis occidentalis	38	Fair	Within naturalized area, keep, dead wood prune, 5' from fence		
32	Hackberry	Celtis occidentalis	28	Fair	Within naturalized area, keep, dead wood prune, 30' from fence		
33	Hackberry	Celtis occidentalis	38	Fair	Within naturalized area, keep, dead wood prune, 5' from fence		
34	Hackberry	Celtis occidentalis	38	Poor	Remove		

LEGEND

-  PROPERTY LINE
 -  PROJECT LIMIT LINE, CONTRACT A
 -  PROJECT LIMIT LINE, CONTRACT B
 -  TREE PROTECTION FENCING
 -  SAWCUT EDGE
 -  LIGHT TO MODERATE TREE, BRUSH AND HERBACEOUS CLEARING
 -  HEAVY TREE, BRUSH AND HERBACEOUS CLEARING
 -  EXISTING CONCRETE AND SUBBASE TO BE REMOVED TO FULL DEPTH
 -  EXISTING ASPHALT AND SUBBASE TO BE REMOVED TO FULL DEPTH
 -  EXISTING ASPHALT TO BE REPAIRED BY MILL AND OVERLAY
 -  EXISTING BASEBALL FIELD AND OUTFIELD TO BE REMOVED TO FULL DEPTH AND USE AS FILL ON SITE
 -  EXISTING SOD TO BE REMOVED TO FULL DEPTH. EXISTING TOPSOIL TO REMAIN. TO BE STOCKPILED AND REUSED.
 -  EXISTING LARGE WOODY VEGETATION TO BE REMOVED TO FULL DEPTH. EXISTING TOPSOIL TO REMAIN. PROTECT-IN-PLACE. DO NOT DISTURB.
 -  EXCAVATION NECESSARY FOR NEW WORK
 -  ABANDON EXISTING UNDERGROUND UTILITY
 -  EXISTING MATERIAL TO BE REMOVED BY HAND WITHIN DRIP LINE OF EXISTING TREE UNDER SUPERVISION OF ISA CERTIFIED ARBORIST
 -  EXISTING CHAIN LINK FENCE AND GATE POSTS, MESH FABRIC, CONCRETE FOOTINGS, AND CURBING TO BE REMOVED TO FULL DEPTH
 -  EXISTING CHAIN LINK FENCE AND GATE POSTS, MESH FABRIC, CONCRETE FOOTINGS, AND CURBING TO BE REMOVED TO FULL DEPTH
 -  EXISTING BACKSTOP, MESH FABRIC AND CONCRETE FOOTING(S) TO BE REMOVED TO FULL DEPTH
 -  EXISTING UNDERGROUND UTILITIES TO BE REMOVED
 -  EXISTING TOP RAIL TO BE REPAIRED OR REPLACED WHERE DAMAGED
 -  EXISTING TREE TO REMAIN. PROTECT-IN-PLACE. DO NOT DISTURB.
 -  EXISTING TREE, ROOTS AND STUMP TO BE REMOVED. FILL DEPRESSION WITH SUITABLE SOIL TO FINISH GRADE AND PROVIDE POSITIVE DRAINAGE.
 -  EXISTING SITE ELEMENT AND ASSOCIATED FOOTING(S) TO BE REMOVED TO FULL DEPTH AND DISCARDED
 -  WOODLAND CANOPY EDGE
- NOTE: ALLEY WILL NOT BE AVAILABLE FOR USE OR STORAGE DURING CONSTRUCTION



A department of MPS

Lincoln Playfield Renovation

SITE #756
PROJECT #7096
300 W Lincoln Avenue
Milwaukee, WI 53207



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- Quorum Architects, Inc.**
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- Advance Consulting Group Int'l**
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100% CD		09/15/2023

Project No : 9104
 Drawn : RM File : 9104_demo.dwg
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 Approved : BM

Sheet Title:
PRESERVATION AND DEMOLITION PLAN AREA A

Drawing Number:
G008A





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landscape architecture urban design

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Civil Engineering

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Architect

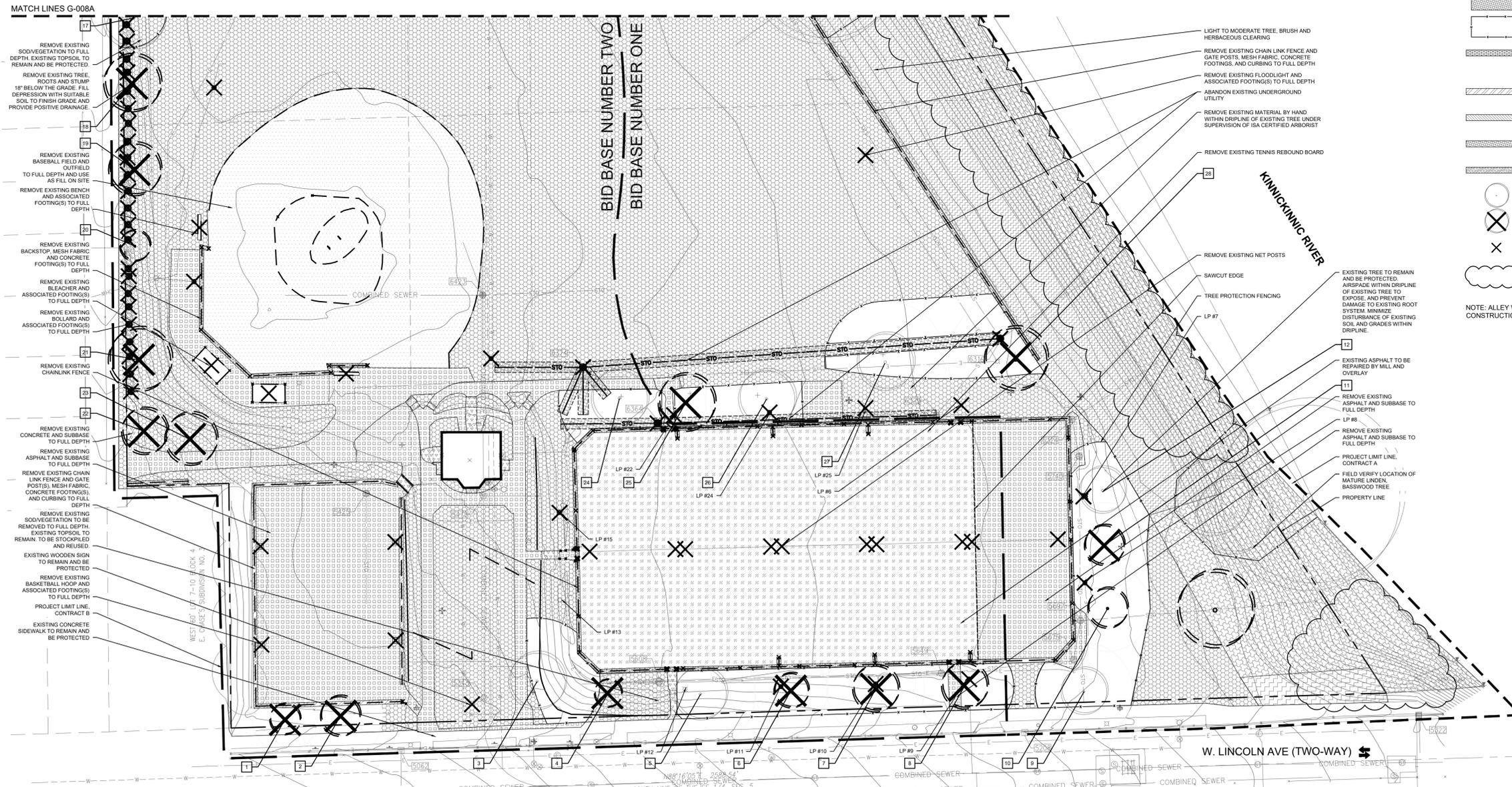
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MEP Engineering

PROJECT: 9104 MPS Lincoln Playfield Improvements		SURVEY DATE: 7/7/2022		SURVEYED BY: M. Murdock, J. Trost	
TREE SURVEY					
TREE #	COMMON NAME	LATIN NAME	DBH	CONDITION	COMMENTS
1	Green Ash	Fraxinus pennsylvanica	15	Poor	Remove
2	Green Ash	Fraxinus pennsylvanica	18	Poor	Remove
3	Littleleaf Linden	Tilia cordata	31	Poor	Split, cavity, monitor
4	Green Ash	Fraxinus pennsylvanica	14	Poor	Remove
5	Crimson King Maple	Acer platanoides 'Crimson King'	23	Good	
6	Green Ash	Fraxinus pennsylvanica	19	Poor	Remove
7	Green Ash	Fraxinus pennsylvanica	21	Poor	Remove
7A	Honeylocust	Gleditsia triacanthos var. inermis	4	Fair	
8	Green Ash	Fraxinus pennsylvanica	22	Poor	Remove
8A	Burr Oak	Quercus macrocarpa	2	Fair	
9	Crimson King Maple	Acer platanoides 'Crimson King'	22	Good	
10	Honeylocust	Gleditsia triacanthos var. inermis	21	Fair	Dead wood prune
11	Honeylocust	Gleditsia triacanthos var. inermis	21	Fair	Remove
12	Green Ash	Fraxinus pennsylvanica	23	Fair	Dead wood prune
13	Green Ash	Fraxinus pennsylvanica	32	Poor	Remove
14	Green Ash	Fraxinus pennsylvanica	28	Poor	Remove
15	Green Ash	Fraxinus pennsylvanica	32	Poor	Remove
16	Hackberry	Celtis occidentalis	39	Poor	Remove
17	Hackberry	Celtis occidentalis	34	Fair	Dead wood prune
18	Green Ash	Fraxinus pennsylvanica	30	Poor	Remove
19	Green Ash	Fraxinus pennsylvanica	28	Poor	Remove
20	Green Ash	Fraxinus pennsylvanica	16	Poor	Dead wood prune
21	Green Ash	Fraxinus pennsylvanica	32	Poor	Remove
22	Green Ash	Fraxinus pennsylvanica	24	Poor	Remove
23	Green Ash	Fraxinus pennsylvanica	25	Poor	Remove
24	Norway Maple	Acer platanoides	26	Good	
25	Green Ash	Fraxinus pennsylvanica	25	Poor	Remove
26	Littleleaf Linden	Tilia cordata	26	Fair	
27	Norway Maple	Acer platanoides	30	Poor	Prune
28	Green Ash	Fraxinus pennsylvanica	30	Dead	Remove
29	Black Walnut	Juglans nigra	21	Fair	Within naturalized area, keep, dead wood prune, 12' in from vegetation line
30	Hackberry	Celtis occidentalis	38	Good	Within naturalized area, keep, dead wood prune, 5' from fence
31	Hackberry	Celtis occidentalis	38	Fair	Within naturalized area, keep, dead wood prune, 5' from fence
32	Hackberry	Celtis occidentalis	28	Fair	Within naturalized area, keep, dead wood prune, 30' from fence
33	Hackberry	Celtis occidentalis	38	Fair	Within naturalized area, keep, dead wood prune, 5' from fence
34	Hackberry	Celtis occidentalis		Poor	Remove

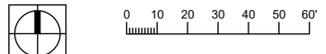
LEGEND

- PROPERTY LINE
 - - - PROJECT LIMIT LINE, CONTRACT A
 - - - PROJECT LIMIT LINE, CONTRACT B
 - x - x TREE PROTECTION FENCING
 - - - SAWCUT EDGE
 - [Pattern] LIGHT TO MODERATE TREE, BRUSH AND HERBACEOUS CLEARING
 - [Pattern] HEAVY TREE, BRUSH AND HERBACEOUS CLEARING
 - [Pattern] EXISTING CONCRETE AND SUBBASE TO BE REMOVED TO FULL DEPTH
 - [Pattern] EXISTING ASPHALT AND SUBBASE TO BE REMOVED TO FULL DEPTH
 - [Pattern] EXISTING ASPHALT TO BE REPAIRED BY MILL AND OVERLAY
 - [Pattern] EXISTING BASEBALL FIELD AND OUTFIELD TO BE REMOVED TO FULL DEPTH AND USE AS FILL ON SITE
 - [Pattern] EXISTING SOD TO BE REMOVED TO FULL DEPTH. EXISTING TOPSOIL TO REMAIN. TO BE STOCKPILED AND REUSED.
 - [Pattern] EXISTING LARGE WOODY VEGETATION TO BE REMOVED TO FULL DEPTH. EXISTING TOPSOIL TO REMAIN. PROTECT-IN-PLACE. DO NOT DISTURB.
 - [Pattern] EXCAVATION NECESSARY FOR NEW WORK
 - [Pattern] ABANDON EXISTING UNDERGROUND UTILITY
 - [Pattern] EXISTING MATERIAL TO BE REMOVED BY HAND WITHIN DRIP LINE OF EXISTING TREE UNDER SUPERVISION OF ISA CERTIFIED ARBORIST
 - [Pattern] EXISTING CHAIN LINK FENCE AND GATE POSTS, MESH FABRIC, CONCRETE FOOTINGS, AND CURBING TO BE REMOVED TO FULL DEPTH
 - [Pattern] EXISTING CHAIN LINK FENCE AND GATE POSTS, MESH FABRIC, CONCRETE FOOTINGS, AND CURBING TO BE REMOVED TO FULL DEPTH
 - [Pattern] EXISTING BACKSTOP, MESH FABRIC AND CONCRETE FOOTING(S) TO BE REMOVED TO FULL DEPTH
 - [Pattern] EXISTING UNDERGROUND UTILITIES TO BE REMOVED
 - [Pattern] EXISTING TOP RAIL TO BE REPAIRED OR REPLACED WHERE DAMAGED
 - [Symbol] EXISTING TREE TO REMAIN. PROTECT-IN-PLACE. DO NOT DISTURB.
 - [Symbol] EXISTING TREE, ROOTS AND STUMP TO BE REMOVED. FILL DEPRESSION WITH SUITABLE SOIL TO FINISH GRADE AND PROVIDE POSITIVE DRAINAGE.
 - [Symbol] EXISTING SITE ELEMENT AND ASSOCIATED FOOTING(S) TO BE REMOVED TO FULL DEPTH AND DISCARDED
 - [Symbol] WOODLAND CANOPY EDGE
- NOTE: ALLEY WILL NOT BE AVAILABLE FOR USE OR STORAGE DURING CONSTRUCTION



1 PRESERVATION AND DEMOLITION PLAN - AREA B

1" = 30'-0"



ISSUANCES

Rev. #	Description	Date Issued
100% DD		09/29/2021
75% CD		11/03/2021
DESIGN DEVELOPMENT RIVERFRONT		04/19/2023
95% CD		08/18/2023
100% CD		09/15/2023

Project No : 9104
 Drawn : RM File : 9104_demo.dwg
 Checked : BK Scale : AS NOTED
 Approved : BM

Sheet Title:
PRESERVATION AND DEMOLITION PLAN AREA B

Drawing Number:

G008B



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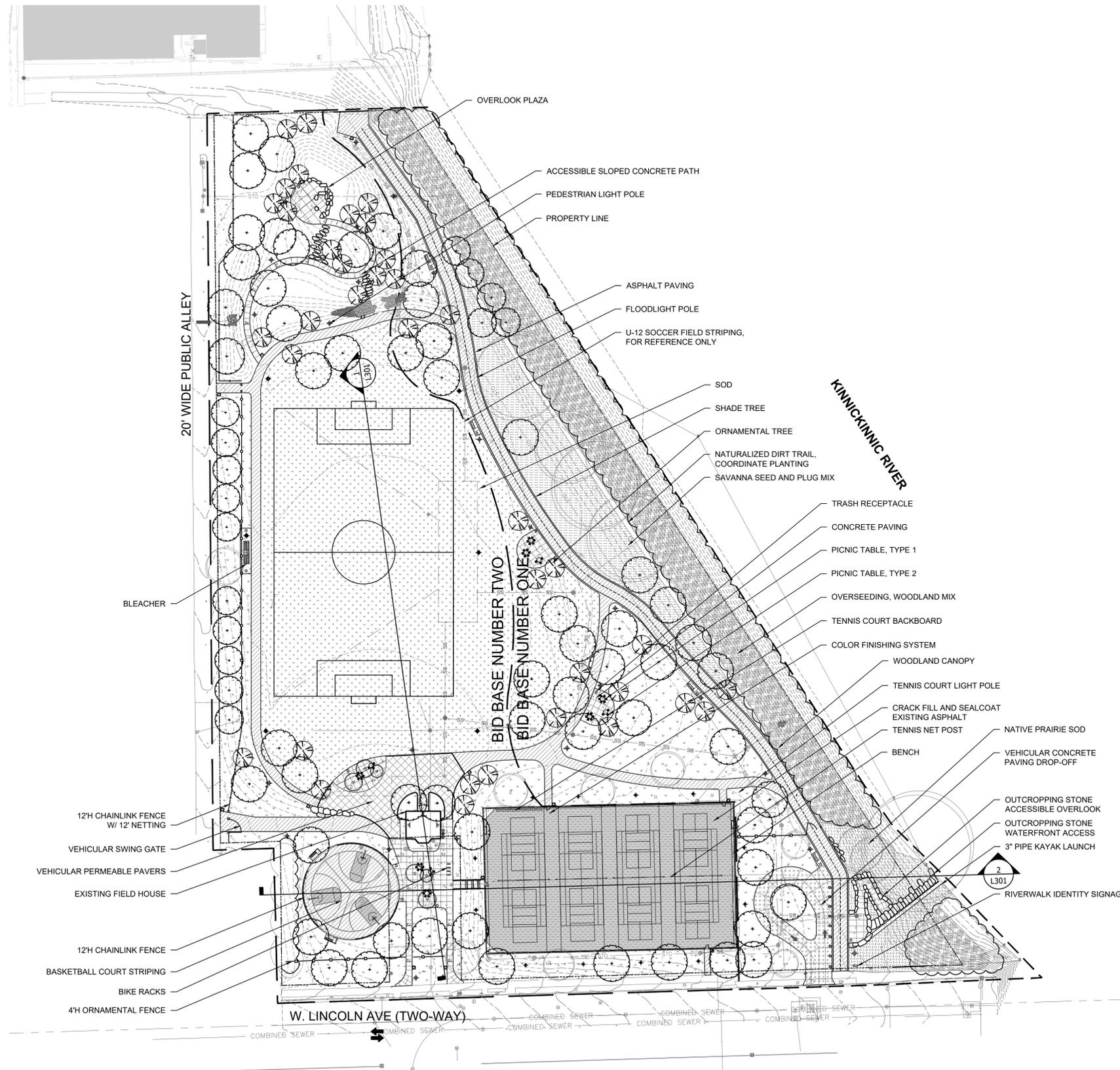
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Quorum Architects, Inc. Architect
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p. 312.357.1940 w. www.acgintl.com

LEGEND

- PROPERTY LINE
- PROJECT LIMIT LINE, CONTRACT A
- PROJECT LIMIT LINE, CONTRACT B
- CONCRETE PAVING
- VEHICULAR CONCRETE PAVING
- COLOR FINISHING SYSTEM
- ASPHALT PAVING
- PAVEMENT STRIPING
- CRACK FILL AND SEALCOAT EXISTING ASPHALT
- VEHICULAR PERMEABLE PAVER
- CONTROL JOINT
- EXPANSION JOINT
- OUTCROPPING STONE
- 4H ORNAMENTAL METAL FENCE
- VEHICULAR ACCESS GATE
- 12H CHAINLINK FENCE W/ 12' NETTING
- 12H CHAINLINK FENCE
- SHADE STRUCTURES
- TRASH RECEPTACLE
- PICNIC TABLE, TYPE 1
- PICNIC TABLE, TYPE 2
- BIKE RACKS
- DRINKING FOUNTAIN
- BLEACHER
- TENNIS REBOUND BOARD
- BENCH, TYPE 1
- BENCH, TYPE 2
- FLOOD LIGHT POLE
- PEDESTRIAN LIGHT POLE
- TENNIS COURT LIGHT POLE
- TENNIS NET POST
- BASKETBALL POST AND HOOP
- KAYAK LAUNCH
- EXISTING TREE TO REMAIN AND BE PROTECTED
- SHADE TREE
- ORNAMENTAL TREE
- SOD
- LOW MOW SOD
- INFILTRATION PLANT MIX
- OVERSEEDING, WOODLAND MIX
- NATIVE PRAIRIE SOD
- SAVANNAH SEED AND PLUG MIX
- WOODLAND CANOPY



ISSUANCES

Rev. #	Description	Date Issued
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95% CD		08/18/2023
100% CD		09/15/2023

Project No : 9104
 Drawn : RM File : 9104_site.dwg
 Checked : BK Scale : AS NOTED
 Approved : BM

Sheet Title:
LANDSCAPE SITE PLAN

Drawing Number:

L101

1 LANDSCAPE SITE PLAN
1" = 50'-0"





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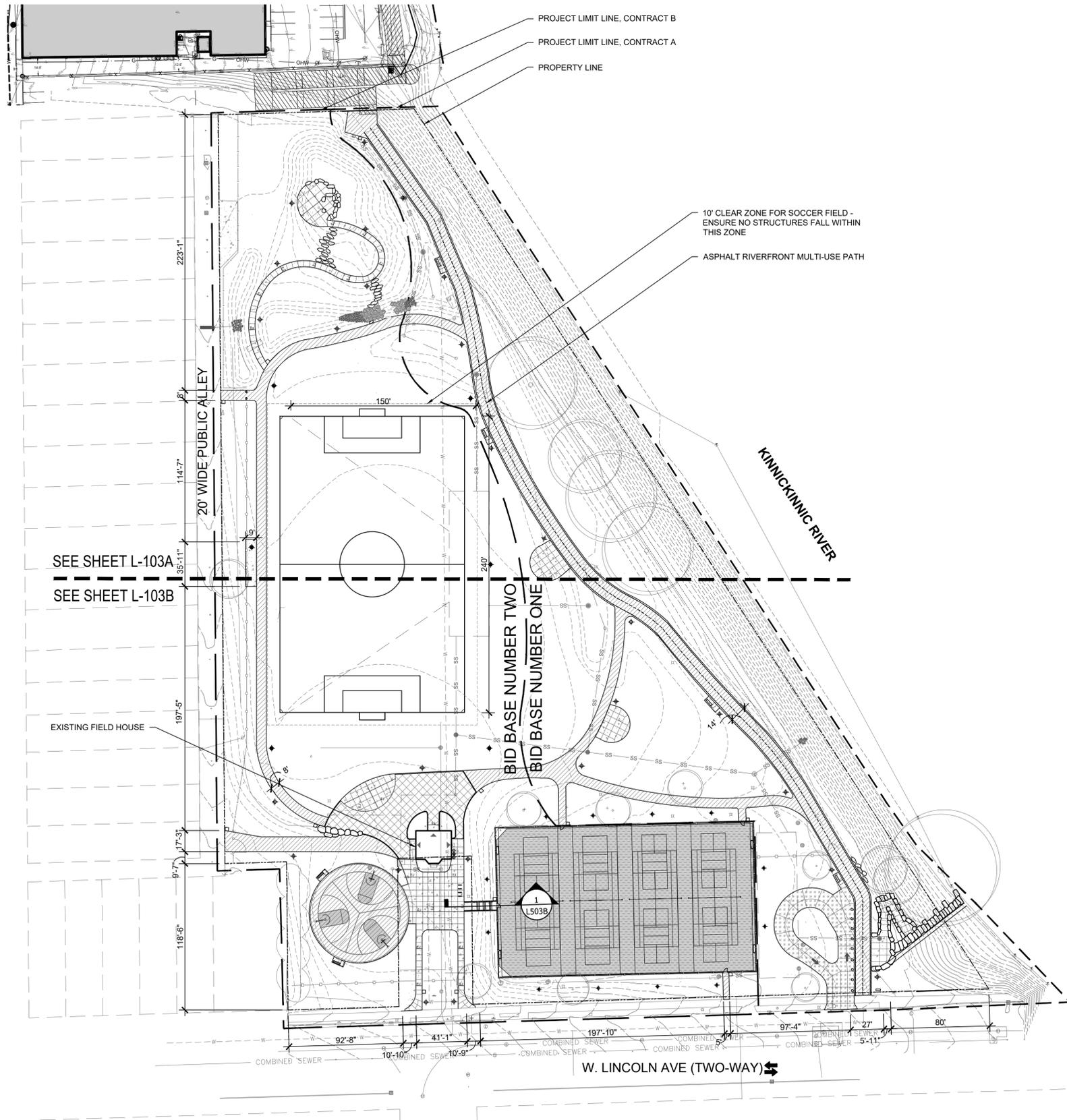
Architect

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p. 312.357.1940 w. www.acgintl.com

MEP Engineering

LEGEND

- PROPERTY LINE
- PROJECT LIMIT LINE, CONTRACT A
- PROJECT LIMIT LINE, CONTRACT B
- CONCRETE PAVING
- VEHICULAR CONCRETE PAVING
- COLOR FINISHING SYSTEM
- ASPHALT PAVING
- ASPHALT STRIPING
- CRACK FILL AND SEAL COAT EXISTING ASPHALT
- VEHICULAR PERMEABLE PAVER
- CONTROL JOINT
- EXPANSION JOINT
- OUTCROPPING STONE



SEE SHEET L-103A
SEE SHEET L-103B

EXISTING FIELD HOUSE

BID BASE NUMBER TWO
BID BASE NUMBER ONE

W. LINCOLN AVE (TWO-WAY)

ISSUANCES

Rev. #	Description	Date Issued
100% DD		09/29/2021
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95% CD		08/18/2023
100% CD		09/15/2023

Project No : 9104

Drawn : RM

File : 9104_hard.dwg

Checked : BK

Scale : AS NOTED

Approved : BM

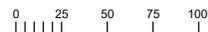
Sheet Title:

HARDSCAPE PLAN

Drawing Number:

L103

1 HARDSCAPE PLAN
1" = 50'-0"





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PROJECT #7096
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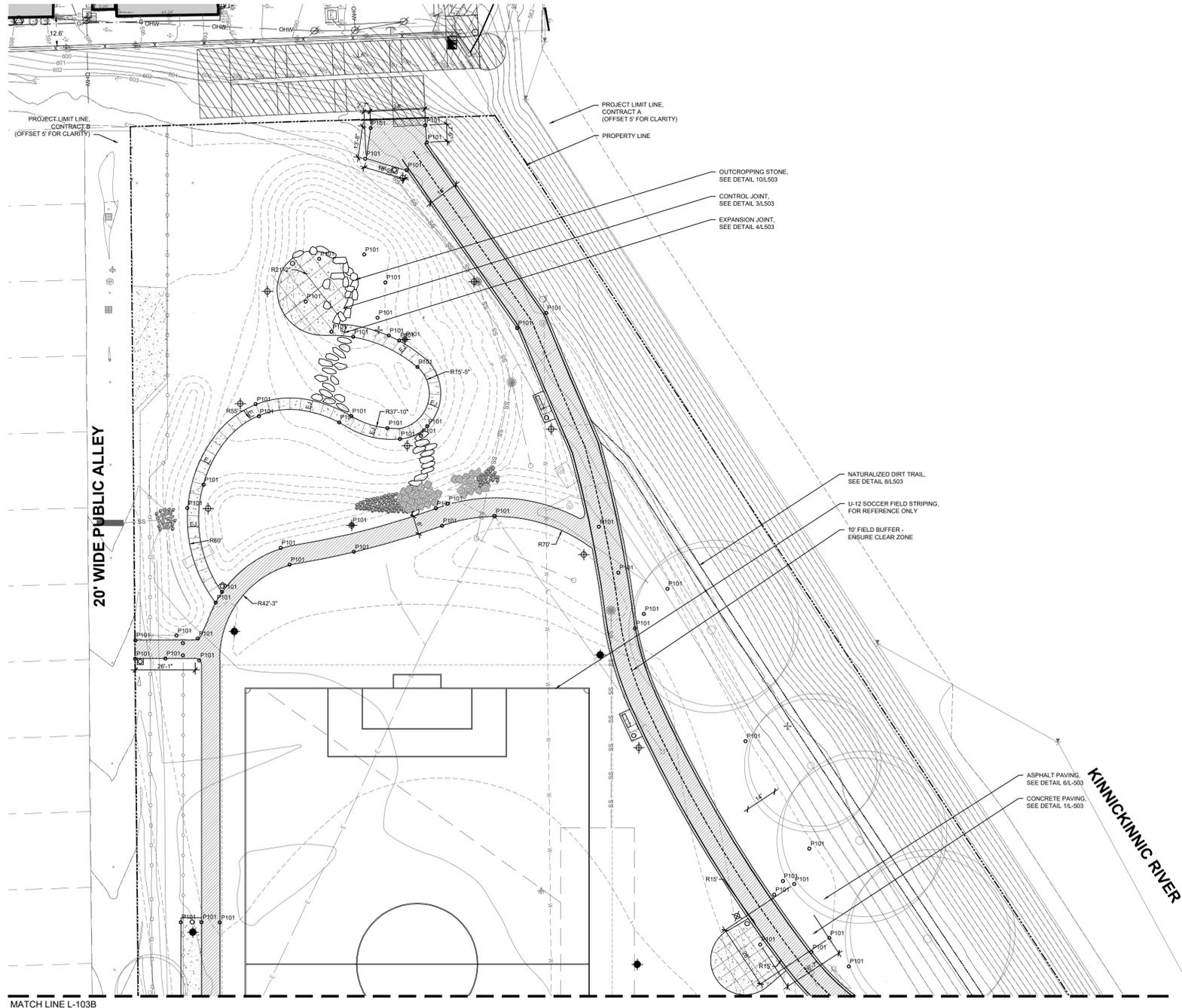
Architect

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p. 312.357.1940 w. www.acgint.com

MEP Engineering

LEGEND

-  PROPERTY LINE
-  PROJECT LIMIT LINE, CONTRACT A
-  PROJECT LIMIT LINE, CONTRACT B
-  CONCRETE PAVING
-  VEHICULAR CONCRETE PAVING
-  COLOR FINISH SYSTEM
-  ASPHALT PAVING
-  ASPHALT STRIPING
-  CRACK FILL AND SEALCOAT EXISTING ASPHALT
-  VEHICULAR PERMEABLE PAVER
-  CONTROL JOINT
-  EXPANSION JOINT
-  SEATWALL, TYPE 1
-  SEATWALL, TYPE 2
-  OUTCROPPING STONE
-  COORDINATE POINT



ISSUANCES

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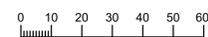
Sheet Title:

HARDSCAPE PLAN
ENLARGEMENT - AREA A

Drawing Number:

L103A

1 HARDSCAPE PLAN ENLARGEMENT - AREA A
1" = 30'-0"





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p. 414.810.1245 w. www.aqualis.com

Civil Engineering

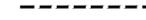
Quorum Architects, Inc.
3112 W. Highland Blvd., Milwaukee, WI 53208
p. 414.265.5055 w. www.quorumarchitects.com

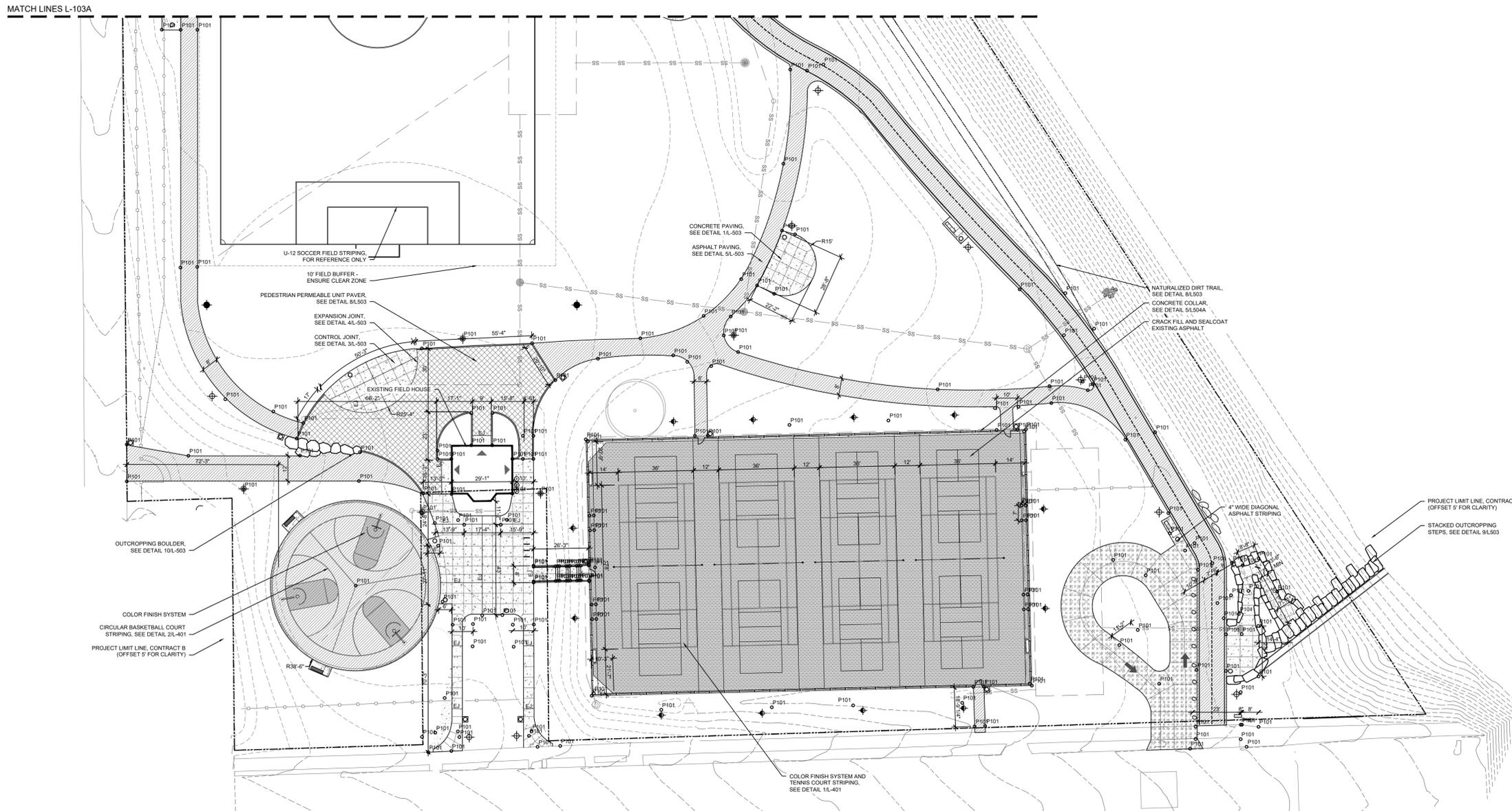
Architect

Advance Consulting Group Int'l
200 W. Adams Street, Chicago, IL 60606
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MEP Engineering

LEGEND

-  PROPERTY LINE
-  PROJECT LIMIT LINE, CONTRACT A
-  PROJECT LIMIT LINE, CONTRACT B
-  CONCRETE PAVING
-  VEHICULAR CONCRETE PAVING
-  COLOR FINISH SYSTEM
-  ASPHALT PAVING
-  ASPHALT STRIPING
-  CRACK FILL AND SEALCOAT EXISTING ASPHALT
-  VEHICULAR PERMEABLE PAVER
-  CONTROL JOINT
-  EXPANSION JOINT
-  SEATWALL TYPE 1
-  SEATWALL TYPE 2
-  OUTCROPPING STONE
-  COORDINATE POINT



ISSUANCES

Rev. #	Description	Date Issued
100% DD		09/29/2021
75% CD		11/03/2021
DESIGN DEVELOPMENT RIVERFRONT		04/19/2023
95% CD		08/18/2023
100% CD		09/15/2023

Project No : 9104

Drawn : RM	File : 9104_hard.dwg
Checked : BK	Scale : AS NOTED
Approved : BM	

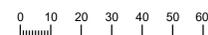
Sheet Title:

HARDSCAPE PLAN
ENLARGEMENT - AREA B

Drawing Number:

L103B

1 HARDSCAPE PLAN ENLARGEMENT - AREA B
1" = 30'-0"





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Lincoln Playfield Renovation

SITE #756
PROJECT #7096
300 W Lincoln Avenue
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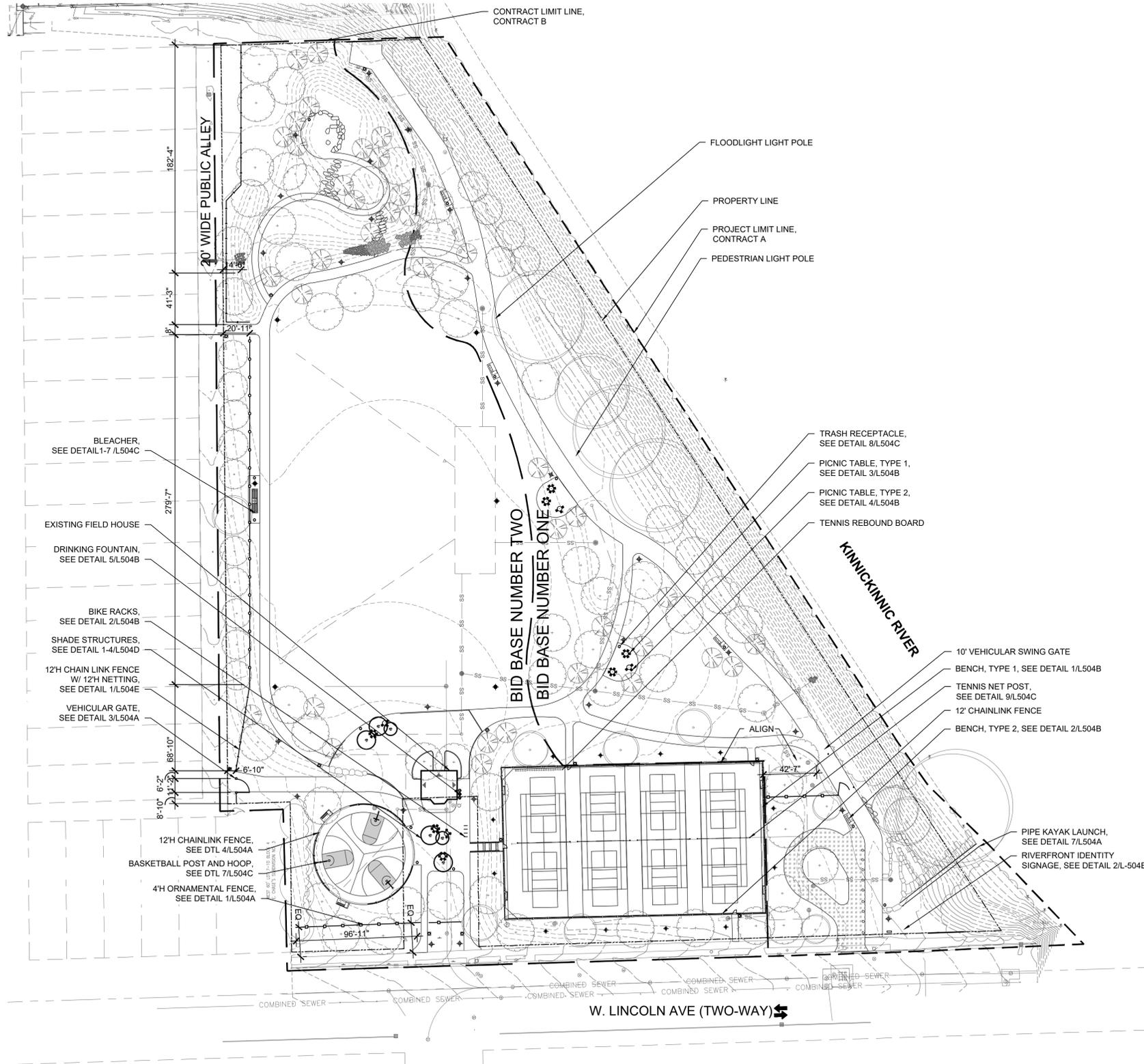
Architect

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MEP Engineering

LEGEND

- PROPERTY LINE
- PROJECT LIMIT LINE, CONTRACT A
- PROJECT LIMIT LINE, CONTRACT B
- 4H ORNAMENTAL METAL FENCE
- VEHICULAR ACCESS GATE
- 12H CHAINLINK FENCE W/ 12' NETTING
- 12H CHAINLINK FENCE
- SHADE STRUCTURES
- TRASH RECEPTACLE
- PICNIC TABLE, TYPE 1
- PICNIC TABLE, TYPE 2
- BIKE RACKS
- DRINKING FOUNTAIN
- BLEACHER
- TENNIS REBOUND BOARD
- BENCH, TYPE 1
- BENCH, TYPE 2
- FLOOD LIGHT POLE
- PEDESTRIAN LIGHT POLE
- TENNIS COURT LIGHT POLE
- TENNIS NET POST
- BASKETBALL POST AND HOOP
- KAYAK LAUNCH



ISSUANCES

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DESIGN DEVELOPMENT RIVERFRONT		04/19/2023
95% CD		08/18/2023
100% CD		09/15/2023

Project No : 9104

Drawn : RM

File : 9104_furn.dwg

Checked : BK

Scale : AS NOTED

Approved : BM

Sheet Title:

SITE FURNISHINGS PLAN

Drawing Number:

L104





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Architect

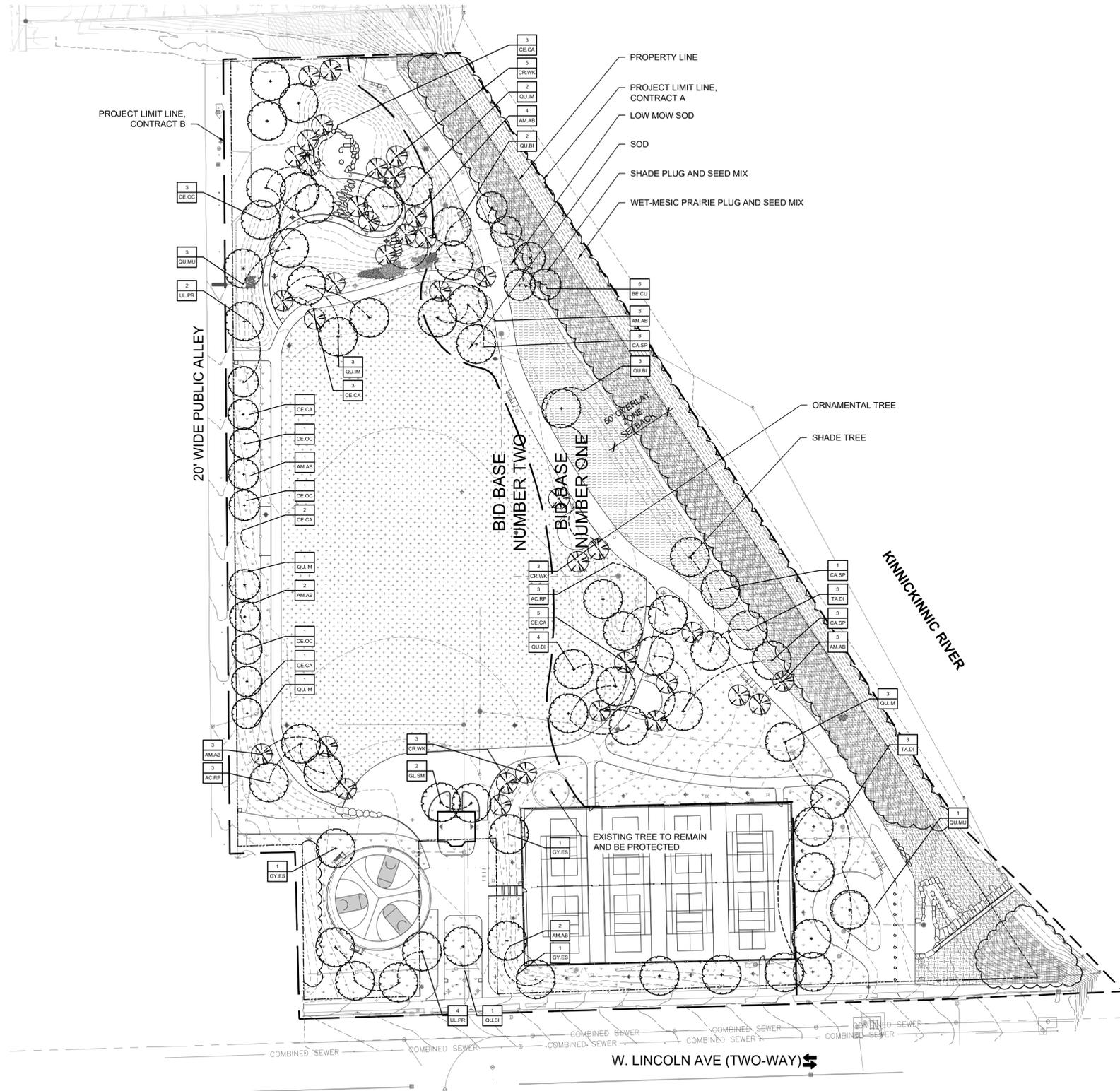
Advance Consulting Group Int'l
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MEP Engineering

LEGEND

- PROPERTY LINE
- - - PROJECT LIMIT LINE, CONTRACT A
- - - PROJECT LIMIT LINE, CONTRACT B
- EXISTING TREE TO REMAIN AND BE PROTECTED
- SHADE TREE
- ORNAMENTAL TREE
- SOD
- LOW MOW SOD
- INFILTRATION PLANT MIX
- OVERSEEDING, WOODLAND MIX
- NATIVE PRAIRIE SOD
- SAVANNAH SEED AND PLUG MIX
- ☁ WOODLAND CANOPY

PLUGS INTENDED FOR EMERGENT SHORELINE AND HIGH IMPACT OVERLOOK LOCATIONS (TO BE DETERMINED) ENSURE GOOSE FENCING FOR ALL PLUGGED AREAS



ISSUANCES

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DESIGN DEVELOPMENT RIVERFRONT		04/19/2023
95% CD		08/18/2023
100% CD		09/15/2023

Project No : 9104

Drawn : RM

File : 9104.plnt.dwg

Checked : BK

Scale : AS NOTED

Approved : BM

Sheet Title:

PLANTING PLAN

Drawing Number:

L106





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Lincoln Playfield Renovation

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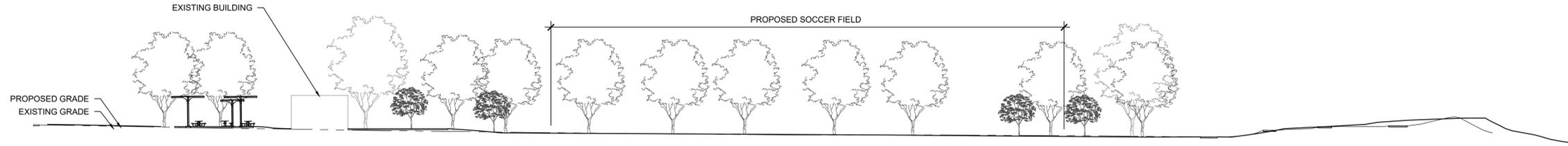
Civil Engineering

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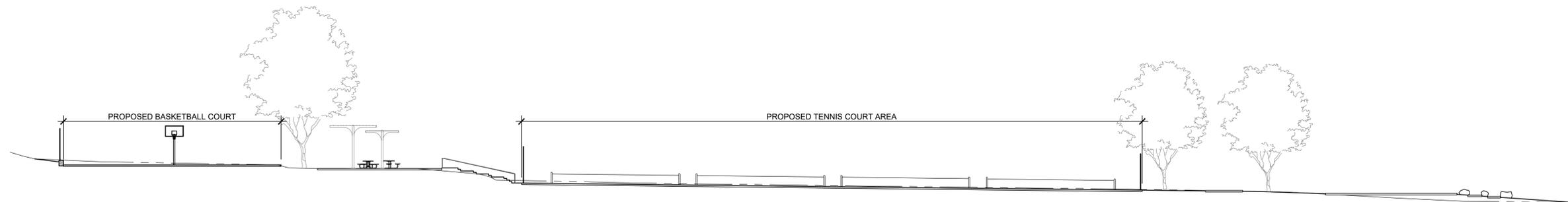
Architect

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1 LANDSCAPE SECTION A (SOUTH - NORTH)
1" = 30'-0"



2 LANDSCAPE SECTION B (WEST TO EAST)
1" = 20'-0"

ISSUANCES

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DESIGN DEVELOPMENT RIVERFRONT		04/19/2023
95% CD		08/18/2023
100% CD		09/15/2023

Project No : 9104

Drawn : RM File : 9104_sect.dwg
Checked : BK Scale : AS NOTED
Approved : BM

Sheet Title:

SITE SECTIONS

Drawing Number:

L301

Lincoln Playfield Renovation

SITE #756
PROJECT #7096
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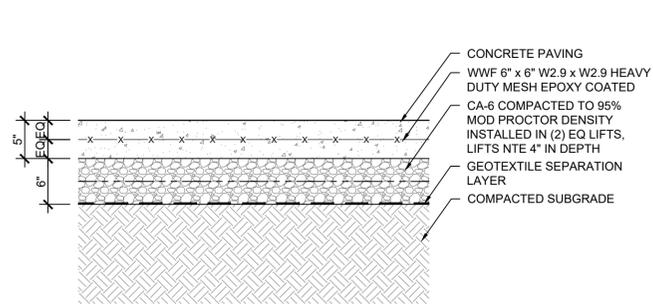
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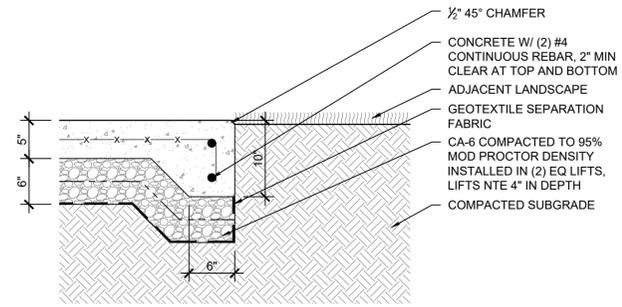
Architect

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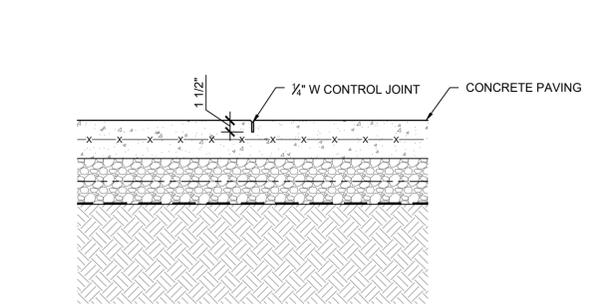
MEP Engineering



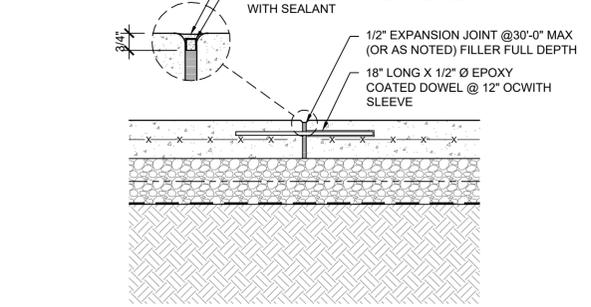
1 CONCRETE PAVING SECTION
1" = 1'-0"



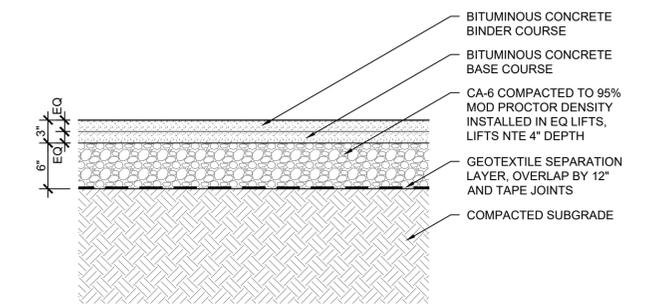
2 THICKENED CONCRETE EDGE TO LANDSCAPE SECTION
1" = 1'-0"



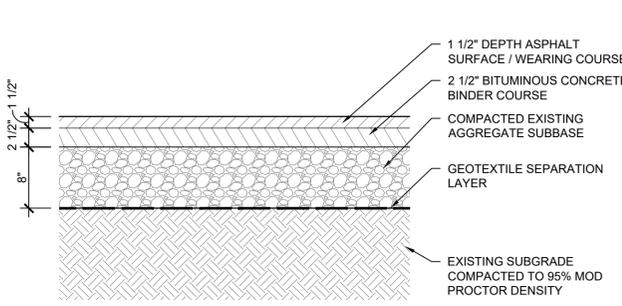
3 SAWCUT CONTROL JOINT SECTION
1" = 1'-0"



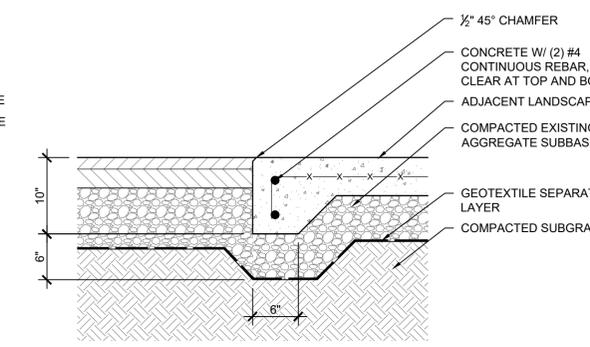
4 EXPANSION JOINT SECTION
1" = 1'-0"



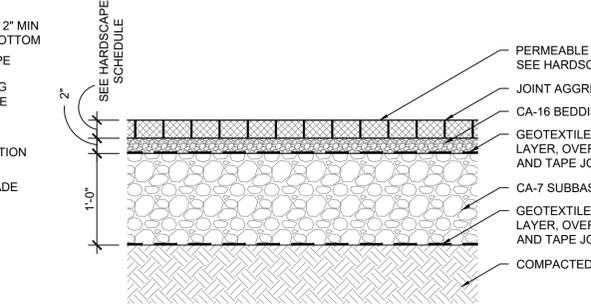
5 EXISTING ASPHALT PAVING SECTION
1" = 1'-0"



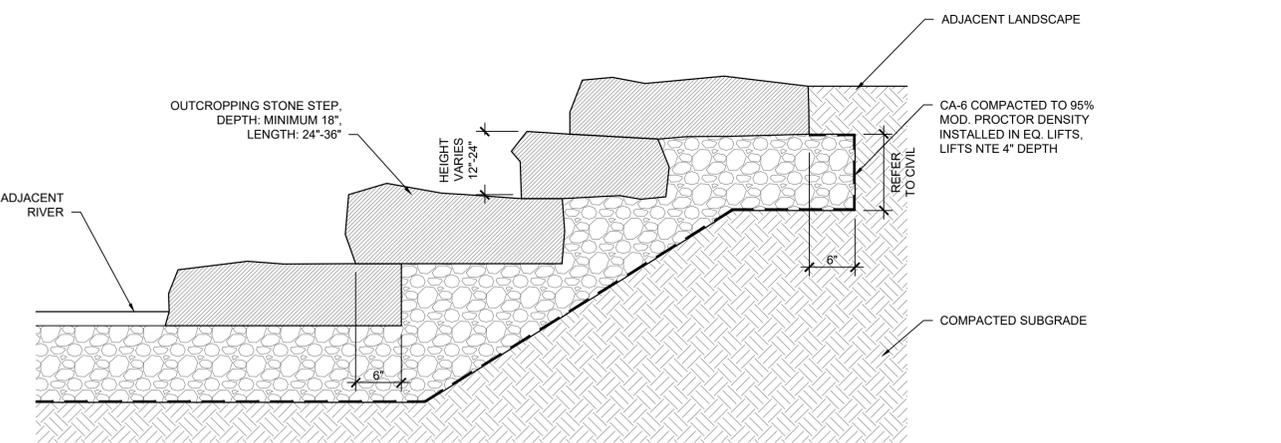
6 ASPHALT PAVING SECTION
1" = 1'-0"



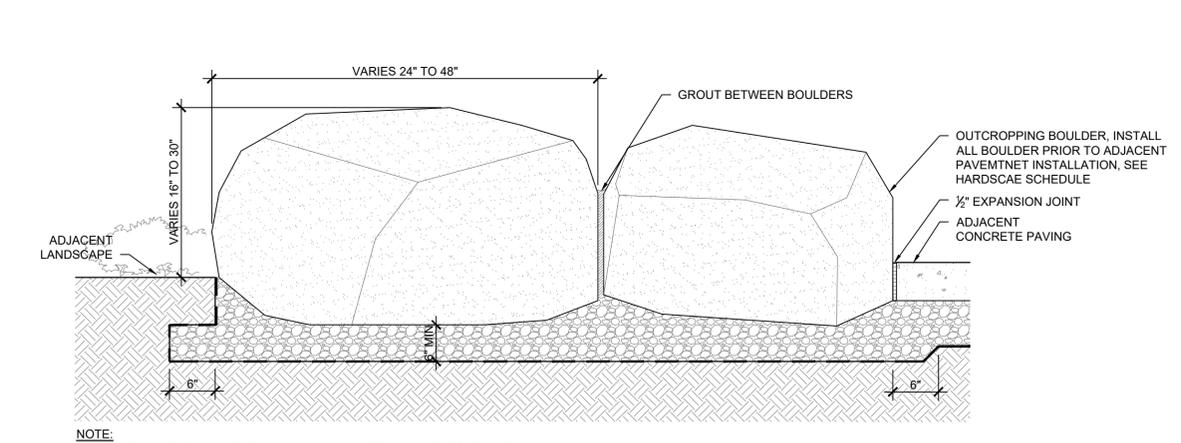
7 ASPHALT PAVING THICKENED CONCRETE EDGE
1" = 1'-0"



8 PEDESTRIAN PERMEABLE UNIT PAVER SECTION
1" = 1'-0"



9 STACKED OUTCROPPING STEPS
1" = 1'-0"



10 OUTCROPPING BOULDER GROUP IN LANDSCAPE AND CONCRETE
1" = 1'-0"

ISSUANCES

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100%	DD	09/29/2021
75%	CD	11/03/2021
	DESIGN DEVELOPMENT RIVERFRONT	04/19/2023
95%	CD	08/18/2023
100%	CD	09/15/2023

Project No : 9104
Drawn : RM File : 9104_defl_hard.dwg
Checked : BK Scale : AS NOTED
Approved : BM

Sheet Title:
HARDSCAPE DETAILS

Lincoln Playfield Renovation

SITE #756
PROJECT #7096
300 W Lincoln Avenue
Milwaukee, WI 53207



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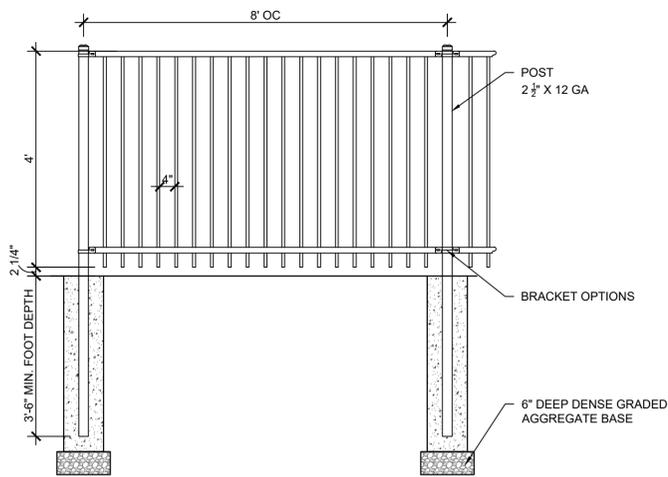
Civil Engineering

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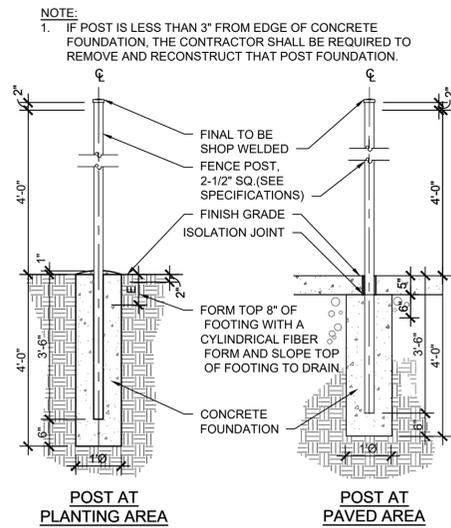
Architect

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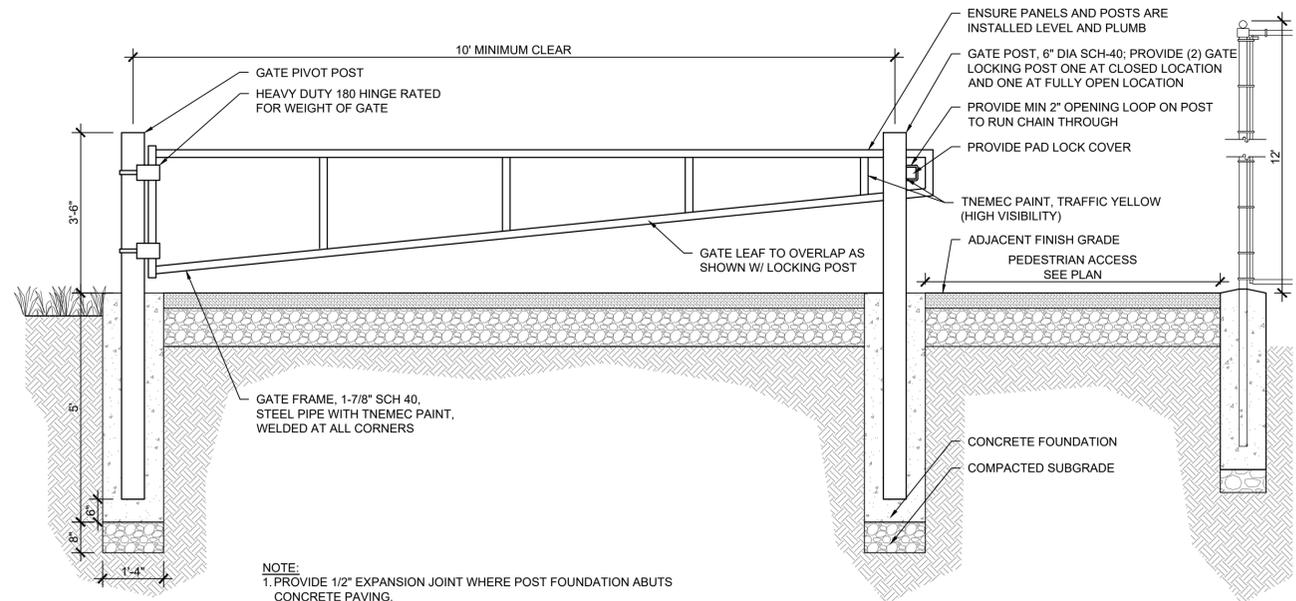
MEP Engineering



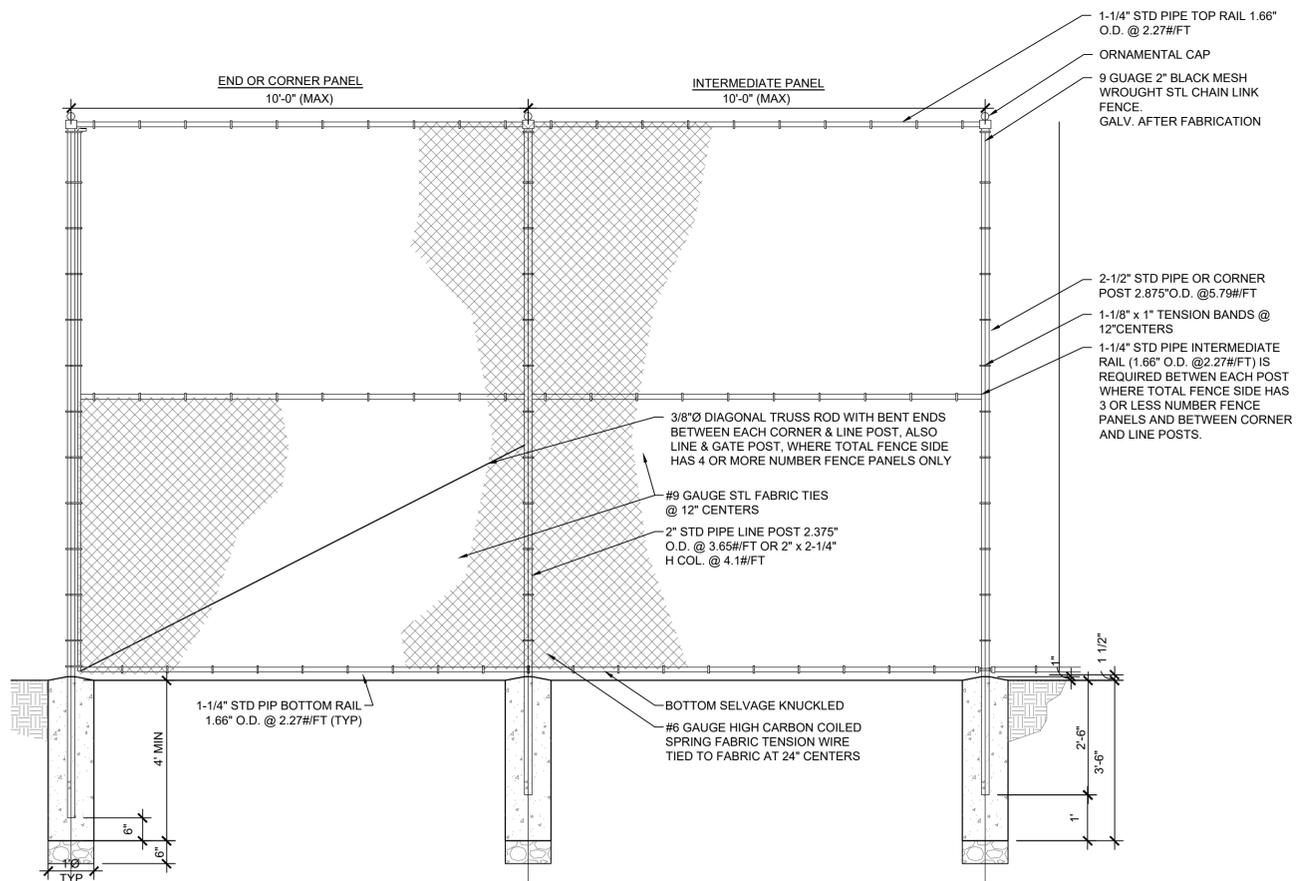
1 4'H ORNAMENTAL METAL FENCE DETAIL
1/2" = 1'-0"



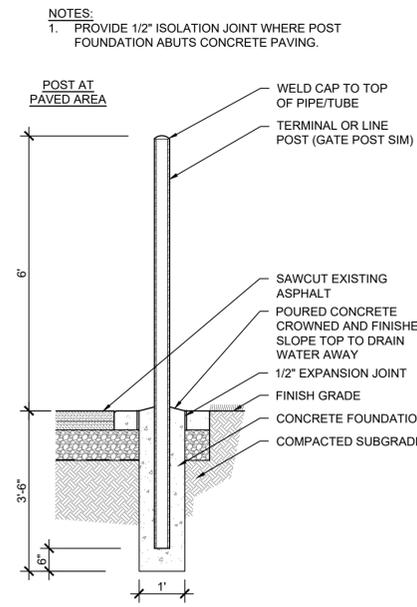
2 FENCE POST FOOTING DETAIL
1/2" = 1'-0"



3 VEHICULAR SWING GATE ELEVATION
1/2" = 1'-0"



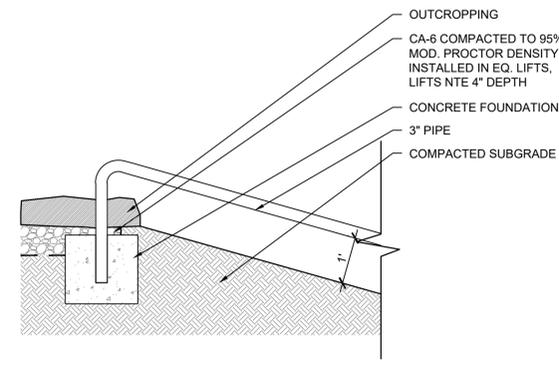
4 12'H CHAIN LINK FENCE ELEVATION
1/2" = 1'-0"



5 12'H CHAINLINK FENCE POST SECTION
1/2" = 1'-0"



6 TENNIS REBOUND BOARD DETAIL
NTS



7 PIPE KAYAK LAUNCH
1/2" = 1'-0"

ISSUANCES

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100% DD		09/29/2021
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DESIGN DEVELOPMENT RIVERFRONT		04/19/2023
95% CD		08/18/2023
100% CD		09/15/2023

Project No : 9104
Drawn : RM File : 9104_detl_furn.dwg
Checked : BK Scale : AS NOTED
Approved : BM

Sheet Title:
SITE FURNISHING DETAILS

Drawing Number:

L504A

Lincoln Playfield Renovation

SITE #756
PROJECT #7096
300 W Lincoln Avenue
Milwaukee, WI 53207



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MEP Engineering

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100% CD		09/15/2023

Project No : 9104

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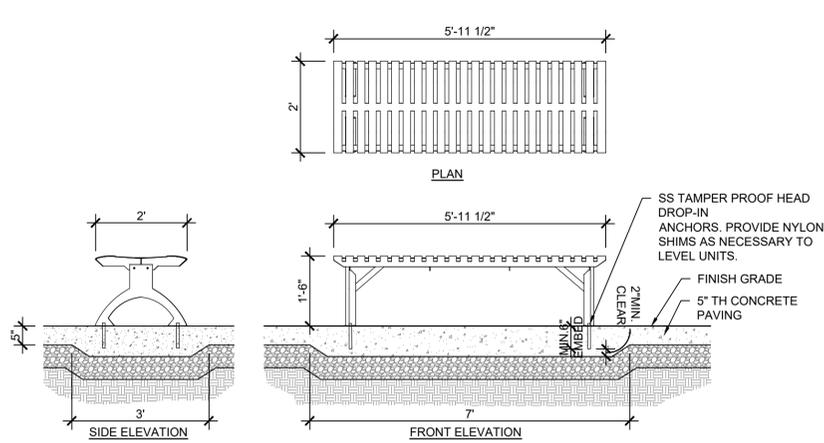
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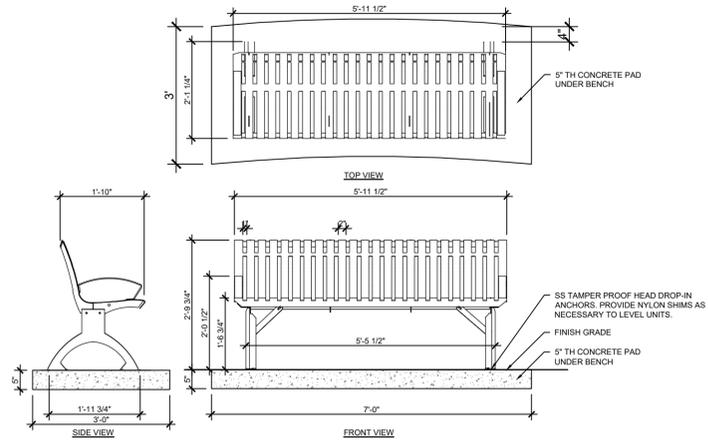
SITE FURNISHING DETAILS

Drawing Number:

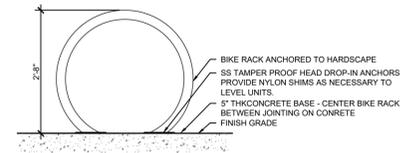
L504B



1 BENCH, TYPE 1
1/2" = 1'-0"

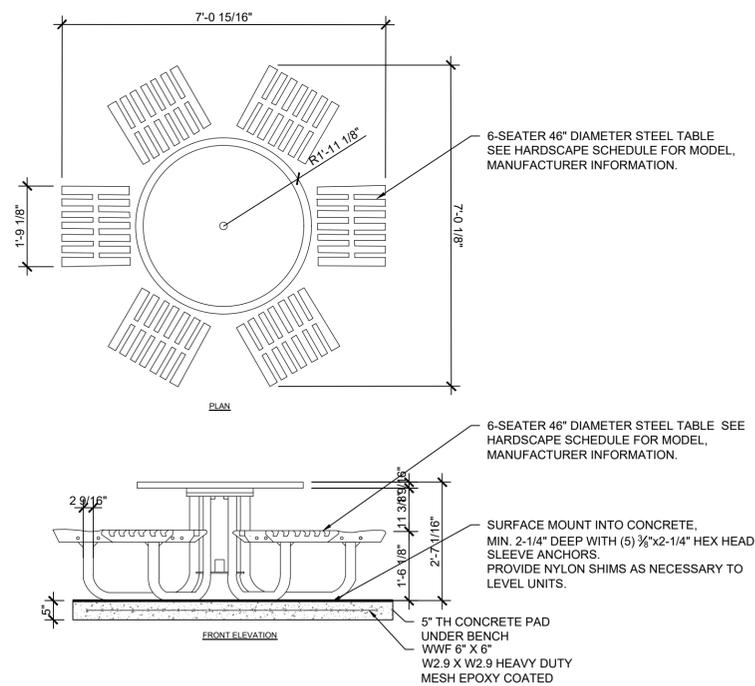


2 BENCH, TYPE 2
1/2" = 1'-0"

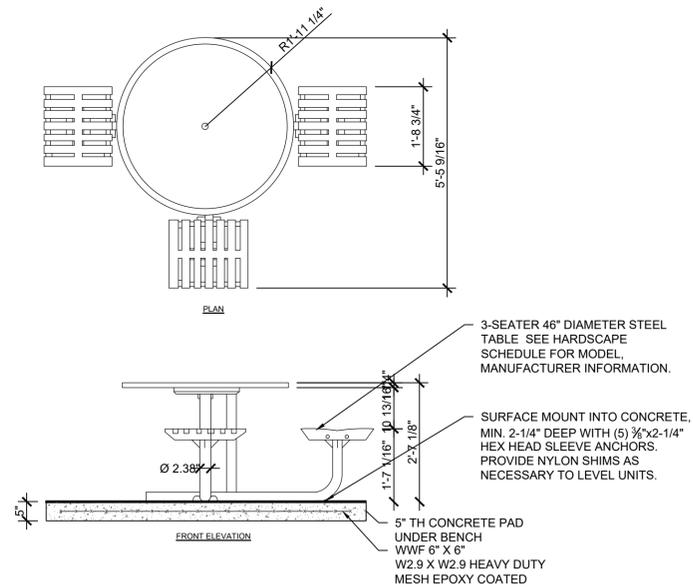


NOTE:
1. CONTRACTOR TO ENSURE TO INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTION MANUAL.

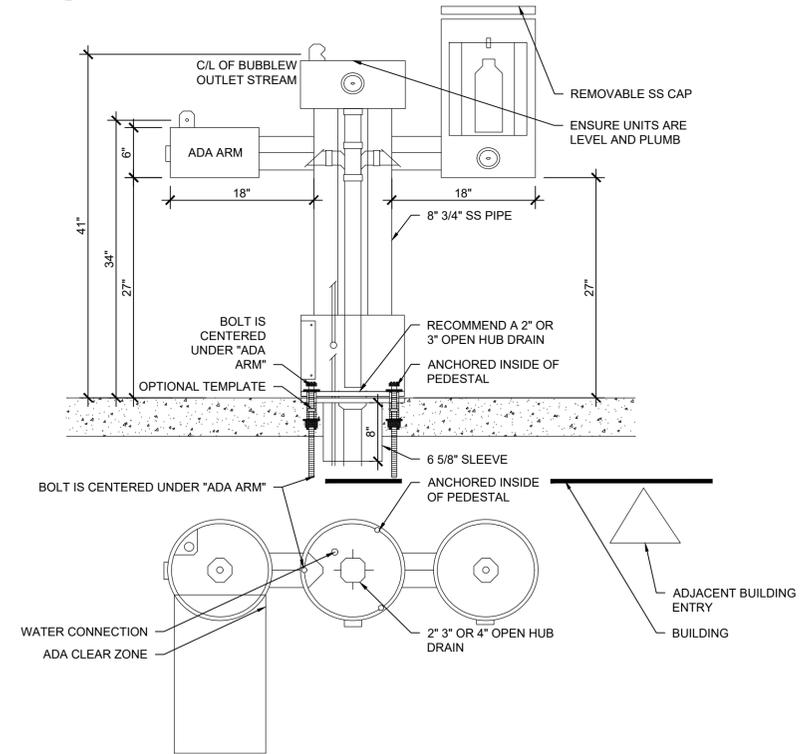
3 BIKE RACK DETAIL
1/2" = 1'-0"



3 PICNIC TABLE TYPE 1 DETAIL
1/2" = 1'-0"



4 PICNIC TABLE TYPE 2 DETAIL
1/2" = 1'-0"



NOTE:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND LOCAL ORDINANCE.
2. FILTER SHALL BE FURNISHED BY OWNER AND INSTALLED INTERIOR TO BUILDING

5 DRINKING FOUNTAIN DETAIL
1/2" = 1'-0"

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100%	CD	09/15/2023

Project No : 9104

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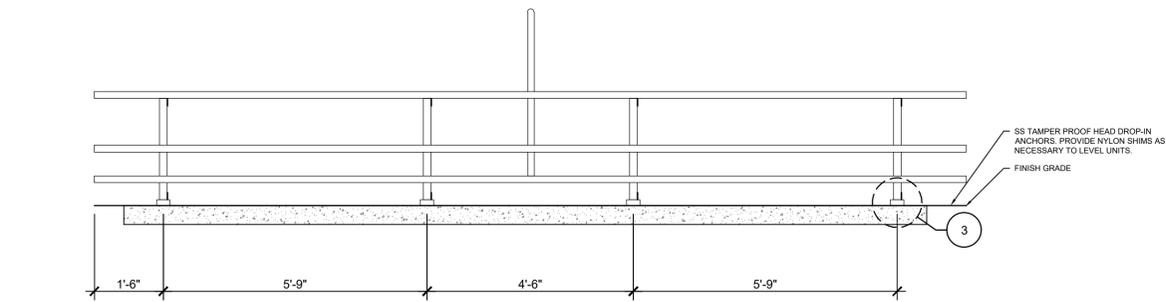
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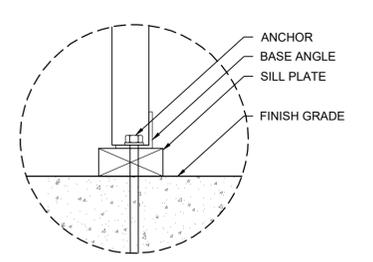
SITE FURNISHING DETAILS

Drawing Number:

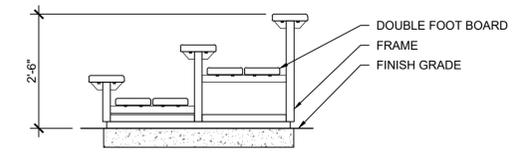
L504C



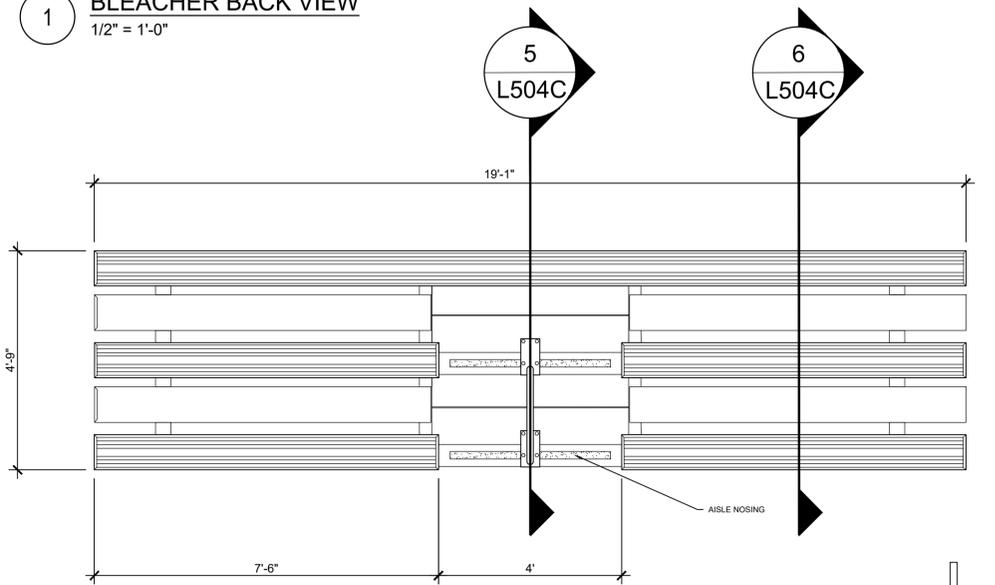
1 BLEACHER BACK VIEW
1/2" = 1'-0"



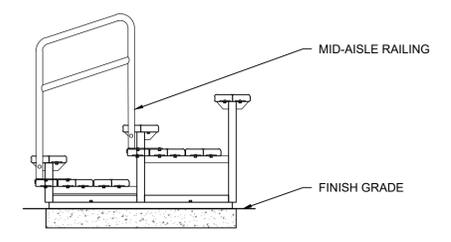
3 BLEACHER BASE DETAILS
1" = 1'-0"



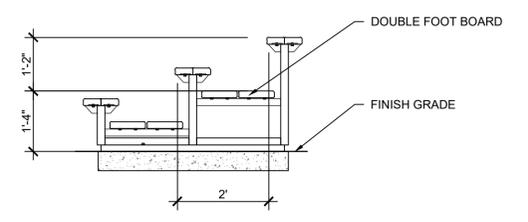
4 BLEACHER END VIEW
1/2" = 1'-0"



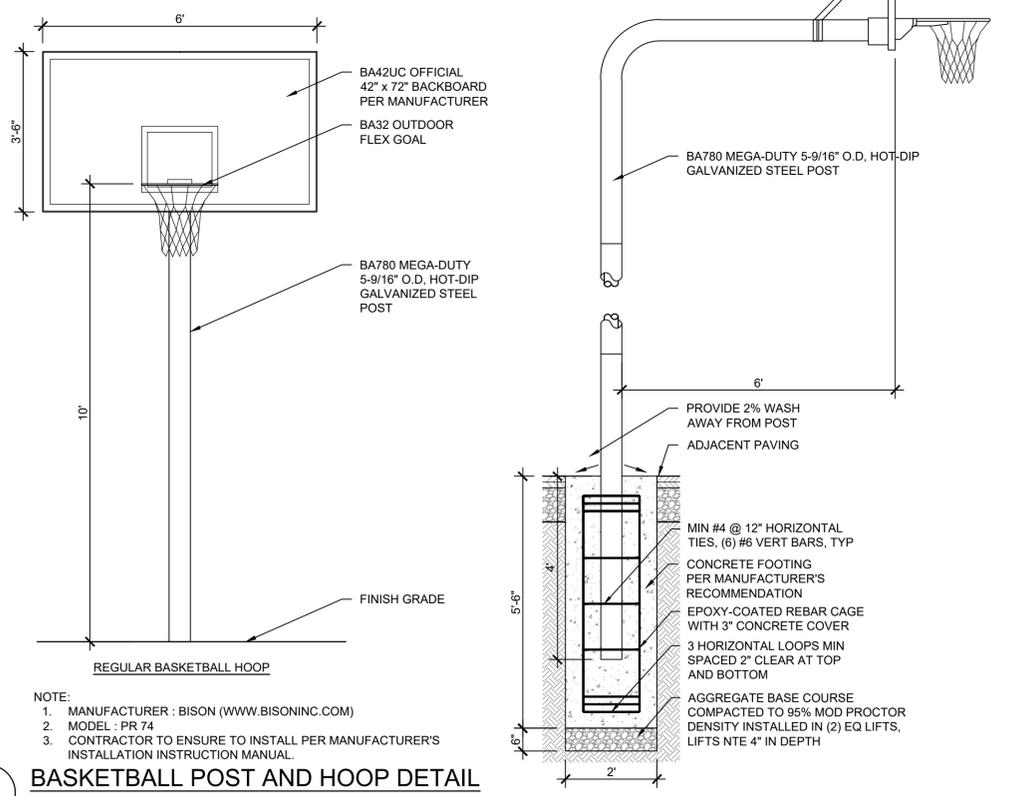
2 BLEACHER PLAN VIEW
1/2" = 1'-0"



5 BLEACHER SECTION THRU AISLE
1/2" = 1'-0"

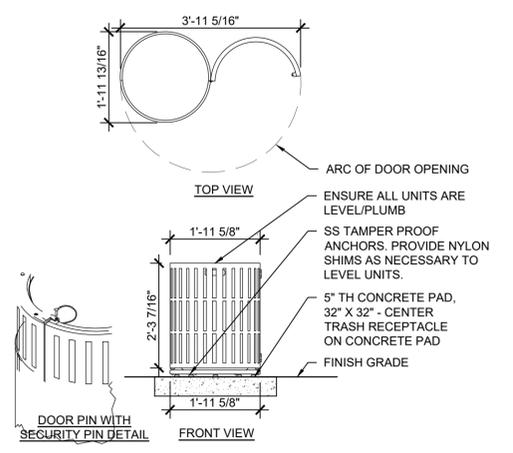


6 BLEACHER SECTION THRU SEATING
1/2" = 1'-0"



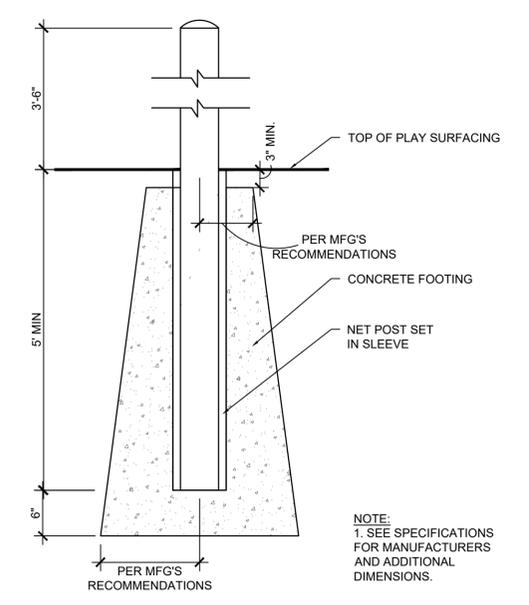
7 BASKETBALL POST AND HOOP DETAIL
1/2" = 1'-0"

- NOTE:
1. MANUFACTURER : BISON (WWW.BISONINC.COM)
2. MODEL : PR 74
3. CONTRACTOR TO ENSURE TO INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTION MANUAL.



8 TRASH RECEPTACLE DETAIL
1/2" = 1'-0"

- NOTE:
1. TRASH RECEPTACLE LINERS SHALL BE OWNER FURNISHED CONTRACTOR INSTALLED



9 TENNIS COURT NET POST IN CONCRETE FOOTING
1" = 1'-0"

- NOTE:
1. SEE SPECIFICATIONS FOR MANUFACTURERS AND ADDITIONAL DIMENSIONS.

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ISSUANCES

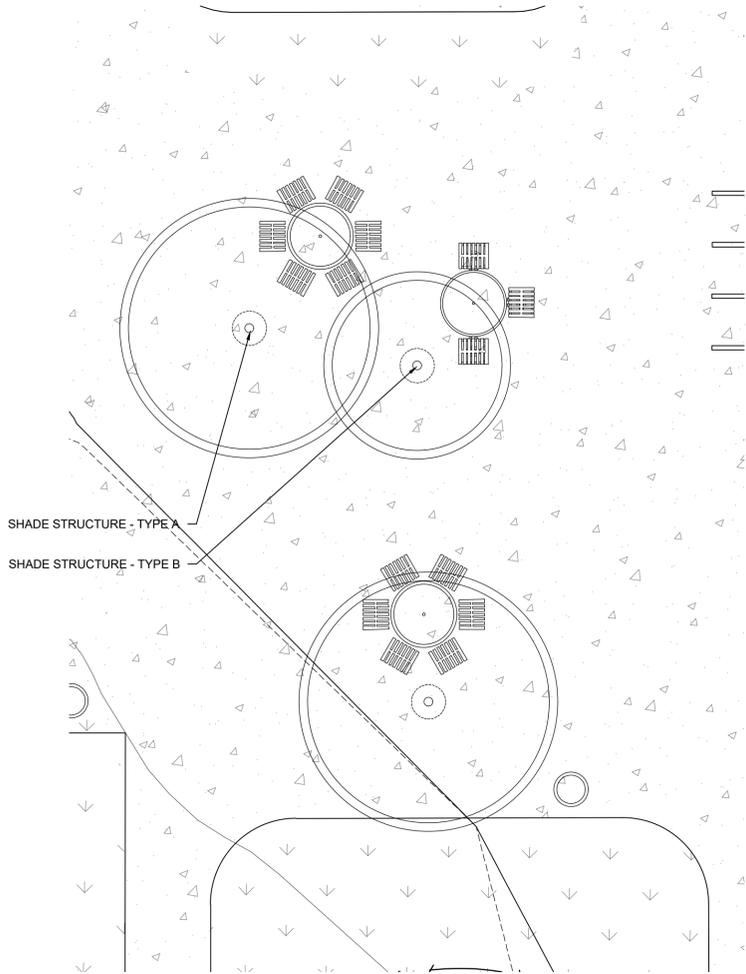
Rev. #	Description	Date Issued
100%	DD	09/29/2021
75%	CD	11/03/2021
	DESIGN DEVELOPMENT RIVERFRONT	04/19/2023
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100%	CD	09/15/2023

Project No : 9104
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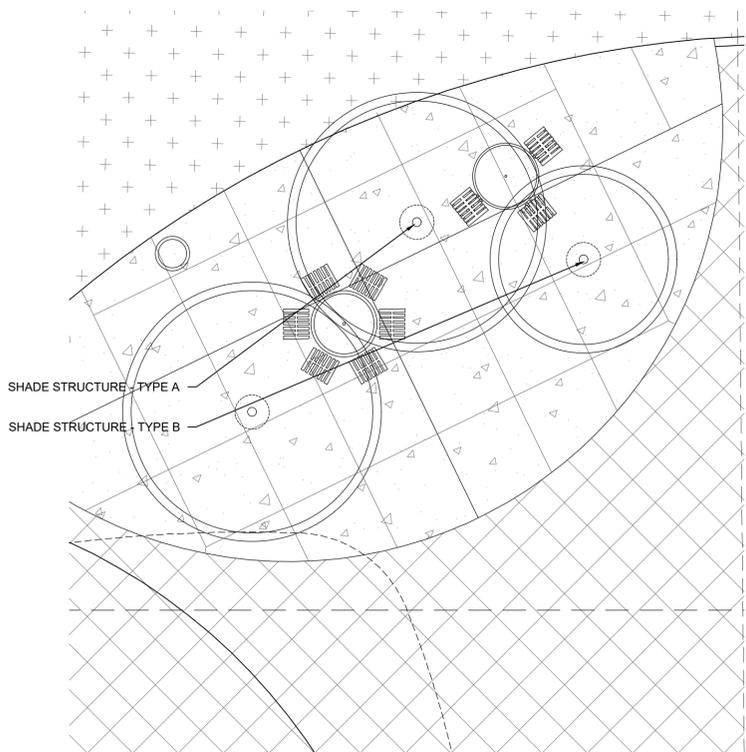
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SITE FURNISHING DETAILS

Drawing Number:

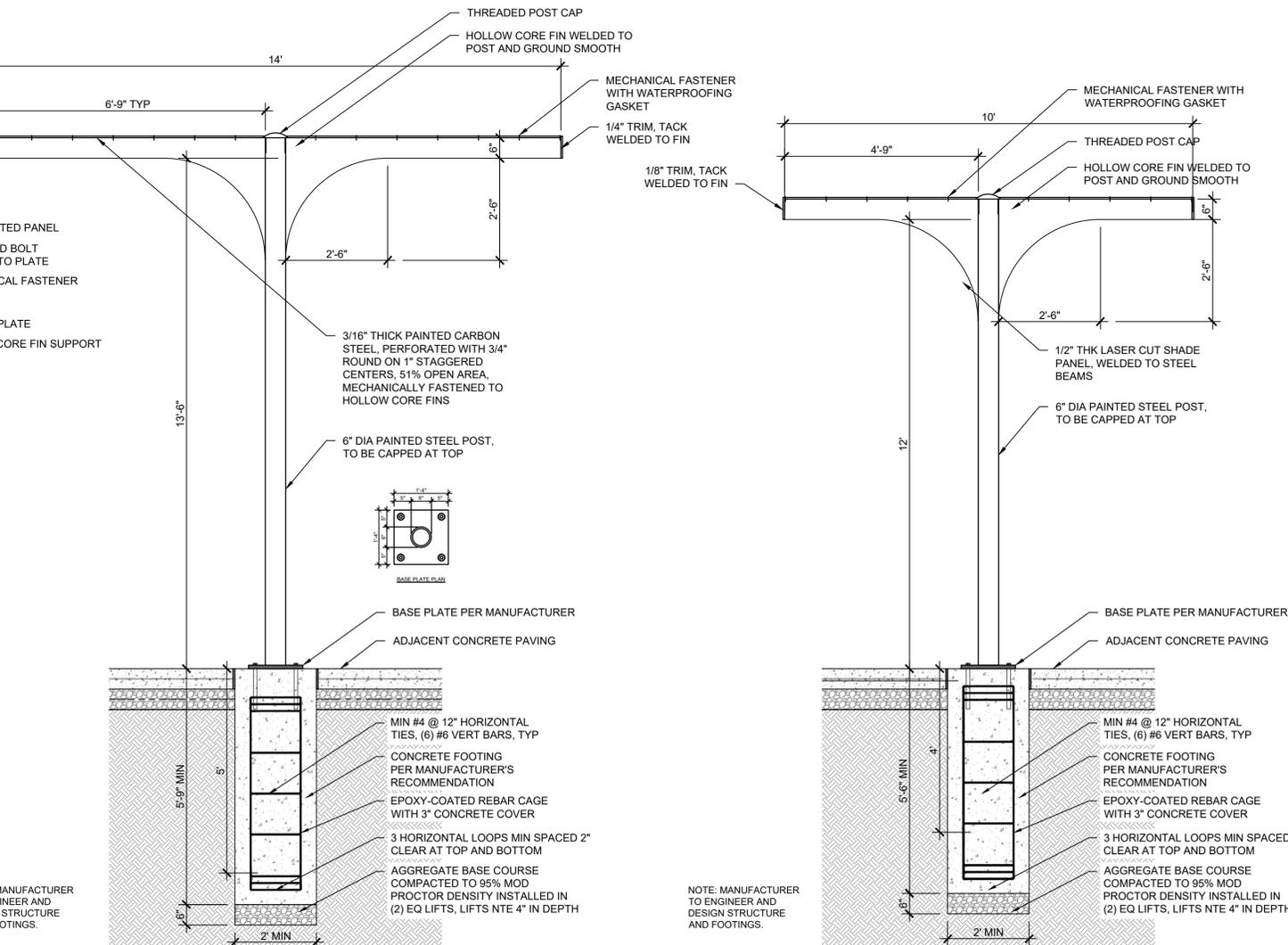
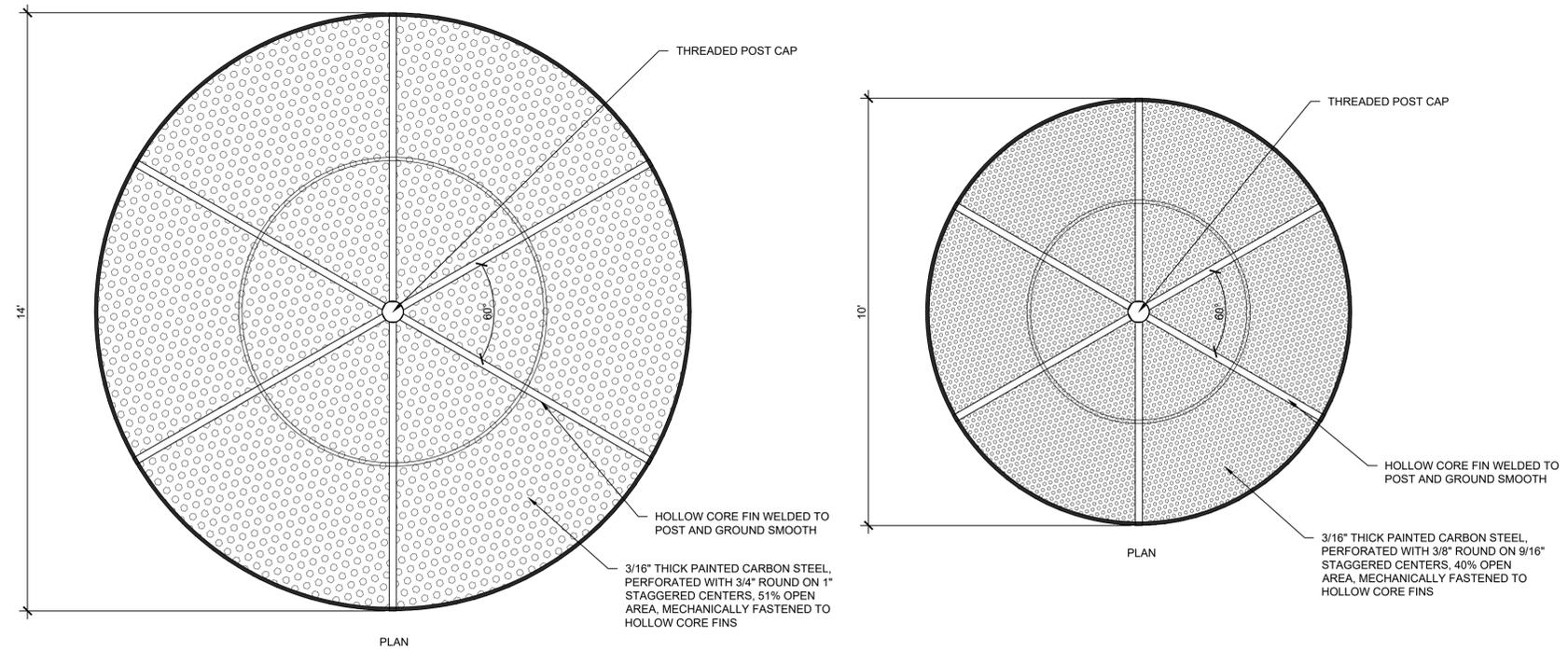
L504D



1 OVERALL SHADE STRUCTURE PLAN
1/2" = 1'-0"



2 OVERALL SHADE STRUCTURE PLAN
1/2" = 1'-0"



3 SHADE STRUCTURE SECTION - TYPE A
1/2" = 1'-0"

4 SHADE STRUCTURE SECTION - TYPE B
1/2" = 1'-0"

NOTE: MANUFACTURER TO ENGINEER AND DESIGN STRUCTURE AND FOOTINGS.

NOTE: MANUFACTURER TO ENGINEER AND DESIGN STRUCTURE AND FOOTINGS.



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Lincoln Playfield Renovation

SITE #756
PROJECT #7096
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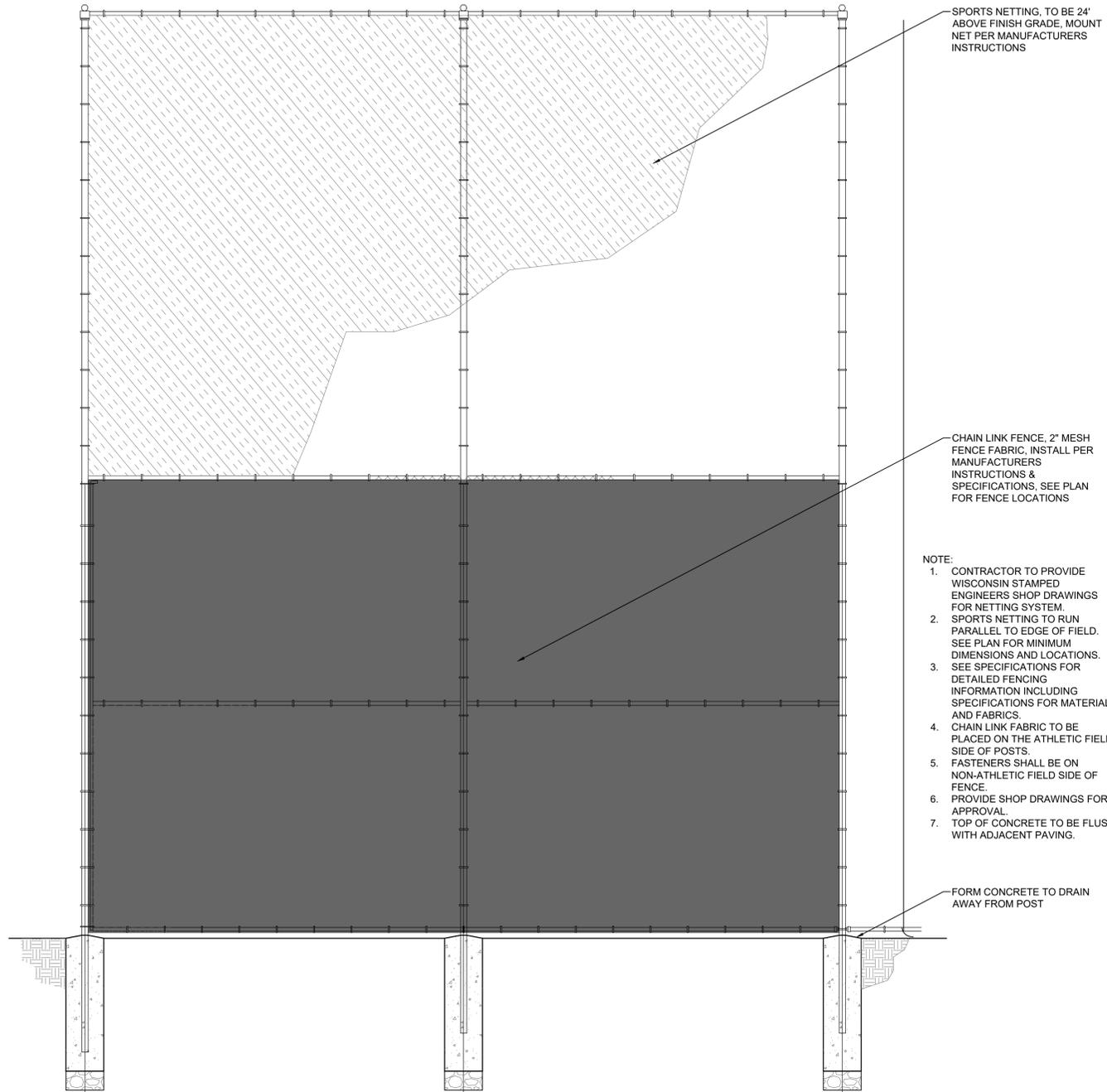
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SPORTS NETTING, TO BE 24' ABOVE FINISH GRADE. MOUNT NET PER MANUFACTURERS INSTRUCTIONS

CHAIN LINK FENCE, 2" MESH FENCE FABRIC, INSTALL PER MANUFACTURERS INSTRUCTIONS & SPECIFICATIONS, SEE PLAN FOR FENCE LOCATIONS

NOTE:

1. CONTRACTOR TO PROVIDE WISCONSIN STAMPED ENGINEERS SHOP DRAWINGS FOR NETTING SYSTEM.
2. SPORTS NETTING TO RUN PARALLEL TO EDGE OF FIELD. SEE PLAN FOR MINIMUM DIMENSIONS AND LOCATIONS.
3. SEE SPECIFICATIONS FOR DETAILED FENCING INFORMATION INCLUDING SPECIFICATIONS FOR MATERIAL AND FABRICS.
4. CHAIN LINK FABRIC TO BE PLACED ON THE ATHLETIC FIELD SIDE OF POSTS.
5. FASTENERS SHALL BE ON NON-ATHLETIC FIELD SIDE OF FENCE.
6. PROVIDE SHOP DRAWINGS FOR APPROVAL.
7. TOP OF CONCRETE TO BE FLUSH WITH ADJACENT PAVING.

FORM CONCRETE TO DRAIN AWAY FROM POST



2 RIVERWALK IDENTITY SIGNAGE
NTS

1 12'H CHAIN LINK FENCE AND 12' SPORTS NETTING ELEVATION
1/2" = 1'-0"

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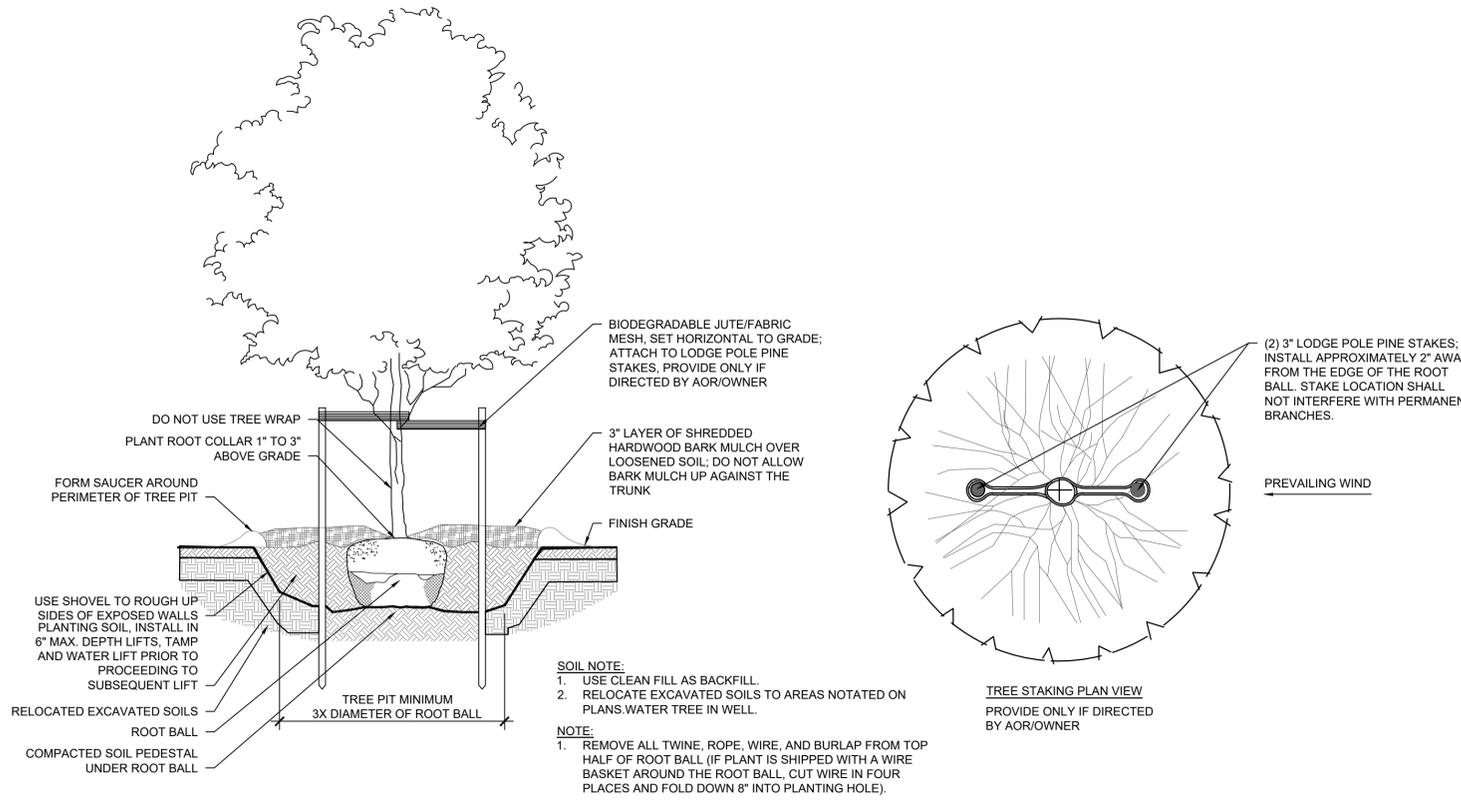
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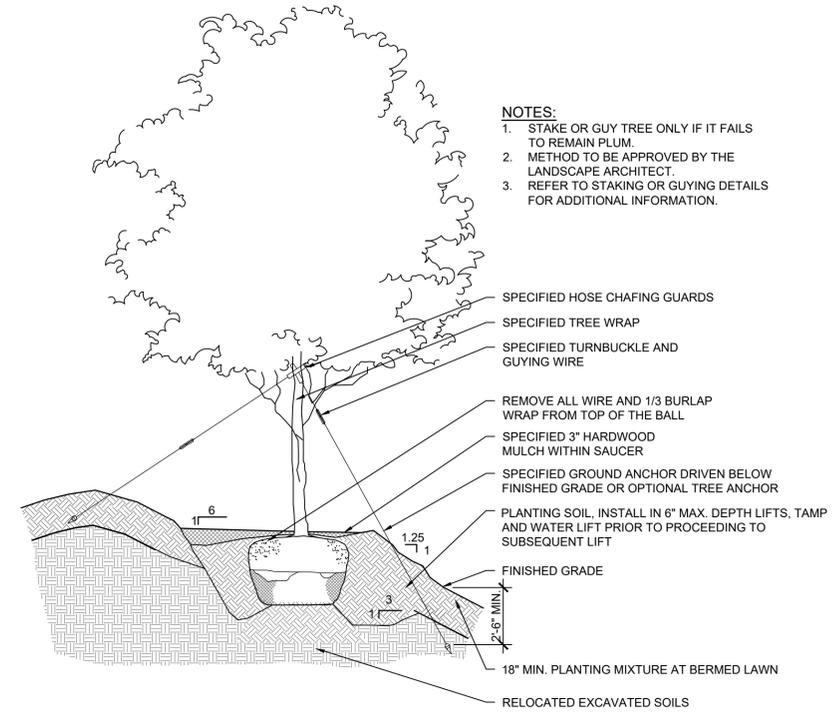
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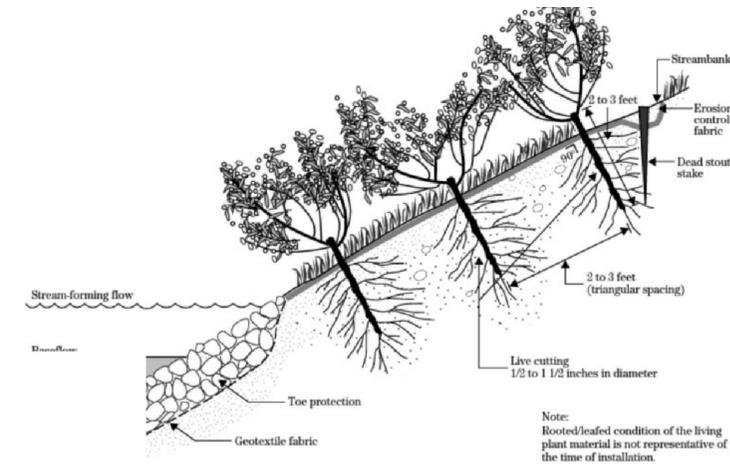
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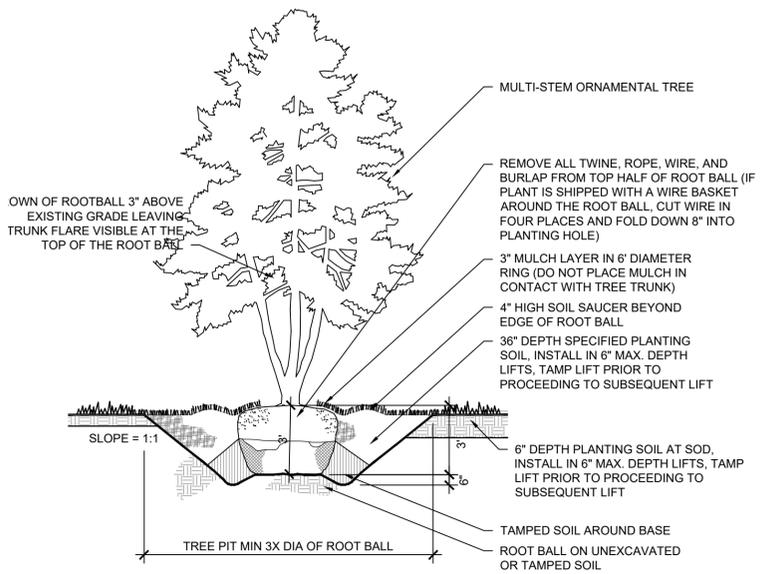
1 DECIDUOUS TREE PLANTING DETAIL WITH STAKING
NOT TO SCALE



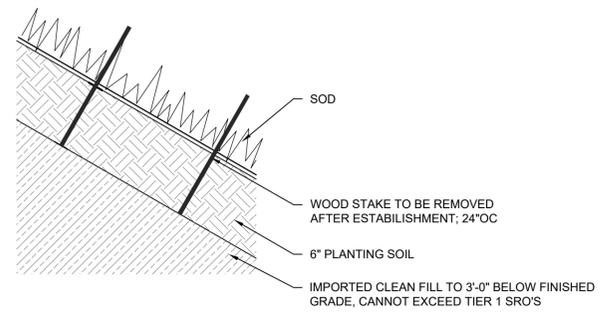
2 SHADE TREE PLANTING ON SLOPE SECTION
NOT TO SCALE



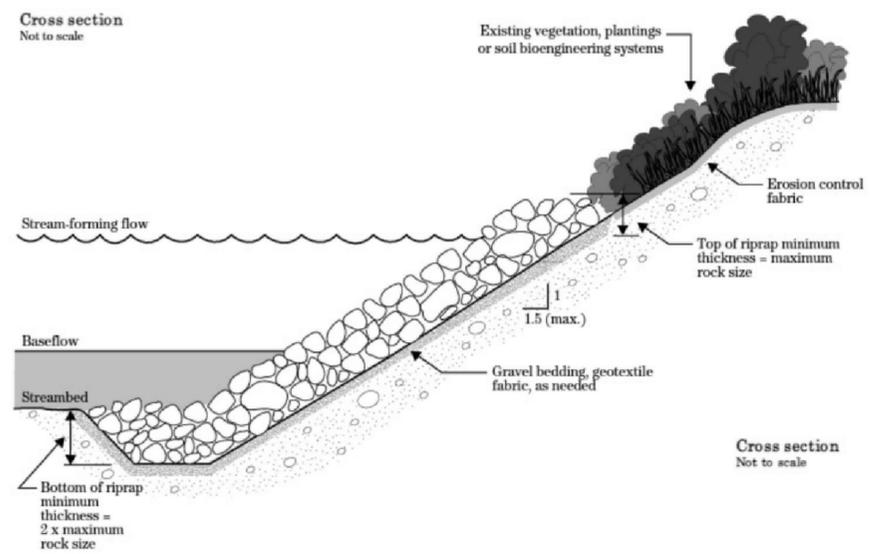
4 LIVE STAKING
NOT TO SCALE



3 ORNAMENTAL TREE PLANTING SECTION
NOT TO SCALE



5 SOD ON SLOPE DETAIL
NOT TO SCALE



6 RIP RAP
NOT TO SCALE

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PLANTING DETAILS

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MEP Engineering

HARDSCAPE SCHEDULE					
DESCRIPTION	DIMENSIONS	COLOR / MATERIAL	MANUFACTURER	MODEL	REMARKS
Concrete Paving	See Plan	Standard gray, Light broom finish	Riv/Crete, 2751 S Chase Ave, Milwaukee, WI 53207, Phone: (414) 455-6070, Website: www.rivcrete.com (or Approved Equal).		
Expansion Joint	See Detail	Material: Self-leveling Polyurethane Sealant. Color: Gray.	Master Builders Solutions, 23700 Chagrin Blvd, Beachwood, OH 44122, Phone: (800) 451-1648, Website: www.master-builders-solutions.com (or Approved Equal)	MasterSeal SL 1	
Asphalt Paving	See Plan	Material: Asphalt cement. Color: Natural. Finish: Rolled.			
Asphalt Surface Course	See Plan				
Asphalt Paving with Sport Court Coating	See Plan	Color A: Purple, Color B: Orange, Color C: Green, Color D: Blue	SportMaster Sport Surfaces, 375 Roma Jean Parkway, Streamwood, IL 60107, Phone: (630) 372-8300, Website: www.sportmaster.net (or Approved Equal).		
Permeable Paver Paving	See Plan				
Concrete Stair	L Varies x W Varies, See Plan. THK Varies, See Detail	Material: Ready Mix Concrete, Cast-in-Place. Color: Natural (No Integral Color). Finish: Light broom finish shall be perpendicular to the path of travel.	Riv/Crete, 2751 S Chase Ave, Milwaukee, WI 53207, Phone: (414) 455-6070, Website: www.rivcrete.com (or Approved Equal).		--
Sport Court Striping	See Plan	Colors: Textured White (Tennis and Basketball) and Textured Light Blue (Pickleball)			
Flush Concrete Curb	6"W	Standard gray, Light broom finish		Cast in place	
Outcropping Stone	Length:36-60"; Width:24-48"; Height: 18-24"	Weathered gray Limestone Outcropping	Fond du Lac Quarry		

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HARDSCAPE SCHEDULE

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L601



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MEP Engineering

FURNISHING SCHEDULE					
DESCRIPTION	DIMENSIONS	FINISH	MANUFACTURER	MODEL	REMARKS
Picnic Table, Type 1	30"H x 85"Dia.	Blue	Anova, 211 North Lindbergh Blvd. St Louis, MO 63141; Tel: 800.231.1327; Fax: 314.754.0835	L1444-Latitude Table, 6 Flat Seats	
Picnic Table, Type 2	30"H x 66"W x 85"L	Blue	Anova, 211 North Lindbergh Blvd. St Louis, MO 63141; Tel: 800.231.1327; Fax: 314.754.0835	L1450-Latitude ADA Table, 3 Flat Seats	
Bench, Type 1	18"H x 24"W x 72"L	Blue	Anova, 211 North Lindbergh Blvd. St Louis, MO 63141; Tel: 800.231.1327; Fax: 314.754.0836	L1443-Latitude 6' Flat Bench	
Bench, Type 2	34"H x 25"W x 72"L	Blue	Anova, 211 North Lindbergh Blvd. St Louis, MO 63141; Tel: 800.231.1327; Fax: 314.754.0836	L1441A-Latitude 6' Contour Bench with Armrests	
Bleacher Seating	2'-6"H x 4'-9" x 19'L		JW Industries Inc, 5662 Glendale Ave, Green Bay, WI 54313; Tel: 920.865.7307. Email: jwoffice@jwindustriesinc.com	3R19A-3 3row x 19ft Bleacher	
Trash Receptacle	46"H x 28"Dia.	Blue	Anova, 211 North Lindbergh Blvd. St Louis, MO 63141; Tel: 800.231.1327; Fax: 314.754.0835	L-2055- Latitude Side Opening Receptacle with Bonnet Top	
Drinking Fountain	45" L x 12" W x 49" H (Per MFG.)	Color: Textured Sapphire.	Most Dependable Fountatins, 5705 Commander Dr, Arlington, TX 38002, Phone: (901) 867-0039, Website: www.mostdependable.com (or Approved Equal)	2440 SMSS w/ Optional Bottle Filler	
Tennis Post	See specification	Post Color: Green Acrylic Urethane	J.A Cissel Manufacturing, or Douglas Industries, 3441 S 11th Ave Eldridge, IA 52748; Tel: 800.553.8907;	#344 (JA) or Premier Round Post (Douglas)	
Tennis Net	See specification		M Putterman and Co., or Douglas Industries, 3441 S 11th Ave Eldridge, IA 52748; Tel: 800.553.8907;	Maxi (Putterman) or TN-36 (Douglas)	
Basketball Post	5-9/16" outside diameter minimum schedule 40 structural pipe; one piece without joints. Galvanize steel after rolling. Provide 4'-0" extensions. Interior of tubing and cut ends shall be finished with a corrosion-resistant coating	Galvanized pole	Bison; 603 L Street Lincoln, NE 68508; 1-800-247-7668 M-F 8-5 CST FAX 1-800-638-0698	Package PR74; (Part: BA780)	
Basketball Backboard		Clear unbreakable polycarbonate, framed with aluminum extrusions	Bison; 603 L Street Lincoln, NE 68508; 1-800-247-7668 M-F 8-5 CST FAX 1-800-638-0698	Package PR74; (Part: BA42UC)	
Basketball Ring & Net	5" x 4" mounting pattern	Nylon net	Bison; 603 L Street Lincoln, NE 68508; 1-800-247-7668 M-F 8-5 CST FAX 1-800-638-0698	Package PR74; (Part: BA32)	
Bike Rack	32"H x 6"W x 36"L	Blue	Anova, 211 North Lindbergh Blvd. St Louis, MO 63141; Tel: 800.231.1327; Fax: 314.754.0835	CIRCLEBR- Tandem Powder Coated Bike Rack, Surface Mount	
Shade Structure	14' Dia., and 10' Dia., Height Varies	Colors: Green, Light Blue	Landscape Structures, 1101 McKinley Parkway, Delano, MN 55328; Tel: 888.438.6574. Rep: Kyla Reamon, kyla@gerberfeisure.com	Custom product	
Handrail	L Varies x W Varies, See Plan. H Varies, See Detail	Material: Stainless Steel. Color: Natural. Finish: Brushed.	See Specifications.		Shall be ADA Compliant.
4'H Ornamental Metal Fence	See specification	Material: Metal, Color: Black, Finish: Powdercoated	See specification		
12'H Chainlink Fence	See Plan		See specification		
12'H Chainlink Gate	See Plan		See specification		
12'H Chainlink w/ 12' Netting	See Plan		SportsField Specialties, Inc.	Pole-to-pole Tension Ball Safety Netting System - Ultra Cross Knotless Dyneema UHMWPE	Refer to manufacturer for structural and footing requirements
Vehicular Access Gate	See Plan				
Tennis Rebound Board	10'H x 20'W		Douglas Industries, 3441 S 11th Ave Eldridge, IA 52748; Tel: 800.553.8907;	Bakko Backboard, Professional Flat	
Kayak Launch	See Plan	Material: Metal, Galvanized			3" pipe kayak launch

ISSUANCES

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FURNISHING SCHEDULE

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L603



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PROJECT #7096
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Milwaukee, WI 53207



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MEP Engineering

PLANT SCHEDULE						
CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	REMARKS
SHADE TREES						
AC.RP	6	<i>Acer rubrum</i> 'Frank Jr.'	Redpointe Maple	B&B	2.5" cal	6'T CBH
BE.CU	5	<i>Betula nigra</i> 'Cully'	Heritage Riverbirch	B&B	2.5" cal	6'T CBH
CA.SP	7	<i>Catalpa speciosa</i>	Northern Catalpa	B&B	2.5" cal	6'T CBH
CE.OC	6	<i>Celtis occidentalis</i>	Common Hackberry	B&B	2.5" cal	6'T CBH
GL.SM	2	<i>Gleditsia t.</i> 'Shademaster'	Shademaster Honey Locust	B&B	2.5" cal	6'T CBH
GY.ES	3	<i>Gymnocladus dioica</i> 'Espresso'	Espresso Kentucky Coffeetree	B&B	2.5" cal	6'T CBH
QU.BI	10	<i>Quercus bicolor</i>	Swamp White Oak	B&B	2.5" cal	6'T CBH
QU.IM	10	<i>Quercus imbricaria</i>	Shingle Oak	B&B	2.5" cal	6'T CBH
QU.MU	4	<i>Quercus muehlenbergia</i>	Chinkapin Oak	B&B	2.5" cal	6'T CBH
TA.DI	6	<i>Taxodium distichum</i>	Bald Cypress	B&B	2.5" cal	6'T CBH
UL.NH	6	<i>Ulmus</i> 'Princeton'	Princeton American Elm	B&B	2.5" cal	6'T CBH
ORNAMENTAL TREES						
AM.AB	18	<i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	B&B	8' ht	5-8 canes
CE.CA	15	<i>Cercis canadensis</i>	Eastern Redbud	B&B	10' w	3-5 canes, Northern Strain
CR.WK	11	<i>Crataegus viridis</i> 'Winter King'	Winter King Hawthorn	B&B	2.5" cal	

NOTE: REFER TO SPECIFICATIONS FOR RIVERFRONT RESTORATION PLANT SPECIES LIST.

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