

SITE & BUILDING DATA

2015 IBC CODE
LEVEL II ALTERATION
CLASS OF CONSTRUCTION: III-B EXTERIOR MASONRY UNPROTECTED
BUILDING IS NON-SPRINKLERED

USE AND OCCUPANCY CLASSIFICATION - MERCANTILE
(Chapter 3) EXISTING: VACANT - PREVIOUSLY MERCANTILE
PROPOSED: RETAIL/MERCANTILE

ALLOWABLE AREA & HEIGHT: M/III-B = 2 STORIES, 12,500 sq. ft.
ACTUAL AREA: TOTAL BLDG: 1 STORY, 2,140 sq. ft.

EXIT TRAVEL DISTANCE: 200 FEET
(Table 1017.2)
COMMON PATH OF TRAVEL: 75 FEET
(Table 1006.2)

TOTAL OCCUPANCY LOAD:
(Table 1004.1.2)

Name	Area	Total Occupants
RETAIL	1,752 sq. ft./60 gr	= 29 actual= 10
BUSINESS	167 sq. ft./100 gr	= 1 actual= 2
STOR/MISC	221 sq. ft./300 gross	= 3/1 actual= 1/3
TOTAL:		

PLUMBING FIXTURE REQUIREMENTS: M-MERCANTILE
(Table 2902.1)

	WC REQ'D	WC PROVIDED
MALE:	1 per 500 = 1	2
FEMALE:	1 per 500 = 1	2
LAVATORIES:	1 per 750 = 1	2

DEMOLITION FLOOR PLAN

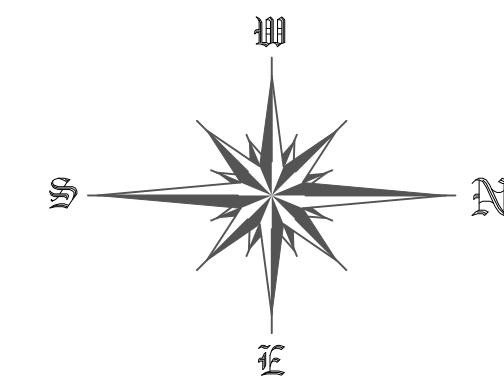
1/4" = 1'-0"

SEPARATE PERMITS REQUIRED FOR PLUMBING, ELECTRIC, AND HVAC. ALL WORK TO BE IN ACCORDANCE WITH SPS 381.05, ICC/ANSI A117.1-2009, AND CITY OF MILWAUKEE CODE OF ORDINANCE CHAPTER 295. ALL WORK TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE CODES AND IN ACCORDANCE WITH ALL GENERALLY ACCEPTED CONSTRUCTION METHODS APPLYING TO THE WORK.

NOTE: ALL CONSTRUCTION IS TO BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE CODES AND IN ACCORDANCE WITH ALL GENERALLY ACCEPTED CONSTRUCTION METHODS APPLYING TO THE WORK.

SHEET INDEX:

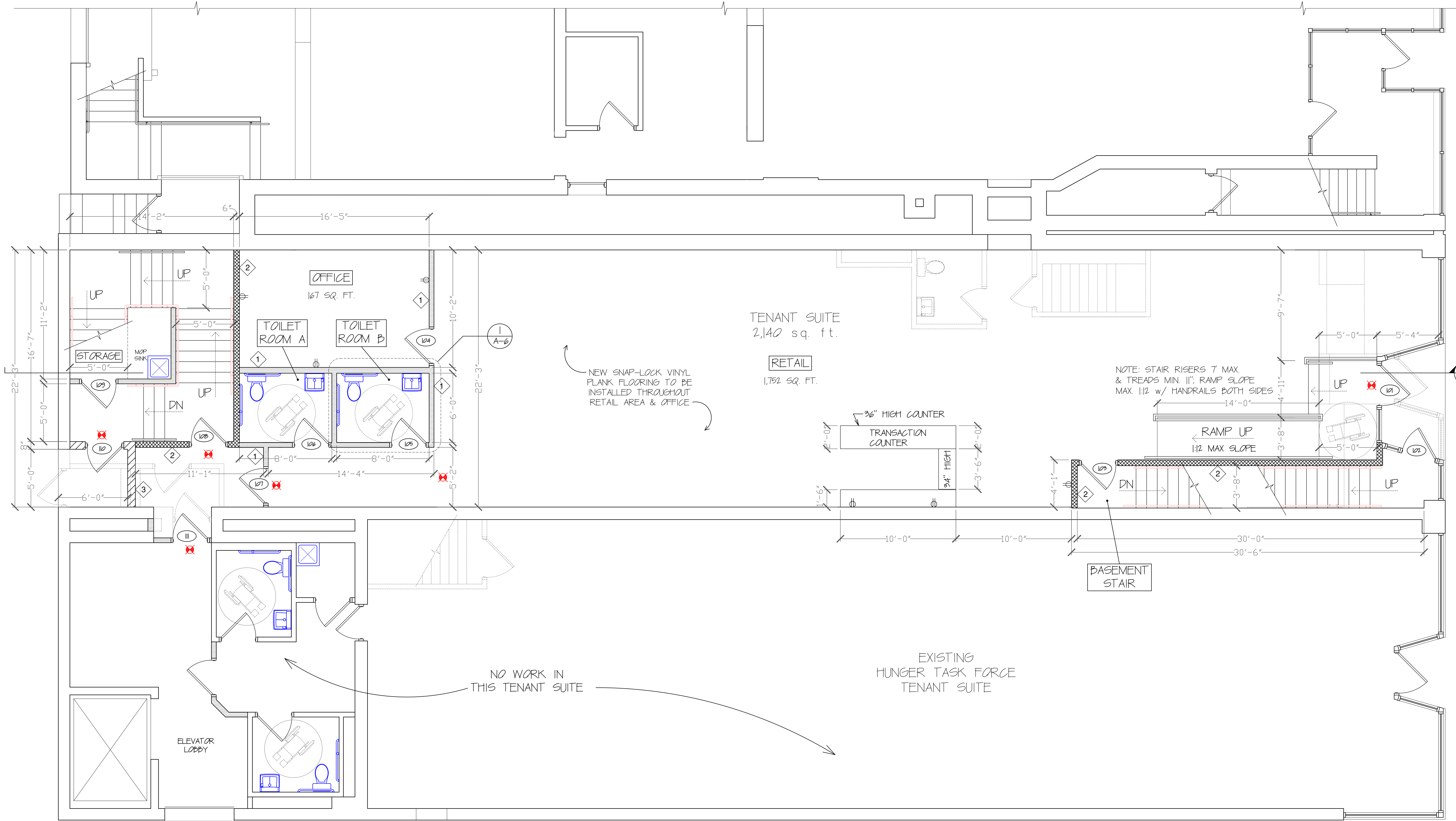
- A-1 DEMOLITION FLOOR PLAN
- A-2 PROPOSED FLOOR PLAN
- A-3 REFLECTED CEILING PLAN
- A-4 FACADE ELEVATIONS
- A-5 BUILDING SECTION
- A-6 ADA DETAILS & NOTES
- A-7 DOOR SCHEDULE
- INTERIOR WALL TYPES



10-27-22

DEMO PLAN

A-1



NOTE: STAIR RISERS 7 MAX & TREADS MIN. 11"; RAMP SLOPE MAX. 1:12 w/ HANDRAILS BOTH SIDES

NEW SNAP-LOCK VINYL PLANK FLOORING TO BE INSTALLED THROUGHOUT RETAIL AREA & OFFICE

NO WORK IN THIS TENANT SUITE

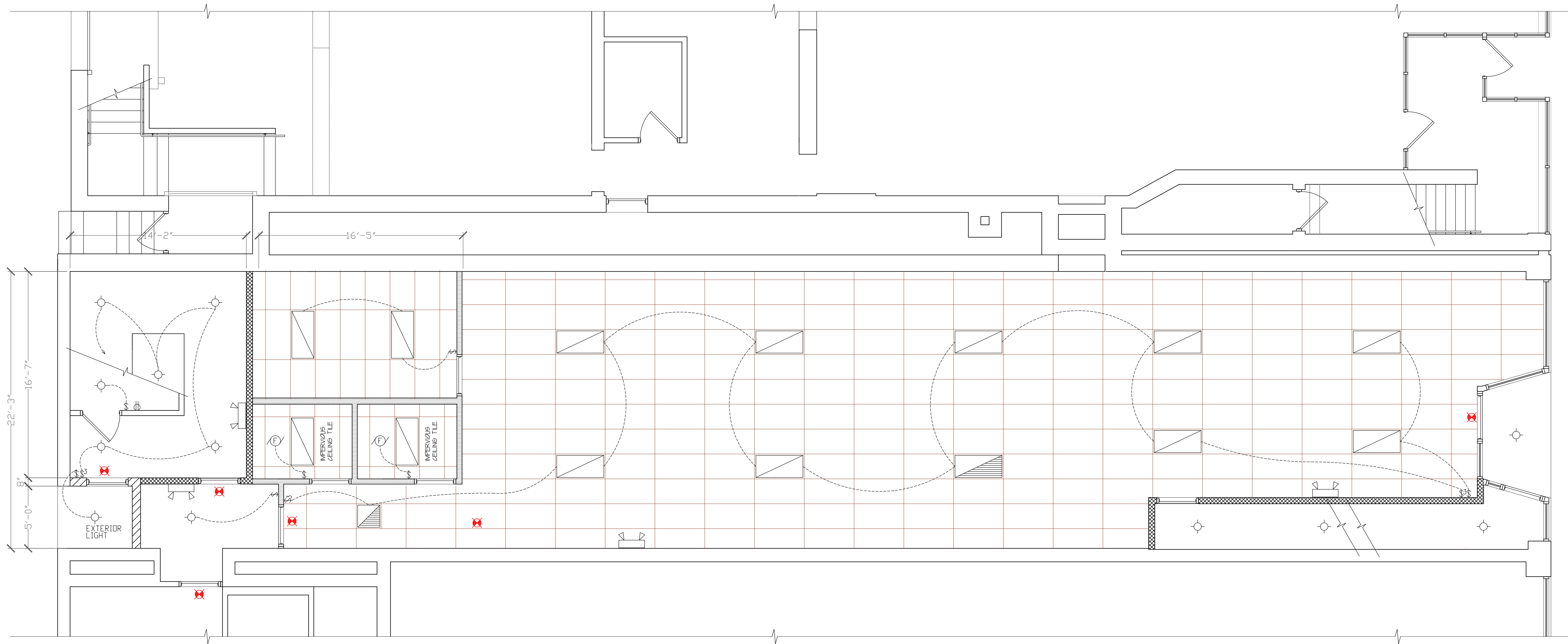
EXISTING HUNGER TASK FORCE TENANT SUITE

NOTE: ELECTRICAL SHOWN IS TO BE USED AS A GENERAL OUTLINE. ALL ELECTRICAL MUST BE IN ACCORDANCE WITH GOVERNING CODES.

FIRST FLOOR PLAN

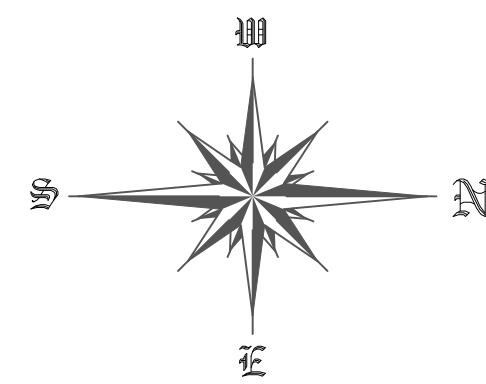
1/4" = 1'-0"



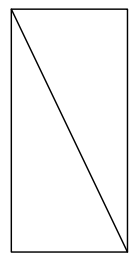
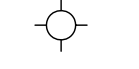
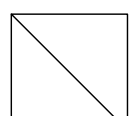



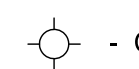


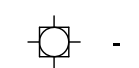

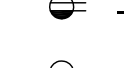
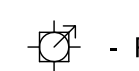


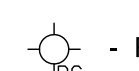
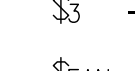



REFLECTED CEILING PLAN

1/4" = 1'-0"



ELECTRICAL SYMBOLS

- | | | | |
|---|---------------------------------------|---|---|
|  | 2x4 LAY-IN LED CEILING FIXTURE |  | EXHAUST FAN MOTOR |
|  | NIGHT LIGHT CONNECTED CEILING FIXTURE |  | CEILING JUNCTION BOX |
|  | 2x2 LAY-IN LED CEILING FIXTURE |  | RECESSED CAN FIXTURE |
| | |  | EXIT LIGHT FIXTURE |
| | |  | EMERGENCY LIGHTING
90 MIN. BATTERY BACK-UP
PER IBC 1006 |

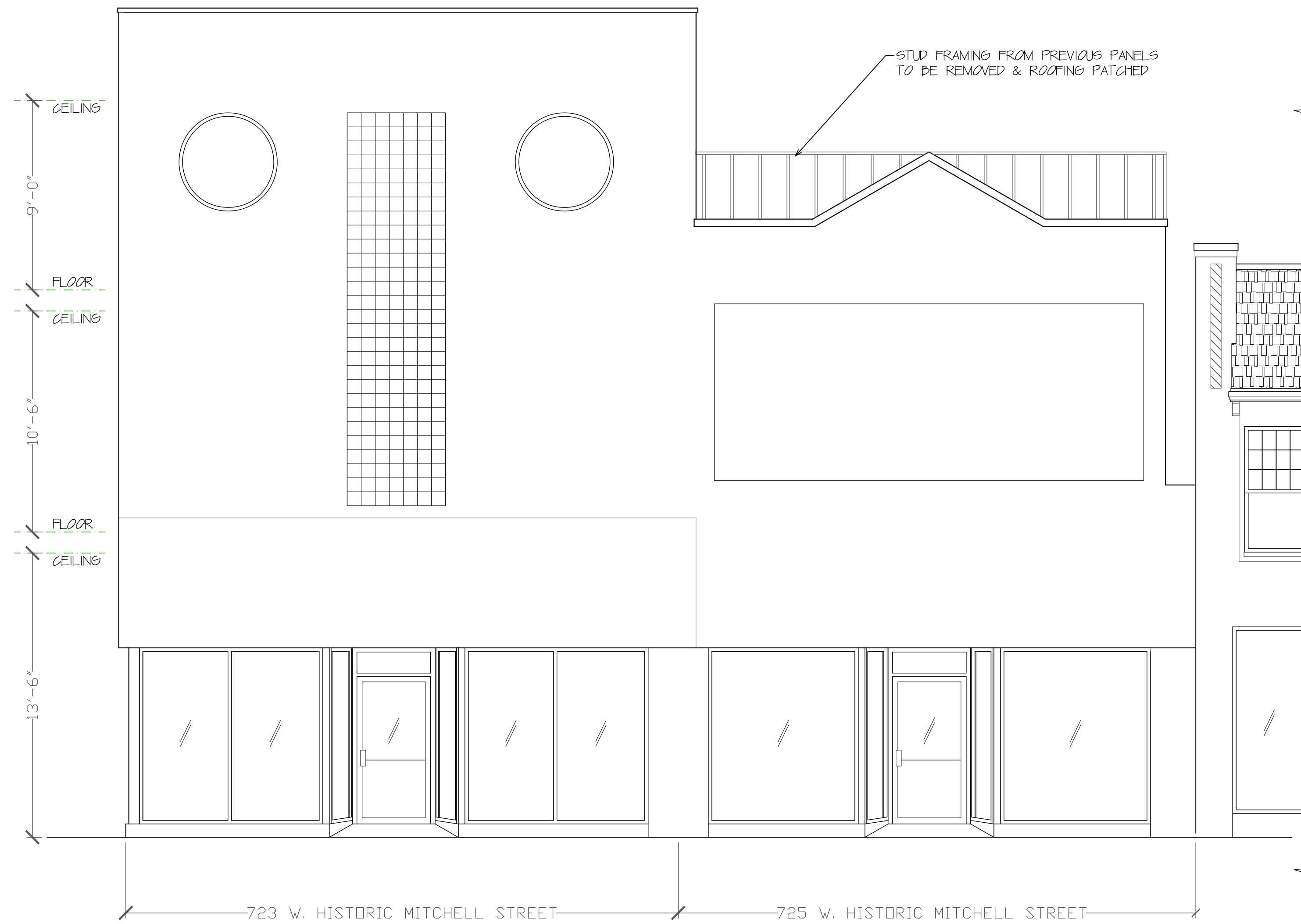
- | | | | | | |
|---|-------------------------------------|---|---------------------------------|---|---|
|  | CEILING LIGHT JUNCTION BOX |  | EXHAUST FAN MOTOR |  | STANDARD OUTLET |
|  | RECESSED CAN FIXTURE |  | FAN/LIGHT COMBO FIXTURE |  | SWITCHED OUTLET |
|  | RECESSED EYEBALL SPOT LIGHT FIXTURE |  | LIGHT SWITCH |  | GROUND FAULT INTERRUPT CONNECTION ON OUTLET |
|  | PORCELAIN PULL CHAIN CEILING LIGHT |  | 3-WAY LIGHT SWITCH |  | TELEPHONE JACK |
| | |  | 3 WIRE SWITCH FOR FAN AND LIGHT |  | COAXIAL CABLE JACK |

NOTE: ELECTRICAL SHOWN IS TO BE USED AS A GENERAL OUTLINE. ALL ELECTRICAL MUST BE IN ACCORDANCE WITH GOVERNING CODES.

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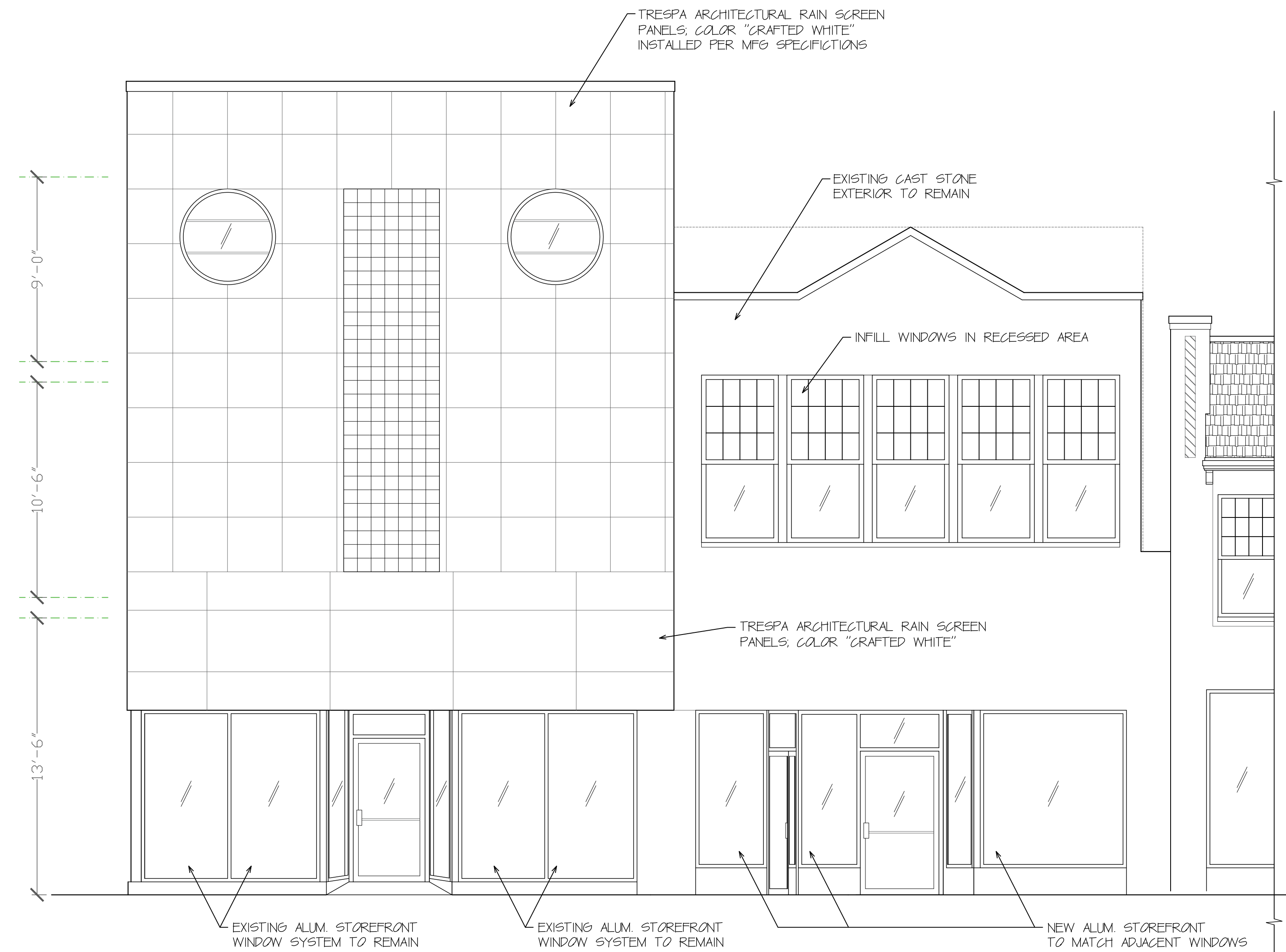
REFLECTED
CEILING PLAN

A-3



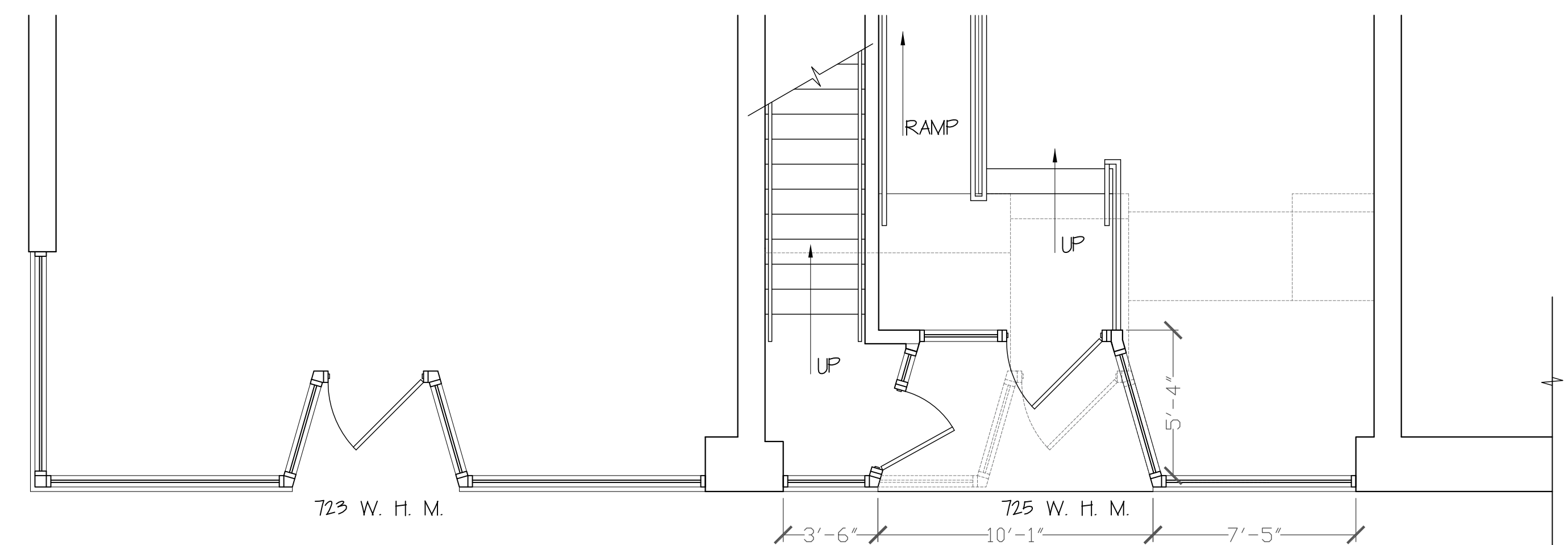
EXISTING FRONT ELEVATION

$\frac{1}{4}'' = 1'-0''$



PROPOSED FRONT ELEVATION

$\frac{1}{4}'' = 1'-0''$



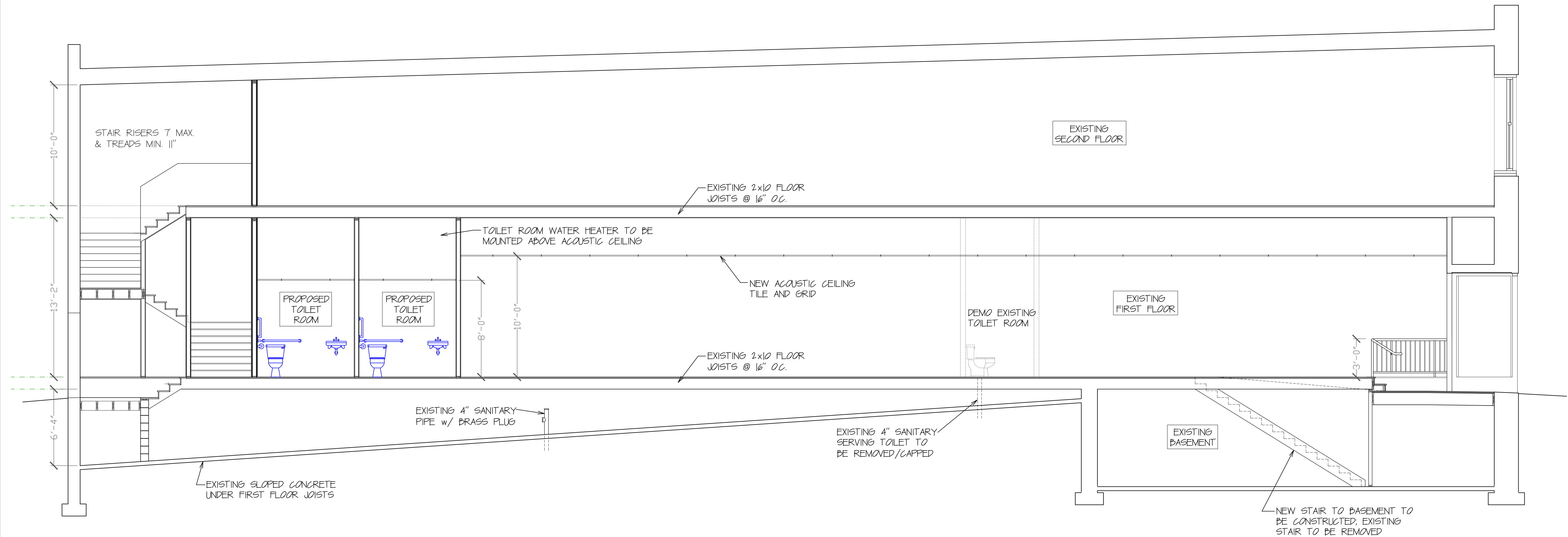
FACADE FIRST FLOOR PLAN VIEW

$\frac{1}{4}'' = 1'-0''$

10-27-22

FACADE

A-4



BUILDING SECTION

$\frac{1}{4}'' = 1'-0''$

10-27-22

SECTION

A-5

ACCESSIBLE SIGNAGE TECHNICAL DATA

- SIGNAGE SHALL COMPLY WITH APPLICABLE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA), INCLUDING BUT NOT LIMITED TO:
- 1/32" HIGH RAISED LETTERS, NUMERALS AND GRADE 2 BRAILLE IN TYPE, STYLE AND SIZE AS DEFINED IN ADA STANDARDS.
 - BRAILLE IS NOT REQUIRED FOR DOORS SERVING UTILITY SPACES.
 - LOCATE ON LATCH SIDE OF DOORS, EXCEPT AT DOOR PAIRS WHERE SIGNAGE SHALL BE LOCATED ON NEAREST ADJACENT WALL.
 - LOCATE TO COMPLY WITH PATH OF APPROACH AND TO AVOID PROTRUDING OBJECTS.

- FURNISH AND INSTALL INTERIOR SIGNAGE IN THE FOLLOWING LOCATIONS:
- EACH PERMANENT ROOM AND SPACE WITHIN THE BUILDING.
 - EXTERIOR DOORS ACCESSING STORAGE ROOMS & MECHANICAL ROOMS.
 - PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGNAGE AT ALL GANG TOILETS, INDIVIDUAL TOILETS, AND ACCESSIBLE ENTRY & EGRESS DOORS.

MATERIALS AND FABRICATION:

- PLAQUE: BASIC STOCK SHALL BE 1/8" THICK, MELAMINE LAMINATE OR MATTE ACRYLIC WITH FACE AND BACKPLATE; PROVIDE RADIUSSED CORNERS.
- CHARACTERS: PROVIDE 3/4" RAISED LETTERS, 1" NUMERALS, AND BRAILLE CHARACTERS WHERE REQUIRED ON BACKGROUND STOCK BY MEANS OF A BLAST PROCESS OR BY CHEMICALLY WELDING CHARACTERS TO STOCK.
- CHARACTER TYPE: UPPER CASE, SANS SERIF OR SIMPLE SERIF.

SIGN MOUNTING:

- MOUNTING METHOD: MM (MECHANICAL FASTENING) MOUNTING BY MEANS OF DOUBLE FACED TAPE SHALL NOT BE ACCEPTABLE.
- DRILL AND INSERT APPROPRIATE TYPE PLUGS OR ANCHORS INTO WALL SUBSTRATE.
- ATTACH SIGNS TO WALL USING COUNTERSUNK TAMPERPROOF SCREWS. SCREW HEADS SHALL BE FLUSH WITH SIGN FACE.
- MOUNT SO THAT CENTER OF SIGN IS 5'-0" ABOVE FINISH FLOOR; BOTTOM OF LETTERS FOR ROOM NAME SHALL BE 48" MIN. (54" MAX) ABOVE FINISH FLOOR.

PRODUCTS:

THE FOLLOWING SHALL BE CONSIDERED ACCEPTABLE MANUFACTURERS:

- ANDCO INDUSTRIES CORPORATION, GREENSBORO, NC, 1-800-476-8900
- BAYUK GRAPHIC SYSTEMS, INC. PARKESBURG, PA, 1-717-442-0247
- BEST SIGN SYSTEMS, INC. MONTROSE, CO, 1-800-235-BEST (bestsigns.com)
- GEMINI SIGNS, MARLBOROUGH, MA, 1-800-270-3343 (geminisigns.com)
- MOHAWK SIGN SYSTEMS, INC. SCHENECTADY, NY, 1-518-370-3433
- NATIONAL SIGN, INC. AMBRIDGE, PA, 1-800-363-1203 (natsign.com)

PLUMBING DESIGN / BUILD:

Bid is to be based on a thorough review & understanding of what is required by the scope of this project. Bids are to include the following:

- Plumbing Contractor shall supply and install a complete Design / Build system including all engineering, plans, plan approvals and permits.
- Plumbing Contractor is required to abide by all applicable codes.
- Plumbing Contractor is responsible for all related permits, fees and sales tax.
- Plumbing Contractor is responsible for all material, labor & equipment.
- Submit plans, specifications, and product information to the Architect and Construction Manager for approval.
- Include installation of all vertical and horizontal plumbing distribution, gas piping and DWV piping as well as finished fixture installation.
- Fixtures shall be approved by Architect or Owner. All fixtures included in the bid shall be itemized by quantity & type.
- Plumbing Contractor to coordinate installation with all other Mechanical Contractors and all other relevant trades.
- Coordinate drain locations in field to minimize length of condensate lines.
- Plumbing Contractor is responsible for selecting the proper types of plumbing materials used. The types proposed should be indicated on the proposal/bid.
- All cutting and patching at walls, floors, ceilings, and roof due to plumbing work shall be the responsibility of the Plumbing Contractor.
- All access panels, as necessary, shall be supplied and installed by the Plumbing Contractor.
- Plumbing Contractor to disconnect any existing water utilities that are to be discontinued.
- Plumbing Contractor to supply and install all relevant pipe insulation as required.
- Where any main line work is to be done, Plumbing Contractor to secure permit, coordinate and install.
- Penetrations and patching at walls, floors and ceilings due to plumbing work shall be fire stopped by Plumbing Contractor.
- Coordinate gas distribution, meter locations, and sizes with Gas Company, Architect, Construction Manager and Owner.

ELECTRICAL DESIGN / BUILD:

Bid is to be based on a thorough review & understanding of what is required by the scope of this project. Bids are to include the following:

- Electrical Contractor shall supply and install a complete Design / Build system including all engineering, plans, plan approvals and permits.
- Electrical Contractor is required to abide by all applicable codes.
- Electrical Contractor is responsible for all related permits, fees and sales tax.
- Electrical Contractor is responsible for all material, labor & equipment.
- Submit plans, specifications, and product information to the Architect and Construction Manager for approval.
- Include installation of all electrical systems and runs as well as finished fixture installation.
- Fixtures shall be selected by Architect or Owner. All fixtures included in the bid shall be itemized by quantity & type.
- Electrical Contractor to provide necessary alarm systems as required. Smoke detectors are to be included as required by codes. Furnish and install all required alarms, bells, strobes, horns and other notifiers.
- Include all necessary power for all elements of the HVAC system.
- Provide an adequately sized breaker panel as required to complete the scope of required work. Size of service to be specified on bid/proposal.
- Penetrations and patching at walls, floors, ceilings, and roof due to electrical work shall be fire stopped by the Electrical Contractor.
- Electrical Contractor to run all Cat 5 phone wire and RG6 coaxial cable to jack locations as required, or state on bid that this is specifically excluded.
- Coordinate electrical work as necessary with local power company.
- Electrical Contractor shall furnish and install all disconnects and coordinate with all trades and with the building Owner and Tenant of the leased space.
- Provide rated boxes at all rated assemblies.

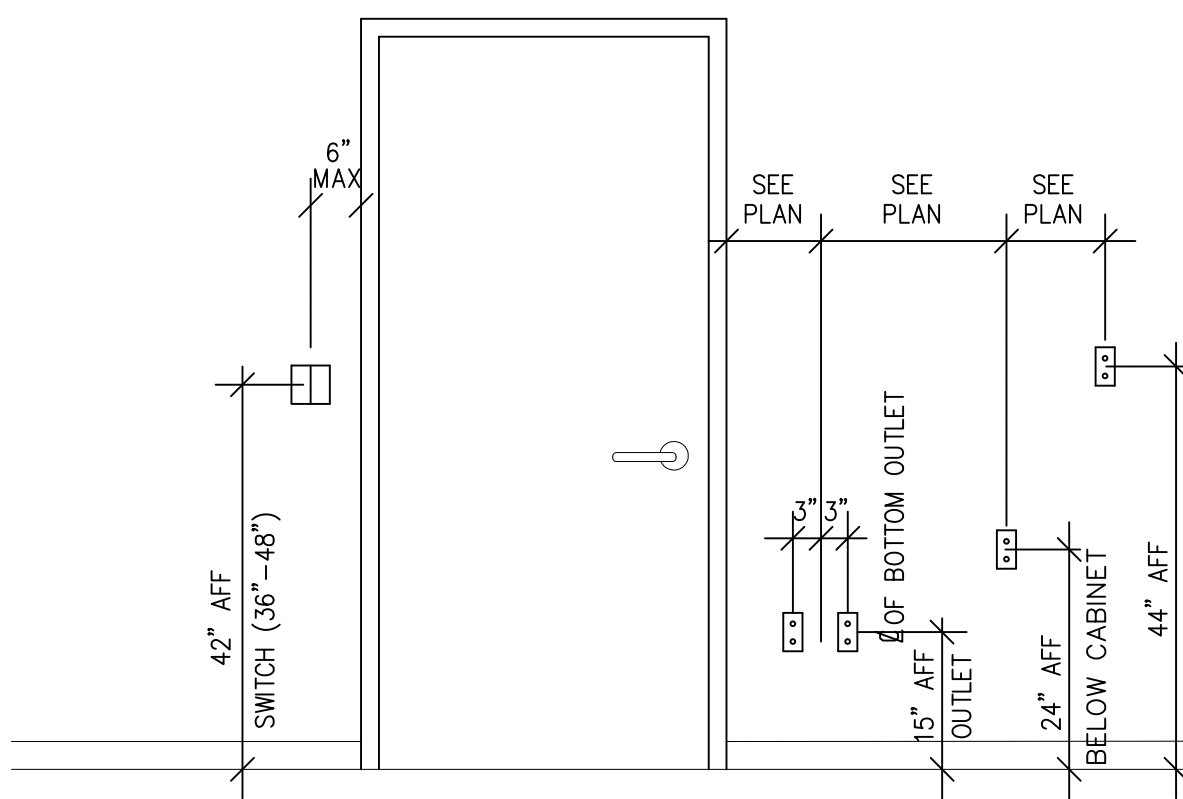
HVAC DESIGN / BUILD:

Bid is to be based on a thorough review & understanding of what is required by the scope of this project. Bids are to include the following:

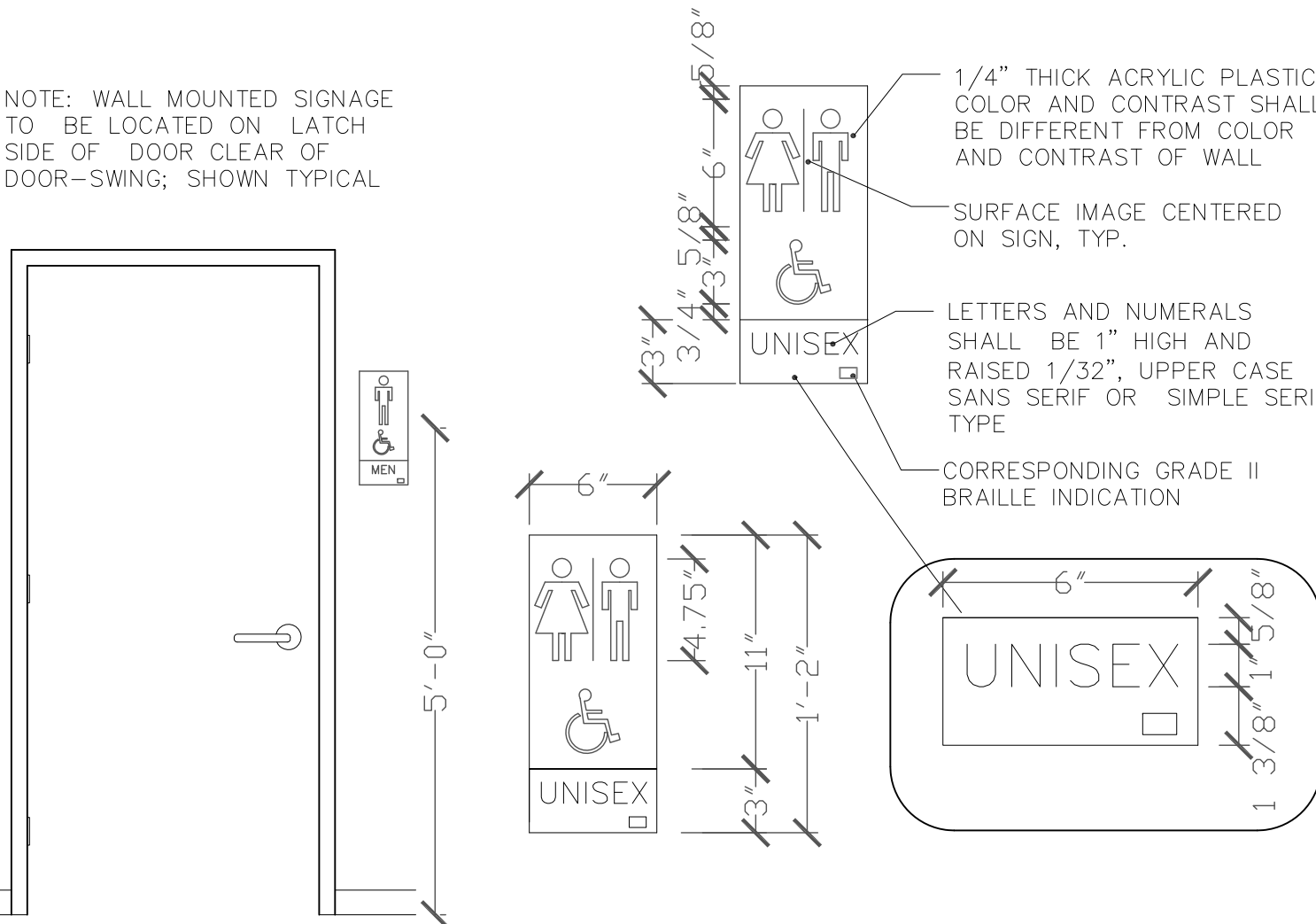
- HVAC Contractor shall supply and install a complete Design / Build system including all engineering, plans, plan approvals and permits.
- HVAC Contractor is required to abide by all applicable codes.
- HVAC Contractor is responsible for all related permits, fees and sales tax.
- HVAC Contractor is responsible for all material, labor & equipment.
- Submit plans, specifications, and product information to the Architect and Construction Manager for approval.
- HVAC Contractor is to include installation of all HVAC equipment and runs.
- HVAC Contractor to include the installation of all condensate drain piping and/or inlets.
- HVAC Contractor to include the installation of all control wiring and thermostats. Include any wiring and interconnection to fire protection equipment.
- Include bathroom venting runs and installation of bath fans as required.
- HVAC Contractor is responsible for selecting the proper size and types of HVAC materials and equipment used. The types proposed should be indicated on the proposal/bid.
- All cutting and patching at walls, floors, ceilings, and roof due to HVAC work shall be the responsibility of the HVAC Contractor.
- All access panels, as necessary, shall be supplied and installed by the HVAC Contractor.
- Provide fire stopping and/or fire collars as required at all penetrations due to HVAC work.

NOTES:

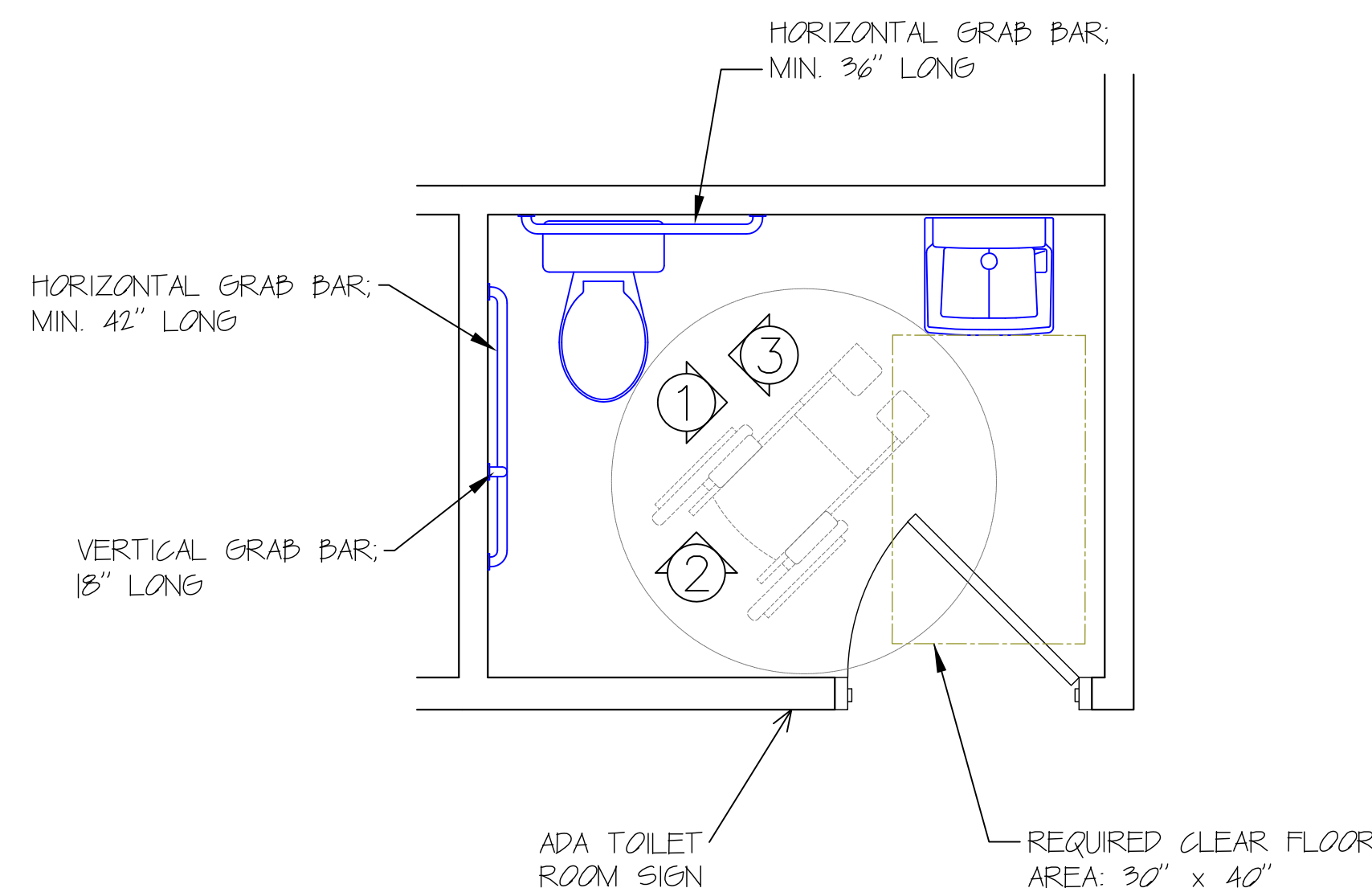
- THIS DETAIL IS TO SHOW MIN. AND MAX. ALLOWABLE HEIGHTS.
- NOTE ALL DIMENSIONS ARE TO CENTER LINE OF FACE PLATE.



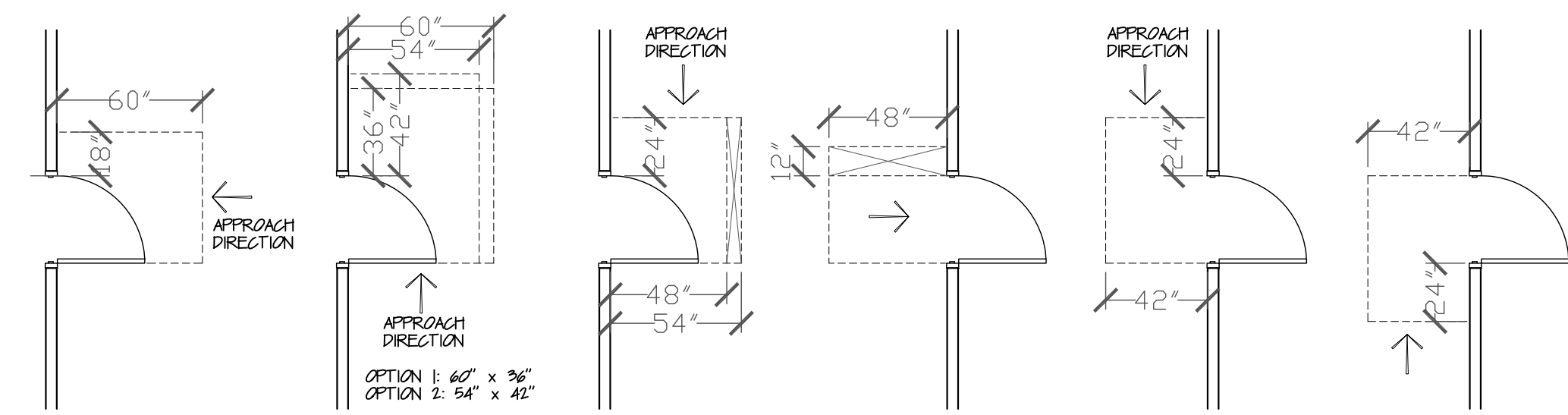
SWITCHES, OUTLETS & CONTROLS MOUNTING HEIGHTS



TYPICAL ACCESSIBLE RESTROOM SIGNAGE



1 ENLARGED TOILET ROOM PLAN
1/2" = 1'-0"



REQUIRED ACCESSIBILITY CLEAR FLOOR AREAS

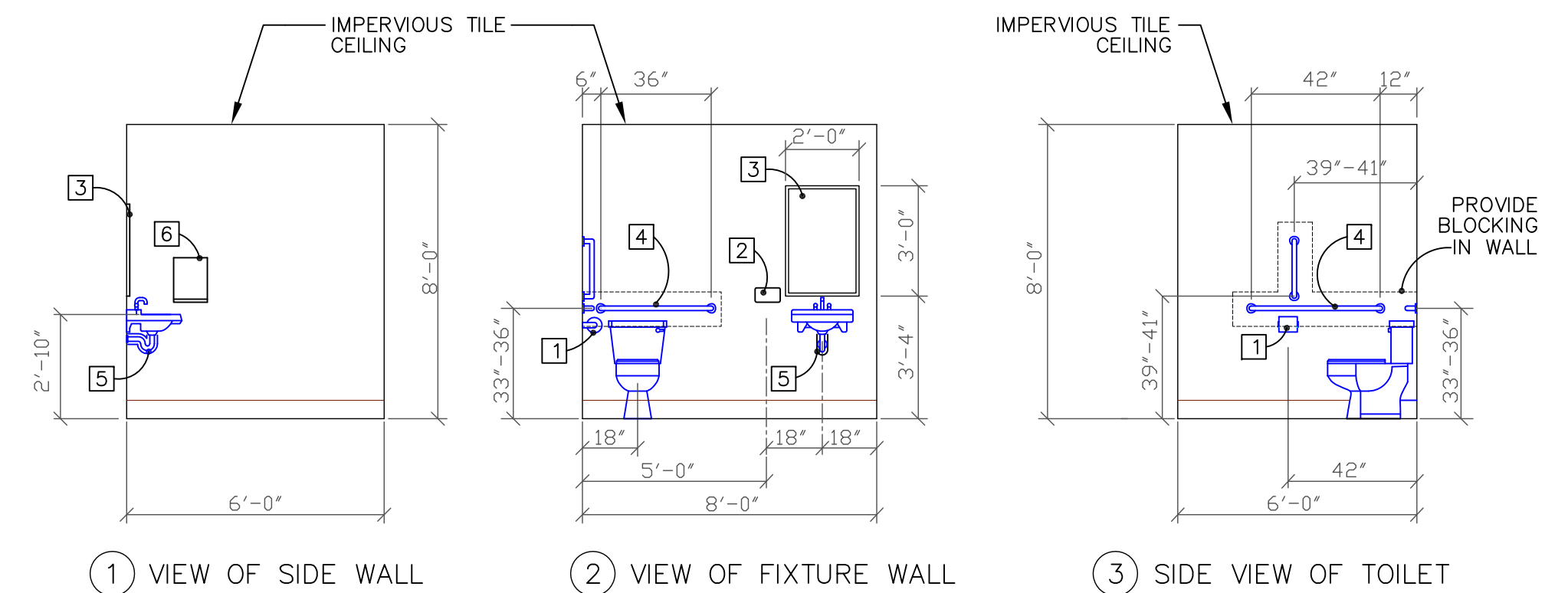
TOILET ACCESSORIES SCHEDULE					
Mark	Qty	Item	Manufacturer & Model No.	Mounting Height	Remarks
1	1	TOILET PAPER DISP.	ASI 0263-1	TOP 1.5" BELOW GRAB BAR	
2	1	SOAP DISP.	ASI 0342A	38" TO BOTTOM OF UNIT	
3	1	MIRROR	ASI 0540 (24x30)	40" TO BOTTOM OF UNIT	
4	1	GRAB BAR	ASI 3201	36" TO CENTER OF BAR	42", 36", 18" VERT.
5	1	SAFETY COVERS	Trap Wrap by Brocar Products, Inc.	ON EXPOSED PIPING	KIT 500R - WHITE
6	1	PAPER TOWEL DISP.	ASI 0210	38" TO BOTTOM OF UNIT	

ACCESSIBILITY REQUIREMENTS

ALL TOILET ROOMS REQUIRED TO BE ACCESSIBLE SHALL CONFORM TO THE ACCESSIBILITY REQUIREMENTS OF FEDERAL ADA LAWS AND STATE BUILDING CODES, INCLUSIVE OF THE FOLLOWING CLEARANCE DIAGRAMS. ALL DOORS SHALL HAVE LEVER TYPE HANDLE. ALL FAUCETS TO HAVE LEVER/BLADE STYLE HANDLES FOR OPERATION. PRIVACY LOCK ON TOILET ROOM DOOR SHALL BE PUSH-BUTTON TYPE WITH INSIDE HANDLE-TURN RELEASE.

BUSINESS OPERATOR PROVIDES DRINKING WATER TO OCCUPANTS FROM A SOURCE OUTSIDE OF THE TOILET ROOM

NOTE: FIRE EXTINGUISHERS TO BE MOUNTED WITH TOP @ 44" ABOVE FIN. FLOOR PER CODE



TYPICAL UNISEX ACCESSIBLE RESTROOM INTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

NOTE: TOILET ROOM FLOORS TO HAVE HARD TILE w/ COVE BASE
ALL WALLS OF TOILET ROOM TO HAVE SMOOTH, HARD, NON-ABSORBANT SURFACE TO 4'-0" A.F.F. MIN.
CEILING TILE TO BE IMPERVIOUS VINYL COATED LAY IN TILE

NOTE:
PROVIDE CLEARANCE AROUND TOILET, ADJACENT TO OTHER FIXTURES PER ICC/A117.1-2003, 604.3.
PUSH FULL JAMB ON DOOR LATCHING SHALL BE PER ICC/ANSI A117.1-2003 s404.2.3. PROVIDE MIN. 12" PUSH SIDE MANEUVERING CLEARANCE AND 18" CLEARANCE ON THE FULL SIDE OF DOORS.
PROVIDE ACCESSIBLE WATER CLOSET FIXTURE IN ACCORDANCE WITH ICC/ANSI A117.1-2003, SECTION 1003.11.7, INCLUDING PROVIDING HAND OPERATED FLUSH CONTROLS LOCATED ON THE OPEN SIDE OF THE WATER CLOSET FIXTURE. PER ICC 2902.4. PROVIDE ADA SIGNAGE AT TOILET ROOM DOOR. NO KEYED ACCESS TO TOILET ROOM.

DIVISION 01 - GENERAL REQUIREMENTS

THESE DRAWINGS ARE SCOPE DOCUMENTS INDICATING THE GENERAL PROJECT DESIGN CONCEPT, DIMENSIONS OF THE PROJECT, MAJOR ARCHITECTURAL ELEMENTS, AND BASIC ORGANIZATION OF MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS. AS SCOPE DOCUMENTS, THESE DRAWINGS DO NOT NECESSARILY DESCRIBE OR INDICATE ALL MATERIALS OR WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE PROJECT. ON THE BASIS OF THE GENERAL SCOPE INDICATED OR DESCRIBED, THE CONTRACTOR(S) SHALL PROVIDE ALL ITEMS REQUIRED FOR PROPER EXECUTION AND COMPLETION OF THE PROPOSED PROJECT. THE TERM "PROVIDE" SHALL MEAN TO FURNISH AND INSTALL. THE ARCHITECT IS NOT RESPONSIBLE FOR THE FAILURE OF THE CONTRACTOR(S) TO EXECUTE NECESSARY WORK OR TO SUPPLY REQUIRED MATERIALS FOR PROPER COMPLETION OF THIS PROJECT. FURTHERMORE, THE ARCHITECT MAKES NO WARRANTY EXPRESSED OR IMPLIED IN THESE DOCUMENTS.

REASONABLE EFFORTS ARE MADE TO PROVIDE ACCURATE AND CURRENT INFORMATION. THE DRAWINGS, HOWEVER, MAY CONTAIN INACCURACIES OR GRAPHICAL ERRORS. NO REPRESENTATION IS MADE ABOUT THE ACCURACY, RELIABILITY, OR COMPLETENESS OF THESE DRAWINGS. DUE TO THE NATURE OF THIS WORK, THE ARCHITECT DOES NOT WARRANT THE EXISTING CONDITIONS AS DEPICTED IN THESE DRAWINGS WHERE AS-BUILT CONDITIONS ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR(S) TO VERIFY ALL EXISTING CONDITIONS. THE MEASUREMENTS ON THESE DRAWINGS ARE REASONABLY ACCURATE FOR THE PURPOSE OF MATERIAL ESTIMATES AND GRASPING A GENERAL CONCEPT OF THE WORK, HOWEVER, IN THE EXECUTION OF THE WORK ON THE JOB, DO NOT SCALE THE DRAWINGS. EACH CONTRACTOR IS REQUIRED TO VERIFY ALL DIMENSIONS WITH THE ACTUAL CONDITIONS AND TO REPORT ANY DISCREPANCIES IN WRITING TO THE ARCHITECT AND OWNER. IN CASE OF CONFLICT BETWEEN DRAWINGS AND SPECIFICATIONS THE CONTRACTOR(S) WILL BE DEEMED TO HAVE ESTIMATED ON, AND AGREED TO PROVIDE, THE GREATEST QUANTITY AND BEST QUALITY OF MATERIALS AND WORK.

CONTRACTOR SHALL OBTAIN AND PAY FOR ANY PERMITS AND FEES REQUIRED TO PERFORM THE WORK, UNLESS DIRECTED OTHERWISE BY OWNER OR ARCHITECT. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR STORAGE AND SAFETY OF HIS OWN MATERIALS AND WORK, AND FOR PROPERLY REMOVING HIS DEBRIS FROM THE JOB SITE. GENERAL CONTRACTOR SHALL PROVIDE FOR ALL SITE DEMOLITION AND DEBRIS REMOVAL REQUIRED TO PERFORM NEW CONSTRUCTION WHILE ADEQUATELY MAINTAINING THE PREMISES AND ADJACENT PREMISES TO ENSURE NORMAL OCCUPANCY AND SECURITY. CONTRACTOR(S) SHALL COORDINATE THE PROPER TRANSPORTATION AND STORAGE OF THEIR BUILDING MATERIALS ON THE SITE TO AVOID THE OVERLOADING OF EXISTING ROOFS AND FLOORS.

CONTRACTORS INSTALLING PIPES, DUCTS AND CONDUIT WILL BE REQUIRED TO DO ALL CUTTING AND PATCHING IN CONNECTION WITH THEIR WORK, INCLUDING EXCAVATION AND DIGGING. THE OWNER WILL ASSUME NO RESPONSIBILITY FOR THE COST OF CHANGES OR EXTRA WORK MADE NECESSARY BY THE FAILURE OF TRADES TO COORDINATE THEIR WORK DURING CONSTRUCTION.

WHERE APPLICABLE, EACH CONTRACTOR SHALL CONSTRUCT PHYSICAL BARRIERS AROUND AREAS UNDER CONSTRUCTION AS REQUIRED TO ENSURE GENERAL PUBLIC AND PERSONAL SAFETY. CONTRACTOR(S) SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. CONTRACTOR(S) SHALL BE RESPONSIBLE FOR COORDINATING ALL PORTIONS OF THE WORK UNDER HIS CONTRACT. ALL WORK SHALL BE COMPLETED USING PRACTICES GENERALLY ACCEPTED AND ENDORSED BY THE CORRESPONDING TRADE INDUSTRY.

ALL WORK SHALL BE WARRANTED AND GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL PAYMENT. WARRANTY/GUARANTEE TO BE PROVIDED BY THE CONTRACTOR THAT PERFORMED THE WORK OR SUPPLIED THE MATERIAL. SHOULD ANY DEFECTS DEVELOP IN THE WORK WITHIN THE SPECIFIED PERIOD DUE TO FAULTS IN MATERIAL AND/OR WORKMANSHIP, CONTRACTOR IS TO CORRECT DEFECTIVE WORK AS APPROVED AT NO EXTRA COST TO OWNER.

THE CONTRACT AND SUBCONTRACT AMOUNTS SHALL PROVIDE COMPLETE WORKING MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS COMMENSURATE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AND THE APPLICABLE CODES.

WHEN WALLS ARE TO BE "ALIGNED", THE ALIGNMENT OF SUCH WALLS IS TO THE OUTSIDE FINISHED SURFACE, SUCH AS DRYWALL SURFACE. ALL DIMENSIONS SHOWN ARE TO FINISH FACE OF WALL UNLESS NOTED OTHERWISE.

DIMENSIONS AND NOTES FOR A GIVEN CONDITION ARE TYPICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.

ALL STUDS SHALL BE SPACED TO AVOID INTERFERENCE WITH PLUMBING, DUCTWORK & ELECTRICAL WORK ETC. HOWEVER, IN NO CASE SHALL THE SPACING OF MEMBERS EXCEED 16" O.C. UNLESS NOTED OTHERWISE ON THE DRAWINGS. WHERE NEW WORK ADJUNS EXISTING, ALL SUCH NEW WORK SHALL BE PROPERLY INTEGRATED WITH THE EXISTING TO ENSURE UNIFORM APPEARANCE. ANY REPAIR WORK REQUIRED TO EXISTING WORK SHALL BE PERFORMED BY THE CONTRACTOR - PROVIDING ALL NECESSARY CUTTING, FITTING AND PATCHING. CONTRACTOR SHALL FURNISH ALL NECESSARY LABOR AND MATERIALS FOR THIS WORK.

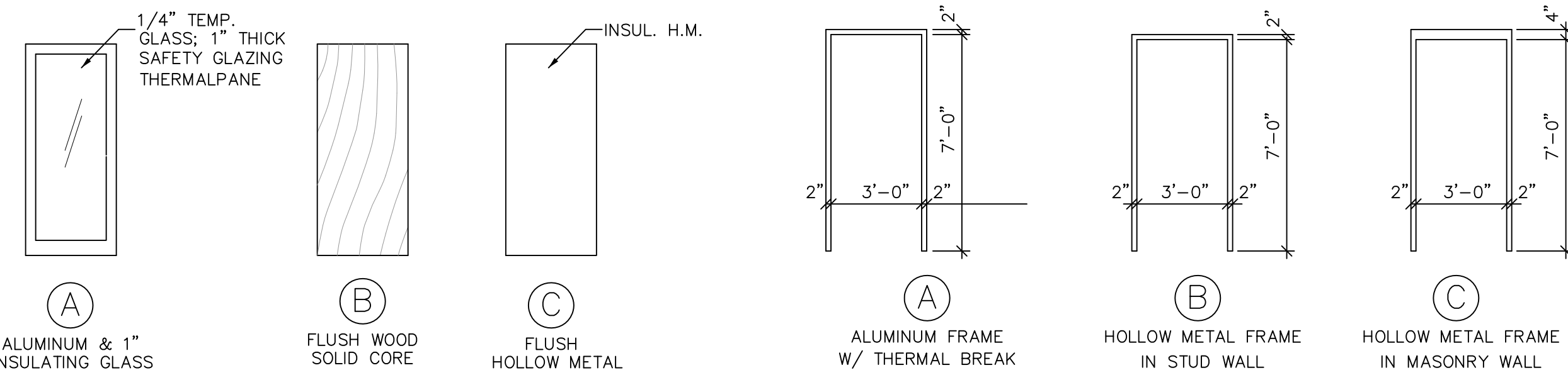
ALL WORK REQUIRING SPECIAL DETAILING, AND NOT DETAILED ON THE DRAWINGS, SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER.

CONTRACTOR(S) ARE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND SHALL COORDINATE WITH ALL TRADES TO AVOID INTERFERENCE, TO PRESERVE MAXIMUM HEADROOM, AND AVOID OMISSIONS. THE ARCHITECT HAS NO CONTRACTUAL DUTY TO CONTROL MEANS AND METHODS OF THE WORK NOR TO PROVIDE JOB SITE SUPERVISION, ENSURE SAFETY OR CONSTRUCTION MANAGEMENT AND DOES NOT VOLUNTARILY ASSUME ANY SUCH RESPONSIBILITIES.

**PARTITION, MILLWORK
AND DOOR PLAN NOTES**

- INVESTIGATE FIELD CONDITIONS AND ASCERTAIN THAT WORK IS FEASIBLE AS SHOWN. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY PROBLEMS WITH FIELD CONDITIONS.
- EXAMINE SPECIFIED PRODUCTS AND SUBMIT WRITTEN EXCEPTION OR OBJECTIONS, OR BOTH, WITH ANALYSIS AND RECOMMENDATIONS PRIOR TO SUBMITTING BID COSTS.
- INSTALL DRYWALL WORK IN ACCORDANCE WITH THE CURRENT VERSION OF UNITED STATES GYPSUM - GYPSUM CONSTRUCTION HANDBOOK, ASTM C645, ASTM C754, AND ASTM C840; MOST STRINGENT REQUIREMENTS.
- "TYPICAL" MEANS IDENTICAL FOR ALL SIMILAR CONDITIONS, UNLESS OTHERWISE NOTED.
- IMMEDIATELY ANALYZE CONTRACT DOCUMENTS AND REPORT IN WRITING ANY INCONSISTENCIES DISCOVERED THEREIN. CONTRACTOR SHALL BE RESPONSIBLE TO CORRECT ANY DEFECTIVE WORK CAUSED BY PROCEEDING WITH WORK WHERE INCONSISTENCIES OR DISCREPANCIES ON THE DRAWINGS OCCUR AND A CLARIFICATION FROM THE ARCHITECT IS NOT REC'D.
- DIMENSIONS ARE NOT ADJUSTABLE WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT.
- UNDERCUT ALL DOORS TO CLEAR TOP OF FINISHED FLOOR, INCLUDING BUT NOT LIMITED TO, CARPET, TILE, ETC., AS APPLICABLE, BY 1/4" INCH MAXIMUM, UNLESS OTHERWISE NOTED.
- TEST AND ADJUST DOORS FOR SMOOTH, QUIET OPERATION.
- PROVIDE FIRE RESISTIVE BLOCKING IN PARTITIONS AS REQUIRED.
- GLAZING TONG MARKS SHALL NOT BE VISIBLE.
- FINISH COLUMNS AND OTHER BASE BUILDING SURFACES AS REQUIRED TO MATCH ADJACENT OR ABUTTING SURFACES, OR TO MATCH SURFACES CALLED FOR IN THE SAME ROOM.
- CAULK GAPS WHERE INTERSECTION OF CONSTRUCTION ELEMENTS IS NOT CRISP AND CONSISTENT, UNLESS OTHERWISE NOTED.
- WHERE A COMPLEX ASSEMBLY INVOLVING SEVERAL TRADES IS CALLED FOR ON THE DRAWINGS, SUBMIT A SHOP DRAWING SHOWING THE PROPOSED INTERACTION OF ALL RELATED ELEMENTS FOR ARCHITECT'S REVIEW. CONTRACTOR IS RESPONSIBLE FOR THE PROPER OPERATION OF ALL SYSTEMS.
- PROVIDE PROPER CLEARANCE FOR ALL MOVING PARTS OR FIXTURES SUCH AS ROLLING, SLIDING AND MOVEABLE DOORS AND PARTITIONS.
- ALL DOOR AND CABINERY HARDWARE IS TO BE IN BRUSHED ALUMINUM FINISH.
- ALL WORK IS TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES.

DOOR NUMBER	DOOR LOCATION	DOORS					FRAME			LABEL	HDW. SET	REMARKS	
		TYPE	WIDTH	HEIGHT	THICK	MAT'L	FINISH	TYPE	MATERIAL				FINISH
101	MAIN ENTRANCE	A	3'-0"	7'-0"	--	ALUM/GLASS	ANODIZED	A	ALUM.	ANODIZED			CLOSER, THRESHOLD & WEATHERSTRIP
102	2nd FL STAIR ENTRY	A	3'-0"	7'-0"	--	ALUM/GLASS	ANODIZED	A	ALUM.	ANODIZED			CLOSER, THRESHOLD & WEATHERSTRIP, PADDLE EXIT HDWR
103	BASEMENT STAIR	B	3'-0"	7'-0"	1-3/4"	WOOD	PAINT	B	HQ. MTL	PAINT			
104	OFFICE	B	3'-0"	7'-0"	1-3/4"	WOOD	PAINT	B	HQ. MTL	PAINT			CLOSER, CLASSROOM LOCK
105	TOILET ROOM 1	B	3'-0"	7'-0"	1-3/4"	WOOD	PAINT	B	HQ. MTL	PAINT			HINGE CLOSER, PRIVACY LOCK
106	TOILET ROOM 2	B	3'-0"	7'-0"	1-3/4"	WOOD	PAINT	B	HQ. MTL	PAINT			HINGE CLOSER, PRIVACY LOCK
107	BACK CORRIDOR	C	3'-0"	7'-0"	1-3/4"	HQ. MTL	PAINT	B	HQ. MTL	PAINT	C		CLOSER, CLASSROOM LOCK
108	STAIR ACCESS	C	3'-0"	7'-0"	1-3/4"	HQ. MTL	PAINT	B	HQ. MTL	PAINT	B		CLOSER, STOREROOM LOCK
109	UNOCCUPIED STORAGE	B	3'-0"	7'-0"	1-3/4"	WOOD	PAINT	B	HQ. MTL	PAINT			STOREROOM LOCK
110	REAR EXIT DOOR	C	3'-0"	7'-0"	1-3/4"	HQ. MTL	PAINT	C	HQ. MTL	PAINT		A	CLOSER, THRESHOLD & WEATHERSTRIP, STOREROOM LOCK
111	ADJACENT TENANT	C	3'-0"	7'-0"	1-3/4"	HQ. MTL	PAINT	B	HQ. MTL	PAINT	C		CLOSER, STOREROOM LOCK; UNLOCKED FROM INSIDE

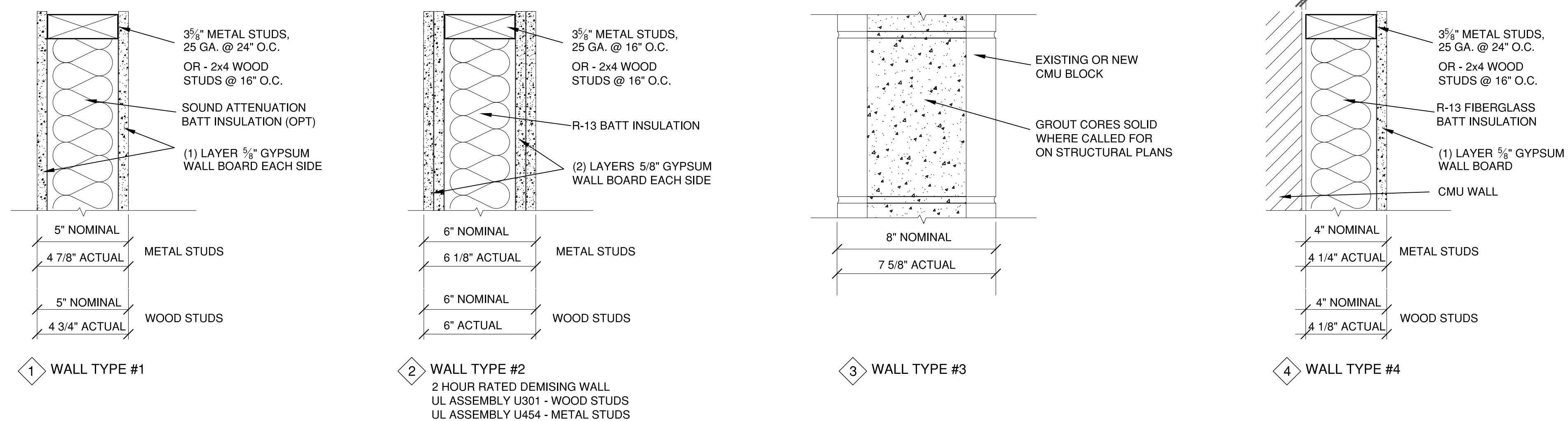


DOOR TYPES

FRAME TYPES

- NOTES:
- THRESHOLDS ARE NOT TO EXCEED 1/2" IN HEIGHT
 - ALL DOOR HANDLES TO BE ADA APPROVED LEVER TYPE HANDLES/PULLS
 - ALL HARDWARE FINISH, INCLUDING HINGES AND STRIKES, TO BE BRUSHED ALUMINUM OR SATIN NICKEL AS APPROVED BY ARCHITECT
 - VERIFY OPENING SIZE IN FIELD FOR DOOR AND/OR FRAME DIMENSIONS

HARDWARE SET A: PANIC EXIT/PUSH BAR HARDWARE, ALWAYS LOCKED FROM THE OUTSIDE



INTERIOR WALL TYPES

NOTE: USE TREATED LUMBER ANYWHERE IT IS IN CONTACT WITH CONCRETE OR MASONRY, INCLUDING ALL SILL PLATES