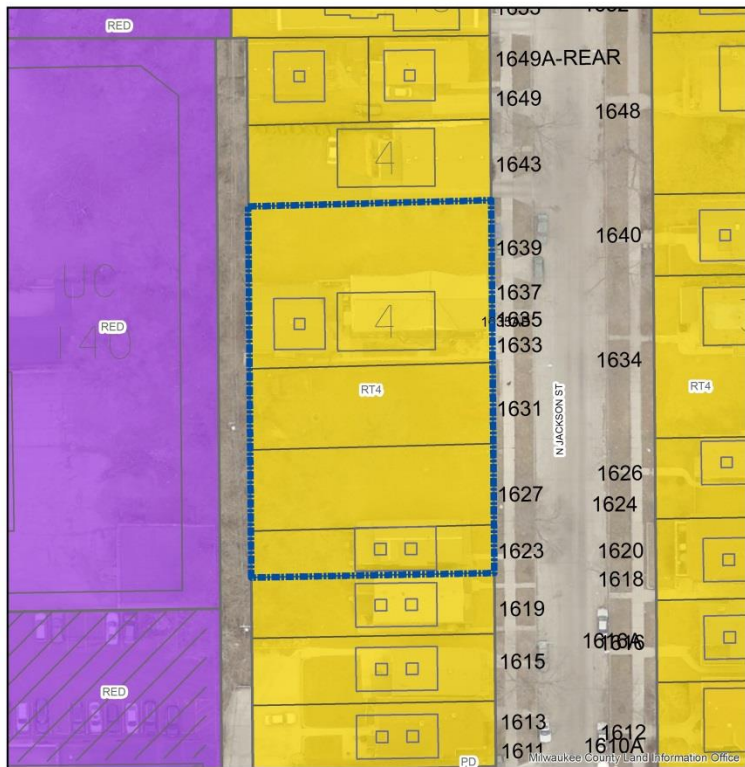


File No. 160117. An ordinance relating to the change in zoning from Two-Family Residential to a Detailed Planned Development known as 1623-39 North Jackson to permit multi-family residential development on land located on the west side of North Jackson Street, north of East Pleasant Street, in the 3rd Aldermanic District.



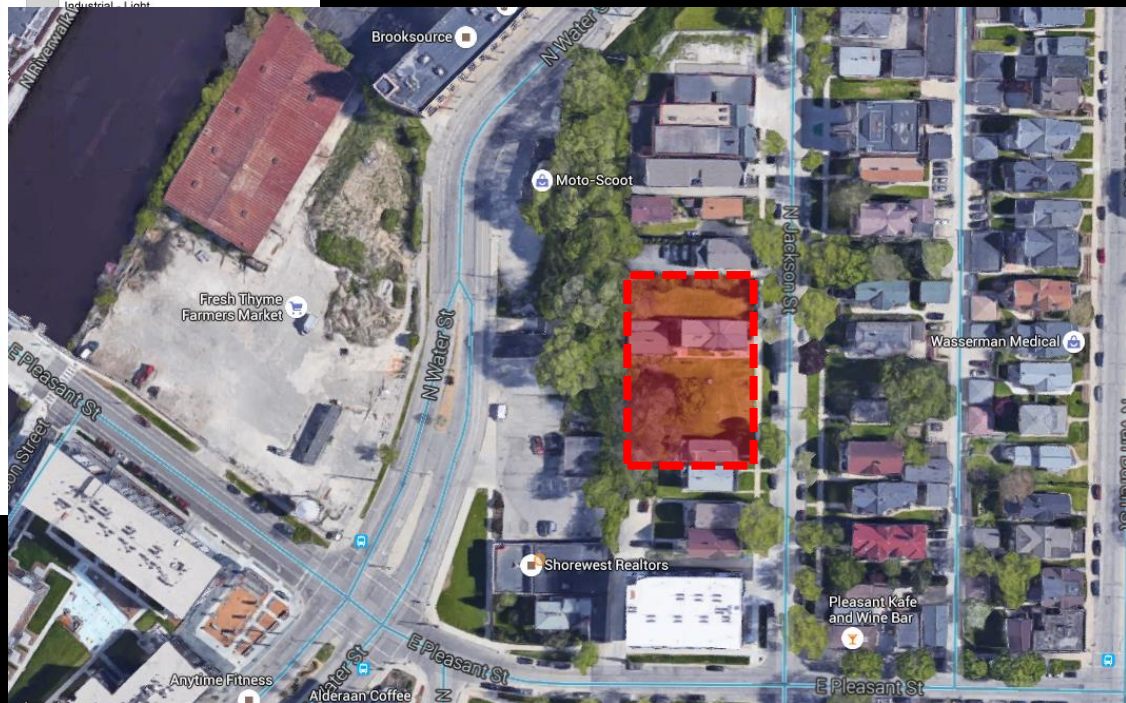
FN 160117
RT4 to DPD
1623 - 1639 N. Jackson St.
August 2016

Legend

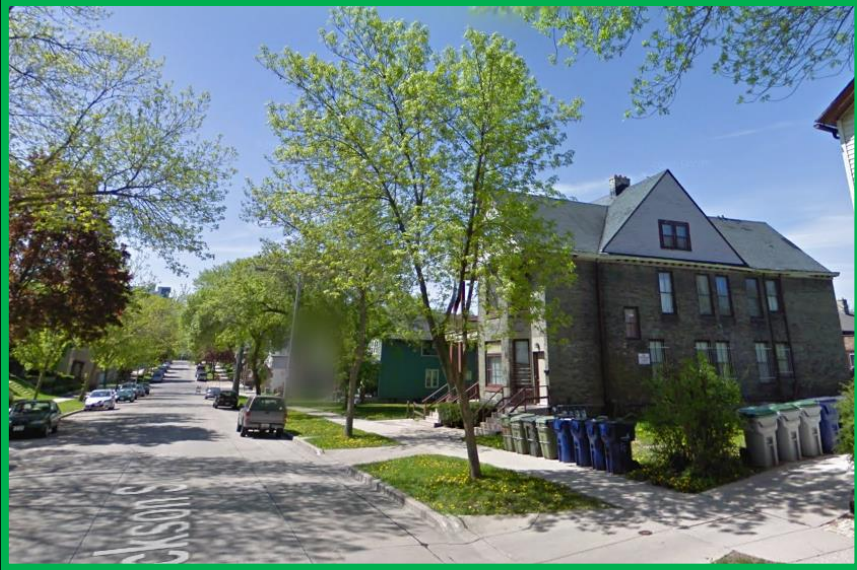
Zoning Change Boundary

Zoning

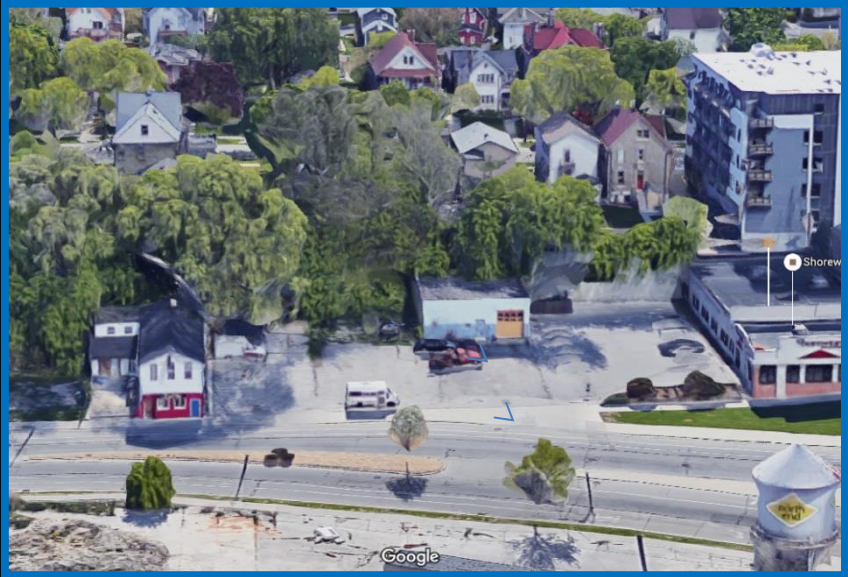
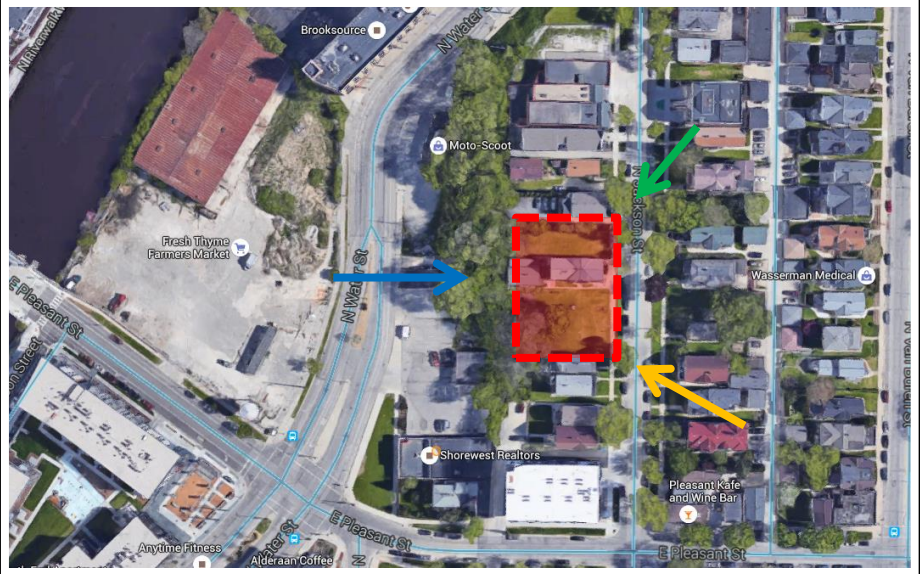
- Commercial - Commercial Service
- Commercial - Neighborhood Shopping
- Commercial - Local Business
- Commercial - Regional Business
- Downtown
- Industrial - Office
- Industrial - Light



File No. 160117. Site Context Photos



View from North Jackson Street looking southwest



Tilt view from North Water Street



View from North Jackson Street looking northwest

**Jackson Street
Multifamily Development
File 160117
September 13, 2016**

Wiechmann  Enterprises

2769 N. Summit Ave., Milwaukee, WI 53211

p 414.961.2002 f 414.961.7787



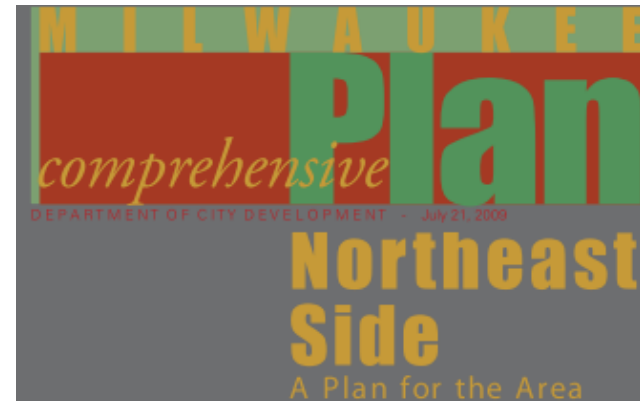
KINDNESS

architecture+

CONTEXT

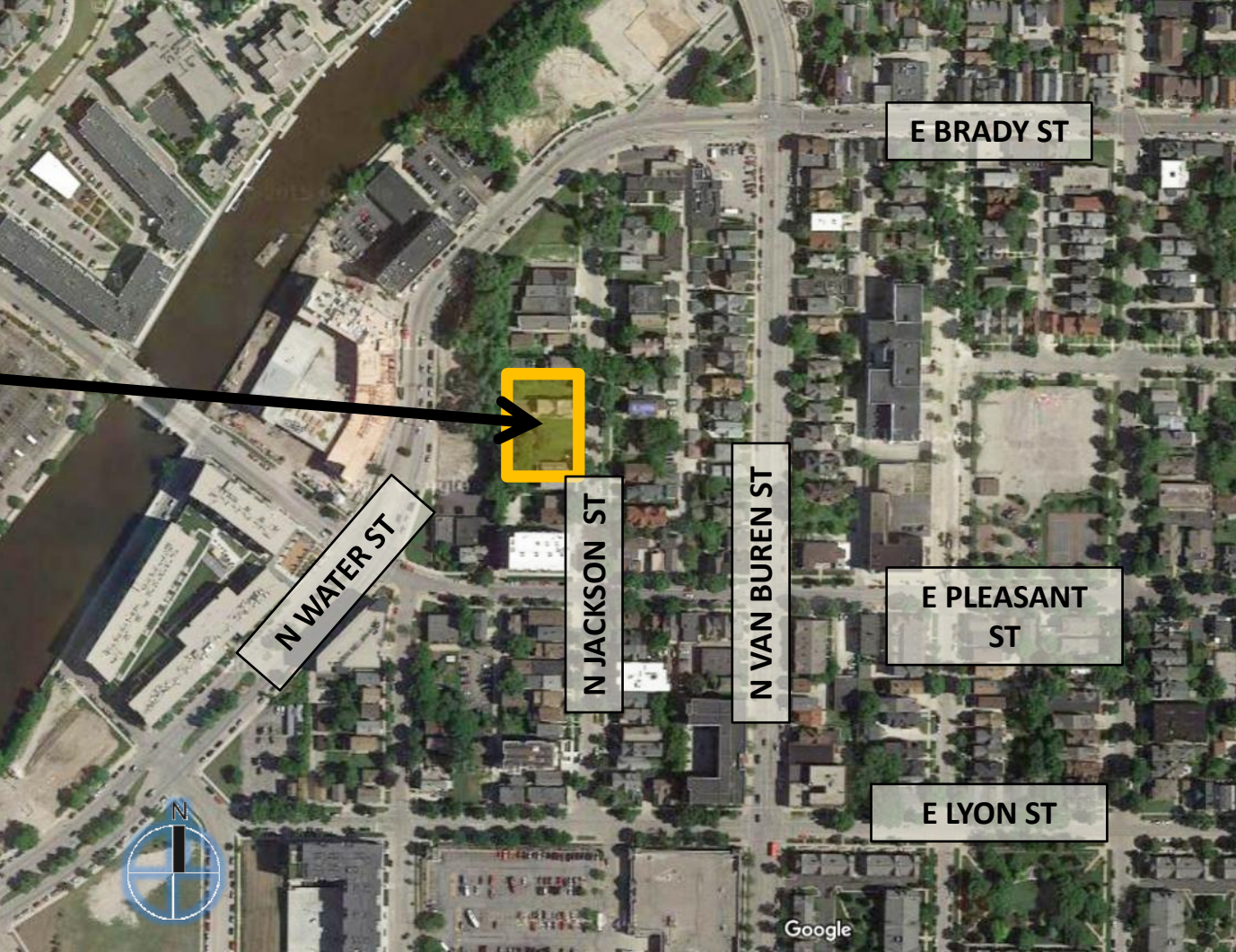
Consistency with the Plan, particularly with respect to the Lower East Side:

- **Promote range of housing types while keeping neighborhood character**
- **Promotes Pedestrian Activity / Green Infrastructure**
- **Addresses Parking in Creative Manner**
- **Provides a wide variety of Housing Alternatives for Residents**



CONTEXT

SITE



CONTEXT



PROJECT SITE

**VIEW NORTH
ON WATER ST**

CONTEXT



VIEW OF AVANTE

CONTEXT



VIEW OF AVANTE

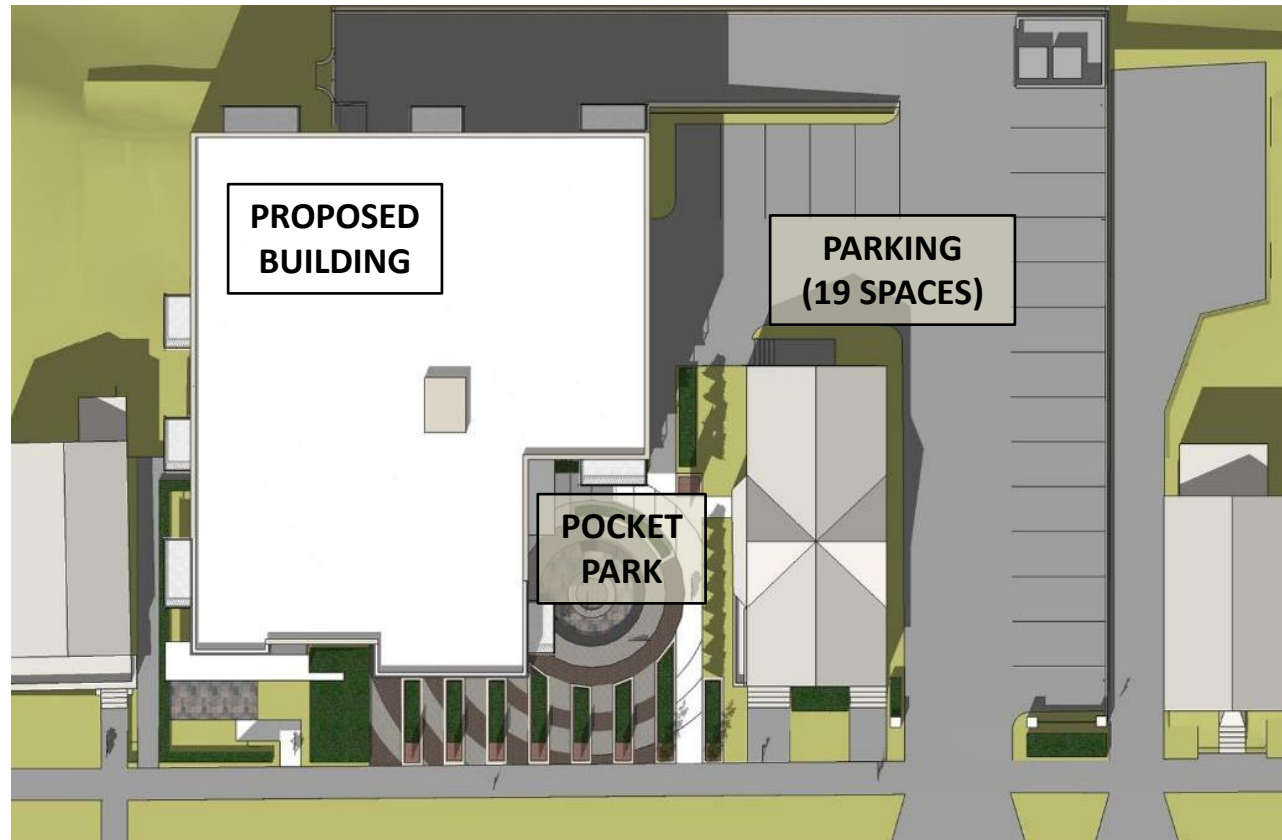
CONTEXT



VIEW LOOKING WEST

Proposed Project Includes:

- **Units: 33 (A net add of 30 units) Existing 4 family building to remain**
- **Uses: Residential Units, Community Room, Lobby/Entrance, Pocket Park**
- **Parking: Up to 46 Spaces (27 indoor, 19 outdoor)**



DESIGN PRINCIPLES:

Consistency with the neighborhood, particularly with respect to the transition from high density housing on Water street:

- **Building scale becomes delicate towards Jackson Street**
- **Pedestrian friendly “pocket park” entrance**
- **First Floor Unit**
- **Retain existing 4-family home**
- **Developing vacant land**
- **Off street parking**









DESIGN PRINCIPLES:

Consistency with the neighborhood, particularly with respect to the transition from high density housing on Water street:

- **Building scale becomes delicate towards Jackson Street**
- **Pedestrian friendly “pocket park” entrance**
- **First Floor Unit**
- **Retain existing 4-family home**
- **Developing vacant land**
- **Off street parking**



