

STATISTICS	
TOTAL FLOOR AREA	399,538 SF
FLOOR AREA W/O PARKING	252,937 SF
PARKING FLOOR AREA	146,601 SF
TOTAL PRIV. OUTDOOR SPACE	23,477 SF
AGGREGATE BALCONY AREA	17,824 SF
PRIV. TERRACE AREA	5,653 SF
TOTAL ROOFTOP OPEN SPACE (PRIVATE TERRACES + AMENITY DECK)	12,300 SF
TOTAL SHARED AMENITY DECK AREA	846 SF
TOTAL OCC. OUTDOOR AREA (PRIVATE BALCONIES + ROOFTOP)	29,024 SF
NUMBER OF UNITS	UP TO 251
NUMBER OF BEDROOMS	UP TO 319
AVG. OUTDOOR SPACE PER UNIT	119 SF
GROSS LAND AREA	54,981 SF = 1.25 ACRES
LAND AREA PER DWELLING UNIT	217.4 SF
TOTAL PARKING SPACES	UP TO 121 SPACES
PARKING SPACES PER DWELLING UNIT	1.2 SPACES

1 ARCHITECTURAL SITE PLAN
1/8" = 1'-0"

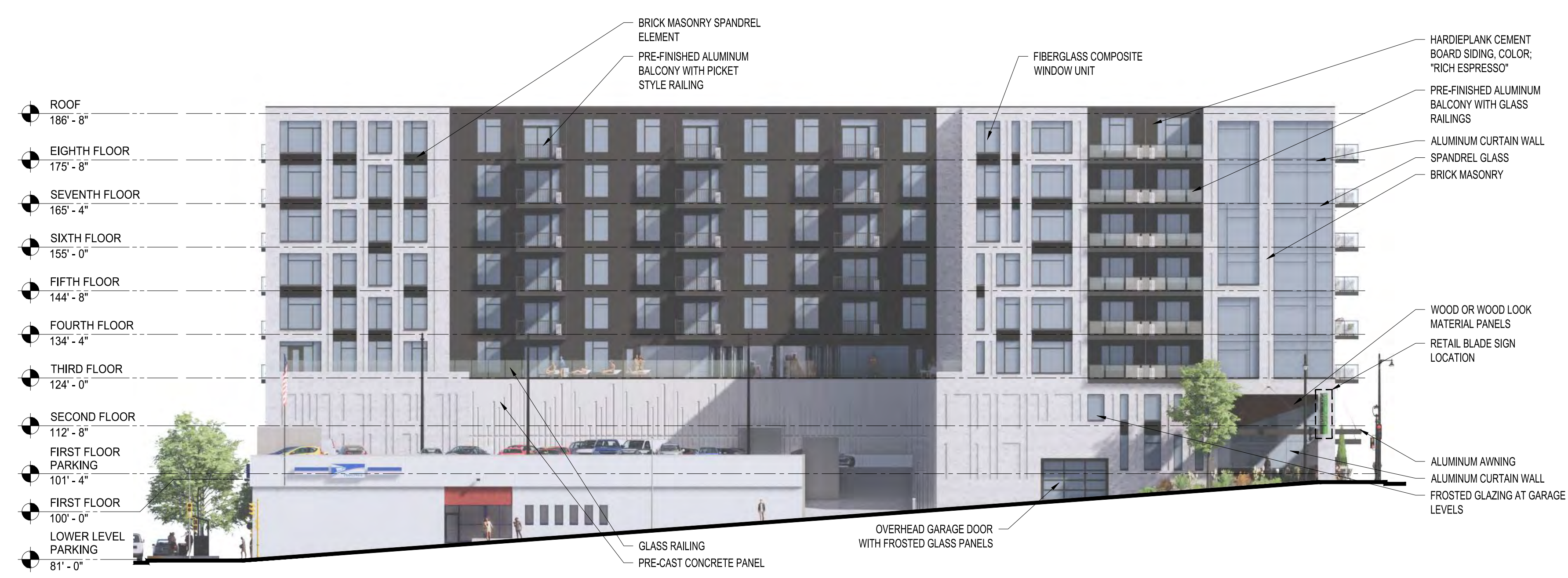
PROJECT NAME:
Nova
1235 N VAN BUREN ST
MILWAUKEE, WI 53202

OWNERS INFO:
NEW LAND ENTERPRISES
1840 N FARWELL AVE
SUITE A
MILWAUKEE, WI 53202
P 414.271.5263

ARCHITECT:
KORB + ASSOCIATES
648 N PLANKINTON AVE.
SUITE 240
MILWAUKEE, WI 53203
P 414.273.8230

REV. NO.	DATE

PROJ. NO: 20010 04
SCALE: AS NOTED
PHASE: PERMIT SET
DATE: 03-02-2021



4 SOUTH ELEVATION
1"=20'



3 EAST ELEVATION
1"=20'



2 NORTH ELEVATION
1"=20'



1 WEST ELEVATION
1"=20'

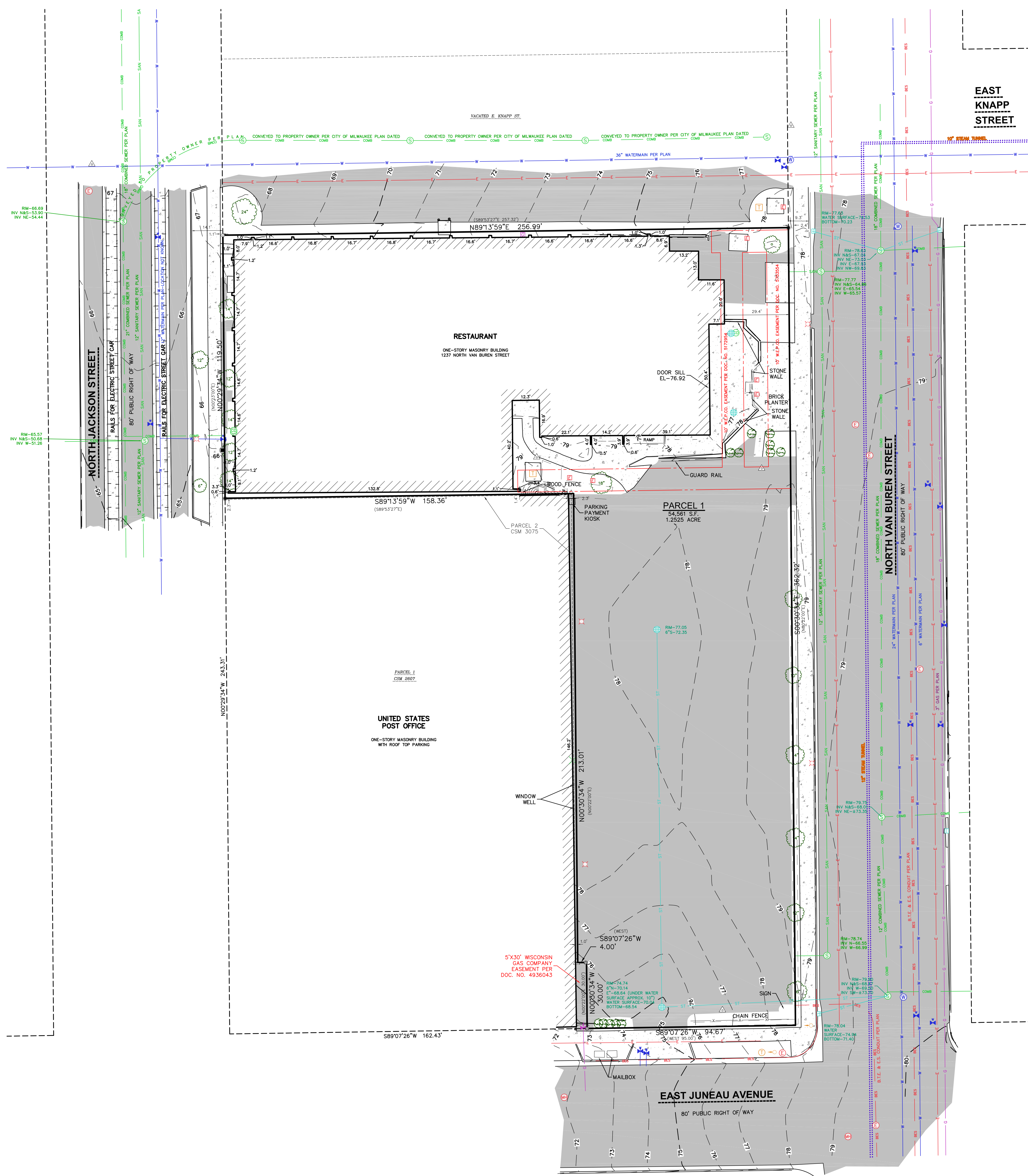
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EXISTING CONDITIONS SURVEY

PARCEL 1 OF CERTIFIED SURVEY MAP NO. 3075, BEING PART OF THE FRACTIONAL WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 21, TOWNSHIP 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN.

- NOTES**
- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON JUNE 19-23, 2020.
 - BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD27.
 - ELEVATIONS ARE BASED ON THE CITY OF MILWAUKEE DATUM. BENCHMARK IS CITY OF MILWAUKEE STANDARD BENCH MARK NO. 72-27, 3' WEST OF THE WEST CURB OF JEFFERSON ST. AND 5' SOUTH OF SOUTH EDGE OF WALK ON E. OGDEN. ELEV=62.524
 - CONTOUR INTERVAL IS ONE FOOT.
 - SPOT ELEVATIONS IN CURBED AREAS REFERENCE THE PAVEMENT EDGE ELEVATIONS.
 - SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGERS HOTLINE TICKET NO. 20202421764 & 20202421783, WITH A CLEAR DATE OF JUNE 16, 2020.
 - UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:
 MCI AT&T DISTRIBUTION
 CITY OF MILWAUKEE TELCOM CONSTRUCTION
 WE ENERGIES-ELE AND WQ GAS TIME WARNER CABLE
 MILWAUKEE METROPOLITAN SEWERAGE DIST WE ENERGIES-WE STEAM
 - BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
 - THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
 - THIS PARCEL IS ZONED COMMERCIAL - CENTRAL BUSINESS PER THE CITY OF MILWAUKEE ZONING MAP.
 - THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.
 - ROADWAY UTILITY RECORD DRAWINGS WERE REQUESTED FROM THE CITY OF MILWAUKEE. THE UTILITIES SHOWN REPRESENT FIELD LOCATED UTILITIES IN COMBINATION WITH THE SUPPLIED CITY RECORDS.

LEGAL DESCRIPTION

PARCEL 1 OF CERTIFIED SURVEY MAP NO. 3075, RECORDED ON JUNE 2, 1977, REEL 1019, IMAGES 1299 TO 1302, INCLUSIVE, AS DOCUMENT NO. 5105839, BEING A DIVISION OF PARCEL 2 OF CERTIFIED SURVEY MAP NO. 2607, BEING A DIVISION OF BLOCK 135, TOGETHER WITH THE VACATED ALLEY ADJOINING IN FRACTIONAL WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 21, TOWN 7 NORTH, RANGE 22 EAST, OR CANNON PLAT, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

FOR INFORMATIONAL PURPOSES ONLY:
 PROPERTY ADDRESS: 1237 NORTH VAN BUREN STREET, MILWAUKEE, WI 53202
 TAX KEY NUMBER: 360-0911-000

SURVEYOR'S CERTIFICATE

I, ANDREW W. WILKOWSKI, WISCONSIN PROFESSIONAL LAND SURVEYOR NO. S-3121, HEREBY CERTIFY THAT UNDER THE DIRECTION OF NEW LAND ENTERPRISE THIS SURVEY AND MAP HAS BEEN PREPARED AND COMPLIES WITH WISCONSIN ADMINISTRATIVE CODE A-E7 AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

Andrew W. Wilkowski
 ANDREW W. WILKOWSKI, S-3121
 PROFESSIONAL LAND SURVEYOR

JUNE 30, 2020
 DATE

- LEGEND**
- MAG NAIL SET
 - 3/4" x 18" REBAR SET (1.50 LBS/LF)
 - GOVERNMENT CORNER
 - CHESED 'X' FOUND
 - 1" IRON PIPE FOUND
 - PK/MAG NAIL FOUND
 - CONTROL POINT
 - BENCHMARK
 - BOLLARD
 - SIGN
 - SANITARY MANHOLE
 - CLEAN OUT
 - VENT PIPE
 - WATER MANHOLE
 - HYDRANT
 - WATER VALVE
 - CURB STOP/SERVICE VALVE
 - STORM MANHOLE
 - ROUND CASTED INLET
 - SQUARE CASTED INLET
 - CURB INLET
 - GAS REGULATOR/METER
 - GAS VALVE
 - MANHOLE - UNVERIFIED TYPE
 - ELECTRIC MANHOLE
 - ELECTRIC PEDESTAL
 - ELECTRIC METER
 - ELECTRIC TRANSFORMER
 - AIR CONDITION UNIT
 - LIGHT POLE
 - POWER POLE
 - POWER POLE W/GUY
 - YARD LIGHT
 - TRAFFIC SIGNAL
 - TELEPHONE MANHOLE
 - TELEPHONE PEDESTAL
 - CABLE PEDESTAL
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - BUSH
 - PLAT BOUNDARY
 - RIGHT-OF-WAY LINE
 - SECTION LINE
 - PLATTED LOT LINE
 - EASEMENT LINE
 - LANDSCAPE LIMITS
 - BOLLARD
 - FENCE LINE
 - GUARD OR SAFETY RAIL
 - EDGE OF PAVEMENT
 - CONCRETE CURB & GUTTER
 - SANITARY SEWER
 - WATER LINE
 - STORM SEWER
 - STEAM LINE
 - NATURAL GAS
 - UNDERGROUND ELECTRIC
 - UNDERGROUND TELEPHONE
 - EDGE OF WOODS OR BRUSH
 - BUILDING
 - WALL LINE
 - INDEX CONTOUR
 - INTERMEDIATE CONTOUR
 - SPOT ELEVATION
 - BITUMINOUS PAVEMENT
 - CONCRETE PAVEMENT
 - GRAVEL
 - EDGE OF BITUMINOUS
 - Denotes RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY



CREATE THE VISION TELL THE STORY

MADISON | MILWAUKEE
 KENOSHA | APPLETON | WAUSAU

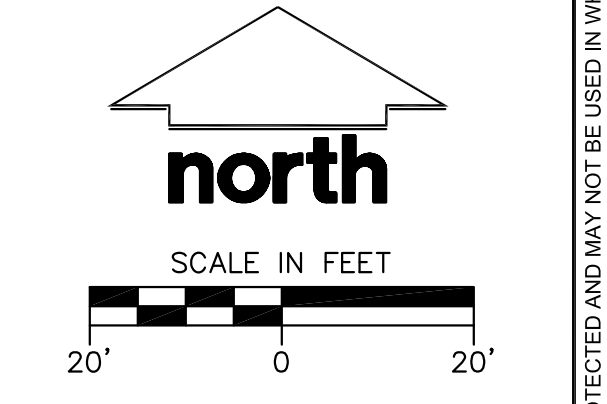
MILWAUKEE REGIONAL OFFICE
 9218 N. HUNTER ROAD, SUITE 100
 WAUKESHA, WISCONSIN 53188
 P. 262.513.0666



CLIENT ADDRESS:
 1840 N. FARWELL AVE.
 MILWAUKEE, WI 53202

PROJECT:
 1237 N.
 VAN BUREN ST.

PROJECT LOCATION:
 MILWAUKEE, WI
 MILWAUKEE COUNTY



TO OBTAIN LOCATIONS OF PARTICIPANT UNDERGROUND UTILITIES BEFORE YOU DIG, PLEASE:

CALL DIGGERS HOTLINE
 1-800-242-8511 TOLL FREE
 WISCONSIN CIVIL ENGINEERS REGISTERED PROFESSIONALS
 THREE (3) WORK DAYS NOTICE BEFORE YOU DIG!
 THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TREE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR COMPLETE. THE CONTRACTOR IS RESPONSIBLE FOR MARKING THE LOCATION OF UNDERGROUND UTILITIES AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

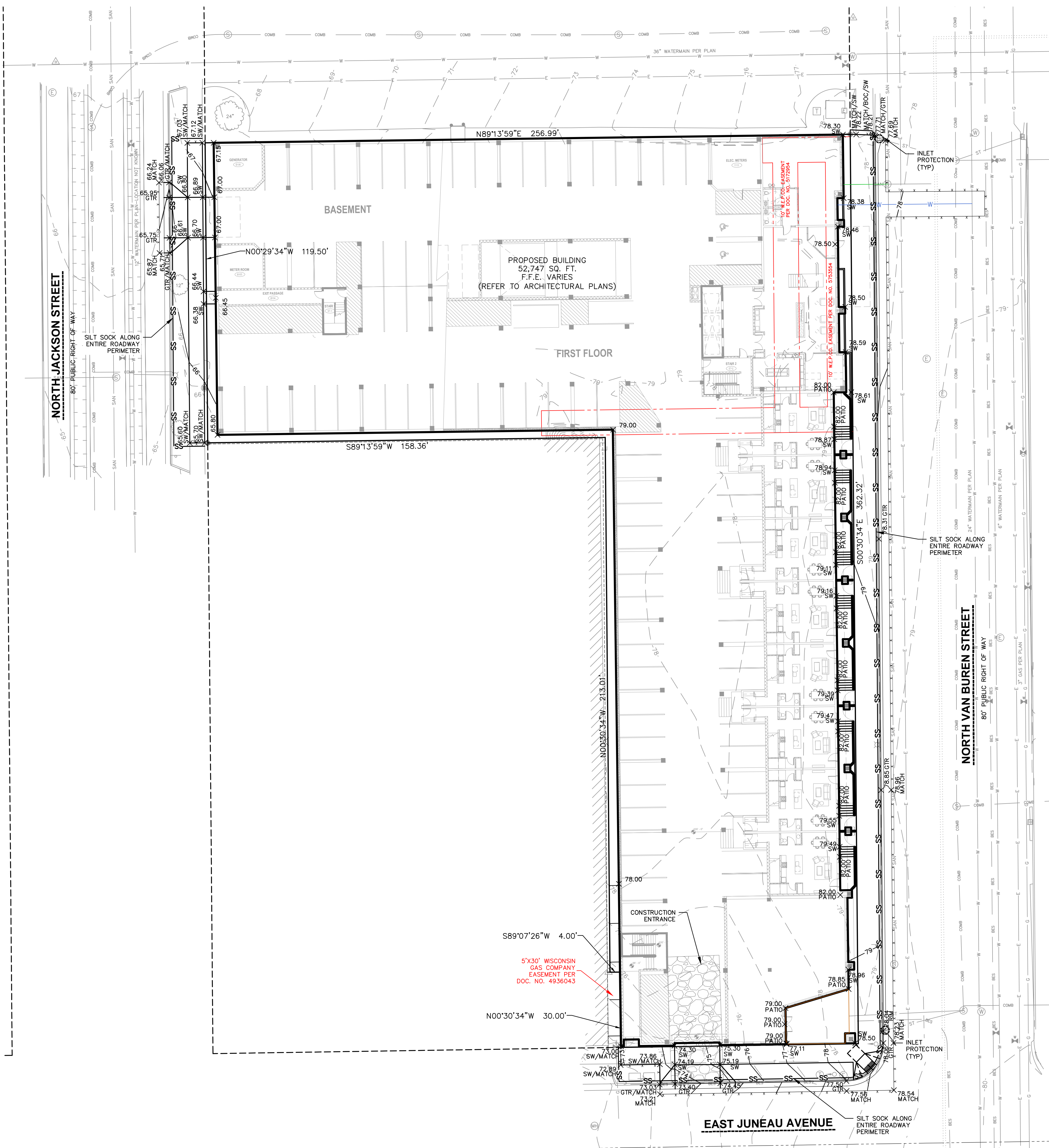
PLAN MODIFICATIONS:

#	Date	Description
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
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15		

Design/Drawn: DHS 6/30/20
 Approved: AWW 6/30/20

SHEET TITLE:
EXISTING CONDITIONS SURVEY

SHEET NUMBER:
1 OF 1



GRADING NOTES

1. THE CONTRACTOR SHALL VERIFY THE FOLLOWING:
 - A. LOCATION OF THE BENCHMARKS PRIOR TO COMMENCING WORK.
 - B. ELEVATION AND ELEVATION OF:
 - I. EXISTING PIPE INVERTS
 - II. FLOOR ELEVATIONS
 - III. CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK
 - IV. HORIZONTAL CONTROL BY REFERENCING SURFACE COORDINATES TO KNOWN PROPERTY LINES
2. NOTIFY JSD PROFESSIONAL SERVICES, INC. (JSD) OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
3. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED. MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
4. THIS PLAN IS BASED ON INFORMATION FROM MULTIPLE SOURCES. SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED GRADES MEET EXISTING. REVIEW ANY REQUIRED CHANGES WITH THE JSD PRIOR TO CONSTRUCTION OF WORK. CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO JSD PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
5. ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED.
6. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO JSD PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
7. ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.
 - * CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES WHILE JSD ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF CARE, THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
 - * THE CONTRACTOR SHALL OBTAIN APPROVAL FROM ENGINEER/TOWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
8. GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVIATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS, IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSATURATED SOILS LOCATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEDIMENTATION. CONTRACTOR SHALL IMMEDIATELY STOP GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
9. PROPOSED CONTOURS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. ALL CONSTRUCTION SHALL BE BASED UPON PROPOSED SPOT ELEVATIONS, WHERE PROVIDED.
10. THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL ENGINEERING SERVICES REPORT PREPARED BY AND DATED 08/14/2018 FOR SITE COMPACTION REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED UNSATURATED SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
11. IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.
12. WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON FILL AREAS. IN AN EFFORT TO DRY, CONTRACTOR SHALL CLEARLY FIELD MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL, WITH PAINTED TAPE AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CIRCUMSTANCES SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MORE RESTRICTIVE OF THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TURNOVER THE SPREAD MATERIAL, OR THE MAXIMUM COMPACTION LIFT DEPTH.
13. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.
14. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.
15. THE SITE SHALL BE COMPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
16. CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
17. CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.
18. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
19. WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIAL PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIAL. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY IN-LINE INCLUDING LANDSCAPING.
20. CONTRACTOR SHALL COMPLY WITH ALL CITY AND/OR STATE CONSTRUCTION STANDARDS/ORDINANCES.
21. SEE SHEET G3.1 FOR DETAILED SIDEWALK SPOT GRADES

EROSION AND SEDIMENT CONTROL NOTES:

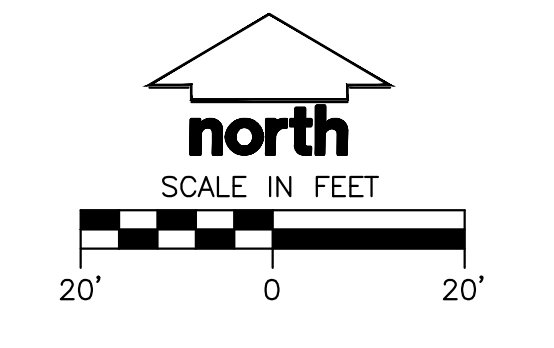
1. ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN WISCONSIN'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT FOR CONSTRUCTION OF 40 C.F.R. PART 122.26. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (DNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF MILWAUKEE ORDINANCE. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMP'S). IT IS THE RESPONSIBILITY OF THE CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMP'S PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
2. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY JSD PROFESSIONAL SERVICES, INC. OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EROSION CONTROL PERMITS PRIOR TO COMMENCING WITH WORK.
4. MODIFICATIONS TO THE APPROVED EROSION CONTROL PLAN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED PROVIDED CONFORMANCE WITH TECHNICAL STANDARDS AND CITY OF MILWAUKEE STANDARDS. CONTRACTOR IS RESPONSIBLE TO NOTIFY JSD AND APPROVE BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A MANNER WHICH WILL PREVENT THE TRACKING OF MUD OR DIRT SEDIMENT ONTO ADJACENT PUBLIC STREETS.
5. INITIAL PERMANENT EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
6. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATIONS WITH THE PROPER AUTHORITY. NECESSARY FEES AND APPROVALS AS REQUIRED BY THE GOVERNING AGENCY. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A MANNER WHICH WILL PREVENT THE TRACKING OF MUD OR DIRT SEDIMENT ONTO ADJACENT PUBLIC STREETS.
7. PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEP AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AFTER WORKING HOURS. SWEEPING SHALL BE AS REQUIRED AND AS REQUESTED BY GOVERNING AGENCIES.
8. ALL EXISTING STORM SEWER FACILITIES WILL COLLECT RUNOFF FROM DISTURBED AREAS. ALL EXISTING STORM SEWER FACILITIES SHALL BE PROTECTED TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER. ALL INLETS, STRUCTURES, PIPES, AND SWALES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.
9. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERMETER CONTROLS SHALL INCORPORATE THE FOLLOWING:
 - * BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 - * DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO STORM SEWER.
10. AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNTREATED RUNOFF.
11. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE PROJECT HAS COMPLETED THE PROJECT.
12. EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER PRIOR TO THE COMPLETION OF EACH WORK DAY.
13. MAINTAIN SOIL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.
14. PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS.
15. GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF THIRTY (30) DAYS REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS.
16. DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING MUD AND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE.
17. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE USUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS.
18. QUALIFIED PERSONNEL, PROVIDED BY THE GENERAL/PRIME CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH, OR MORE, PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH PART IV B.4. (6-1), OF THE NPDES GENERAL PERMIT. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED.
19. THE FOLLOWING MAINTENANCE PRACTICES SHALL BE USED TO MAINTAIN, IN GOOD AND EFFECTIVE OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES, AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN. UPON IDENTIFICATION, DEFICIENCIES IN STORMWATER CONTROLS SHALL BE ADDRESSED IMMEDIATELY. THE MAINTENANCE PROCEDURES FOR THIS DEVELOPMENT SHALL INCLUDE, BUT NOT BE LIMITED TO THE BELOW:
 - * SILT SOCK - REPAIR ANY DAMAGED SOCK AND/OR STAKES. REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE ABOVE GROUND HEIGHT OF THE SOCK.
 - * CONSTRUCTION ENTRANCE - AS NEEDED, ADD STONE TO MAINTAIN CONSTRUCTION ENTRANCE DIMENSIONS AND EFFECTIVENESS.
 - * INLET PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN CONTROL MEASURE IS CLOGGED. INLET FILTER BAGS SHALL BE REPLACED ONCE BAG BECOMES ONE-HALF FULL OF SEDIMENT.
20. ADDITIONAL POLLUTANT CONTROL MEASURES TO BE IMPLEMENTED DURING CONSTRUCTION ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 - * CONSTRUCTION WASTE SHALL BE PROPERLY DISPOSED OF. THIS INCLUDES ALL CONSTRUCTION SITE WASTE MATERIAL, SANITARY WASTE, AND WASTE FROM VEHICLE TRACKING OF SEDIMENTS. THE CONTRACTOR SHALL ENSURE THAT NO MATERIAL WASTES OR LONGER BUILDING MATERIALS SHALL BE BURIED, DUMPED, BURNED, OR DISCHARGED TO THE WATERS OF THE STATE. VEHICLES Hauling MATERIAL AWAY FROM THE SITE SHALL BE COVERED WITH A TARPULIN TO PREVENT BLOWING DEBRIS.
 - * DUST CONTROL SHALL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS:
 - A. COVERING SOIL OR MORE OF THE SOIL SURFACE WITH A NON-ERODIBLE MATERIAL.
 - B. ROUGHENING THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND. RIDGES SHALL BE AT LEAST SIX (6) INCHES IN HEIGHT.
 - C. PROVIDING WATERING OF EXCAVATION AND FILL AREAS.
 - D. PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS.
 - * STREET SWEEPING SHALL BE PERFORMED TO IMMEDIATELY REMOVE ANY SEDIMENT TRACKED ON PAVEMENTS.
21. CONTRACTOR IS RESPONSIBLE FOR DESIGN AND PERMITTING OF ANY REQUIRED Dewatering OPERATIONS.

LEGEND

⊕	GAS VALVE	---	EASEMENT LINE
⊕	SANITARY MASHHOLE	---	SETBACK LINE
⊕	STORM MANHOLE	---	EXTERIOR PROPERTY LINE
⊕	CATCH BASIN ROUND	---	EXISTING WATER MAIN
⊕	CATCH BASIN SQUARE	---	EXISTING GAS
⊕	PARKING METER	---	COMB
⊕	LIGHT POLE	---	EXISTING COMBINED SEWER
⊕	POWER POLE	---	SAN
⊕	TELEPHONE PEDESTAL	---	EXISTING SANITARY SEWER
⊕	SIGN	---	ST
⊕	ELECTRICAL PEDESTAL/TRANSFORMER	---	EXISTING STORM SEWER
⊕	CONFEROUS TREE	---	EXISTING STEAM TUNNEL
⊕	DECIDUOUS TREE	---	CH
⊕	BUSH	---	EXISTING OVERHEAD UTILITIES
⊕	PROPOSED INLET PROTECTION	---	T
⊕	PROPOSED CONSTRUCTION ENTRANCE	---	E
⊕	PROPOSED INLET	---	EXISTING UNDERGROUND ELEC.
⊕	PROPOSED SAWCUT	---	
⊕	PROPOSED SILT SOCK	---	
⊕		65.00 BOC	SPOT GRADE ELEVATION TOP OF CURB
⊕		65.00 FLG	SPOT GRADE ELEVATION FLANGE
⊕		65.00 GTR	SPOT GRADE ELEVATION GUTTER
⊕		65.00 PATH	SPOT GRADE ELEVATION PATH
⊕		65.00 SW	SPOT GRADE ELEVATION SIDEWALK
⊕		ST	PROPOSED STORM SEWER
⊕		SAN	PROPOSED SANITARY SEWER
⊕		W	PROPOSED WATERMAIN

BENCHMARKS

DESCRIPTION	ELEVATION
BENCHMARK #1: CITY OF MILWAUKEE BENCHMARK LOCATED 3' WEST OF THE WEST CURB OF JEFFERSON ST. AND 5' SOUTH OF SOUTH EDGE OF WALK ON E. OGDEN (CITY BM 75-27).	62.524



DIGGERS HOTLINE
Call 811 or (800) 242-8511
Missouri Area (202) 432-7910
Hearing Impaired TDD (800) 942-2289
www.DiggerHotline.com

PROJECT NAME:
NOVA
1233 N VAN BUREN ST
MILWAUKEE, WI 53202

OWNERS INFO:
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P 414.271.5283

ARCHITECT:
KORB + ASSOCIATES
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CONSTRUCTION MANAGER:
CATALYST CONSTRUCTION
55 JEWELERS PARK DRIVE
SUITE 100
NEENAH, WI 54956
P 920.585.2332

OTHER:
JSD PROFESSIONAL SERVICES INC.
1833 N WISCONSIN BLVD
SUITE 100
MILWAUKEE, WI 53188
P 262.513.0666

REV. NO.	DATE

PROJ. NO.: 2010101
SCALE: AS NOTED
PHASE: PRELIM SET
DATE: 02/28/2021

GRADING DRAINAGE & EROSION CONTROL PLAN

C3.0
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File: 1919.mxd 02/28/2021 10:00:00 AM User: jsmcnamal Printed: 02/28/2021 10:00:00 AM

MATCHLINE - SHEET L1.0

LEGEND

KENTUCKY BLUEGRASS BLEND (SEED)

GENERAL NOTES

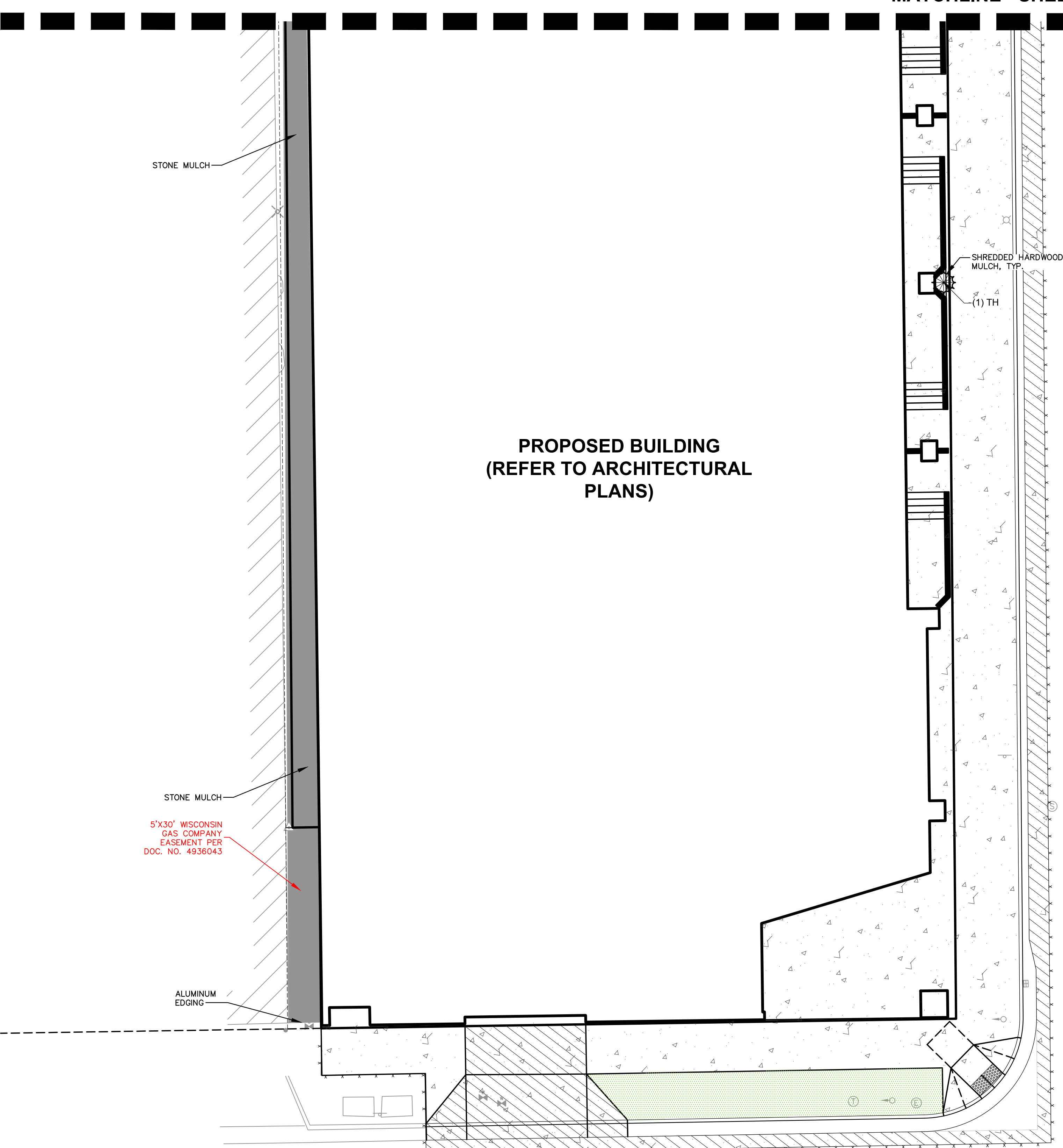
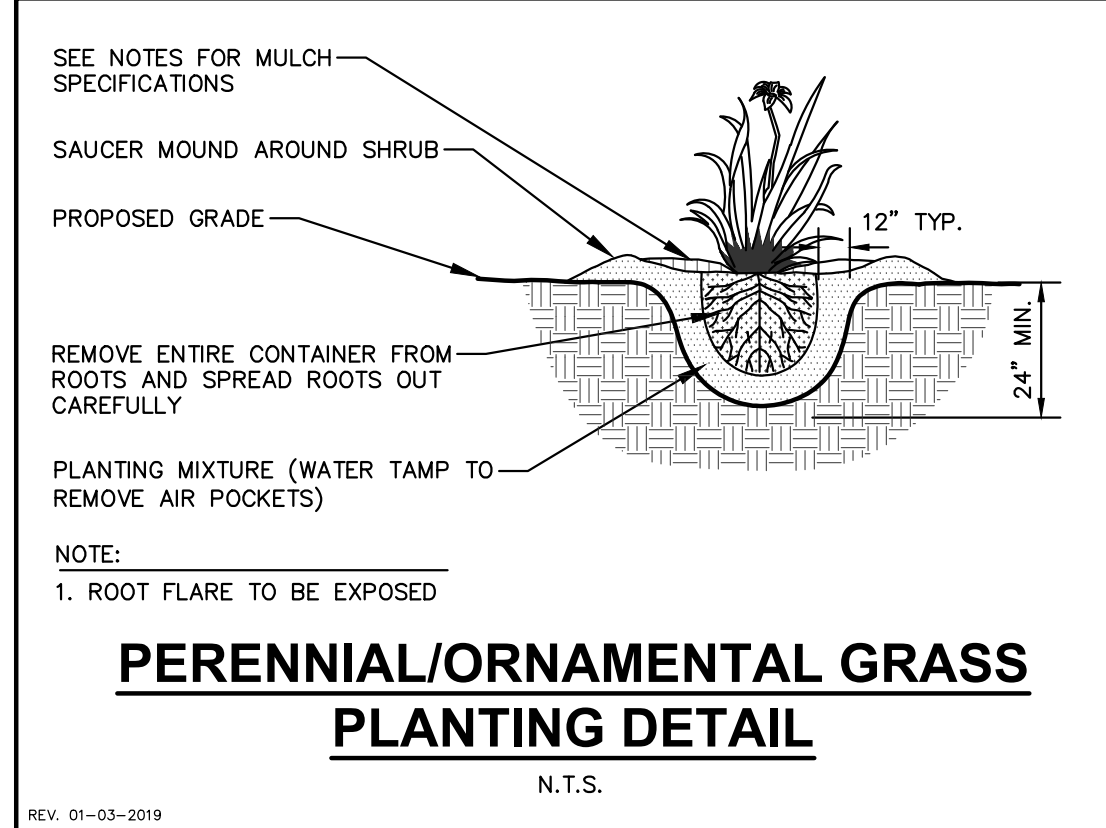
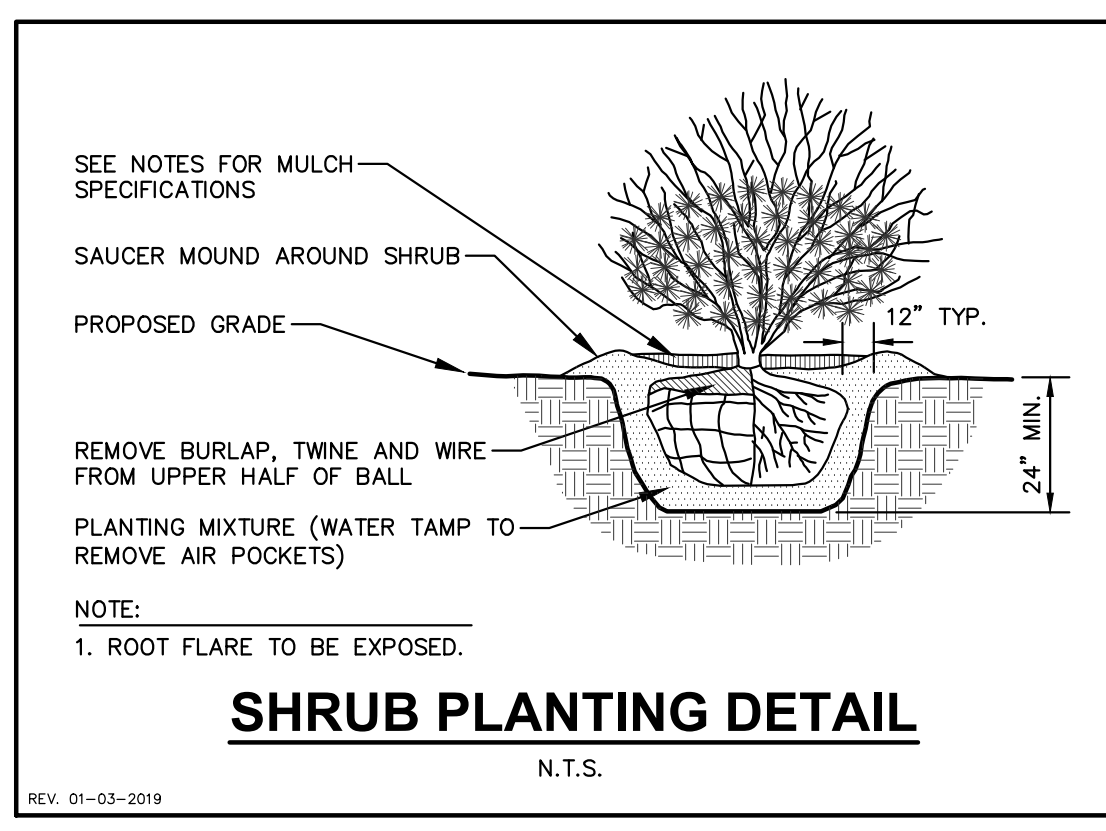
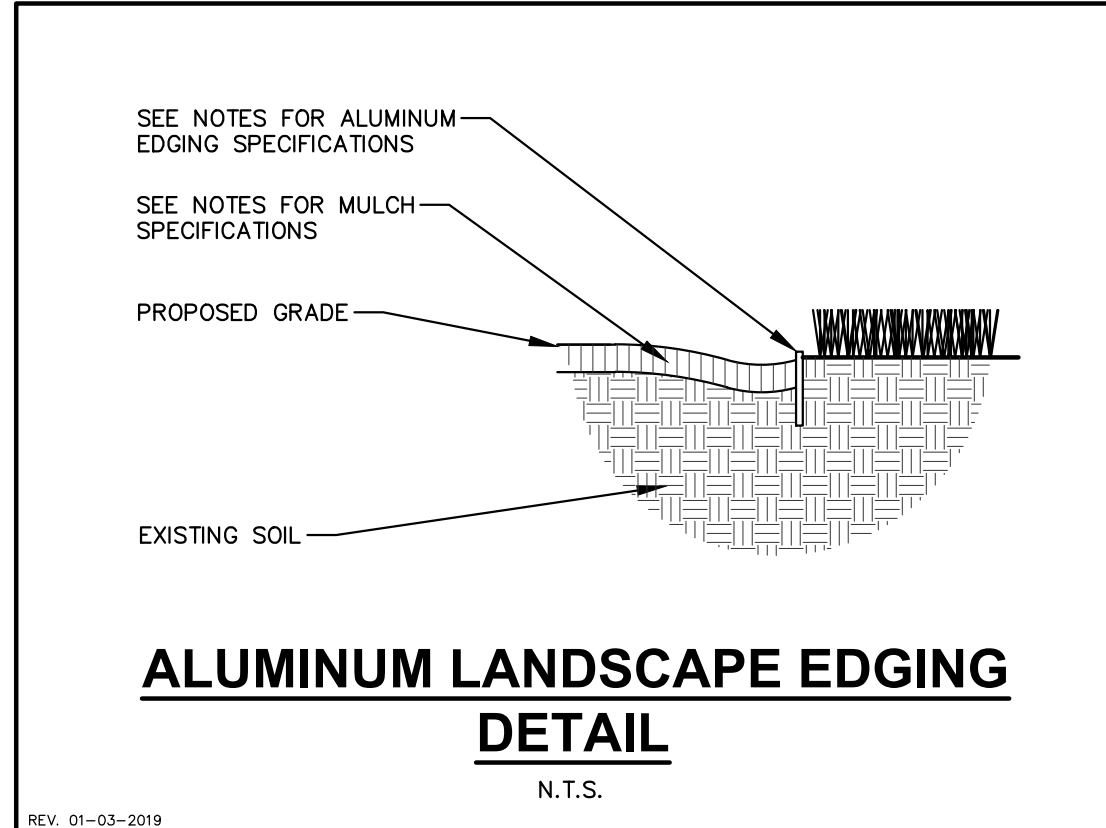
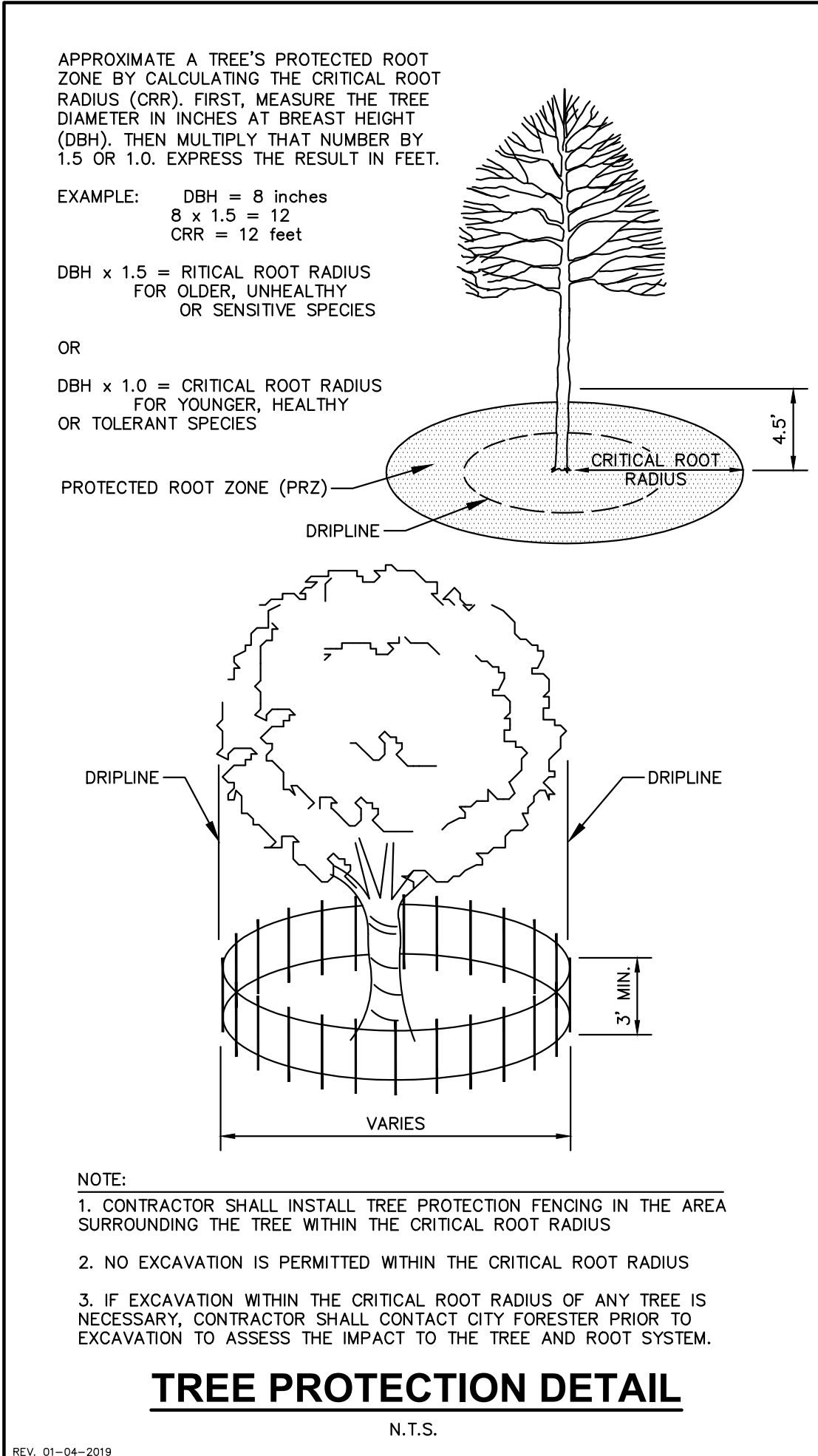
- GENERAL:** ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL RELEVANT AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-245-5111 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING:** DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL. MULCH MAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWTH FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS:** ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FREELY JOINT (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING:** THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURES THAT OCCURRED DURING THE PLANTING PROCESS. EXPOSED LEADERS, DEAD BRANCHES AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, AND ADD: PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO THE FOLLOWING HORTICULTURAL PRACTICES: ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SOARS ON BARK, TRACE THE INWARD CAMBIAL LAYER BACK TO SOUND TISSUE AND BRUSH SMOOTH AND SHAPE WOUNDS AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE WAX. IF PRUNING OCCURS "IN SEASON", DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP:** THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS FROM THE LEADERS, DEAD BRANCHES AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD. UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

SODDING

- MATERIALS - SOD:** DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND A PREMIUM GRADE TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .60 INCH, PLUS OR MINUS .25 INCH. AT TIME OF CUTTING MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WITH (36-48 INCHES) AND LENGTH, BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT IS EXCESSIVELY DRY OR WET, AS THIS MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOIL STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPORTED WITHIN A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO 0.5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS AND WEED SEED. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.

LANDSCAPE MATERIAL NOTES

- MATERIALS - PLANTING MIXTURE:** ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- MATERIALS - TOPSOIL:** TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TONS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH:** ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE, SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOOD WEEB BARRIER FABRIC.
- MATERIALS - STONE MULCH:** ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE DECORATIVE STONE MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOOD WEEB BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- MATERIALS - ALUMINUM EDGING:** EDGING SHALL BE 1/8" X 4", ALUMINUM EDGING, MILL FINISH. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

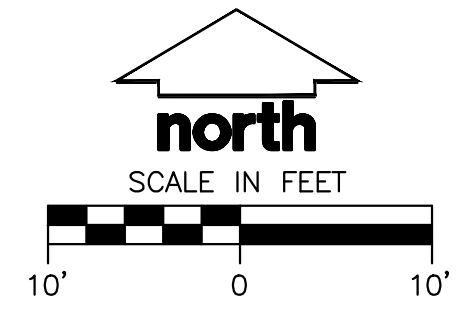


**PROPOSED BUILDING
(REFER TO ARCHITECTURAL
PLANS)**

EAST JUNEAU AVENUE

CONTRACTOR AND OWNER RESPONSIBILITY NOTES

- GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT THE TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A ONE (1)-YEAR STRAIGHTFORWARD GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE (CONTRACTOR) FOR ALL PLANTINGS, SEEDS AND/OR SODDED LAWN AREAS:** THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY, VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHARPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MAINTAINED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE (OWNER):** THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.



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Mississauga Area (905) 432-7910
Hearing Impaired TDD (905) 542-2289
www.DiggersHotline.com

BENCHMARKS	
DESCRIPTION	ELEVATION
BENCHMARK #1: CITY OF MILWAUKEE BENCHMARK LOCATED 3' WEST OF THE WEST CURB OF JEFFERSON ST. AND 5' SOUTH OF SOUTH EDGE OF WALK ON E. OGDEN (CITY BM 75-27). ELEV=62.524	62.524

**LANDSCAPE PLAN,
NOTES & DETAILS**
L1.1

NOVA
1237 N Van Buren St
Milwaukee, WI 53202

Detailed Plan Development Submittal
File Number: 201143



Table Of Contents

• Project Team	3
• Vicinity Map	4
• Site Images	6
• Architectural Site Plan	7
• Civil: Site Survey	8
• Civil: Demo Plan	9
• Civil: Site Plan	10
• Civil: Grading, Utility, and Erosion Control Plan	11
• Civil: Sidewalk Spot Grading Plan	12
• Civil: Detail Information	14
• Landscaping	15
• Architectural Building Elevations	17
• Architectural Renderings	21

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PROJECT SITE



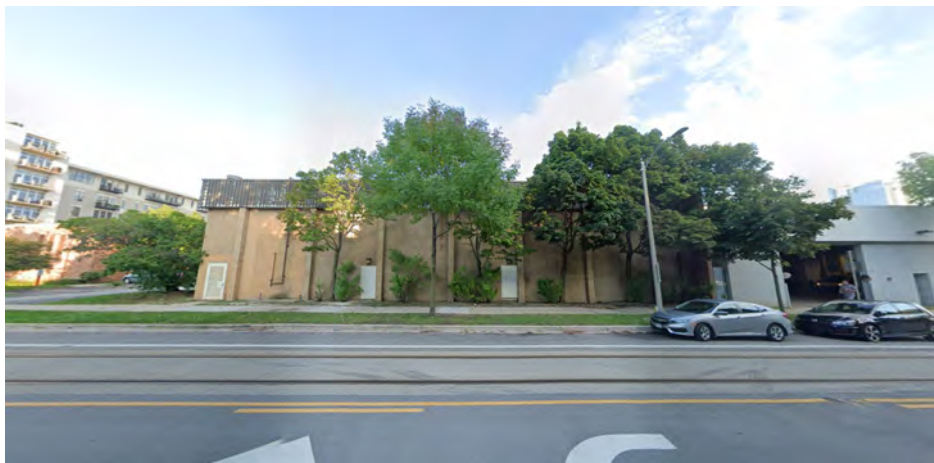
N/E Corner of Site - N Van Buren St, showing existing building



N/W Corner of Site - N Jackson St, showing existing building



S/E Corner of Site - N Van Buren St + E Juneau Ave



W View of Site - N Jackson St, showing existing building

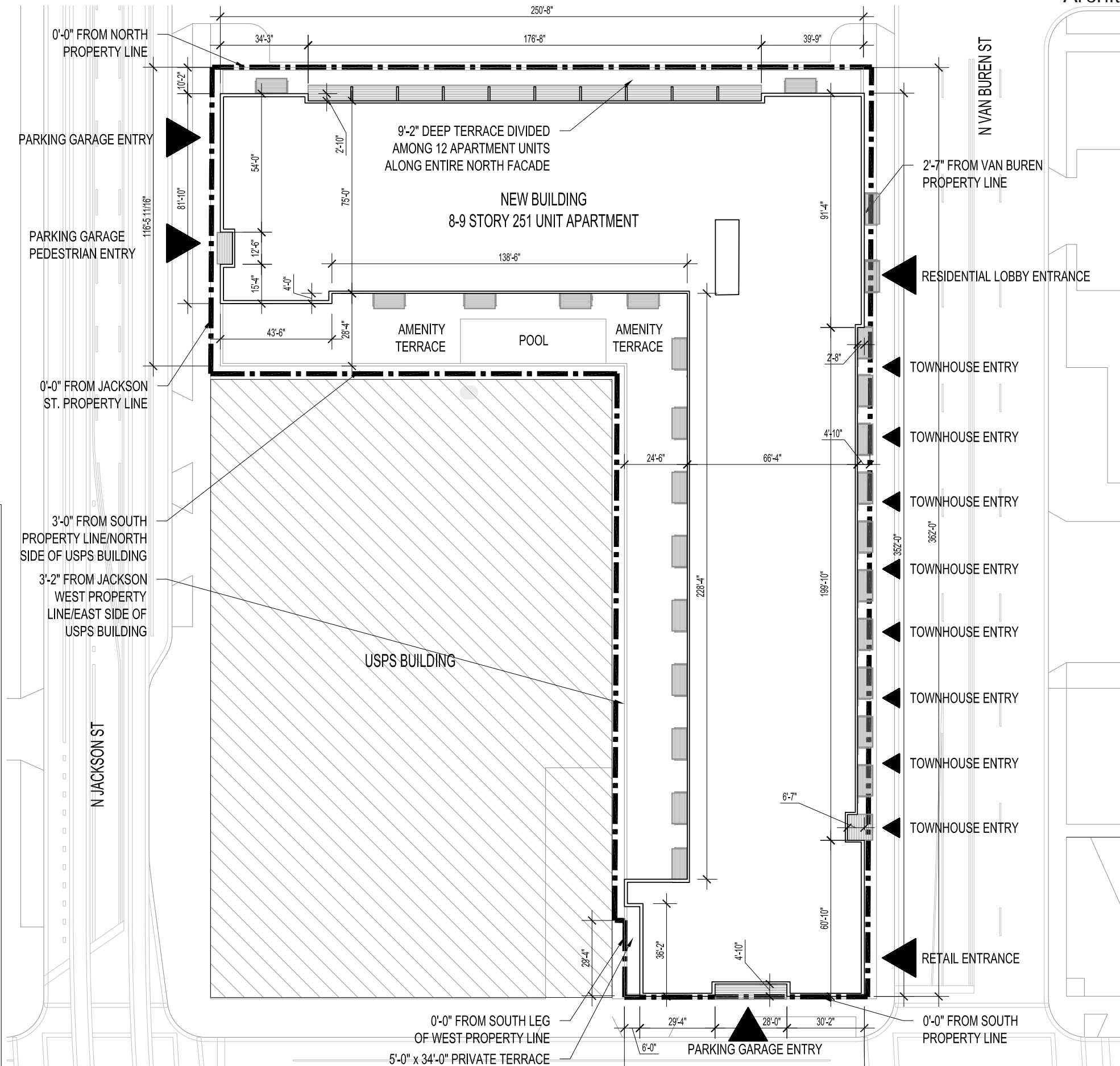


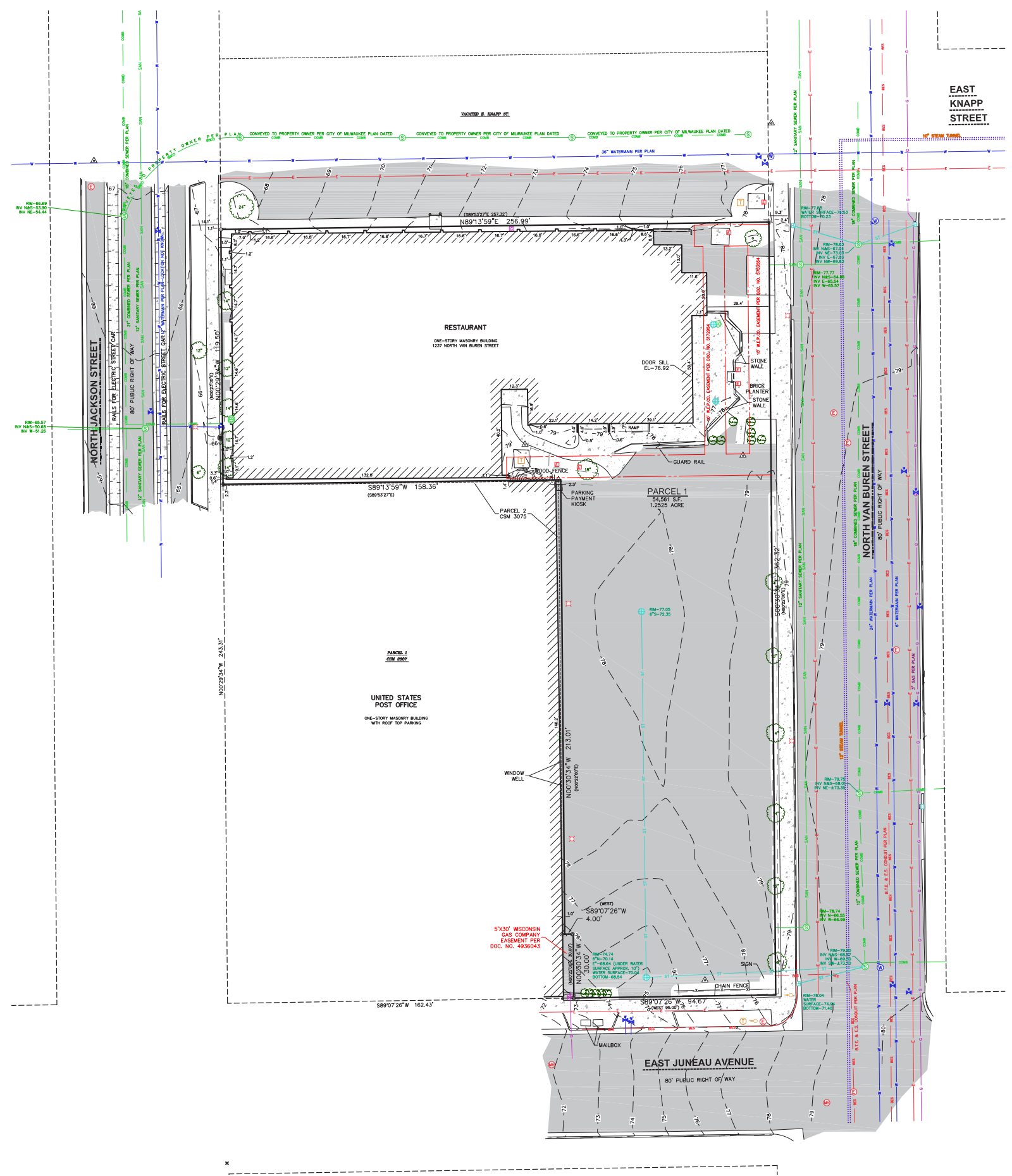
E View of Site - N Van Buren St, showing existing building



S View of Site - E Juneau Ave

STATISTICS	
TOTAL FLOOR AREA	358,538 SF
FLOOR AREA W/O PARKING	252,597 SF
PARKING FLOOR AREA	105,941 SF
TOTAL PRIV. OUTDOOR SPACE	23,477 SF
AGGREGATE BALCONY AREA	17,624 SF
PRIV. TERRACE AREA	5,853 SF
TOTAL ROOFTOP OPEN SPACE (PRIVATE TERRACES + AMENITY DECK)	12,300 SF
TOTAL SHARED AMENITY DECK AREA	6446 SF
TOTAL OCC. OUTDOOR AREA (PRIVATE BALCONIES + ROOFTOP)	29,924 SF
NUMBER OF UNITS	UP TO 251
NUMBER OF BEDROOMS	UP TO 318
AVG. OUTDOOR SPACE PER UNIT	119 SF
GROSS LAND AREA	54,561 SF - 1.25 ACRES
LAND AREA PER DWELLING UNIT	217.4 SF
TOTAL PARKING SPACES	UP TO 321 SPACES
PARKING SPACES PER DWELLING UNIT	1.2 SPACES





EXISTING CONDITIONS SURVEY

PARCEL 1 OF CERTIFIED SURVEY MAP NO. 3075, BEING PART OF THE FRACTIONAL WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 21, TOWNSHIP 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN.

NOTES

1. FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON JUNE 19-23, 2020.
2. BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD27.
3. ELEVATIONS ARE BASED ON THE CITY OF MILWAUKEE DATUM. BENCHMARK IS CITY OF MILWAUKEE STANDARD BENCH MARK NO. 72-27, 3" WEST OF THE WEST CURB OF JEFFERSON ST. AND 5' SOUTH OF SOUTH EDGE OF WALK ON E. OGDEN. ELEV=62.524
4. CONTOUR INTERVAL IS ONE FOOT.
5. SPOT ELEVATIONS IN CURBED AREAS REFERENCE THE PAVEMENT EDGE ELEVATIONS.
6. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGERS' HOTLINE TICKET NO. 20202421784 & 20202421783, WITH A CLEAR DATE OF JUNE 16, 2020.
7. UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:
 AT&T DISTRIBUTION
 CITY OF MILWAUKEE
 TELCOM CONSTRUCTION
 TIME WARNER CABLE
 WE ENERGIES-ELE AND W0 GAS
 WE ENERGIES-HE STEAM
 MILWAUKEE METROPOLITAN SEWERAGE DIST
 WE ENERGIES-HE STEAM
8. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
9. THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
10. THIS PARCEL IS ZONED COMMERCIAL - CENTRAL BUSINESS PER THE CITY OF MILWAUKEE ZONING MAP.
11. THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.
12. ROADWAY UTILITY RECORD DRAWINGS WERE REQUESTED FROM THE CITY OF MILWAUKEE. THE UTILITIES SHOWN REPRESENT FIELD LOCATED UTILITIES IN COMBINATION WITH THE SUPPLIED CITY RECORDS.

LEGAL DESCRIPTION

PARCEL 1 OF CERTIFIED SURVEY MAP NO. 3075, RECORDED ON JUNE 2, 1977, REEL 1019, IMAGES 1299 TO 1302, INCLUSIVE, AS DOCUMENT NO. 5105839, BEING A DIVISION OF PARCEL 2 OF CERTIFIED SURVEY MAP NO. 3070, BEING A DIVISION OF BLOCK 335, TOGETHER WITH THE VACATED ALLEY ADJOINING IN FRACTIONAL WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 21, TOWN 7 NORTH, RANGE 22 EAST, OR GAMMON FLOT, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

FOR INFORMATIONAL PURPOSES ONLY:
 PROPERTY ADDRESS: 1327 NORTH VAN BUREN STREET, MILWAUKEE, WI 53202
 TAX KEY NUMBER: 360-0911-000

SURVEYOR'S CERTIFICATE

I, ANDREW W. WILKOWSKI, WISCONSIN PROFESSIONAL LAND SURVEYOR NO. S-3121, HEREBY CERTIFY THAT UNDER THE DIRECTION OF NEW LAND ENTERPRISE THIS SURVEY AND MAP HAS BEEN PREPARED AND COMPLIES WITH WISCONSIN ADMINISTRATIVE CODE A-17 AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

Andrew W. Wilkowski, S-3121
 PROFESSIONAL LAND SURVEYOR

JUNE 30, 2020
 DATE



LEGEND

- MAG NAIL SET
- 3/4" x 18" REBAR SET (1.50 LBS/LF)
- ⊕ GOVERNMENT CORNER
- ⊕ CHESED 'X' FOUND
- 1" IRON PIPE FOUND
- PW/MAG NAIL FOUND
- ▲ CONTROL POINT
- ⊕ BENCHMARK
- ⊕ BOLLARD
- ⊕ SIGN
- SANITARY MANHOLE
- CLEAN OUT
- VENT PIPE
- WATER MANHOLE
- HYDRANT
- WATER VALVE
- CURB STOP/SERVICE VALVE
- STORM MANHOLE
- ROUND CASTED INLET
- SQUARE CASTED INLET
- CURB INLET
- GAS REGULATOR/METER
- GAS VALVE
- MANHOLE - UNVERIFIED TYPE
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- AIR CONDITION UNIT
- LIGHT POLE
- POWER POLE W/GUY
- YARD LIGHT
- TRAFFIC SIGNAL
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- CABLE PEDESTAL
- DECIDUOUS TREE
- CONIFEROUS TREE
- BUSH
- PLAT BOUNDARY
- RIGHT-OF-WAY LINE
- SECTION LINE
- PLATTED LOT LINE
- EASEMENT LINE
- LANDSCAPE LIMITS
- FENCE LINE
- GUARD OR SAFETY RAIL
- EDGE OF PAVEMENT
- CONCRETE CURB & GUTTER
- SANITARY SEWER
- WATER LINE
- STORM SEWER
- STEAM LINE
- NATURAL GAS
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- EDGE OF WOODS OR BRUSH
- BUILDING
- WALL LINE
- 875 - INDEX CONTOUR
- 874 - INTERMEDIATE CONTOUR
- SPOT ELEVATION
- BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT
- GRAVEL
- EDGE OF BITUMINOUS
- () DENOTES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY

CONSTRUCTION SITE SEQUENCE NOTES

- 1235 N VAN BUREN STREET
MILWAUKEE, WI
- ALL SITE GRADING WORK AND EROSION CONTROL EFFORTS SHALL BE PERFORMED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES AND APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.
- SEALING OPERATIONS:**
1. INSTALL INLET PROTECTION AND TRACKING PAD AT ENTRANCE TO SITE.
 2. INSTALL PERIMETER SEDIMENT CONTROL AS SHOWN ON THE APPROVED CONSTRUCTION PLANS.
 3. CONDUCT DEMOLITION OF EXISTING SITE FEATURES.
 4. CONSTRUCT BUILDING FOOTING/FOUNDATIONS.
 5. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
 6. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF PAVEMENT, WALKS, ETC.
 7. THE CONTRACTOR SHALL TOPSOIL AND SEED DISTURBED PORTIONS OF THE SITE AS THEY ARE COMPLETED AS IS PRACTICAL.
 8. ALL OF THE EROSION CONTROL MEASURES FOR THE ENTIRE SITE MUST BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT IN ACCORDANCE WITH WISCONSIN DNR REQUIREMENTS AND AS REQUIRED BY THE CITY OF MILWAUKEE.

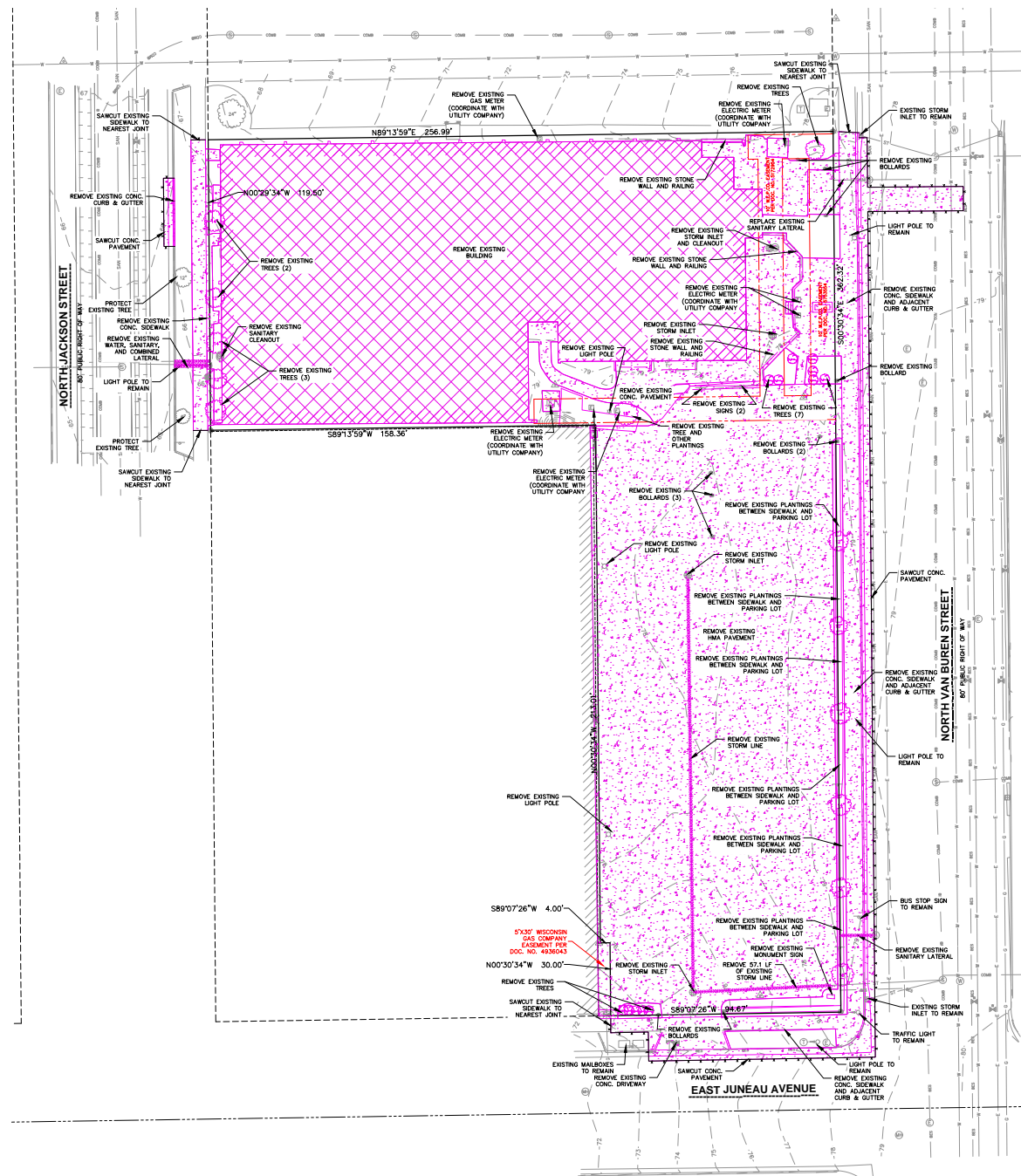
DEMOLITION NOTES

1. REFER TO SHEET C3.0 FOR COMPLETE SITE EROSION CONTROL NOTES.
2. ALL DEMOLITION WORK SHALL BE IN COMPLIANCE WITH CITY OF MILWAUKEE REQUIREMENTS.
3. ALL DEBRIS SHALL BE REMOVED FROM THE SITE DAILY.
4. CONTRACTOR IS RESPONSIBLE TO NOTIFY CITY OF MILWAUKEE OFFICIALS FOR ANY WORK WITHIN PUBLIC RIGHTS-OF-WAY AND APPLY FOR ALL NECESSARY PERMITS.
5. CONTRACTOR SHALL PROTECT CITY OF MILWAUKEE PAVEMENTS AND REPLACE IN ACCORDANCE WITH CITY REQUIREMENTS IF DAMAGED.
6. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL DEMOLITION ITEMS AND QUANTITIES.
7. CONTRACTOR IS RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITY COMPANIES TO DETERMINE IF RELOCATION OF UTILITY POLES, TELEPHONE AND FIBER OPTIC BOWLS AND/OR OTHER UTILITIES WILL BE REQUIRED. CONTRACTOR SHALL NOTIFY OWNER FOR APPROVAL PRIOR TO RELOCATION OF SAID UTILITIES.
8. CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF MATERIALS.
9. CONTRACTOR SHALL RETAIN, ON-SITE, ALL AGGREGATE MATERIALS REMOVED DURING DEMOLITION. THE RE-PURPOSED AGGREGATE IS TO BE USED FOR NEW CONSTRUCTION WHERE APPROPRIATE. ANY UNUSED OR UNUSABLE PORTION OF MATERIALS SHALL BE REMOVED FROM THE CONSTRUCTION SITE AND SHALL BE RE-PURPOSED ELSEWHERE OR SHALL BE PROPERLY DISPOSED OF.
10. THE CONTRACTOR IS RESPONSIBLE FOR ANY ITEMS IN ADJACENT PROPERTIES THAT MAY BE DAMAGED DURING DEMOLITION OR CONSTRUCTION.

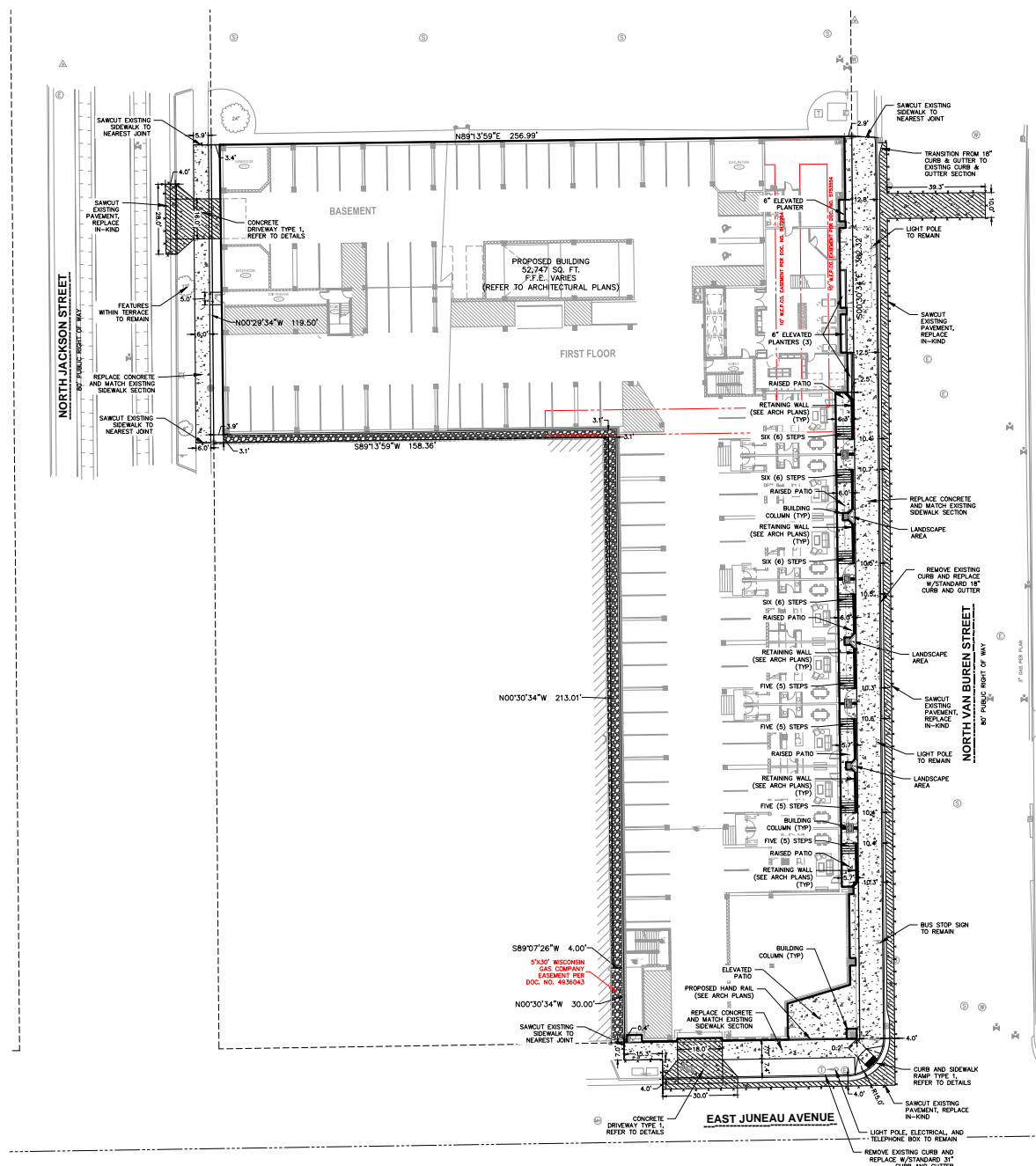
LEGEND			
●	GAS VALVE	---	EASEMENT LINE
⊙	SANITARY MANHOLE	---	SETBACK LINE
⊕	STORM MANHOLE	---	EXTERIOR PROPERTY LINE
⊖	CATCH BASIN ROUND	---	EXISTING WATER MAIN
⊗	CATCH BASIN SQUARE	---	EXISTING GAS
⊘	PARKING METER	---	EXISTING COMBINED SEWER
⊙	LIGHT POLE	---	EXISTING SANITARY SEWER
⊙	POWER POLE	---	EXISTING STORM SEWER
⊙	TELEPHONE PEDESTAL	---	EXISTING STEAM TUNNEL
⊙	SOI	---	EXISTING OVERHEAD UTILITIES
⊙	ELECTRICAL PEDESTAL/TRANSFORMER	---	EXISTING UNDERGROUND TELEP.
⊙	CONIFEROUS TREE	---	EXISTING UNDERGROUND ELEC.
⊙	DECIDUOUS TREE	---	EXISTING BULK ELEC. SYSTEM
⊙	BUSH	---	SAWCUT LINE
⊙	TREE TO BE REMOVED	---	FEATURE TO BE DEMOLISHED
		---	BUILDING TO BE DEMOLISHED
		---	CONCRETE TO BE DEMOLISHED

SHEET INDEX

- C1.0 DEMOLITION PLAN
- C2.0 SITE PLAN
- C3.0 GRADING, DRAINAGE & EROSION CONTROL PLAN
- C3.1 SIDEWALK SPOT GRADE PLAN
- C4.0 UTILITY PLAN
- C5.0 DETAILS



BENCHMARKS	
DESCRIPTION	ELEVATION
BENCHMARK #1: CITY OF MILWAUKEE BENCHMARK LOCATED 3' WEST OF THE WEST CURB OF JEFFERSON ST. AND 5' SOUTH OF SOUTH EDGE OF BANK ON E. COCKER, CITY BM 72-27, ELEV=62.54	62.54



PAVING NOTES

- THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING:
 - STANDARD SPECIFICATIONS FOR SEWER AND WATER IN WISCONSIN, CURRENT EDITION, WITH ADDENDA.
 - THE CITY OF MILWAUKEE MUNICIPAL CODE, CURRENT EDITION.
- NO PROFESSIONAL SERVICES, INC. (NSI) SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY SEPARATIONS BY THE CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- ALL MATERIALS SHALL BE APPROVED BY THE CITY OF MILWAUKEE ENGINEER PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGER'S HOTLINE AT 800-242-8911).
- THE CITY OF MILWAUKEE AND NSI SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
- ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO CONSTRUCT THE FACILITIES IN ACCORDANCE WITH THE DESIGN DRAWINGS.
- EXISTING UTILITY INFORMATION IS BASED ON DIGGER'S HOTLINE UNDERGROUND UTILITY LOCATIONS. SURVEY, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK.
- PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- ALL WORK TO BE COMPLETED IN COMPLIANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
- REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS AND DETAILS.
- ALL NON-HARD SURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND BE SEEDED, MULCHED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED. REFER TO LANDSCAPE PLANS FOR FURTHER INFORMATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
- FINAL PAVEMENT DESIGN TO BE DETERMINED BY OWNER BASED ON GEOTECHNICAL ENGINEER OF RECORD RECOMMENDATIONS. ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER OF RECORD RECOMMENDATIONS AS SPECIFIED IN THE SAID GEOTECHNICAL REPORT.

CONCRETE PAVEMENT PAVING SPECIFICATIONS

 - CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE CONCRETE PAVEMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREINAFTER, THIS PUBLICATION SHALL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
 - REINFORCEMENT - CONCRETE PAVEMENT SHALL BE REINFORCED WITH #7#8 WELDED WIRE MESH REINFORCEMENT.
 - CURING COMPOUNDS - CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
 - FINISHING
 - CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHENEVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
 - CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER.
 - EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
 - ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-280V CONCRETE SEALANT.
 - CRUSHED AGGREGATE BASE COURSE - THE BASE COURSE SHALL CONFORM TO SECTIONS 201 AND 204, STATE HIGHWAY SPECIFICATIONS. CLEAN WASHED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD.
 - SURFACE PREPARATION - NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
- THE CONTRACTOR SHALL FIELD VERIFY THE FOLLOWING:
 - ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK.
 - THE LOCATION AND ELEVATION OF EXISTING:
 - PIPE INVERTS
 - FLOOR ELEVATIONS
 - CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK.
 - HORIZONTAL CONTROL BY REFERENCING SHOWY COORDINATES TO KNOWN PROPERTY LINES
- NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING.
- ALL ANGLES FOR ROADWAY, PARKING LOT, AND BUILDING LOCATION ARE PERPENDICULAR TO PROPERTY LINES UNLESS NOTED OTHERWISE.
- DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE FACE OF BUILDING.
- SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION.
- ALL RADII ARE DIMENSIONED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL COORDINATES AND DIMENSIONS ARE REFERENCED TO THE EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
- ALL CURB AND GUTTER SHALL BE THE MILWAUKEE DEPARTMENT OF PUBLIC WORKS REINFORCED VERTICAL FACE CONCRETE CURB AND GUTTER (REFER TO CALL).
- SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED PAVEMENT, CURB AND SIDEWALKS MEET EXISTING PAVEMENT, CURB AND SIDEWALKS. REVIEW ANY REQUIRED CHANGES WITH THE ENGINEER PRIOR TO CONSTRUCTION OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS FOR ALL UTILITIES, STORM DRAINAGE, SIGNALS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED TO COMPLETE PROPOSED ITEMS IN PLACE. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED AS SHOWN.
- ALL COSTS SHALL BE INCLUDED IN THE BID.
- ALL PAVEMENT TO BE STANDARD DUTY PAVEMENT, UNLESS NOTED OTHERWISE.
- CONTRACTOR IS RESPONSIBLE FOR DESIGN AND PERMITTING OF ANY REQUIRED TRAFFIC CONTROL MEASURES INCLUDING BUT NOT LIMITED TO: TRAFFIC LANE CLOSURES, SIDEWALK CLOSURES, ALLEY CLOSURES, ETC.
- CURB AND PAVEMENT NEED TO BE DOWELED INTO THE EXISTING PAVEMENT.

SITE PLAN DATA	
1. DEVELOPMENT NAME:	NOVA
2. LOCATION:	1230 N VAN BUREN ST MILWAUKEE, WISCONSIN 53202
3. OWNER/DEVELOPER:	NEW LAND ENTERPRISES 1840 N. FARMELL AVE SUITE A MILWAUKEE, WI 53202
4. ARCHITECT:	KORB & ASSOCIATES 648 N. PLANKINTON AVE SUITE 240 MILWAUKEE, WI 53203
5. SITE SIZE:	94,561 S.F. (1.2525 NET AC)
6. BUILDING SETBACKS:	<ul style="list-style-type: none"> NORTH SETBACK: REFER TO DIMENSION ON PLAN EAST SETBACK: REFER TO DIMENSION ON PLAN SOUTH SETBACK: REFER TO DIMENSION ON PLAN WEST SETBACK: REFER TO DIMENSION ON PLAN
7. BUILDING HEIGHT:	REFER TO ARCHITECTURAL PLANS
8. PARKING COUNT:	205 PROPOSED INTERIOR STALLS
9. LSR:	PROPOSED 0.7% / EXISTING 9.4%

LEGEND	
	CONCRETE PAVEMENT SECTION
	CONCRETE SIDEWALK
	1-1/2" RIVER ROCK
	PROPOSED CURB AND GUTTER
	PROPOSED SAWCUT

BENCHMARKS	
DESCRIPTION	ELEVATION
BENCHMARK #1: CITY OF MILWAUKEE BENCHMARK LOCATED 3' WEST OF THE WEST CURB OF DEFFERSON ST. AND 5' SOUTH OF SOUTH EDGE OF WALK ON E. OGDEN (CITY BM 72-27) - ELEV=62.524	62.524

DIGGER'S HOTLINE

 Call 811 or (800) 242-8911

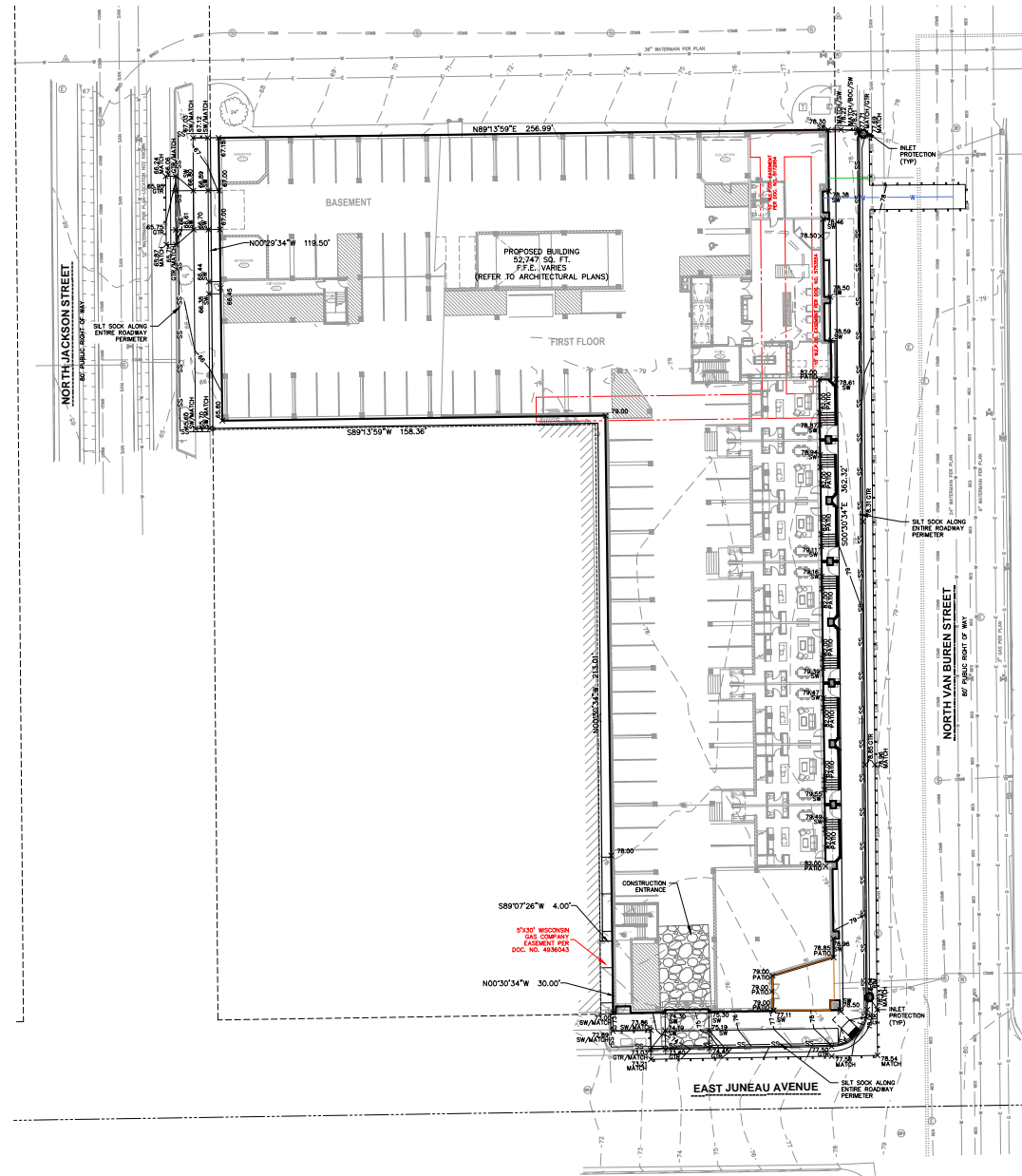
 Milwaukee Area (202) 412-7790

 Hearing Impaired TDD (800) 542-0289

www.DiggersHotline.com

Milwaukee, Wisconsin 53203

Civil: Grading, Utility, and Erosion Control Plan

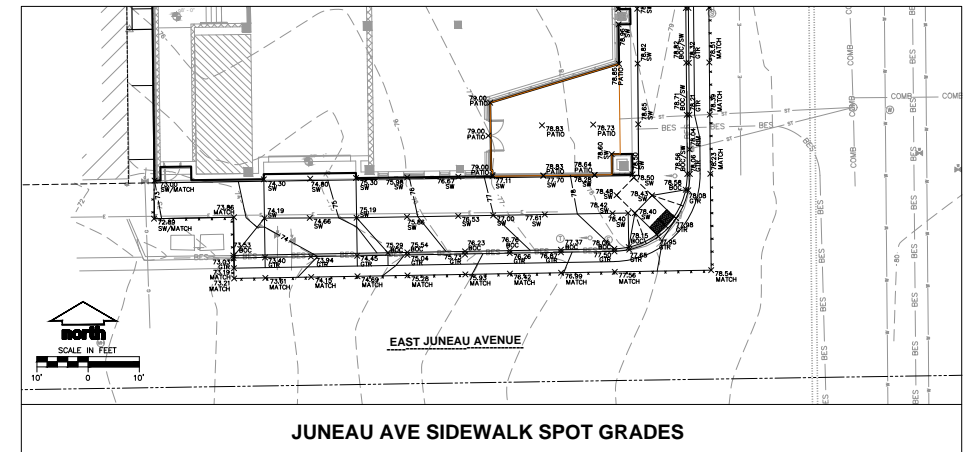
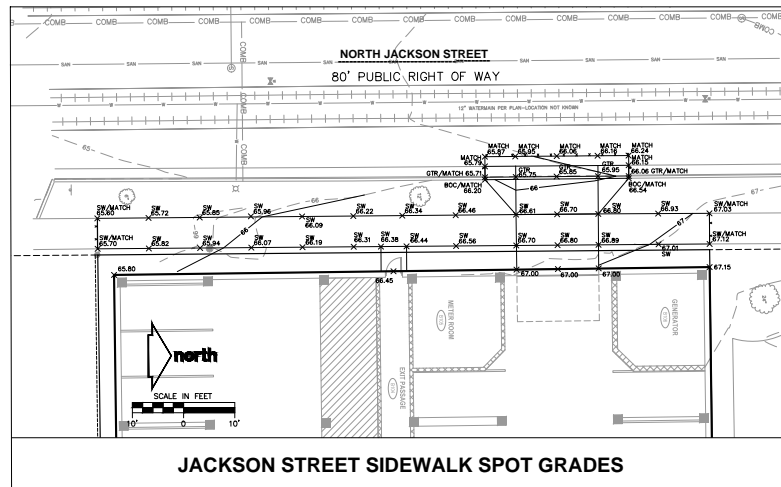
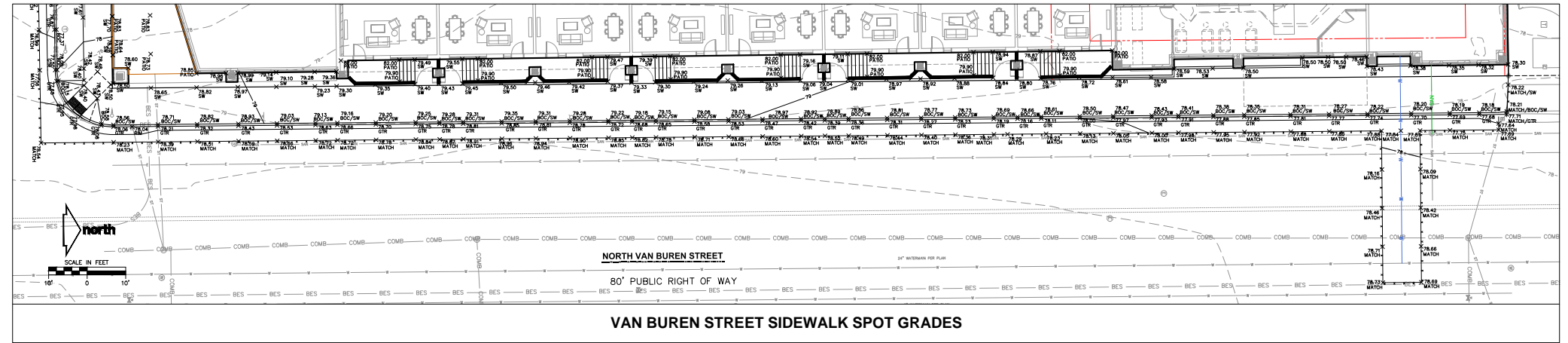


- GRADING NOTES**
1. THE CONTRACTOR SHALL VERIFY THE FOLLOWING:
 - A. ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK.
 - B. LOCATION AND ELEVATION OF:
 - 1. EXISTING PIPE INSETS
 - 2. FLOOR ELEVATIONS
 - 3. CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK
 - C. HORIZONTAL CONTROL BY REFERENCING BENCH COORDINATES TO KNOWN PROPERTY CORNERS.
 2. THE PLAN IS BASED ON INFORMATION FROM MULTIPLE SOURCES. THESE FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED GRADES WOULD EXIST. REVIEW ANY DISCREPANCIES WITH THE JOB PRIOR TO COMMENCEMENT OF WORK. CONTRACTORS SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO JOB PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
 3. ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED.
 4. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO JOB PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
 5. ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS SHOWN IN THE PLANS.
 6. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPLETION OF ALL GRADING QUANTITIES. SHALL ATTEMPT TO PROVIDE A COST-EFFECTIVE APPROACH TO BALANCE EARTHWORK. GRADING SHOULD BE BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
 7. CONTRACTOR MAY SOLELY APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN IDEAL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
 8. GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT POUNDING, AND IF NECESSARY PLACING TO ALLEVIATE POUNDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REDUCTION OF ENGINEERING, DESIGN, OR QUALITY OF WORK. AS A RESULT OF IMPROPER SITE GRADING OR DISTURBED SOILS DUE TO WEATHER.
 9. PROPOSED CONTOURS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. ALL CONSTRUCTION SHALL BE BASED UPON PROPOSED SPOT ELEVATIONS, WHERE PROVIDED.
 10. THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL ENGINEERING SERVICES REPORT PREPARED BY AND DATED 01/22/2024 FOR MORE INFORMATION. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF THERE ARE CONCERNS WITH THE RESULTS OF THE GEOTECHNICAL CONSULTANT. SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED UNSATURATED SOILS. THE ENGINEER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIATION MEASURES WILL BE NECESSARY.
 11. IN THE EVENT THAT ANY MOSTER-DENSITY TESTS FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL REWORK CONCERNS UNTIL ALL REQUIREMENTS ARE MET. THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.
 12. WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON PAVEMENT AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY MARK ANY AREAS WITH SPRAYED MATERIAL WITH PAINTED TAPE AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS, UNDER NO CONDITION SHALL THE SPRAYED MATERIAL BE EXPOSED TO THE PUBLIC. CONTRACTOR SHALL MAINTAIN A TREATMENT DEPTH OF MINIMUM 2" THAT WILL BE USED TO TROWER THE SPRAYED MATERIAL OR THE MINIMUM COMPACTION LIFT DEPTH.
 13. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.
 14. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHOWING, BRACING, RETENTION STRUCTURES, AND DRAINAGE.
 15. THE SITE SHALL BE COMPLETED WITHIN 610-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS RESPONSIBLE TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DROPPED INTO SMALLER AREAS ALLOWING STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
 16. CONTRACTOR SHALL CONTACT "BODDER'S HOLDING" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
 17. CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL PLACE SILT FENCING AT DOWN-SLOPE SIDE OF GRADING LIMITS.
 18. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
 19. WORK WITHIN ANY EXISTING RIGHT-OF-WAY SHALL BE COMPLETED IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ANY WORK WITHIN THE RIGHT-OF-WAY SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY TO CONSIDERED NEARBY SHALL BE INCLUDED IN THE COST OF GRADING RESTORATION. SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY IN-KIND INCLUDING LANDSCAPING.
 20. CONTRACTOR SHALL COMPLY WITH ALL CITY AND/OR STATE CONSTRUCTION STANDARDS/ORDINANCES.
 21. SEE SHEET C-1 FOR DETAILED BENCHMARK SPOT GRADES.

- EROSION AND SEDIMENT CONTROL NOTES:**
1. ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN WISCONSIN'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT FOR CONSTRUCTION USE. EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED ACCORDANCE WITH THE NPDES PERMIT. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL EROSION CONTROL MEASURES (AS SHOWN) TO AS BEST MANAGEMENT PRACTICES (BMPs). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMPs FROM THE START OF CONSTRUCTION ACTIVITIES.
 2. THE EROSION CONTROL MEASURES REQUIRED ON THIS PLAN ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY PLAN PROFESSIONALS, SURVEYOR, INC. OR OTHERS SHALL BE INCLUDED WITHIN 24 HOURS OF ISSUANCE.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EROSION CONTROL PERMITS TO COMMENCE WITH WORK.
 4. MODIFICATIONS TO THE APPROVED EROSION CONTROL PLAN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO NEW TECHNICAL STANDARDS AND CITY OF MILWAUKEE ORDINANCES. CONTRACTOR IS RESPONSIBLE TO NOTIFY JOB AND AUTHORITY HAVING JURISDICTION OF ANY CHANGES TO THE EROSION CONTROL PLAN. ALL MODIFICATIONS SHALL BE APPROVED BY EQUIVALENT HAVING JURISDICTION PRIOR TO DEVIATION FROM THE APPROVED PLAN.
 5. METAL PREVENTION EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING SILT PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN, IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
 6. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF UNPAVED AREAS/ROADS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATIONS WITH THE PROPER CITY DEPARTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE FROM THE TRADING OF PAID OR IN-PROCESS ADJACENT PROPERTY OWNERS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TRADING OF PAID OR IN-PROCESS ADJACENT PROPERTY OWNERS.
 7. PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SHEET AND/OR BARRIERS TO PREVENT UNNECESSARY SOIL AND/OR DEBRIS FROM THE EDGE OF EACH WORK AREA AFTER OR MORE FREQUENTLY AS REQUIRED AND AS REQUESTED BY THE GOVERNING AGENCIES.
 8. CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN, IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
 9. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.) SHALL BE INSTALLED PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE FROM THE TRADING OF PAID OR IN-PROCESS ADJACENT PROPERTY OWNERS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TRADING OF PAID OR IN-PROCESS ADJACENT PROPERTY OWNERS.
 10. AT A MINIMAL, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND MAINTAINED BEFORE BEGINNING OF SIGNIFICANT MAJOR GRADING OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNTREATED RUNOFF.
 11. ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR OF EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL MEASURES REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
 12. EROSION CONTROL MEASURES TEMPORARILY PROVIDED FOR UNDESIRABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER PRIOR TO THE COMPLETION OF EACH WORK DAY.
 13. MAINTAIN SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCES ASSOCIATED WITH EROSION CONTROL MEASURES SHALL BE IMMEDIATELY STABILIZED.
 14. PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS.
 15. GRADING EFFORTS SHALL BE COMPLETED IN SUCH A MANNER AS TO MINIMIZE EROSION, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF MAJOR GRADING AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND REPAIRING ALL EROSION CONTROL MEASURES AS NEEDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND REPAIRING ALL EROSION CONTROL MEASURES AS NEEDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND REPAIRING ALL EROSION CONTROL MEASURES AS NEEDED.
 16. DURING PERIODS OF EXTENDED DRY WEATHER THE CONTRACTOR SHALL KEEP A WATER TRACK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME ANTIPLATE. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND REPAIRING ALL EROSION CONTROL MEASURES AS NEEDED.
 17. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE PROMPTLY RESTORED TO ORIGINAL CONDITION OR BETTER.
 18. QUALIFIED PERSONNEL PROVIDED BY THE GENERAL CONTRACTOR SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND REPAIRING ALL EROSION CONTROL MEASURES AS NEEDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING AND REPAIRING ALL EROSION CONTROL MEASURES AS NEEDED.
 19. THE FOLLOWING MAINTENANCE PRACTICES SHALL BE USED TO MAINTAIN IN GOOD AND EFFECTIVE CONDITION ALL EROSION AND SEDIMENT CONTROL MEASURES AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN UPON IDENTIFICATION. DEFICIENCIES IN TEMPORARY CONTROL MEASURES SHALL BE ADDRESS IMMEDIATELY. THE MAINTENANCE PRACTICES FOR THIS DEVELOPMENT SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. SILT FENCING - MAINTAIN OR REPLACE SILT FENCING AS NEEDED. MAINTAIN OR REPLACE SILT FENCING AS NEEDED. MAINTAIN OR REPLACE SILT FENCING AS NEEDED. MAINTAIN OR REPLACE SILT FENCING AS NEEDED.
 - B. CONSTRUCTION ENTRANCES - AS NEEDED, ADD STONE TO MAINTAIN CONSTRUCTION ENTRANCE PROTECTION AND EFFECTIVENESS.
 - C. SILT PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN SECONDARY MEASURES ARE CLOGGED. SILT FILTER BAGS SHALL BE REPLACED DAILY AND FULL OF SEDIMENT.
 - D. SILT PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN SECONDARY MEASURES ARE CLOGGED. SILT FILTER BAGS SHALL BE REPLACED DAILY AND FULL OF SEDIMENT.
 - E. CONSTRUCTION ENTRANCES - AS NEEDED, ADD STONE TO MAINTAIN CONSTRUCTION ENTRANCE PROTECTION AND EFFECTIVENESS.
 - F. SILT PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN SECONDARY MEASURES ARE CLOGGED. SILT FILTER BAGS SHALL BE REPLACED DAILY AND FULL OF SEDIMENT.
 - G. SILT PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN SECONDARY MEASURES ARE CLOGGED. SILT FILTER BAGS SHALL BE REPLACED DAILY AND FULL OF SEDIMENT.
 - H. SILT PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN SECONDARY MEASURES ARE CLOGGED. SILT FILTER BAGS SHALL BE REPLACED DAILY AND FULL OF SEDIMENT.
 - I. SILT PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN SECONDARY MEASURES ARE CLOGGED. SILT FILTER BAGS SHALL BE REPLACED DAILY AND FULL OF SEDIMENT.
 - J. SILT PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN SECONDARY MEASURES ARE CLOGGED. SILT FILTER BAGS SHALL BE REPLACED DAILY AND FULL OF SEDIMENT.
 - K. SILT PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN SECONDARY MEASURES ARE CLOGGED. SILT FILTER BAGS SHALL BE REPLACED DAILY AND FULL OF SEDIMENT.
 - L. SILT PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN SECONDARY MEASURES ARE CLOGGED. SILT FILTER BAGS SHALL BE REPLACED DAILY AND FULL OF SEDIMENT.
 - M. SILT PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN SECONDARY MEASURES ARE CLOGGED. SILT FILTER BAGS SHALL BE REPLACED DAILY AND FULL OF SEDIMENT.
 - N. SILT PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN SECONDARY MEASURES ARE CLOGGED. SILT FILTER BAGS SHALL BE REPLACED DAILY AND FULL OF SEDIMENT.
 - O. SILT PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN SECONDARY MEASURES ARE CLOGGED. SILT FILTER BAGS SHALL BE REPLACED DAILY AND FULL OF SEDIMENT.
 - P. SILT PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN SECONDARY MEASURES ARE CLOGGED. SILT FILTER BAGS SHALL BE REPLACED DAILY AND FULL OF SEDIMENT.
 - Q. SILT PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN SECONDARY MEASURES ARE CLOGGED. SILT FILTER BAGS SHALL BE REPLACED DAILY AND FULL OF SEDIMENT.
 - R. SILT PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN SECONDARY MEASURES ARE CLOGGED. SILT FILTER BAGS SHALL BE REPLACED DAILY AND FULL OF SEDIMENT.
 - S. SILT PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN SECONDARY MEASURES ARE CLOGGED. SILT FILTER BAGS SHALL BE REPLACED DAILY AND FULL OF SEDIMENT.
 - T. SILT PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN SECONDARY MEASURES ARE CLOGGED. SILT FILTER BAGS SHALL BE REPLACED DAILY AND FULL OF SEDIMENT.
 - U. SILT PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN SECONDARY MEASURES ARE CLOGGED. SILT FILTER BAGS SHALL BE REPLACED DAILY AND FULL OF SEDIMENT.
 - V. SILT PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN SECONDARY MEASURES ARE CLOGGED. SILT FILTER BAGS SHALL BE REPLACED DAILY AND FULL OF SEDIMENT.
 - W. SILT PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN SECONDARY MEASURES ARE CLOGGED. SILT FILTER BAGS SHALL BE REPLACED DAILY AND FULL OF SEDIMENT.
 - X. SILT PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN SECONDARY MEASURES ARE CLOGGED. SILT FILTER BAGS SHALL BE REPLACED DAILY AND FULL OF SEDIMENT.
 - Y. SILT PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN SECONDARY MEASURES ARE CLOGGED. SILT FILTER BAGS SHALL BE REPLACED DAILY AND FULL OF SEDIMENT.
 - Z. SILT PROTECTION - CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN SECONDARY MEASURES ARE CLOGGED. SILT FILTER BAGS SHALL BE REPLACED DAILY AND FULL OF SEDIMENT.
 20. CONTRACTOR IS RESPONSIBLE FOR DESIGN AND PERMITTING OF ANY REQUIRED DRAINAGE OPERATIONS.

●	GAS VALVE	---	EASEMENT LINE
⊙	SANITARY MANHOLE	---	SETBACK LINE
⊙	STORM MANHOLE	---	EXTERIOR PROPERTY LINE
⊙	CATCH BASIN ROUND	---	EXISTING WATER MAIN
⊙	CATCH BASIN SQUARE	---	EXISTING GAS
⊙	PARKING WATER	---	EXISTING COMBINED SEWER
⊙	LIGHT POLE	---	EXISTING SANITARY SEWER
⊙	POWER POLE	---	EXISTING STORM SEWER
⊙	TELEPHONE FEDESTAL	---	EXISTING STEAM TUNNEL
⊙	SI	---	EXISTING OVERHEAD UTILITIES
⊙	⊙	---	EXISTING UNDERGROUND TELEP.
⊙	ELECTRICAL FEDESTAL/TRANSFORMER	---	EXISTING UNDERGROUND ELEC.
⊙	CONFIDENTIAL TREE	---	
⊙	DECIDUOUS TREE	65.00 BOC	SPOT GRADE ELEVATION TOP OF CURB
⊙	BUSH	65.00 FLS	SPOT GRADE ELEVATION FLANGE
⊙	PROPOSED INLET PROTECTION	65.00 GTR	SPOT GRADE ELEVATION GUTTER
⊙	PROPOSED ENTRANCE	65.00 PABO	SPOT GRADE ELEVATION PATIO
⊙	PROPOSED INLET	65.00 SW	SPOT GRADE ELEVATION SECONDARY
---	PROPOSED SANITARY SEWER	---	PROPOSED STORM SEWER
---	PROPOSED WATERMAIN	---	

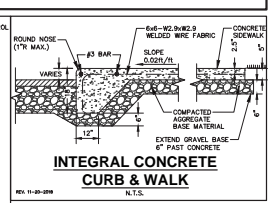
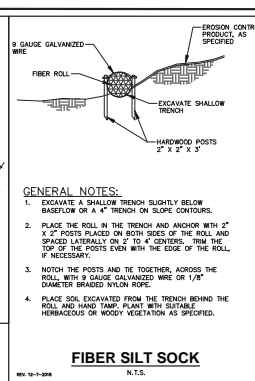
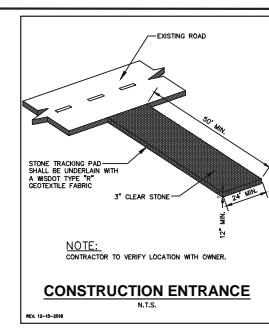
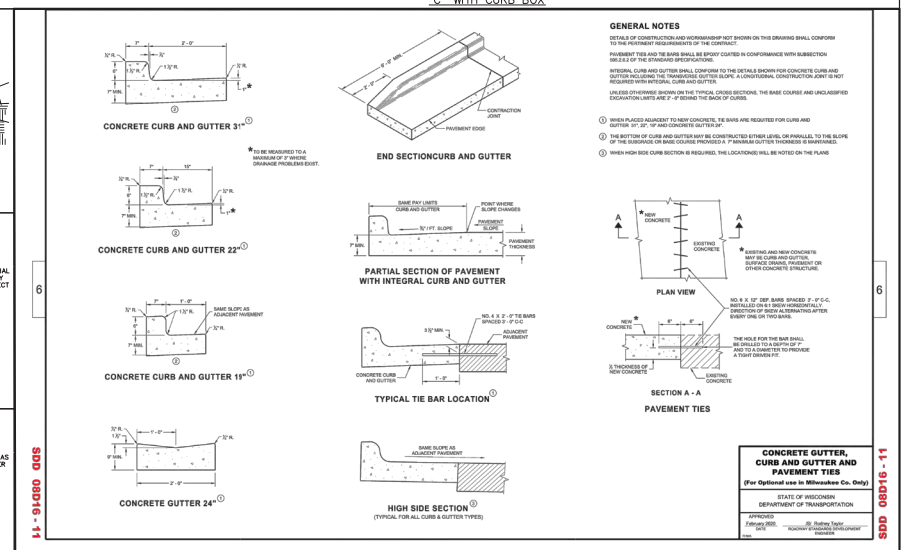
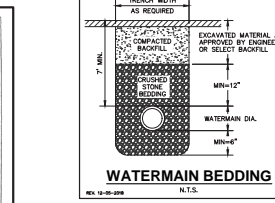
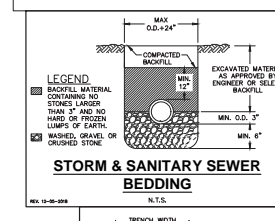
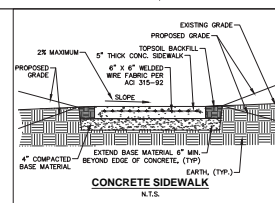
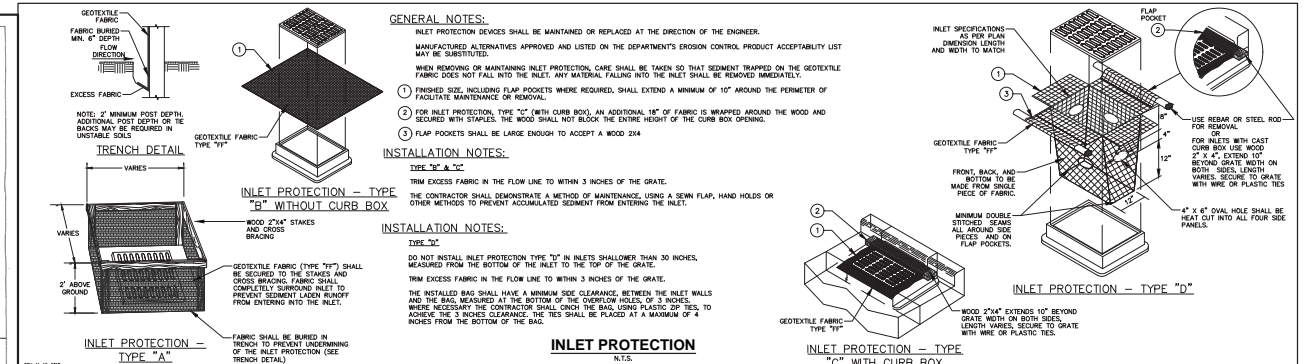
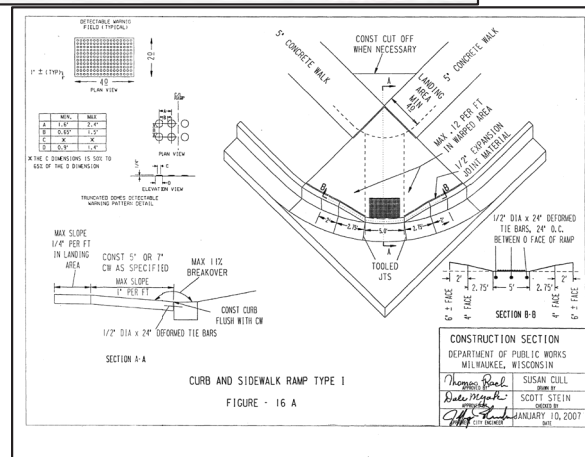
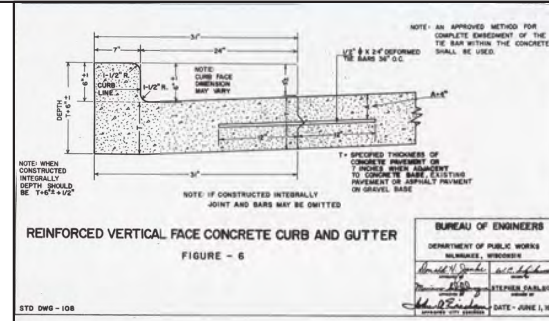
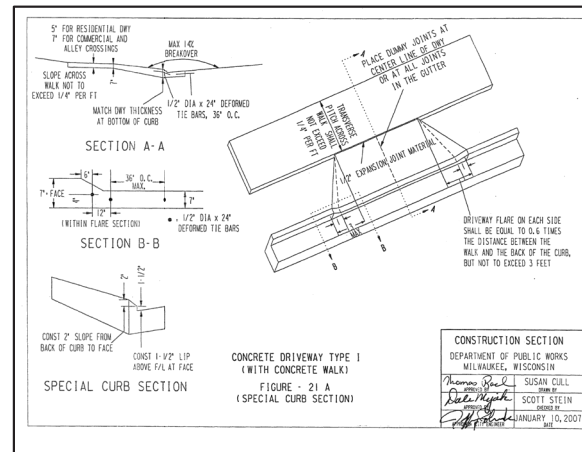
DESCRIPTION	ELEVATION
BENCHMARK #1: CITY OF MILWAUKEE BENCHMARK LOCATED 3' WEST OF THE WEST CORNER OF JEFFERSON ST. AND 4' SOUTH OF SOUTH EDGE OF MILK ON GILSON. (CITY BM 72-27). ELEV: 62.24	62.24

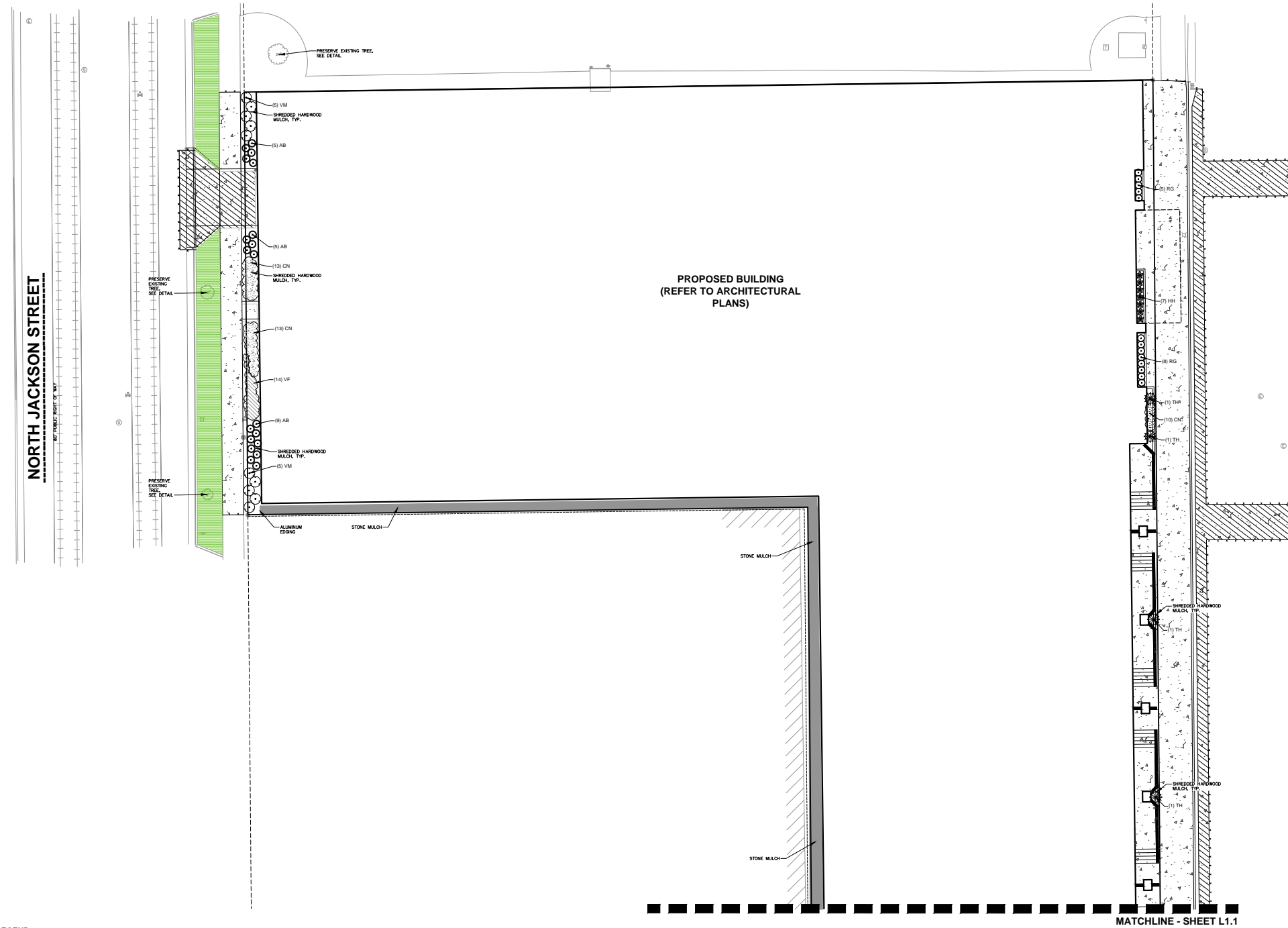


LEGEND			
●	GAS VALVE	---	EASEMENT LINE
⊙	SANITARY MANHOLE	---	SETBACK LINE
⊙	STORM MANHOLE	---	EXTERIOR PROPERTY LINE
⊙	CATCH BASIN ROUND	---	EXISTING WATER MAIN
⊙	CATCH BASIN SQUARE	---	EXISTING GAS
⊙	PARKING WATER	---	EXISTING COMBINED SEWER
⊙	LIGHT POLE	---	EXISTING SANITARY SEWER
⊙	POWER POLE	---	EXISTING STORM SEWER
⊙	TELEPHONE PEDESTAL	---	EXISTING STORM TUNNEL
⊙	SIGN	---	EXISTING OVERHEAD UTILITIES
⊙	ELECTRICAL PEDESTAL/TRANSFORMER	---	EXISTING UNDERGROUND TELEP.
⊙	CONFERIOUS TREE	---	EXISTING UNDERGROUND ELEC.
⊙	DECIDUOUS TREE	45.00 BOC	SPOT GRADE ELEVATION TOP OF CURB
⊙	BUSH	45.00 FLS	SPOT GRADE ELEVATION FLANGE
⊙	PROPOSED INLET PROTECTION	45.00 GTR	SPOT GRADE ELEVATION GUTTER
⊙	PROPOSED CONSTRUCTION ENTRANCE	45.00 PABD	SPOT GRADE ELEVATION PATIO
⊙	PROPOSED INLET	45.00 SW	SPOT GRADE ELEVATION SIDEWALK
---	PROPOSED SANITARY SEWER	---	PROPOSED STORM SEWER
---	PROPOSED WATERMAN	---	PROPOSED WATERMAN

BENCHMARKS	
DESCRIPTION	ELEVATION
BENCHMARK #1-CITY OF MILWAUKEE BENCHMARK LOCATED 3' WEST OF THE WEST CORNER OF INTERSECTION OF EAST 1/2 SOUTH OF SOUTH EDGE OF MILWAUKEE BL. (CITY #M 72-27). ELEV=42.524	42.524







LEGEND

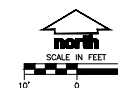
KENTUCKY BLUEGRASS BLEND (000)

GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OF ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
- REFER TO "LANDSCAPE DETAILS AND NOTES" SHEET FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXISTENCE RELATED TO LANDSCAPE PLAN.
- CONTRACTOR SHALL REVIEW SITE CONDITIONS FOR UTILITY CONFLICTS, DRAINAGE ISSUES, SURFACE ROCK, AND PLANT PLACEMENT CONFLICTS PRIOR TO PLANT INSTALLATION. REPORT ANY CONDITIONS THAT MAY HAVE ADVERSE IMPACT ON PLANTING OPERATIONS TO LANDSCAPE ARCHITECT.
- DO NOT COMMENCE PLANTING OPERATIONS UNTIL ALL ADJACENT SITE IMPROVEMENTS, IRRIGATION INSTALLATION (IF APPLICABLE), AND FINISH GRADING ARE COMPLETE.

PLANT SCHEDULE				
EVERGREEN TREES	CODE	BOTANICAL / COMMON NAME	ROOT CONDITION	QTY
	TH	<i>Thuja occidentalis</i> "Holmatrup" / Holmatrup Arborvitae	#15	5
DECIDUOUS SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	RG	<i>Ribes alpinum</i> "Green Mound" / Green Mound Alpine Currant	#85/5 gal.	73
	VM	<i>Viburnum carlesii</i> "SMVCS" TM / Spice Baby Koreanspice Viburnum	#85/5 gal.	18
PERENNIALS & GRASSES	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	AB	<i>Andropogon gerardii</i> "Blackhawks" / Blackhawks Big Bluestem	#81/1 gal.	19
	HH	<i>Hosta x 'Hodspen Blue'</i> / Hodspen Blue Hosta	#81/1 gal.	7
PERENNIALS	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	CN	<i>Calamintha nepeta nepeta</i> / Lesser Calamint	#81 (gal)	36
	VF	<i>Veronica x 'Wizard of Ahhs'</i> TM / Magic Show Blue Speedwell	#81 (gal)	14

MATCHLINE - SHEET L1.1



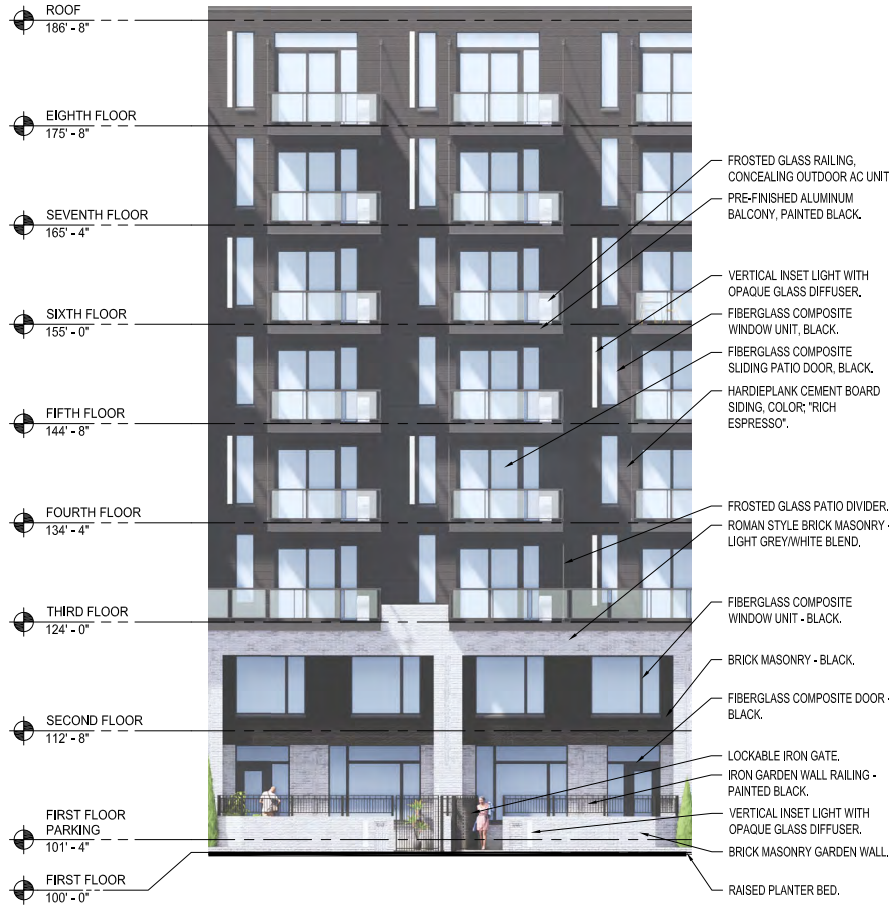
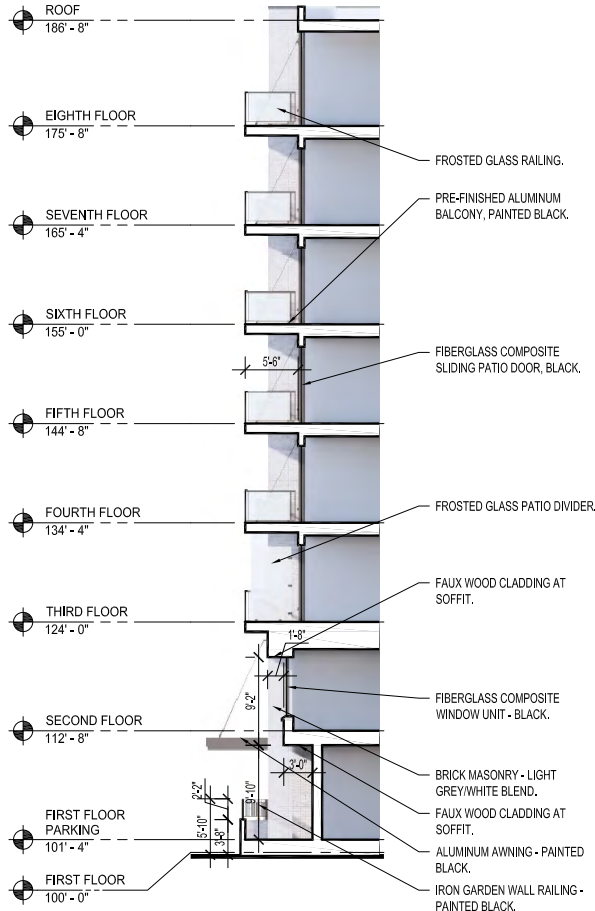
BENCHMARKS	
DESCRIPTION	ELEVATION
BENCHMARK #1: CITY OF MILWAUKEE BENCHMARK LOCATED 3' WEST OF THE WEST CORNER OF ESTERSON ST. AND 5' SOUTH OF SOUTH SIDE OF WALK ON E. OGDEN (CITY RW 72-27) ELEV=42.524	42.524

Architectural Elevations: New Building - West and South Elevations

1" = 40'



Architectural Elevations: Townhouse Section and Elevation
 1" = 20'



Architectural Elevations: Jackson St Garage Entry Plan and Elevation

1" = 20'

