STATISTICS

TOTAL FLOOR AREA PARKING FLOOR AREA TOTAL PRIV. OUTDOOR SPACE PRIV. TERRACE AREA TOTAL OCC. OUTDOOR AREA (PRIVATE BALCONIES + ROOFTOP) NUMBER OF UNITS NUMBER OF BEDROOMS GROSS LAND AREA





SOUTH ELEVATION



		PRE-FINISHED ALUMINUM BALCONY WITH PICKET STYLE RAILING	/
\wedge	ROOF		
Ψ	186' - 8"		
\triangle	EIGHTH FLOOR		
Ψ	175' - 8"		
\triangle	SEVENTH FLOOR		
Ψ	165' - 4"		
\triangle	SIXTH FLOOR		
Ψ	155' - 0"		
	FIFTH FLOOR		
Ψ	144' - 8"		12 10 10
	FOURTH FLOOR		
Ψ	134' - 4"		
	THIRD FLOOR		
Ψ	124' - 0"		
	SECOND FLOOR		
Ψ	112' - 8"		
	FIRST FLOOR		1 1 1
\bullet	PARKING		
+			
\bullet	100' - 0"		
Т		OVE	RHEAD GARAGE DOOR —
(\uparrow)	PARKING	GLASS RAILING WITH FF	RUSTED GLASS PANELS
Ψ	81' - 0"	PRE-CAST CONCRETE PANEL	

BRICK MASONRY SPANDREL

ELEMENT



EAST ELEVATION 1" = 20'-0"

RAILINGS ALUMINUM CURTAIN WALL -SPANDREL GLASS -BRICK MASONRY -ALUMINUM CURTAIN WALL $-\!-$ Aluminum Awning -WOOD OR WOOD LOOK -MATERIAL PANELS RETAIL SIGN LOCATION -RETAIL BLADE SIGN -LOCATION

HARDIEPLANK CEMENT BOARD —

SIDING, COLOR; "RICH ESPRESSO"

- HARDIEPLANK CEMENT FIBERGLASS COMPOSITE WINDOW UNIT BOARD SIDING, COLOR; RAILINGS LOCATION



LOCKABLE IRON GATE -BRICK MASONRY -IRON RAILING -INSET ACCENT LIGHT -BRICK MASONRY PRIVACY WALL -

WOOD AND ALUMINUM PRIVACY PANEL -ALUMINUM WINDOW WALL -

ACCENT LIGHTING			
``````````````````````````````````````		 	

WINDOW UNIT

FIBERGLASS COMPOSITE -









#### OWNERS INFO:

NEW LAND ENTERPRISES 1840 N FARWELL AVE SUITE A MILWAUKEE, WI 53202 P 414.271.5263

ARCHITECT: KORB + ASSOCIATES 648 N. PLANKINTON AVE. SUITE 240 MILWAUKEE, WI 53203 P 414.273.8230

REV. NO:	DATE:

PROJ. NO: 20010 04 SCALE: AS NOTED PHASE: PERMIT SET DATE: 03-02-2021

ELEVATIONS



# EIGHTH FLOOR 175' - 8" SEVENTH FLOOR 165' - 4" SIXTH FLOOR 155' - 0" FIFTH FLOOR 144' - 8" FOURTH FLOOR 134' - 4" THIRD FLOOR 124' - 0"

ROOF 186' - 8"

SECOND FLOOR 112' - 8" FIRST FLOOR PARKING 101' - 4" FIRST FLOOR 100' - 0" -----EAST FACADE SECTION 1" = 10'-0"





_____





	SLIDING PATIO DOOR, BLACK.
_	FROSTED GLASS PATIO DIVIDER.
_	FAUX WOOD CLADDING AT SOFFIT.
	FIBERGLASS COMPOSITE WINDOW UNIT - BLACK.
	BRICK MASONRY - LIGHT GREY/WHITE BLEND.
~	FAUX WOOD CLADDING AT SOFFIT.
<u> </u>	ALUMINUM AWNING - PAINTED

- FIBERGLASS COMPOSITE

- PRE-FINISHED ALUMINUM BALCONY, PAINTED BLACK.

> FIRST FLOOR PARKING 101' - 4" FIRST FLOOR 100' - 0"

> > V

_____

1" = 10'-0"

TOWNHOUSE BAY STUDY

SECOND FLOOR 112' - 8"

THIRD FLOOR 124' - 0"

FOURTH FLOOR 134' - 4"

FIFTH FLOOR 144' - 8"

SIXTH FLOOR 155' - 0"

SEVENTH FLOOR 165' - 4"

EIGHTH FLOOR 175' - 8"

ROOF 186' - 8"





- RAISED PLANTER BED.

- LOCKABLE IRON GATE. - IRON GARDEN WALL RAILING -PAINTED BLACK. - VERTICAL INSET LIGHT WITH OPAQUE GLASS DIFFUSER. - BRICK MASONRY GARDEN WALL.

- FIBERGLASS COMPOSITE DOOR -BLACK.

 FIBERGLASS COMPOSITE
 WINDOW UNIT - BLACK. - BRICK MASONRY - BLACK.

- FROSTED GLASS PATIO DIVIDER. — ROMAN STYLE BRICK MASONRY -LIGHT GREY/WHITE BLEND.

 VERTICAL INSET LIGHT WITH OPAQUE GLASS DIFFUSER. FIBERGLASS COMPOSITE WINDOW UNIT, BLACK. FIBERGLASS COMPOSITE SLIDING PATIO DOOR, BLACK. HARDIEPLANK CEMENT BOARD SIDING, COLOR; "RICH ESPRESSO".

 FROSTED GLASS RAILING, CONCEALING OUTDOOR AC UNIT. - PRE-FINISHED ALUMINUM BALCONY, PAINTED BLACK.





FIRST FLOOR PARKING 101' - 4"

SECOND FLOOR 112' - 8"

THIRD FLOOR

_____

BRICK MASONRY -SPANDREL ELEMENT

BRICK MASONRY -

to meaning in

1

_____

-----

OVERHEAD GARAGE DOOR WITH  $\,-\,$ 

FROSTED GLASS PANELS

FIBERGLASS COMPOSITE -

WINDOW UNIT

Aluminum Awning  $-\!-\!$ 

FOURTH FLOOR 134' - 4"



PROJECT NAME:

OWNERS INFO:

SUITE A

ARCHITECT:

P 414.271.5263

P 414.273.8230

Nova 1235 N VAN BUREN ST

MILWAUKEE, WI 53202

NEW LAND ENTERPRISES 1840 N FARWELL AVE

MILWAUKEE, WI 53202

KORB + ASSOCIATES

648 N. PLANKINTON AVE. SUITE 240

MILWAUKEE, WI 53203



PAINTED METAL DOOR -

ELEVATIONS







## **EXISTING CONDITIONS SURVEY**

PARCEL 1 OF CERTIFIED SURVEY MAP NO. 3075, BEING PART OF THE FRACTIONAL WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 21, TOWNSHIP 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN.



_____

<u>— Е — </u>

#### <u>NOTES</u>

- 1. FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON JUNE 19-23, 2020.
- 2. BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD27.
- 3. ELEVATIONS ARE BASED ON THE CITY OF MILWAUKEE DATUM. BENCHMARK IS CITY OF MILWAUKEE STANDARD BENCH MARK NO. 72-27, 3' WEST OF THE WEST CURB OF JEFFERSON ST. AND 5' SOUTH OF SOUTH EDGE OF WALK ON E. OGDEN. ELEV=62.524
- 4. CONTOUR INTERVAL IS ONE FOOT. 5. SPOT ELEVATIONS IN CURBED AREAS REFERENCE THE PAVEMENT EDGE ELEVATIONS.
- 6. SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY
- RECORDS AND MAPS. DIGGER'S HOTLINE TICKET NO. 20202421764 & 20202421783, WITH A CLEAR DATE OF JUNE 16, 2020. 7. UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:
- AT&T DISTRIBUTION MCI TELCOM CONSTRUCTION CITY OF MILWAUKEE WE ENERGIES-ELE AND WG GAS TIME WARNER CABLE
- MILWAUKEE METROPOLITAN SEWERAGE DIST WE ENERGIES-WE STEAM
- 8. BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
- 9. THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
- 10. THIS PARCEL IS ZONED COMMERCIAL CENTRAL BUSINESS PER THE CITY OF MILWAUKEE ZONING MAP.
- 11. THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.
- 12. ROADWAY UTILITY RECORD DRAWINGS WERE REQUESTED FROM THE CITY OF MILWAUKEE. THE UTILITIES SHOWN REPRESENT FIELD LOCATED UTILIITES IN COMBINATION WITH THE SUPPLIED CITY RECORDS.

#### LEGAL DESCRIPTION

PARCEL 1 OF CERTIFIED SURVEY MAP NO. 3075, RECORDED ON JUNE 2, 1977, REEL 1019, IMAGES 1299 TO 1302, INCLUSIVE, AS DOCUMENT NO. 5105839, BEING A DIVISION OF PARCEL 2 OF CERTIFIED SURVEY MAP NO. 2607, BEING A DIVISION OF BLOCK 135, TOGETHER WITH THE VACATED ALLEY ADJOINING IN FRACTIONAL WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 21, TOWN 7 NORTH, RANGE 22 EAST, OR GAMMON FLOAT, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN. FOR INFORMATIONAL PURPOSES ONLY:

PROPERTY ADDRESS: 1237 NORTH VAN BUREN STREET, MILWAUKEE, WI 53202 TAX KEY NUMBER: 360-0911-000

#### SURVEYOR'S CERTIFICATE

I, ANDREW W. WILKOWSKI, WISCONSIN PROFESSIONAL LAND SURVEYOR NO. S-3121, HEREBY CERTIFY THAT UNDER THE DIRECTION OF NEW LAND ENTERPRISE THIS SURVEY AND MAP HAS BEEN PREPARED AND COMPLIES WITH WISCONSIN ADMINISTRATIVE CODE A-E7 AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED. . 110

Achartur	JUNE 30, 2020		
ANDREW W. WILKOWSKI, S-3121 PROFESSIONAL LAND SURVEYOR	DATE	00000	



DECIDUOUS TREE

## <u>LEGEND</u> ◎ MAG NAIL SET

C CABLE PEDESTAL

0	3/4" x 18" REBAR SET (1.50 LBS/LF)	*	CONIFEROUS TREE
$\bullet$	GOVERNMENT CORNER	9	BUSH
$\times$	CHISELED 'X' FOUND		PLAT BOUNDARY
۲	1" IRON PIPE FOUND		RIGHT-OF-WAY LINE
۲	PK/MAG NAIL FOUND		SECTION LINE
۵	CONTROL POINT		PLATTED LOT LINE
	BENCHMARK	<u> </u>	EASEMENT LINE
•	BOLLARD	· · · · ·	LANDSCAPE LIMITS
-0-	SIGN	—x——x—	FENCE LINE
S	SANITARY MANHOLF	<u> </u>	GUARD OR SAFETY RAIL
6			EDGE OF PAVEMENT
×	VENT PIPE		CONCRETE CURB & GUTTER
Ŵ		SAN	SANITARY SEWER
Å	HYDRANT	—W	WATER LINE
×	WATER VALVE	— st —	STORM SEWER
cs	CURB STOP/SERVICE VALVE	—— STM ——	STEAM LINE
(ST)	STORM MANHOLE	G	NATURAL GAS
	ROUND CASTED INLET	—— E ——	UNDERGROUND ELECTRIC
Ť	SQUARE CASTED INLET	— T —	UNDERGROUND TELEPHONE
Ē	CURB INLET	$\sim$	EDGE OF WOODS OR BRUSH
G	GAS REGULATOR/METER	<u>/////////////////////////////////////</u>	BUILDING
A	GAS VALVE		WALL LINE
MH	MANHOLE – UNVERIFIED TYPE		INDEX CONTOUR
Ē	ELECTRIC MANHOLE		INTERMEDIATE CONTOUR
Ē	ELECTRIC PEDESTAL	×814.29	SPOT ELEVATION
E	ELECTRIC METER		BITUMINOUS PAVEMENT
E	ELECTRIC TRANSFORMER		CONCRETE PAVEMENT
A	AIR CONDITION UNIT	84081	GRAVEL
¤	LIGHT POLE		EDGE OF BITUMINOUS
Ø	POWER POLE	( )	DENOTES RECORD DATA DEPI
$\sim \sim$	POWER POLE W/GUY		AS RETRACED BY THIS SURV
¢	YARD LIGHT		
$\bigcirc$	TRAFFIC SIGNAL		
(T)	TELEPHONE MANHOLE		
Т	TELEPHONE PEDESTAL		

EDGE OF BITUMINOUS DENOTES RECORD DATA DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY











## CONSTRUCTION SITE SEQUENCE NOTES

1235 N VAN BUREN STREET MILWAUKEE, WI

ALL SITE GRADING WORK AND EROSION CONTROL EFFORTS SHALL BE PERFORMED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES AND APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS. STAGED OPERATIONS

- 1. INSTALL INLET PROTECTION AND TRACKING PAD AT ENTRANCE TO SITE.
- 2. INSTALL PERIMETER SEDIMENT CONTROL AS SHOWN ON THE APPROVED CONSTRUCTION PLANS. 3. CONDUCT DEMOLITION OF EXISTING SITE FEATURES.
- 4. CONSTRUCT BUILDING FOOTING/FOUNDATIONS.
- 5. INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION. 6. COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF PAVEMENT,
- WALKS, ETC. 7. THE CONTRACTOR SHALL TOPSOIL AND SEED DISTURBED PORTIONS OF THE SITE AS THEY ARE COMPLETED AS IS PRACTICAL.
- 8. ALL OF THE EROSION CONTROL MEASURES FOR THE ENTIRE SITE MUST BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT IN ACCORDANCE WITH WISCONSIN DNR REQUIREMENTS AND AS REQUIRED BY THE CITY OF MILWAUKEE.

#### **DEMOLITION NOTES**

DISPOSED OF.

·____

- 1. REFER TO SHEET C3.0 FOR COMPLETE SITE EROSION CONTROL NOTES.
- 2. ALL DEMOLITION WORK SHALL BE IN COMPLIANCE WITH CITY OF MILWAUKEE REQUIREMENTS. 3. ALL DEBRIS SHALL BE REMOVED FROM THE SITE DAILY.
- CONTRACTOR IS RESPONSIBLE TO NOTIFY CITY OF MILWAUKEE OFFICIALS FOR ANY WORK WITHIN PUBLIC RIGHTS-OF WAY AND APPLY FOR ALL NECESSARY PERMITS.
- 5. CONTRACTOR SHALL PROTECT CITY OF MILWAUKEE PAVEMENTS AND REPLACE IN ACCORDANCE WITH CITY REQUIREMENTS IF DAMAGED. 6. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL DEMOLITION ITEMS AND QUANTITIES.
- 7. CONTRACTOR IS RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITY COMPANIES TO DETERMINE IF RELOCATION OF UTILITY POLES, TELEPHONE AND FIBER OPTICS BOXES, AND/OR OTHER UTILITIES WILL BE REQUIRED. CONTRACTOR SHALL NOTIFY OWNER FOR APPROVAL PRIOR TO RELOCATION OF SAID UTILITIES.
- 8. CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF MATERIALS. 9. CONTRACTOR SHALL RETAIN, ON-SITE, ALL AGGREGATE MATERIALS REMOVED DURING DEMOLITION. THE RE-PURPOSED AGGREGATE IS TO BE USED FOR NEW CONSTRUCTION WHERE APPROPRIATE. ANY UNUSED OR UNUSABLE PORTION OF MATERIALS SHALL BE REMOVED FROM THE CONSTRUCTION SITE AND SHALL BE RE-PURPOSED ELSEWHERE OR SHALL BE PROPERLY

10. THE CONTRACTOR IS RESPONSIBLE FOR ANY ITEMS IN ADJACENT PROPERTIES THAT MAY BE DAMAGED DURING DEMOLITION OR CONSTRUCTION.

	LEGEND	
GAS VALVE		EASEMENT LINE
SANITARY MANHOLE		SETBACK LINE
STORM MANHOLE		EXTERIOR PROPERTY LINE
CATCH BASIN ROUND	W	EXISTING WATER MAIN
CATCH BASIN SQUARE	G	EXISTING GAS
PARKING METER	COMB	EXISTING COMBINED SEWER
LIGHT POLE	SAN	EXISTING SANITARY SEWER
POWER POLE	ST	EXISTING STORM SEWER
TELEPHONE PEDESTAL	STM	EXISTING STEAM TUNNEL
SIGN	OH	EXISTING OVERHEAD UTILITIES
ELECTRICAL PEDESTAL/TRANSFORMER	T	EXISTING UNDERGROUND TELEP.
CONIFEROUS TREE	——————————————————————————————————————	EXISTING UNDERGROUND ELEC.
	——— BES ———	EXISTING BULK ELEC. SYSTEM
DECIDUOUS IREE	X X	SAWCUT LINE
BUSH		FEATURE TO BE DEMOLISHED
TREE TO BE REMOVED	K X X X	BUILDING TO BE DEMOLISHED
	<u>م</u>	CONCRETE TO BE DEMOLISHED

SHEET INDEX C1.0 DEMOLITION PLAN C2.0 SITE PLAN C3.0 GRADING, DRAINAGE & EROSION CONTROL PLAN C3.1 SIDEWALK SPOT GRADE PLAN C4.0 UTILITY PLAN

C5.0 DETAILS



JSD Professional Services, Inc. • Engineers • Surveyers • Planners MILWAUKEE REGIONAL OFFICE W238 N1610 BUSSE ROAD, SUITE 100 WAUKESHA, WISCONSIN 53188 262.513.0666 PHONE 262.513.1232 FAX www.jsdinc.com

JSD JOB NO.: 20-9848

MILWAUKEE, WI 53202 OWNERS INFO:

1235 N VAN BUREN ST

PROJECT NAME:

Nova

NEW LAND ENTERPRISES 1840 N FARWELL AVE SUITE A MILWAUKEE, WI 53202 P 414.271.5263

ARCHITECT: KORB + ASSOCIATES 648 N. PLANKINTON AVE. SUITE 240 MILWAUKEE, WI 53203

P 414.273.8230

CONSTRUCTION MANAGER: CATALYST CONSTRUCTION **55 JEWELERS PARK DRIVE** SUITE 100 NEENAH, WI 54956 P 920.585.2352

## OTHER:

JSD PROFESSIONAL SERVICES INC. W238 N1610 BUSSE RD SUITE 100 WAUKESHA, WI 53188 P 262.513.0666

REV. NO:	DATE:

PROJ. NO: 20010 04 SCALE: AS NOTED PHASE: PERMIT SET DATE: 02-26-2021

DEMOLITION PLAN

DESCRIPTION

**BENCHMARKS** 

62.524

ELEVATION











#### PAVING NOTES

1. THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING:

A. "STANDARD SPECIFICATIONS FOR SEWER AND WATER IN WISCONSIN", CURRENT EDITION, WITH ADDENDA.

- B. THE CITY OF MILWAUKEE MUNICIPAL CODE, CURRENT EDITION.
- 2. JSD PROFESSIONAL SERVICES, INC. (JSD) SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. 3. ALL MATERIALS SHALL BE APPROVED BY THE CITY OF MILWAUKEE ENGINEER PRIOR T
- INSTALLATION.
- 4. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511).
- 5. THE CITY OF MILWAUKEE AND JSD SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
- 6. ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO CONSTRUCT THE FACILITIES IN ACCORDANCE WITH THE DESIGN DRAWINGS.
- 7. EXISTING UTILITY INFORMATION IS BASED ON DIGGER'S HOTLINE UNDERGROUND UTILITY LOCATIONS, SURVEY WORK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. 8. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY
- A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. 9. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- 10. ALL WORK TO BE COMPLETED IN COMPLIANCE WITH ALL APPLICABLE STATE AND LOCAL CODES
- AND ORDINANCES. 11. REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS AND DETAILS.
- 12. ALL NON-HARD SURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND BE SEEDED, MULCHED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED. REFER TO LANDSCAPE PLANS FOR FURTHER INFORMATION. 13. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING UTILITIES FROM ANY DAMAGE DURING
- CONSTRUCTION. 14. FINAL PAVEMENT DESIGN TO BE DETERMINED BY OWNER BASED ON GEOTECHNICAL ENGINEER OF RECORD RECOMMENDATIONS. ALL PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER OF RECORD RECOMMENDATIONS AS SPECIFIED IN THE SAID GEOTECHNICAL REPORT.
- CONCRETE PAVEMENT PAVING SPECIFICATIONS A. CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE CONCRETE PAVEMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 415 AND 416 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS STATE HIGHWAY SPECIFICATIONS.
- B. REINFORCEMENT CONCRETE PAVEMENT SHALL REINFORCED WITH 6"X6" WELDED WIRE MESH REINFORCEMENT.
- C. CURING COMPOUNDS CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS. D. FINISHING -
- i. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER. ii. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER iii. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
- iv. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
- E. CRUSHED AGGREGATE BASE COURSE THE BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS. CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEOTECH ENGINEER OF RECORD. F. SURFACE PREPARATION - NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
- 16. THE CONTRACTOR SHALL FIELD VERIFY THE FOLLOWING: A. ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK.
- B. THE LOCATION AND ELEVATION OF EXISTING:
- . PIPE INVERTS ii. FLOOR ELEVATIONS
- iii. CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. iv. HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING. 17. ALL ANGLES FOR ROADWAY, PARKING LOT, AND BUILDING LOCATION ARE PERPENDICULAR TO
- PROPERTY LINES UNLESS NOTED OTHERWISE. 18. DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE FACE OF BUILDING. 19. SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE
- MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION.
- 20. ALL RADII ARE DIMENSIONED TO THE FACE OF CURB UNLESS OTHERWISE NOTED. 21. ALL COORDINATES AND DIMENSIONS ARE REFERENCED TO THE EDGE OF PAVEMENT, UNLESS
- NOTED OTHERWISE. 22. ALL CURB AND GUTTER SHALL BE THE MILWAUKEE DEPARTMENT OF PUBLIC WORKS REINFORCED
- VERTICAL FACE CONCRETE CURB AND GUTTER. (REFER TO C4.0) 23. SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED PAVEMENT, CURB AND SIDEWALKS MEET EXISTING PAVEMENT, CURB AND SIDEWALKS. REVIEW ANY REQUIRED
- CHANGES WITH THE ENGINEER PRIOR TO CONSTRUCTION OF WORK.
- 24. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS FOR ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED TO COMPLETE PROPOSED ITEMS IN PLACE. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED AS SUCH. 25. ALL COSTS SHALL BE INCLUDED IN THE BID.
- 26. ALL PAVEMENT TO BE STANDARD DUTY PAVEMENT, UNLESS NOTED OTHERWISE.
- 27. CONTRACTOR IS RESPONSIBLE FOR DESIGN AND PERMITTING OF ANY REQUIRED TRAFFIC CONTROL MEASURES, INCLUDING BUT NOT LIMITED TO: TRAFFIC LANE CLOSURES, SIDEWALK CLOSURES, ALLEY CLOSURES, ETC. 28. CURB AND PAVEMENT NEED TO BE DOWELED INTO THE EXISTING PAVEMENT.

#### SITE PLAN DATA 1. DEVELOPMENT NAME: NOVA 2. LOCATION: 1235 N VAN BUREN ST MILWAUKEE, WISCONSIN 53202 OWNER/ NEW LAND ENTERPRISES DEVELOPER: 1840 N. FARWELL AVE SUITE A MILWAUKEE, WI 53202 4. ARCHITECT: KORB & ASSOCIATES 648 N. PLANKINTON AVE SUITE 240 MILWAUKEE, WI 53203 5. SITE SIZE: 54,561 S.F. (1.2525 NET AC) 6. BUILDING SETBACKS: NORTH SETBACK: REFER TO DIMENSION ON PLAN EAST SETBACK: REFER TO DIMENSION ON PLAN SOUTH SETBACK: REFER TO DIMENSION ON PLAN WEST SETBACK: REFER TO DIMENSION ON PLAN 7. BUILDING HEIGHT: REFER TO ARCHITECTURAL PLANS 8. PARKING COUNT: 205 PROPOSED INTERIOR STALLS 9. LSR: PROPOSED 0.7% / EXISTING 9.4%

LEGEND CONCRETE PAVEMENT SECTION CONCRETE SIDEWALK

⊿

4 . 4 

1–1/2" RIVER ROCK

PROPOSED CURB AND GUTTER <u>x x x</u> PROPOSED SAWCUT



DESCRIPTION

E	BENC	HMA	RKS

BENCHMARK #1.: CITY OF MILWAUKEE BENCHMARK LOCATED 3' WEST OF

OF WALK ON E. OGDEN (CITY BM 72-27) . ELEV=62.524

THE WEST CURB OF JEFFERSON ST. AND 5' SOUTH OF SOUTH EDGE

62.524



Copyright 2020 - Korb + Associates Architects Inc.

SITE PLAN

PROJ. NO: 20010 04 SCALE: AS NOTED PHASE: PERMIT SET DATE: 02-26-2021



JSD Professional Services, Inc. · Engineers · Surveyors · Planners

MILWAUKEE REGIONAL OFFICE W238 N1610 BUSSE ROAD, SUITE 100 WAUKESHA, WISCONSIN 53188 262.513.0666 PHONE 262.513.1232 FAX www.jsdinc.com

JSD JOB NO.: 20-9848

1235 N VAN BUREN ST MILWAUKEE, WI 53202

PROJECT NAME:

Nova

#### OWNERS INFO: NEW LAND ENTERPRISES **1840 N FARWELL AVE** SUITE A MILWAUKEE, WI 53202 P 414.271.5263

ARCHITECT: KORB + ASSOCIATES 648 N. PLANKINTON AVE.

SUITE 240 MILWAUKEE, WI 53203 P 414.273.8230

CONSTRUCTION MANAGER: CATALYST CONSTRUCTION 55 JEWELERS PARK DRIVE SUITE 100 NEENAH, WI 54956 P 920.585.2352

> JSD PROFESSIONAL W238 N1610 BUSSE RD SUITE 100

WAUKESHA, WI 53188

OTHER: SERVICES INC.

P 262.513.0666

REV. NO:

DATE:





### GRADING NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY THE FOLLOWING:

- A. ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. B. LOCATION AND ELEVATION OF:
- EXISTING PIPE INVERTS FLOOR ELEVATIONS iii. CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK
- LINES. NOTIFY JSD PROFESSIONAL SERVICES, INC. (JSD) OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.

iv. HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY

- 2. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- 3. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED. MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. 4. THIS PLAN IS BASED ON INFORMATION FROM MULTIPLE SOURCES. SOME FIELD ADJUSTMENTS
- MAY BE NECESSARY AT POINTS WHERE PROPOSED GRADES MEET EXISTING. REVIEW ANY REQUIRED CHANGES WITH THE JSD PRIOR TO CONSTRUCTION OF WORK. CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO JSD PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES. 5. ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED.
- 6. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO JSD PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- 7. ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES. WHILE JSD ATTEMPTS TO PROVIDE A COST EFFECTIVE APPRÓACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF CARE, THEREFORE NO GUARANTEE CAN BE MADE
- FOR A BALANCED SITE. • THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
- 8. GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVIATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
- 9. PROPOSED CONTOURS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. ALL CONSTRUCTION SHALL BE BASED UPON PROPOSED SPOT ELEVATIONS, WHERE PROVIDED. 10. THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. CONTRACTOR SHALL REFER TO THE FOR SITE COMPACTION REQUIREMENTS. THE CONTRACTOR SHALL NOTIFY GEOTECHNICAL ENGINEERING SERVICES REPORT PREPARED BY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED UNSUITABLE SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL
- 11. IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL

MEASURES WILL BE NECESSARY.

- INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER. 12. WITH THE AUTHORIZATION OF THE ENGINEER/OWNER. MATERIAL THAT IS TOO WET TO PERMIT PROPER COMPACTION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CONDITION SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MORE RESTRICTIVE OF: THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TURNOVER THE SPREAD MATERIAL; OR THE MAXIMUM COMPACTION LIFT DEPTH.
- 13. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION. 14. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND
- SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS. 15. THE SITE SHALL BE COMPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
- 16. CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
- 17. CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.
- 18. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
- 19. WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIAL PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY IN-KIND INCLUDING
- 20. CONTRACTOR SHALL COMPLY WITH ALL CITY AND/OR STATE CONSTRUCTION STANDARDS/ORDINANCES.

LANDSCAPING.

21. SEE SHEET C3.1 FOR DETAILED SIDEWALK SPOT GRADES





#### **EROSION AND SEDIMENT CONTROL NOTES:**

- 1. ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN WISCONSIN'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR) TECHNICAL STANDARDS (REFERRED TO AS BMP'S) AND CITY OF MILWAUKEE ORDINANCE. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMP'S). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMP'S PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
- 2. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY JSD PROFESSIONAL SERVICES, INC. OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EROSION CONTROL
- PERMITS PRIOR TO COMMENCING WITH WORK. 4. MODIFICATIONS TO THE APPROVED EROSION CONTROL PLAN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS AND CITY OF MILWAUKEE STANDARDS. CONTRACTOR IS RESPONSIBLE TO NOTIFY JSD AND AUTHORITY HAVING JURISDICTION OF ANY CHANGES TO THE EROSION CONTROL PLAN. ALL MODIFICATIONS MUST BE APPROVED BY JSD/AUTHORITY HAVING JURISDICTION PRIOR TO DEVIATION FROM THE APPROVED PLAN.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS
- POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATION(S) WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE PRIOR APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO ADJACENT PUBLIC STREETS.
- PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEPT AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AFTER OR MORE FREQUENTLY AS REQUIRED AND AS REQUESTED BY THE GOVERNING AGENCIES. ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER. ALL INLETS, STRUCTURES, PIPES, AND SWALES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING: • PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH. • BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMP'S PRIOR TO RELEASE INTO STORM SEWER.
- AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNTREATED RUNOFF. TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND
- REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT. EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER PRIOR TO THE COMPLETION OF EACH WORK DAY.
- . MAINTAIN SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED. 13. PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED
- OUTSIDE THE PROJECT LIMITS. 4. GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF THIRTY (30) DAYS REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS.
- 15. DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE. . DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO
- PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS. 7. QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND
- EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH, OR MORE, PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH PART IV D.4. (g-f). OF THE NPDES GENERAL PERMIT. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED. 18. THE FOLLOWING MAINTENANCE PRACTICES SHALL BE USED TO MAINTAIN. IN GOOD AND EFFECTIVE
- OPERATING CONDITIONS, VEGETATION, EROSION AND SEDIMENT CONTROL MEASURES, AND OTHER PROTECTIVE MEASURES IDENTIFIED IN THIS PLAN. UPON IDENTIFICATION, DEFICIENCIES IN STORMWATER CONTROLS SHALL BE ADDRESSED IMMEDIATELY. THE MAINTENANCE PROCEDURES FOR THIS DEVELOPMENT SHALL INCLUDE, BUT NOT BE LIMITED TO THE BELOW.
- <u>SILT SOCK</u> REPAIR OR REPLACE ANY DAMAGED SOCK AND/OR STAKES. REMOVE ACCUMULATED SEDIMENT WHEN IT HAS REACHED ONE-HALF THE ABOVE GROUND HEIGHT OF THE SOCK. • <u>CONSTRUCTION ENTRANCE</u> – AS NEEDED, ADD STONE TO MAINTAIN CONSTRUCTION ENTRANCE DIMENSIONS AND EFFECTIVENESS. INLET PROTECTION – CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN
   CONTROL MEASURE IS CLOGGED. INLET FILTER BAGS SHALL BE REPLACED ONCE BAG BECOMES ONE-HALF FULL OF SEDIMENT.
- ADDITIONAL POLLUTANT CONTROL MEASURES TO BE IMPLEMENTED DURING CONSTRUCTION ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING.
- <u>CONSTRUCTION WASTE</u> SHALL BE PROPERLY DISPOSED OF. THIS INCLUDES ALL CONSTRUCTION SITE WASTE MATERIAL, SANITARY WASTE, AND WASTE FROM VEHICLE TRACKING OF SEDIMENTS. HE CONTRACTOR SHALL ENSURE THAT NO MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, BURNED, OR DISCHARGED TO THE WATERS OF THE STATE. VEHICLES HAULING MATERIAL AWAY FROM THE SITE SHALL BE COVERED WITH A TARPAULIN TO PREVENT BLOWING DEBRIS. • <u>DUST CONTROL</u> SHALL BE ACCOMPLISHED BY ONE OR MORE OF THE FOLLOWING METHODS: COVERING 30% OR MORE OF THE SOIL SURFACE WITH A NON-ERODIBLE MATERIAL. B. ROUGHENING THE SOIL TO PRODUCE RIDGES PERPENDICULAR TO THE PREVAILING WIND.
- RIDGES SHALL BE AT LEAST SIX (6) INCHES IN HEIGHT. C. FREQUENT WATERING OF EXCAVATION AND FILL AREAS. D. PROVIDING GRAVEL OR PAVING AT ENTRANCE/EXIT DRIVES, PARKING AREAS AND TRANSIT PATHS <u>STREET SWEEPING</u> SHALL BE PERFORMED TO IMMEDIATELY REMOVE ANY SEDIMENT TRACKED ON PAVEMENTS.
- 21. CONTRACTOR IS RESPONSIBLE FOR DESIGN AND PERMITTING OF ANY REQUIRED DEWATERING OPERATIONS.

GAS VALVE		EASEMENT LINE
SANITARY MANHOLE		SETBACK LINE
STORM MANHOLE		EXTERIOR PROPERTY LINE
CATCH BASIN ROUND	W	EXISTING WATER MAIN
CATCH BASIN SQUARE	G	EXISTING GAS
PARKING METER	COMB	EXISTING COMBINED SEWER
LIGHT POLE	SAN	EXISTING SANITARY SEWER
POWER POLE	ST	EXISTING STORM SEWER
TELEPHONE PEDESTAL	STM	EXISTING STEAM TUNNEL
SIGN	OH	EXISTING OVERHEAD UTILITIES
ELECTRICAL PEDESTAL/TRANSFORMER	T	EXISTING UNDERGROUND TELEP.
CONIFEROUS TREE	——————————————————————————————————————	EXISTING UNDERGROUND ELEC.
DECIDUOUS TREE	65.00 BOC ×	SPOT GRADE ELEVATION TOP OF CURB
BUSH	65.00 FLG ×	SPOT GRADE ELEVATION FLANGE
PROPOSED INLET PROTECTION	65.00 GTR ×	SPOT GRADE ELEVATION GUTTER
PROPOSED CONSTRUCTION ENTRANCE	65.00 PATIO ×	SPOT GRADE ELEVATION PATIO
PROPOSED INLET	65.00 SW ×	SPOT GRADE ELEVATION SIDEWALK
X PROPOSED SAWCUT	ST	PROPOSED STORM SEWER
-SS PROPOSED SILT SOCK	SAN	PROPOSED SANITARY SEWER
	W	PROPOSED WATERMAIN

#### BENCHMARKS

BENCHMARK #1.: CITY OF MILWAUKEE BENCHMARK LOCATED 3' WEST OF

THE WEST CURB OF JEFFERSON ST. AND 5' SOUTH OF SOUTH EDGE

OF WALK ON E. OGDEN (CITY BM 72-27) . ELEV=62.524

DESCRIPTION

62.524

ELEVATION



I S Frofossional Services, Inc. • Engineers • Surveyors • Planners MILWAUKEE REGIONAL OFFICE W238 N1610 BUSSE ROAD, SUITE 100 WAUKESHA, WISCONSIN 53188

262.513.0666 PHONE 262.513.1232 FAX www.jsdinc.com JSD JOB NO.: 20-9848

OWNERS INFO: NEW LAND ENTERPRISES **1840 N FARWELL AVE** SUITE A MILWAUKEE, WI 53202 P 414.271.5263 ARCHITECT: KORB + ASSOCIATES 648 N. PLANKINTON AVE.

1235 N VAN BUREN ST

MILWAUKEE, WI 53202

PROJECT NAME:

Nova

MILWAUKEE, WI 53203 P 414.273.8230 CONSTRUCTION MANAGER: CATALYST CONSTRUCTION **55 JEWELERS PARK DRIVE** SUITE 100

P 920.585.2352

OTHER:

REV. NO:

SUITE 240

JSD PROFESSIONAL SERVICES INC. W238 N1610 BUSSE RD SUITE 100 WAUKESHA, WI 53188 P 262.513.0666

**NEENAH, WI 54956** 

DATE:

PROJ. NO: 20010 04 SCALE: AS NOTED PHASE: PERMIT SET DATE: 02-26-2021

GRADING DRAINAGE & EROSION CONTROL PLAN

Copyright 2020 - Korb + Associates Architects Inc.

C3.0









<u></u>	EGEND	
GAS VALVE		EASEMENT LINE
SANITARY MANHOLE		SETBACK LINE
STORM MANHOLE		EXTERIOR PROPERTY LINE
CATCH BASIN ROUND	W	EXISTING WATER MAIN
CATCH BASIN SQUARE	G	EXISTING GAS
PARKING METER	COMB	EXISTING COMBINED SEWER
LIGHT POLE	SAN	EXISTING SANITARY SEWER
POWER POLE	ST	EXISTING STORM SEWER
TELEPHONE PEDESTAL	STM	EXISTING STEAM TUNNEL
SIGN	OH	EXISTING OVERHEAD UTILITIES
ELECTRICAL PEDESTAL/TRANSFORMER	T	EXISTING UNDERGROUND TELEP.
CONIFEROUS TREE	E	EXISTING UNDERGROUND ELEC.
DECIDUOUS TREE	65.00 BOC ×	SPOT GRADE ELEVATION TOP OF CURB
BUSH	65.00 FLG ×	SPOT GRADE ELEVATION FLANGE
PROPOSED INLET PROTECTION	65.00 GTR ×	SPOT GRADE ELEVATION GUTTER
PROPOSED CONSTRUCTION ENTRANCE	65.00 PATIO ×	SPOT GRADE ELEVATION PATIO
PROPOSED INLET	65.00 SW ×	SPOT GRADE ELEVATION SIDEWALK
X PROPOSED SAWCUT	ST	PROPOSED STORM SEWER
S PROPOSED SILT SOCK	SAN	PROPOSED SANITARY SEWER
	W	PROPOSED WATERMAIN



JSD Professional Services, Engineers • Surveyors • Plans MILWAUKEE REGIONAL OFFICE W238 N1610 BUSSE ROAD, SUITE 100 WAUKESHA, WISCONSIN 53188

262.513.0666 PHONE 262.513.1232 FAX www.jsdinc.com JSD JOB NO.: 20-9848

PROJECT NAME: Nova 1235 N VAN BUREN ST MILWAUKEE, WI 53202

OWNERS INFO: NEW LAND ENTERPRISES 1840 N FARWELL AVE SUITE A MILWAUKEE, WI 53202 P 414.271.5263

ARCHITECT: KORB + ASSOCIATES 648 N. PLANKINTON AVE. **SUITE 240** MILWAUKEE, WI 53203

P 414.273.8230

CONSTRUCTION MANAGER: CATALYST CONSTRUCTION **55 JEWELERS PARK DRIVE** SUITE 100 NEENAH, WI 54956 P 920.585.2352

OTHER: JSD PROFESSIONAL SERVICES INC. W238 N1610 BUSSE RD SUITE 100 WAUKESHA, WI 53188 P 262.513.0666

REV. NO: DATE:

PROJ. NO: 20010 04 SCALE: AS NOTED PHASE: PERMIT SET DATE: 02-26-2021

SIDEWALK SPOT GRADE PLAN

Copyright 2020 - Korb + Associates Architects Inc.

C3.1

DESCRIPTION BENCHMARK #1.: CITY OF MILWAUKEE BENCHMARK LOCATED 3' WEST OF

ELEVATION

THE WEST CURB OF JEFFERSON ST. AND 5' SOUTH OF SOUTH EDGE OF WALK ON E. OGDEN (CITY BM 72-27) . ELEV=62.524

**BENCHMARKS** 

62.524









#### UTILITY NOTES

- 1. EXISTING UTILITY INFORMATION IS BASED ON DIGGERS HOTLINE UNDERGROUND UTILITY LOCATIONS, FIELD SURVEY, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. ALI EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.
- 2. CONTACT DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION. COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- 3. PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR: • EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND
  - RESOLVED PRIOR TO THE START OF CONSTRUCTION. • OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
  - VERIFYING ALL ELEVATIONS, LOCATIONS AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
  - NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS. NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF
  - CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION. • COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR
  - DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS
- 4. THE CONTRACTOR SHALL CONTACT THE CITY OF MILWAUKEE ENGINEERING DEPARTMENT 48-HOURS IN ADVANCE OF SANITARY, WATER, AND STORM CONNECTIONS TO THE CITY-OWNED SYSTEM TO SCHEDULE INSPECTIONS.
- 5. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN", CURRENT EDITION, HEREINAFTER REFERRED TO AS THE "STANDARD SPECIFICATIONS" AND ALL STATE AND LOCAL CODES SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
- 6. SPECIFICATIONS SHALL COMPLY WITH THE CITY OF MILWAUKEE SPECIFICATIONS AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES DSPS 382. 7. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED
- DURING CONSTRUCTION. 8. LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR
- S SOLELY RESPONSIBLE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION. 9. CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION.
- 10. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS. 11. BACKFLOW PREVENTION DEVICES AND THE DOMESTIC WATER METER(S) ARE LOCATED WITHIN THE BUILDING(S). REFER TO BUILDING PLANS.
- 12. REFER TO BUILDING PLANS FOR EXACT LOCATIONS OF NEW UTILITY ENTRIES.
- 13. TRACER WIRES SHALL BE INSTALLED AS NECESSARY IN ACCORD WITH 182.0715(2R) OF THE STATE STATUTES AND CITY OF MILWAUKEE REQUIREMENTS. 14. THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- 15. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, THAT ARE TO REMAIN, WHICH ARE DAMAGED BY THE CONTRACTORS,
- SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE. 16. THE CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING AND REPORTING ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS TO THE ENGINEER AS WORK PROGRESSES 17. STORM SEWER SPECIFICATIONS
- A. PIPE ALL PIPE MATERIAL BENEATH STREET PAVEMENT SHALL BE REINFORCED CONCRETE PIPE. STORM SEWER OUTSIDE OF RIGHT-OF-WAY SHALL BE HIGH DENSITY POLYETHYLENE OR POLYVINYL CHLORIDE. REFER TO FOLLOWING SPECIFICATIONS: • REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM C-76,
- CLASS III (MINIMUM) WITH RUBBER GASKET JOINTS ASTM C-443. • HIGH DENSITY POLYETHYLENE SMOOTH-WALLED INTERIOR CORRUGATED PIPE SHALL BE AS MANUFACTURED BY ADS OR EQUAL, WITH WATER TIGHT JOINTS, MANNING "N" VALUE OF 0.010 AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE S. MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM D3350, D2412, AND D2321 WITH ELASTOMERIC GASKETS CONFORMING TO ASTM F477.
- POLYVINYL CHLORIDE PIPE (PVC) SHALL BE A SDR-35 PVC PIPE MEETING THE REQUIREMENTS OF OF ASTM D-3034, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212. B. INLETS AND FRAMES
- INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF WISCONSIN ADMINISTRATIVE CODE SPS 382.36(9)B.3.
- FRAMES AND GRATES SHALL BE GRAY IRON MATERIAL (PER ASTM A-48) OF STYLES / CATALOG NUMBERS AS INDICATED ON THESE CONSTRUCTION DRAWINGS. C. MANHOLES AND FRAMES
- MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF WISCONSIN ADMINISTRATIVE CODE SPS 382.35(8)a,b.
- FRAMES AND LIDS SHALL BE GRAY IRON MATERIAL (PER ASTM A-48) OF STYLES/CATALOG NUMBERS AS INDICATED ON THESE CONSTRUCTION DRAWINGS. INTERNAL CHIMNEY SEALS SHALL BE CRETEX SPECIALTY PRODUCTS, OR EQUAL.
- D. BACKFILL AND BEDDING STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS B BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL AND CLASS B BEDDING. LANDSCAPED AREAS MAY BE CLASS C BEDDING WITH COMPACTED SPOIL BACKFILL CONFORMING T SECTION 643.5 OF THE "STANDARD SPECIFICATIONS." E. FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE
- INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER AND SHALL BE INSPECTED BY THE CITY OF MILWAUKEE PRIOR TO BACKFILLING. 12. WATER SERVICE SPECIFICATIONS
- A. PIPE WATER SERVICE SHALL BE CL55 D.I. PIPE MEETING THE REQUIREMENTS OF AWWA C104, AWWA C111, AND AWWA C151. MATERIALS FURNISHED SHALL COMPLY WITH THE PROVISIONS OF THE CITY OF MILWAUKEE ORDINANCE 310–18.9 AND THE AMERICAN IRON AND STEEL REQUIREMENTS.
- B. BEDDING AND COVER MATERIAL PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".
- C. BACKFILL BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". SLURRY BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE SLURRY BACKFILL. 12. SANITARY SEWER SPECIFICATIONS
- A. PIPE SANITARY SEWER PIPE MATERIAL SHALL BE SDR-26 POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D-3034, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212. B. BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE
- APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION: "COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 6.43.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTION OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRING LINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT."
- C. BACKFILL BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS." SLURRY BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE SLURRY BACKFILL. D. CLEANOUTS – CLEANOUTS SHALL BE EQUIPPED WITH FROST SLEEVES PER SPS 382.35
- (5)(A)2. (REFER TO DETAIL). 13. FOR LOCATIONS WHERE THERE IS LESS THAN 6 FEET OF COVER OVER THE TOP OF THE WATER MAIN PIPE, WATER MAIN SHALL BE INSULATED IN ACCORDANCE WITH CHAPTER 4.17.0 "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM. THIS WORK SHALL BE INCLUDED ON THE UNIT COST FOR WATER MAIN.
- 14. FOR LOCATIONS WHERE THERE IS LESS THEN 4 FEET OF COVER OVER THE TOP OF THE SANITARY SEWER PIPE, THE SANITARY SEWER SHALL BE INSULATED IN ACCORDANCE WITH SPS 382.30(11)C.3. THIS WORK SHALL BE INCLUDED IN THE UNIT COST FOR SANITARY SEWERS. 15. ALL SANITARY SEWER SHALL BE TESTED FOR EXFILTRATION OF AIR UNDER PRESSURE, INFILTRATION OF WATER, EXFILTRATION OF WATER, AND DEFLECTION FOR FLEXIBLE
- THERMOPLASTIC PIPE PER THE STANDARD SPECIFICATIONS. 16. ALL UTILITY SERVICE CLEANOUTS ARE LOCATED WITHIN THE BUILDING, UNLESS SPECIFIED OTHERWISE. REFER TO BUILDING PLUMBING PLANS.

	LEGEND	
GAS VALVE		EASEMENT LINE
SANITARY MANHOLE		SETBACK LINE
STORM MANHOLE		EXTERIOR PROPERTY LINE
CATCH BASIN ROUND	W	EXISTING WATER MAIN
CATCH BASIN SQUARE	G	EXISTING GAS
PARKING METER	COMB	EXISTING COMBINED SEWER
LIGHT POLE	SAN	EXISTING SANITARY SEWER
POWER POLE	ST	EXISTING STORM SEWER
TELEPHONE PEDESTAL	STM	EXISTING STEAM TUNNEL
SIGN	OH	EXISTING OVERHEAD UTILITIES
ELECTRICAL PEDESTAL/TRANSFORMER	T	EXISTING UNDERGROUND TELEP.
CONIFEROUS TREE	——————————————————————————————————————	EXISTING UNDERGROUND ELEC.
	ST	PROPOSED STORM SEWER
DECIDUOUS IREE	SAN	PROPOSED SANITARY SEWER
BUSH	W	PROPOSED WATERMAIN
X PROPOSED SAWCUT		



BENCHMARKS	
DESCRIPTION	ELEVATION
BENCHMARK #1.: CITY OF MILWAUKEE BENCHMARK LOCATED 3' WEST OF THE WEST CURB OF JEFFERSON ST. AND 5' SOUTH OF SOUTH EDGE OF WALK ON E. OGDEN (CITY BM 72-27). ELEV=62.524	62.524



• Engineers • Surveyers • Planners MILWAUKEE REGIONAL OFFICE W238 N1610 BUSSE ROAD, SUITE 100 WAUKESHA, WISCONSIN 53188 262.513.0666 PHONE 262.513.1232 FAX

www.jsdinc.com

JSD JOB NO.: 20-9848

JSJ Professional Services, Inc.

**PROJECT NAME:** Nova 1235 N VAN BUREN ST MILWAUKEE, WI 53202

NEW LAND ENTERPRISES **1840 N FARWELL AVE** SUITE A MILWAUKEE, WI 53202 P 414.271.5263

## ARCHITECT:

KORB + ASSOCIATES 648 N. PLANKINTON AVE. SUITE 240 MILWAUKEE, WI 53203 P 414.273.8230

CONSTRUCTION MANAGER: CATALYST CONSTRUCTION 55 JEWELERS PARK DRIVE SUITE 100 NEENAH, WI 54956 P 920.585.2352

#### JSD PROFESSIONAL SERVICES INC. W238 N1610 BUSSE RD SUITE 100 WAUKESHA, WI 53188 P 262.513.0666

REV. NO:	DATE:
PROJ. NO:	20010 04
SCALE:	AS NOTED
PHASE:	PERMIT SET
DATE:	02-26-2021
	JTILITY PLAN

C4.0





C5.0



— PRESERVE EXISTING TREE, SEE DETAIL

# PROPOSED BUILDING (REFER TO ARCHITECTURAL PLANS)

STONE MULCH-/

STONE MULCH

TREES	CODE	BOTANICAL / COMMON NAME	ROOT CONDITION	QTY
	TH	, Thuja occidentalis 'Holmstrup' / Holmstrup Arborvitae	#15	5
SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	QTY
$\odot$	RG	Ribes alpinum 'Green Mound' / Green Mound Alpine Currant	#05/5 gal.	13
$\bigcirc$	VM	Viburnum carlesii 'SMVCB' TM / Spice Baby Koreanspice Viburnum	#05/5 gal.	1Ø
& GRASSES	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	AB	Andropogon gerardii 'Blackhawks' / Blackhawks Big Bluestem	#Ø1/1 gal.	19
×	HH	Hosta x 'Hadspen Blue' / Hadspen Blue Hosta	#Ø1/1 gal.	7
	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	CN	Calamintha nepeta nepeta / Lesser Calamint	#Ø1 (gal)	36
	VF	Veronica x 'Wizard of Ahhs' TM / Magic Show Blue Speedwell	#Ø1 (gal)	14







	K	
	KORB + ASSOCIATES ARC	HITECTS
(	Engineers Surveyers Engineers Surveyers MILWAUKEE REGIONAL W238 N1610 BUSSE ROAD, SU WAUKESHA, WISCONSIN 5 262.513.0666 PHONE 262.513.1 www.jsdinc.com JSD JOB NO.: 20-9848	vices, Inc. Planners OFFICE JITE 100 3188 1232 FAX 1 3
Ē		
Ē		
$\begin{array}{c ccccccccccccccccccccccccccccccccccc$		
	Nova 1235 N VAN BUREN MILWAUKEE, WI 532	ST 202
	OWNERS INFO: NEW LAND ENTERP 1840 N FARWELL AV SUITE A MILWAUKEE, WI 532	'RISES √E 202
	P 414.271.5263 ARCHITECT: KORB + ASSOCIATE 648 N. PLANKINTON SUITE 240	ES I AVE.
	MILWAUKEE, WI 532 P 414.273.8230 CONSTRUCTION MANAGE CATALYST CONSTR	203 ER: RUCTION
	55 JEWELERS PAR SUITE 100 NEENAH, WI 54956 P 920.585.2352	( DRIVE
	JSD PROFESSIONA SERVICES INC. W238 N1610 BUSSE SUITE 100 WAUKESHA, WI 531 P 262.513.0666	L : RD 88
L1.1		
	REV.NO: DATE:	
	PROJ. NO: 20010 04	
	PHASE: PERMIT SET DATE: 02-26-2021	



DESCRIPTION



Copyright 2020 - Korb + Associates Architects Inc.

BENCHMARK #1.: CITY OF MILWAUKEE BENCHMARK LOCATED 3' WEST OF THE WEST CURB OF JEFFERSON ST. AND 5' SOUTH OF SOUTH EDGE OF WALK ON E. OGDEN (CITY BM 72-27) . ELEV=62.524

62.524







## EAST JUNEAU AVENUE

# _____

## LEGEND

KENTUCKY BLUEGRASS BLEND (SEED)

### GENERAL NOTES

- LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-242-8511 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR. 2. DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY
- OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH. HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR TO KEEP ALL PLANT MATERIALS ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- 3. MATERIALS PLANTS: ALL PLANTS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH OR PREMATURE MORTALITY. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW
- ADEQUATE VISUAL AND PHYSICAL CLEARANCE. 4. PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS, SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIUM LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING
- 5. CLEANUP: THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL AND BRANCHES. BIND AND WRAP THESE MATERIALS. ANY REJECTED PLANTS. AND ANY OTHER DEBRIS RESULTING FROM ALL PLANTING TASKS AND PROMPTLY CLEAN UP AND REMOVE FROM THE PROJECT SITE. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD OR DAMAGE. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.

THE MONTHS FROM APRIL TO OCTOBER.

- 6. ANY SUBSTITUTIONS IN PLANT TYPE, LOCATION, OR SIZE SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 7. CONTRACTOR TO VERIFY PLANT MATERIAL QUANTITIES AND SQUARE FOOTAGES. QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER THOSE ON SCHEDULE.

### SODDING

MATERIALS - SOD: DISTURBED LAWN AREAS LABELED ON PLAN AS SUCH, SHALL RECEIVE 6" OF TOPSOIL AND A PREMIUM GRADE TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .60 INCH, PLUS OR MINUS .25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT IS EXCESSIVELY DRY OR WET, AS THIS MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPLANTED WITHIN A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO 0.5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS AND WEED SEED. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.

#### LANDSCAPE MATERIAL NOTES

- 1. MATERIALS PLANTING MIXTURE: ALL HOLES EXCAVATED FOR TREES, SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES SHALL BE BACKFILLED WITH TWO (2) PARTS TOPSOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST. SOIL MIXTURE SHALL BE WELL BLENDED PRIOR TO INSTALLATION.
- 2. MATERIALS TOPSOIL: TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS OR OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO ENSURE CONFORMANCE WITH THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- 3. MATERIALS SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH INSTALLED TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- 4. MATERIALS STONE MULCH: ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE DECORATIVE STONE MULCH SPREAD TO A MINIMUM AND CONSISTENT DEPTH OF 3-INCHES. DECORATIVE STONE MULCH TYPE, SIZE & COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE REQUIREMENTS. STONE MULCH AREAS SHALL RECEIVE WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- 5. MATERIALS ALUMINUM EDGING: EDGING SHALL BE 1/8" X 4", ALUMINUM EDGING, MILL FINISH. OWNER'S REPRESENTATIVE SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.

# 1. GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH











Professional Services, Inc.

Engineers • Surveyors • Planners MILWAUKEE REGIONAL OFFICE W238 N1610 BUSSE ROAD, SUITE 100 WAUKESHA, WISCONSIN 53188 262.513.0666 PHONE 262.513.1232 FAX www.jsdinc.com JSD JOB NO.: 20-9848

PROJECT NAME: Nova 1235 N VAN BUREN ST MILWAUKEE, WI 53202

## OWNERS INFO:

NEW LAND ENTERPRISES 1840 N FARWELL AVE SUITE A MILWAUKEE, WI 53202 P 414.271.5263

#### ARCHITECT: KORB + ASSOCIATES

648 N. PLANKINTON AVE. SUITE 240 MILWAUKEE, WI 53203 P 414.273.8230

CONSTRUCTION MANAGER: CATALYST CONSTRUCTION 55 JEWELERS PARK DRIVE SUITE 100 NEENAH, WI 54956 P 920.585.2352

#### OTHER:

JSD PROFESSIONAL SERVICES INC. W238 N1610 BUSSE RD SUITE 100 WAUKESHA, WI 53188 P 262.513.0666

REV. NO:	DATE:

PROJ. NO: 20010 04 SCALE: AS NOTED PHASE: PERMIT SET DATE: 02-26-2021

LANDSCAPE PLAN,

NOTES & DETAILS

Copyright 2020 - Korb + Associates Architects Inc.



DESCRIPTION

BENCHMARKS

ELEVATION

62.524

**NOVA** 1237 N Van Buren St Milwaukee, WI 53202

Detailed Plan Development Submittal File Number: 201143



#### Project Team

- Vicinity Map
- Site Images
- Architectural Site Plan
- Civil: Site Survey
- Civil: Demo Plan
- Civil: Site Plan
- Civil: Grading, Utility, and Eros
- Civil: Sidewalk Spot Grading
- Civil: Detail Information
- Landscaping
- Architectural Building Elevation
- Architectural Renderings

#### Table Of Contents

	3
	4
	6
	7
	8
	9
	10
osion Control Plan	11
Plan	12
	14
	15
ons	17
	21

DEVELOPER



**ISD** Professional Services, Inc. • Engineers • Surveyors • Planners

> Justin Johnson Project Engineer W238 N1610 Busse Rd, Suite 100 Pewaukee, WI 53188

CIVIL



Jason Korb AIA President 648 N. Plankinton Ave, Suite 240 Milwaukee, WI 53203

Tim Gokhman Director 1840 North Farwell Avenue Milwaukee, WI 53202

#### Project Team

#### ARCHITECT

*page 3 of 29* p: 414.273.8230



#### Vicinity Map

*page 4 of 29* p: 414.273.8230





#### Vicinity Map

*page 5 of 29* p: 414.273.8230







N/E Corner of Site - N Van Buren St, showing existing building

N/W Corner of Site - N Jackson St, showing existing building









E View of Site - N Van Buren St, showing existing building

S View of Site - E Juneau Ave

#### Site Images

S/E Corner of Site - N Van Buren St + E Juneau Ave

page 6 of 29 p: 414.273.8230



#### Architectural Site Plan

*page 7 of 29* p: 414.273.8230



#### Civil: Site Survey

page 8 of 29 p: 414.273.8230



#### CONSTRUCTION SITE SEQUENCE NOTES 1235 N VAN BUREN STREET MILWAUKEE, WI

#### ALL SITE GRADING WORK AND EROSION CONTROL EFFORTS SHALL BE PERFORMED IN ACCORD. WITH BEST MANAGEMENT PRACTICES AND APPLICABLE WISCONSIN DEPARTMENT OF NATURAL RESOURCES TECHNICAL STANDARDS.

- THE CONTRACTOR SHALL TOPSOIL AND SEED DISTURBED PORTIONS OF THE SITE AS THEY ARE COMPLETED AS IS PRACTICAL.

#### ALL OF THE EROSION CONTROL MEASURES FOR THE ENTRE SITE MUST BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT IN ACCORDANCE WITH WISCONSIN DNR REQUIREMENTS AND AS REQUIRED BY THE CITY OF MULAWLIKE.

- 5. CONTRACTOR SHALL PROTECT CITY OF MLWAUKEE PAVEMENTS AND REPLACE IN ACCORDANCE WITH CITY REQUIREMENTS IF DAMAGED.
- 6. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL DEMOLITION ITEMS AND QUANTITIES.
- . CONTRACTOR IS RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITY COMPANIES TO DETERMINE I RELOCATION OF UTILITY POLES, TELEPHONE AND FIBER OPTICS BOXES, AND/OR OTHER UTILITES WILL BE REDURED. CONTRACTION SHALL NOTIFY OMNER FOR APPROVAL PROFIL

#### CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL OF MATERIAL CONTRACTOR SHALL RETAIN, ON-SITE, ALL AGGREGATE MATERIALS REMOVED DURING DEX THE RE-PURPOSED AGGREGATE IS TO BE USED FOR NEW CONSTRUCTION WHERE APPROP ANY UNISED OF UNUSABLE PORTION OF MATERIALS SHALL BE REDVOLD FROM THE CONSTRUCTION SITE AND SHALL BE RE-PURPOSED ELSEWHERE OR SHALL BE PROPERLY DISPOSED OF.

10. THE CONTRACTOR IS RESPONSIBLE FOR ANY ITEMS IN ADJACENT PROPERTIES THAT MAY BE DAMAGED DURING DEMOLITION OR CONSTRUCTION.

		LEGEND	
۰	GAS VALVE		EASEMENT LINE
\$	SANITARY MANHOLE		SETBACK LINE
ø	STORM MANHOLE		EXTERIOR PROPERTY LINE
Ð	CATCH BASIN ROUND	W	EXISTING WATER MAIN
8	CATCH BASIN SQUARE	G	EXISTING GAS
0	PARKING METER	COMB	EXISTING COMBINED SEWER
¤	LIGHT POLE	SAN	EXISTING SANITARY SEWER
ø	POWER POLE	ST	EXISTING STORM SEWER
×	TELEPHONE PEDESTAL	STM	EXISTING STEAM TUNNEL
•	SIGN	OH	EXISTING OVERHEAD UTILITIES
E	ELECTRICAL PEDESTAL/TRANSFORMER	T	EXISTING UNDERGROUND TELE
苾	CONFEROUS TREE	E	EXISTING UNDERGROUND ELEC
Ξ.		BES	EXISTING BULK ELEC. SYSTEM
3	DECIDUOUS TREE	x	SAWOUT LINE
9	BUSH		FEATURE TO BE DEMOLISHED
3	TREE TO BE REMOVED	KXXXI	BUILDING TO BE DEMOLISHED
محسب		1. 12 A 17	CONCRETE TO BE DEMOLISHED

#### SHEET INDEX C1.0 DEMOLITION PLAN C2.0 SITE PLAN C4.0 UTILITY PLAN C5.0 DETAILS



RESORCES TECHNOL STANDARDS. STAGLE OPERATING STAGLE AND TRACKING PAD AT ENTRANCE TO STEL 2. INSTALL FUNCTIONER SEMANT CONTROL AS SHOWN ON THE APPROVED CONSTRUCTION PLANS. 3. CONSTRUCT BLUGHT FOR THE STAGLE STATE STATE STATE STATE STATE 4. CONSTRUCT BLUGHT FOR THE STAGLE STATE STATE STATE STATE STATE 5. INSTALL UTUE THREW AND STATELES. INSERVICES INSERVICES AND ADDRESS FOR STALL THREES. INSERVICES AND ADDRESS AND ADDRE

DEMOLITION NOTES 1. AFTER TO SHEET CLO FOR COMMUTE SHE EROSON CONTROL NOTES. 2. ALL DOBUILTION NORE SHALL SE IN COMPLIANCE MIT OF MURANCER REQUIREMENTS. 3. ALL DOBUS SHALL SE REINFORM THE SHE TO MAY. 4. COMMUTOR SHESHOLD SHE TO MOTIVE CHT OF MURANCER OFFICIAL RECEIVERS 1. SUBJECTION SHE ADD APPLY TO MULAN MURANCE OFFICIAL FOR ANY NORE WHEN PURCH CHTST- BHE ADD APPLY TO MULAN MURANCE OFFICIALS FOR ANY NORE WHEN PURCH CHTST- BHE ADD APPLY TO MULAN MURANCE OFFICIALS

C3.0 GRADING, DRAINAGE & EROSION CONTRO PLAN

C3.1 SIDEWALK SPOT GRADE PLAN

#### Civil: Demo Plan

MARKS	
	ELEVATION
RK LOCATED 3' WEST OF SOUTH OF SOUTH EDGE . ELEV=62.524	62.524

page 9 of 29 p: 414.273.8230





11. REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS AND DETAILS.

- 13. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
- CONCRETE PAVEMENT PAVING SPECIFICATIONS

- 23. SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED PAVEMENT, CURB AND SIDEWALKS MEET EXISTING PAVEMENT, CURB AND SIDEWALKS. REVIEW ANY REQUIRED CHANGES WITH THE ENOREER PRIOR TO CONSTRUCTION OF WORK.
- 25. ALL COSTS SHALL BE INCLUDED IN THE BID. 26. ALL PAVEMENT TO BE STANDARD DUTY PAVEMENT, UNLESS NOTED OTHERWISE.
- 28. CURB AND PAVEMENT NEED TO BE DOWELED INTO THE EXISTING PAVEMENT.



#### Civil: Site Plan

PAVING NOTES 1. THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING: A "STADARD SPECIFICATIONS FOR SERVER AND WATER IN WISCONSIV", CURRENT EDITION, WITH ACCORDANCE

B. THE CITY OF WILWAUKEE MUNICIPAL CODE, CURRENT EDITION. JSD PROFESSIONAL SERVICES, INC. (JSD) SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISOPUNARY ACTIONS BY ANY OF ALL REGULATORY AGENCIES. 3. ALL MATERIALS SHALL BE APPROVED BY THE CITY OF MILWAUKEE ENGINEER PRIOR TO INSTALLATION. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511).

 THE CITY OF MILWAUKEE AND JSD SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION. ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO CONSTRUCT THE FACILITES IN ACCORDANCE WITH THE DESIGN DRAWINGS.

7. EXCENSING UTLETY INFORMATION IS BASED ON DOGER'S HOTINE UNDERGROUND UTLETY LOCATONS, SINFEY WORK, PELLO BREEVITIONS, AVAILABLE PUBLIC RECORS, AND AS-BULT DRAININGS, EXACT LOCATIONS AND ELEVATIONS OF UTLITIES SHALL BE DETERMINED PRIOR TO INSTALLING REW WORK. PROPERTY CONNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR, PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S DEPENSE.

9. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.

10. ALL WORK TO BE COMPLETED IN COMPLIANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.

12. ALL NON-HARD SURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOL AND BE SEEDED, MULCHED AND WATERED UNTL, A HEALTHY STAND OF GRASS IS ESTABLISHED. REFER TO LANDSCAPE PLANS FOR LITENER INFORMATION

14. FINAL PAYEMENT DESIGN TO BE DETERMINED BY OWNER RASED ON GEOTECHNICAL ENGINEER OF RECORD RECOMMENDATIONS. ALL PAYING SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REGREER OF RECORD RECOMMENDATIONS AS SPECIFIED IN THE SAD GEOTECHNICAL REPORT.

CORDELE PARENELL PARENE SECTIONISMUS CODES AND STRUMPRIS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE CONDETE PARENENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 315 AND 416 OT THE STATE OF WISCONSH STRUMOND SPECIFICATIONS FOR HIGHWAY STRUCTURE CONSTRUCTION, CURRENT EDITION. HEREATER, THIS PUBLICATION WILL BE REFERRED TO STATE HIGHWAY SPECIFICATIONS

B. REINFORCEMENT - CONCRETE PAVEMENT SHALL REINFORCED WITH 6"X6" WELDED WIRE MESH REINFORCEMENT. C. CURING COMPOUNDS - CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.

PRESENCE - TO: SHULL PROVIDE CONTING, ANNE AND CONTINUENT OF BUT O CONTINUENT CONSERT ANY DEVICE AND STORE AND STORE AND STORE WERKER POSSERE WITH A WAXMAN LIKENT ETHERN ANNE OF S'ON CENTER. IL CONTINUENT SHULL PROVIDE DEVINENCE AND STOR BUTANS AT A WAXMAN A'S ON IL CONTENCE OF SHULL PROVIDE DEVINENCE AND STORE DEVINENT. IL CONTENCE DEVINENT SHULL PROVIDE DEVINENCE AND STORE IL CONTENCE DEVINENT SHULL PROVIDE DEVINENCE DEVINENT SHULL PROVIDE DEVINENT IL CONTENCE DEVINENT SHULL PROVIDE DEVINE SHULL PROVIDE DEVINE SHULL PROVIDE DEVINENT SHULL PROVIDE DEV

E. CRUSHED AGGREGATE BASE COURSE - THE BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS. CLEAN RECYCLED CRUSHED CONCRETE MAY BE USED IF APPROVED BY GEDTECH DRIVERE OF RECORD. F. SURFACE PREPARATION – NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.

REAUT 10 RELEASE FAMING. 16. THE CONTRACTOR SHALL FIEL VERIFY THE FOLLOWING: A. ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. B. THE LOCATION AND ELEVATION OF EXISTING

NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROFESSION 17. ALL ANGLES FOR ROADWAY, PARKING LOT, AND BUILDING LOCATION ARE PERPENDICULAR TO PROPERTY LINES UNLESS NOTED OTHERWISE.

18. DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE FACE OF BUILDING. 19. SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION.

MANUAL ON UNIFORM TRAFTIC CONTROL DEVICES, CURRENT EDITION. 20. ALL RADI ARE DIMENSIONED TO THE FACE OF CURB UNLESS OTHERWISE NOTED. 21. ALL COORDINATES AND DIMENSIONS ARE REFERENCED TO THE EDGE OF PAVEMENT, UNLES NOTED OTHERWISE.

22. ALL CURB AND GUTTER SHALL BE THE MILWAUKEE DEPARTMENT OF PUBLIC WORKS REINFORCED VERTICAL FACE CONCRETE CURB AND GUTTER. (REFER TO C4.0)

CHANGES WITH THE ENGNEER FROR TO CONSTRUCTION OF WORK. 24. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS FOR ALL UTILITES, STORM DRANNAGE, SDAS, TRAFFIC SIGNALS & POLIS, ETC. AS REQUIRED TO COMPLETE PROPOSED ITEMS IN PLACE. ALL BIORS SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORIES SPECIFICATIONS AND SHALL BE APPROVED AS SUCH.

27. CONTRACTOR IS RESPONSIBLE FOR DESIGN AND PERMITTING OF ANY REQUIRED TRAFFIC CONTROL MEASURES, INCLUDING BUT NOT LIMITED TO: TRAFFIC LANE CLOSURES, SIDEWALK CLOSURES, ALLEY CLOSURES, ETC.

SITE PLAN DATA DEVELOPMENT NAME: NOVA LICCATION: 1235 N VAN BUREN ST MUWAUKEE, WISCONSIN 53202 OWNER/ NEW LAND ENTERPRISES DEVELOPER: 1840 N. FARWELL AVE SUITE A MILWAUKEE, WI 53202 4. ARCHITECT: KORB & ASSOCIATES 648 N. PLANKINTON AVE SUITE 240 MUWAUKEE, WI 53203 3. SITE SIZE: 54,581 S.F. (1.2525 NET AC) SITE SIZE 54,641 S.F. (1220 HE. N., HULDING STEMACE: HULDING STEMACE: RETER TO DURINGION ON FAM LOT STEMACE: RETER TO DURINGION ON FAM HE STEMACE: RETER TO AMONSION ON FAM HE STEMACE: RETER TO AMONSION ON FAM B. PANNING COUNT: 205 PROPOSED INTERME STALLS 9. LISE PROPOSED 0.7% / EXISTING 8.4%



BENCHMARKS	
	ELEVATION
JKEE BENCHMARK LOCATED 3' WEST OF ON ST. AND 5' SOUTH OF SOUTH EDGE Y BM 72-27) . ELEV=62.524	62.524

#### Civil: Grading, Utility, and Erosion Control Plan



- GRADING NOTES 1. THE CONTRACTOR SHALL FIELD VER A. ELEVATIONS OF THE BENCHMARK B. LOCATION AND ELEVATION OF:
- L EXISTING DELEVINION OF . L EXISTING PLEVATIONS IL CURGO REVANDENT IL CURGO REVENENT WHERE MATCHING INTO EXISTING MORK N. HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. THERE HAD UNDER AN ADDRESS OF A DDRESS OF A ADDRESS OF A DDRESS OF ADDRESS OF ADDRESS OF A DDRESS OF ADDRESS OF ADDRE
- PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED. MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. THIS PLAN IS BASED ON INFORMATION FROM MULTIPLE SOURCES. SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT PORTS WHERE PROPOSED GRADES MEET EXISTING, REVEW MAY REQUIRED CHANGES INTH THE JOB PROFT TO CONSTRUCTION OF WORK, CONTRUCTOR SHALL VIEWY ALL GRADES, DEVICE ALL MERAS DRAIN PROPERLY AND REPORT ANY DISCREPANDES TO JOB PROFT TO DE START OF ANY CONSTRUCTION OF ACTIVITIES.
- VTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED.
- ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTELCONTRACTOR SHALL VERFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERTY AND SHALL REPORT MAY DISCREPANCIES TO JSD PROOF TO THE START OF ANY CONSTRUCTION L PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS ALL EXCAVATIONS AND MATERIAL
- SSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING SD ATEDMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, ERING STANDARD OF CARE, THEREFORE NO GUARANTEE CAN BE MADE FOR A GALANCED STE. THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONTINUES.
- IR TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED TEMPORARY DITCHES TO PREVENT PORDING, AND IF AG. CONTRACTOR SHALL PREVENT SURFACE BATER MAY SHALL OWNER BE RESPONSELE FOR PEMEDIATION D AS A RESULT OF IMPROPER STE GAMOING OR AGE GRADING ACTIVITIES TO LIMIT EXPOSURE OF PROPOSED CONTOURS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. ALL CONSTRU-SHALL BE BASED UPON PROPOSED SPOT ELEVATIONS, WHERE PROVIDED.
- SHUL & MADD UPON MERCIDE STOT LLATINGT, BERGE HAVING, MERCE HAVING, MERCH HAVING, MERCE HAVING, MERCHAV, MERCH HAVING, MERCHAV,
- . IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FALLED AREA AT NO COST TO THE UNNER, IRIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERM TION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTI TION MAY HE EXTERIOR LIMITS OF SPREAD WATERIAL WITH PAINTED LATH AN WITH THE A PROPER CON SHALL CLEAR SUBMIT A P SHALL THE TREATMENT D THE MAXIMUM PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LINTS. UNDER NO CONDITION SPREAD MATERIAL DEPTH EXCEED THE MORE RESTRICTIVE OF THE EFFECTIVE DEPTH OF MACHINERY THAT WILL BE USED TO TURNOVER THE SPREAD MATERIAL: OR IN COMPACTION LIFT OPTH.
- 13. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER E ENCOUNTERED DURING EXCAVATION. 14. CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AN SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCMATIONS.
- VPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED ORADES AS LANS PROR TO PLACEMENT OF TOPSOL OR STONE. CONTRACTOR IS E CONSTRUCTION SUCH THAT THE SITE IS DWDED INTO SWALLER AREAS OF DISTURED SOLS JUNCTURATELY UPON COMPLITION OF INDIVIDUAL
- ER'S HOTLINE FOR LOCATIONS OF ALL EXISTING UTILITIES CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR Y DAMAGE DURING CONSTRUCTION PRIOR TO COMMI SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR OSION CONTROL METHIODS UNTIL CONSTRUCTION IS COMPLETED, CONTRACTOR SHALL INCRU AT DOWN SLOPE SDE OF CRANNAL UNTER APPROVED
- RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACLURES OR UTILITIES. REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE
- 20. CONTRACTOR STANDARDS/OR SHALL

EROSION AND SEDIMENT CONTROL NOTES:

- AND CITY OF MILWAUKEE ORDINANCE. TH TO AS BEST MANAGEMENT PRACTICES (E ASSOCIATED WITH THE PROJECT TO OBTA THE START OF CONSTRUCTION ACTIVITIES.
- MODIFICATIONS TO THE APPROVED FIELD CONDITIONS ARE ALLOWED IF AND CITY OF MILWAUKEE STAATS MUAN IN ORDER TO MEET UNFORCESEEN NFORM TO WORR TECHNICAL STANDARDS IS RESPONSIBLE TO NOTIFY JSD AND TO THE EROSION CONTROL PLAN, ALL HAVING JURISDICTION PROR TO DEVATION AUTHORITY HAVING JURISDIK MODIFICATIONS MUST BE APP FROM THE APPROVED PLAN.
- INSTALL PERMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION INTRANCES, SAL FENCE AND EXEMINE INFOTETION) PROF TO ANY SITE WORK, INCLUDING ORANING OF DALAYANG PROFILTS (FORME SUME SYSTEME) EDUA STATUTE TRANSPORT
- HE PROPER OR PERMITS ST BE PRIOF ONSTRUCTION ADDITIONAL CO APPROVED BY ENTRANCES SH THE TRACKING HALL BE MAINTAINED BY TH PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEPT AND/OR SCRAPED TO REMOVE ACCUMULATED SOL, DIRT AND/OR DUST AFTER THE END OF EACH WORK DAY AFTER OR MORE REQUERTLY AS REQUED AND AS REQUEDED BY THE CONSENNO A CEPTISENS.
- ALL DESTING STORE SAME FACINES THAT HILL COLLECT RIMOVE REGISTER SHALL BE PROTEIND STOREM SAME FACINES THAT HILL COLLECT RIMOVE FIRM DISTURBED ARXIS SHALL BE PROTEIND TO PROTEIN STORMOST DISTURBED MEMOS STORES. STORE STALL STORE STORES, PRES. AND SHALE SHALL BE KEPT CLEN AND FREE OF SEMENTATION AND DERMS.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEP ETC.) OUTSIDE OF THE PERMITTER CONTROLS SHALL INCOMPO PLACE DICAWATED TRENCH MATERIAL ON THE HIGH SIDE O BACKTILL, COMPACT, MO STRELZE THE TRENCH MATERIA DISCHARGE TRENCH MATER INTO A SEDMENTATION BASIN WITH BUPS FRORD TO RELAGE INTO STORM SERVER. TRENCH. TER PIPE CONSTRUCTION.
- AT A MINIMUM, SEDIMENT BASING AND NECESSARY TEMPORARY DRAINAGE PROMISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BECHNINKO OF SUMPORT MASS GRACING OPERATIONS TO PREVENT OFFSTIE DISCHARGE OF UNKERTED RUNOFF.
- 2. ALL TEMPORARY AND PERMANENT EROSON CONTROL MEASURES MUST BE MAINTAINED AND REPARED AS NEEDED. THE GENERAL CONTRACTOR MILL BE RESPONSIBLE FOR NEPFECTION AND REPARE DURING CONSTRUCTION. THE OWNER MILL BE RESPONSIBLE F BROSON CONTROL IS REQUEED ATTENT HE CONTRACTOR HAS CAMPLETE THE GENERAL . EROSION CONTROL MEASURES TEMPORARLY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACT SHALL BE IN WORKING ORDER PRIOR TO THE COMPLETION OF EACH WORK DAY.
- 2. MANTAIN SOLE RESIGN CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT. ALL TEMPORARY PROSON AND SEMENT CONTROL MUSICIPAS SHALL BE REMOVE WITHIN THRY TO DAYS AFTER FINAL STIE STARLIZATION IS ACHIEVED OR AFTER THE TEMPORARY MASURES ARE IN LONGER METERED. DISTUBLICATION DEVICES ASSOCIATED WITH DEGREGATION CONTROL REMOVAL SHALL BE
- 3. PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS. . GROING EPTORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINMIZE DROSON. BROSON AND SEDMENT CONTROL WEXSIRES SHALL CONSERT THE TIME OF YEAR, STE CONDITIONS, AND THE USE OF TEMPORARY OF REPREMENTE INDERVISE. ALL DETWINED ARES THY MILL NOT BE WORKED FOR A PERIOD OF THEMY (30) DAYS REQUERE TEMPORARY SEEDING FOR REGISION CONTROL SETUDIO. THE REPORT CONTROL SHALL BE IN A COMPANIE THAT THIS THING. CONTROL
- 5. DURING PERIODS OF EXTEND ON SITE FOR THE PURPOS ARBORNE, THE CONTRACTOR CONSTRUCTION AT HIS/HER ED L KEEP A WATER TRUCK MAY OTHERWISE BECOME DROSION (DUST) DURING
- DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS PRECEPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, BOLILITATE ENTERING THE DEMANDER SYSTEM ON A DALY BASIS THAT ARE EXPOSED TO OR THE POTENTIAL FOR PERSONNEL (PROVIDED BY THE GENERAL/PRIME VREAS OF THE CONSTRUCTION SITE THAT HAVE NOT DISTURBED CTOR) SHALL INSPECT FINALLY STABILIZED AND OR MORE PRECIPITATION
- OFFICIENCE FRANCES FRANCES SHALL BE USED TO MANTAN. IN GOO AND PFTETHE PROTEINE CONTINUES TO A STATEMENT CONTINUE AND THE AND THE PROTEINE CONTINUES SHALL BE ADDRESSED MANDATE. THE MANTANE PROCEDURES FOR THE DECOMMENT SMALL RACIUSE, BUT NOT BE LIMITED TO THE BELOW.
- SET SOCK REPAIR OR REPLACE ANY DAMAGED SOCK AND/OR STAKES. REMOVE ACCUMULATED SEDMENT WHEN IT HAS REACHED ONE-HALF THE AGOVE GROUND HEIGHT OF THE SIGK. CTION ENTRANCE - AS NEEDED, ADD STONE TO
- NIET PROTECTION CLEAN, REPAIR OR REPLACE FILTER FABRIC AND/OR STONE WHEN CONTROL MEASURE IS CLOODED. INLET FILTER BAGS SHALL BE REPLACED ONCE BAG BECOMES ONE-HAUF FILLO OF SEDIMENT. ADDITIONAL POLLUTANT CONTROL MEASURES TO BE IMPLEMENTED DURING ACTIVITIES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING.
- CONSTRUCTION BASTE SHULL BE PROPERLY DISPOSED OF. THIS INCLIDES ALL CONSTRUCTION SHE WASTE WATERAL, SWATERY WASTE, AND WASTE FROM VEHICLE TRACKING OF SEDWEINS. THE CONTRACTOR SHALL DISPLAY THAT NO MATERIAL WASTE OF UNIXED BULLDANG WATERALS SHALL BE BURDED, DUMPED, BURNED, OR DISCHWARED TO THE WATERS OF THE STATE VEHICLES HAULING MATERAL AWAY FROM THE STATE SHALL BE CONFERD WITH A TRAPALIN TO
- ESPONSIBLE FOR DESIGN AND PERMITTING OF ANY REQUIRED DEWATERING
- CONTRACTOR I

	!	LEGEND	
	GAS VALVE		EASEMENT LINE
3	SANITARY MANHOLE		SETBACK LINE
0	STORM MANHOLE		EXTERIOR PROPERTY LINE
⊕	CATCH BASIN ROUND	w	EXISTING WATER MAIN
B	CATCH BASIN SQUARE	G	EXISTING GAS
9	PARKING METER	COMB	EXISTING COMBINED SEWER
¤	LIGHT POLE	SAN	EXISTING SANITARY SEVER
ø	POWER POLE	ST	EXISTING STORM SEWER
	TELEPHONE PEDESTAL		EXISTING STEAM TUNNEL
*	SIGN	OH	EXISTING OVERHEAD UTILITIES
Ð	ELECTRICAL PEDESTAL/TRANSFORMER	т	EXISTING UNDERGROUND TELEP
酔	CONFEROUS TREE	E	EXISTING UNDERGROUND ELEC.
ġ.	DECIDUOUS TREE	65.00 BOC	SPOT GRADE ELEVATION TOP OF CURB
3	BUSH	65.00 FLG X	SPOT GRADE ELEVATION FLANGE
С	PROPOSED INLET PROTECTION	65.00 GTR	SPOT GRADE ELEVATION GUTTER
0	PROPOSED CONSTRUCTION ENTRANCE	65.00 PATIO	SPOT GRADE ELEVATION PATIO
€	PROPOSED INLET	65.00 SW	SPOT GRADE ELEVATION SIDEWALK
X	X PROPOSED SAWCUT	st	PROPOSED STORM SEWER
	-SS-PROPOSED SILT SOCK		DRODOGED CANITARY SEVER

![](_page_22_Picture_43.jpeg)

![](_page_22_Picture_44.jpeg)

BENCHMARKS	
DESCRIPTION	ELEVATION
BENCHMARK #1.:CITY OF MILWAUKEE BENCHMARK LOCATED 5' WEST OF THE WEST CURB OF JEFFERSON ST. AND 5' SOUTH OF SOUTH EDGE OF WALK ON E. OGDEN (CITY BM 72-27). ELEV=62.524	62.524

page 11 of 29 p: 414.273.8230

![](_page_23_Figure_0.jpeg)

![](_page_23_Figure_2.jpeg)

![](_page_23_Figure_3.jpeg)

#### Civil: Sidewalk Spot Grading Plan

![](_page_23_Figure_8.jpeg)

	LEGEND	
GAS VALVE		EASEMENT LINE
SANITARY MANHOLE		SETBACK LINE
STORM MANHOLE		EXTERIOR PROPERTY LINE
CATCH BASIN ROUND	W	EXISTING WATER MAIN
E CATCH BASIN SQUARE	G	EXISTING GAS
PARKING METER	COMB	EXISTING COMBINED SEWER
X LIGHT POLE	SAN	existing sanitary sever
Ø POWER POLE	ST	EXISTING STORM SEWER
TELEPHONE PEDESTAL	STM	EXISTING STEAM TUNNEL
- SIGN	OH	EXISTING OVERHEAD UTILITIES
ELECTRICAL PEDESTAL/TRANSF	ORMERT	EXISTING UNDERGROUND TELEP
CONFEROUS TREE	E	EXISTING UNDERGROUND ELEC.
DECIDUOUS TREE	65.00 BOC	SPOT GRADE ELEVATION TOP OF CURB
BUSH	65.00 FLG ×	SPOT GRADE ELEVATION FLANGE
PROPOSED INLET PROTECTION	65.00 GTR ×	SPOT GRADE ELEVATION GUTTER
PROPOSED CONSTRUCTION ENTRANCE	65.00 PATIO	SPOT GRADE ELEVATION PATIO
PROPOSED INLET	65.00 SW ×	SPOT GRADE ELEVATION SIDEWALK
X X PROPOSED SA	WOUTST	PROPOSED STORM SEWER
	T SOCK SAN	PROPOSED SANITARY SEWER
		PROPOSED WATERMAIN

![](_page_23_Picture_10.jpeg)

BENCHMARKS	
DESCRIPTION	ELEVATION
BENCHMARK #1:CITY OF MLWAUKEE BENCHMARK LOCATED 3" WEST OF THE WEST CURB OF JEFFERSON ST. AND 5" SOUTH OF SOUTH EDGE OF WALK ON E. OGDEN (CITY BM 72-27). ELEV=62.524	62.524

page 12 of 29 p: 414.273.8230

![](_page_24_Figure_0.jpeg)

#### Civil: Sidewalk Spot Grading Plan

#### UTILITY NOTES

- DISTING UTULTY INFORMATION IS BASED ON DIDDERS HOTLING UNDERROUND UTULTY LOCATIONS, FELD SUNKY, FELD OBSERVATIONS, AUVLAGE PUBLIC RECORDS, AN GAS-BULT ERAMINGS, ALL DISTING UTULTES ARE SHOWN FOR INFORMATIONAL PURPORES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCUIVE. HE CONTRACTOR IS RESPONSELE FOR MANNING HIS OWN DETERMANTION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTULTES AS MAY BE INCESSARY TO AND DAMAGE THERETO.
- CONTACT DIGGERS HOTLINE PROR TO ANY CONSTRUCTION. COST OF REPLACEMENT OR REPAR OF DOSTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY
- CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR: ANNIS ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE WITTOWN PRANNERS, ANY DISCRIPTIONICS ARE TO BE REPORTED TO THE ENGINEER AN
- P FEES, METER DEPOSITS, BONDS, TO OBTAIN OCCUPANCY. SANITARY, WATER AND STORM NFLICTS. NOTFY ENGINEER OF AN THE DISORDPANCY IS RESOLVED. NY UNDERGROUND IMPROVEMENTS. I HOURS PRICE TO THE START OF HOURS PRICE TO THE START OF
- COORDINATIN CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR MEEN THESE FLANS AND FLANS PREPARED BY OTHERS
- C THE CONTRACTOR SHALL CONTACT THE CITY OF MLWAUKEE ENGINEERING DEPARTMENT 48-HOURS IN ADVANCE OF SANTARY, WATER, AND STORM CONNECTIONS TO THE CITY-OWNED SYSTEM TO SOLUEIUE INSERTIONS. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE "STANDARD SPEC
- SPECIFICATIONS SHALL COMPLY WITH THE CITY OF MILWAUKEE SPECIFICATIONS AND INSCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES DSPS 382. 7. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY CONFRS (SUCH AS MANHOLE CONFRS, WAVE BOX CONFRS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
- LIDENTS OF PROPOSED UTILITES ARE TO CENTER OF STRUCTURES OR TITINGS AND MAY WARE SUBSTILY TRUE FAM. LIDENTS ARE SIGNAL TOR CONTRACTOR CONSENSES ONLY CONTRACTOR IS SOLELY RESPONSELE FOR COMPUTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LINENTS SHULL BE FIELD VERIED LINENG CONSTRUCTION.
- CONTRACTOR SHALL FIELD VERFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTLITES AND CHECK ALL UTLITY CORSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNION UTLITY CONSTITUTION.
- 10. CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS. 11. BACKFLOW PREVENTION DEVICES AND THE DOMESTIC WATER METER(S) ARE LOCATED WITHIN THE BULDING(S). METER TO BULDING FLUNS.
- UNLIFYED, NOT IN UNLINE FOR EXACT LOCATIONS OF NEW UTILITY ENTRES. 12. REFER TO BULLEING PLANS FOR EXACT LOCATIONS OF NEW UTILITY ENTRES. 13. TRACER WERE SALL BE INSTALLED AS NECESSARY IN ACCORD WITH 182.0715(2R) OF THE STATE STATUES AND CITY OF INLIMAKEE REQUIREMENTS.
- 15. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SWILE, OR OTHER UTILITES, THAT ARE TO REDAM, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPARED TO THE OWNER'S SATISFACTOR AT THE CONTRACTOR'S EXPENSE. 16. THE CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING AND REPORTING ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS TO THE ENGINEER AS WORK PROGRESSES
- A. PIPE ALL PIPE MATERIAL BENEATH STREET PAVEMENT SHALL BE REINFORCED CONCRETE PIPE. STORM SEMER OUTSIDE OF RIGHT-OF-WAY SHALL BE HIGH DENSITY POLYETHYLENE OR POLYMON, CHLORDE. REFER TO FOLLOWING SPECIFICATIONS:
- REINFORCED CONCRETE PIPE (RCP) SHALL WEET THE REQUIREMENTS OF ASTM C-76, CLASS III (MINIMUM) WITH RUBBER GASKET JOINTS ASTM C-443. HIGH DENSITY POLYETHYLENE SMOOTH-WALLED INTERIOR CORRUGATED PPE SHALL BE A MANUFACTURED BY ADS OR EQUAL, WITH WATER TIGHT, JOHTS, MANNOS "N" WALLE OF COLOD AND SHALL WET THE REQUEREMENTS OF ASHTO DESONATION M-234 TYPE S. MATERNA, AND INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM DISSIS, D2412, AND D2321 WITH LASTMORIES CASHTS CONFIGUNE TO ASTM P477.
- POLYVINYL CHLORDE PIPE (PVC) SHALL BE A SDR-35 PVC PIPE MEETING THE REQURREMENTS OF OF ASTM 0-3034, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQURREMENTS OF ASTM 0-3212.
- INLETS AND FRAMES
  INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF WISCONSIN ADMINISTRATIVE CODE SPS 362.36(9)(8.3.) FRAMES AND GRATES SHALL BE GRAY IRON MATERIAL (PER ASTM A-48) OF STYLES / CATALOG NUMBERS AS INDICATED ON THESE CONSTRUCTION DRAWINGS.
- MANULUS AND FLORES AND THE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF WISCONSIN ADMINISTRATIVE CODE SPS 382.35(8)xb.
- FRAMES AND LIDS SHALL BE GRAY IRON NATERIAL (PER ASTN A-46) OF STYLES/CATALOG NUMBERS AS INDICATED ON THESE CONSTRUCTION DRAWINGS. INTERNAL CHIMNEY SEALS SHALL BE CRETEX SPECIALITY PRODUCTS, OR EQUAL
- SHALL BE OR IN STILLED THROUGH, OR LOAD. SHACHL AND GLODING STORE SHALL BE CONSTRUCTED WITH CRAVEL BACKFILL AND CLASS B BEDONG H ALL PAYED AREAS AND TO A POINT 5 FEET BETORD THE EDDE OF PAYERINT, TROUGES RANNING PAYELLD. TO ADD LESS THAN S FEET TWO THE EDDE OF AREAS WAY BE CLASS C BEDONG WITH COMPACTED SPOL BACKFILL CONFORMING TO SECTION 443.50 THE STATANDES DEPERCIPATIONS.
- . RELD TILE CONNECTION ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PROCESS) FOR STOKM SEMICR. TILE UNES CROSSED BY THE TRENCH SHALL BE REFLACED WITH THE SAME MATERIAN AS THE STOKM SEMICR AND SHALL BE INSPECTED BY THE CITY OF MURANCEF PRIOR TO BOOKTLING.
- A. PIPE WATER SUBVICE SHALL BE CL55 DJ. PIPE MEETING THE REQUREMENTS OF ANNA CL64, ANNA CL11, AND ANNA CL51. WATERALS FURNISHED SHALL COMPLY WITH THE PROVISIONS OF THE CLTY OF MILWAUKEE ORDINANCE 310-18.9 AND THE AMERICAN IRON AND STEEL REQUIREMENTS.
- 8. BEDDING AND COVER MATERIAL PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR ORUSHED STONE SCREENINGS CONFORMING TO CHIPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".
- 3. BACKFILL BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.8.0 OF THE "STANDARD SPECIFICATIONS". SLURRY BACKFILL IS REQUERED IN ALL PARTS AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT TRACLES RUNNING PAVALLE. TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUERE SLURRY BACKFILL. SANITARY SEWER SPECIFICATIONS
- A. PIPE SANITARY SEWER PIPE MATERIAL SHALL BE SDR-26 POLYWNYL CHLORDE (PVC) MEETING REQUIREMENTS OF ASTIM D-3034, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTIM D-3212.
- MITTER, LORGE THE HUNKING THE THE THE THE ACCOUNT FOR THE SECTION OF THE STATEMENT AND ADDRESS ADDRESS
- . BACKFLL BACKFLL MATERIAL AND INSTALLATION SHALL BE N ACCORDANCE CHAPTER 2.8.0 of the "Standard Specifications," sluggy backfll is required in all paved Areas and to a point 5 petter revond the edge of pavement shall also require pavelill to and less than 5 feet from the edge of pavement shall also require lingup laves. D. CLEANOUTS - CLEANOUTS SHALL BE EQUIPPED WITH FROST SLEEVES PER SPS 382.35 (5)(A)2. (REFER TO DETAIL).
- . FOR LOCATIONS WHERE THERE IS LESS THAN 6 FEET OF COVER OVER THE TOP OF THE WATER MAN PPC, WATER MAN SHUL BE INSULATE IN ACCORDANCE WITH CHAPTER 4.T.O. "INSULATION" OF THE STANDARD SPECIFICATIONS FOR SEMEL AND WATER CONSTRUCTION IN WISCONSIN STILL EDITION UPDATED WITH ITS LATEST ADDENDUAL THIS WORK SHALL BE INCLUDED ON THE UNIT COTCT FOR WATER MAN.
- 14. FOR LOCATIONS WHERE THERE IS LESS THEN 4 FEET OF COVER OVER THE TOP OF THE SANITARY SENIGR PPET, THE SANITARY SENIGR SHALL BE INSULATED IN ACCORDANCE WITH SPS 382.30(1):0.3. THIS WORK SHALL BE INJULIED IN THE UNIT COST FOR SANITARY SENIGRS.
- 15. ALL SANITARY SEVER SHALL BE TESTED FOR EXPLICATION OF AR UNDER PRESSURE, INTERATION OF WATER, EVALUATION OF WATER, AND DEFLECTION FOR FLEXIBLE THERMOLYLASTIC PIPE PER THE STANDARD SPECIFICATIONS.
- 16. ALL UTILITY SERVICE CLEANOUTS ARE LOCATED WITHIN THE BUILDING, UNLESS SPECIFIED OTHERWISE, REFER TO BUILDING PLUMEING PLUMEIN

![](_page_24_Figure_39.jpeg)

![](_page_24_Figure_40.jpeg)

EK 🖁 KI

INF	BENCHMARKS	
	DESCRIPTION	ELEVATION
9 m	BENCHMARK (FL:CITY OF MEMAUKEE BENCHMARK LOCATED 3" WEST OF THE WEST CURB OF JEFFERSON ST. AND 5" SOUTH OF SOUTH EDGE OF WALK ON E. OGDEN (CITY BM 72-27). ELEV=62.524	62.524

page 13 of 29 p: 414.273.8230

![](_page_25_Figure_0.jpeg)

#### **Civil: Detail Information**

*page 14 of 29* p: 414.273.8230

![](_page_26_Figure_0.jpeg)

![](_page_26_Picture_1.jpeg)

Milwaukee, Wisconsin 53203

#### Landscaping: Details and General Notes

![](_page_26_Picture_6.jpeg)

![](_page_26_Picture_7.jpeg)

![](_page_26_Picture_8.jpeg)

BENCHMARKS	
DESCRIPTION	ELEVATION
BENCHWARK #1.:CITY OF MILWAUKEE BENCHWARK LOCATED 3' WEST OF THE WEST CURB OF JEFFERSON ST. AND 5' SOUTH OF SOUTH EDGE OF WALK ON E. OGDEN (CITY BM 72-27). ELEV=62.524	62.524

![](_page_27_Figure_1.jpeg)

![](_page_27_Picture_2.jpeg)

KORB+ ASSOCIATES ARCHITECTS

![](_page_27_Picture_4.jpeg)

Milwaukee, Wisconsin 53203

#### Landscaping: Details and General Notes

BENCHMARKS	
DESCRIPTION	ELEVATION
BENCHMARK (#1:01TY OF MILWAUKEE BENCHMARK LOCATED 3' WEST OF THE WEST CURB OF JEFFERSON ST. AND 5' SOUTH OF SOUTH EDGE OF WALK ON E. OGDEN (CITY BM 72-27). ELEV=62.524	62.524

![](_page_28_Figure_1.jpeg)

#### Architectural Elevations: New Building - West and South Elevations 1'' = 40'

![](_page_29_Figure_1.jpeg)

## Architectural Elevations: New Building - East and North Elevations 1'' = 40'

![](_page_29_Picture_6.jpeg)

page 18 of 29 p: 414.273.8230

![](_page_30_Figure_1.jpeg)

![](_page_30_Figure_2.jpeg)

#### Architectural Elevations: Townhouse Section and Elevation 1" = 20'

page 19 of 29 p: 414.273.8230

![](_page_31_Figure_1.jpeg)

![](_page_31_Figure_2.jpeg)

Architectural Elevations: Jackson St Garage Entry Plan and Elevation 1'' = 20'

page 20 of 29 p: 414.273.8230

![](_page_32_Picture_0.jpeg)

#### Architectural Renderings: Main Corner

*page 21 of 29* p: 414.273.8230

![](_page_33_Picture_0.jpeg)

#### Architectural Renderings: North Facade

*page 22 of 29* p: 414.273.8230

![](_page_34_Picture_1.jpeg)

#### Architectural Renderings: North-West Facade

page 23 of 29 p: 414.273.8230

![](_page_35_Picture_1.jpeg)

#### Architectural Renderings: Juneau+Jackson Intersection

page 24 of 29 p: 414.273.8230

![](_page_36_Picture_0.jpeg)

#### Architectural Renderings: Cafe

*page 25 of 29* p: 414.273.8230

![](_page_37_Picture_0.jpeg)

#### Architectural Renderings: Cafe

*page 26 of 29* p: 414.273.8230

![](_page_38_Picture_0.jpeg)

#### Architectural Renderings: Facade Lights

*page 27 of 29* p: 414.273.8230

![](_page_39_Picture_0.jpeg)

#### Architectural Renderings: Townhouse Entry

*page 28 of 29* p: 414.273.8230

#### Architectural Renderings: Townhouse Garden Wall

![](_page_40_Picture_1.jpeg)

*page 29 of 29* p: 414.273.8230