

Rose Residence - 2415 E Wyoming Pl.



1. Property Info:  
Address: 2411/2415 E Wyoming Place  
Tax Key: 3560116000  
Existing Lot Area: 13,596 sf  
Proposed Lot Area (see CSM): 13,784 sf
2. Zoning District: **RT2**, Single/Two Family Residential District.  
**Attached Housing Note:** Per 295-505.2(c-1) Limited Use Standards, in an RT2 not more than two single-family housing may be attached.
3. Setbacks:  
Front (North, along E. Wyoming Pl.) : average **No Change**, **Complies**  
Side (West) = **No Change** **Proposed**  
Side (East), 0' **Does not Comply**, **However see note above regarding Attached Housing**  
Rear: 0' **No Change** **Proposed**
4. Lot Coverage - Corner Lot:  
Principal Building Maximum 30%  
Accessory Building Maximum 15%  
Existing Residence = 2,750 sf / 13,784 sf = 20% **Complies**  
Existing Garage (to be Demolished) = 343 sf / 13,784 sf = 2.5%  
\*\*\*\*\*  
**Proposed Garage** = 480 sf / 13,784 sf = 3.5% < 15% **Complies** (295-505-3-f-9)



KCB  
ARCHITECTURE  
& DESIGN  
100 E. Wisconsin Ave. #205  
Milwaukee, WI 53202  
(414) 261-8956  
admin@kccbbuildings.com

2415 E Wyoming Pl. -  
New/Proposed Replacement  
Garage

Doug Rose

2415 E Wyoming Pl  
Milwaukee, WI 53202

[illegible]

Contractor to field verify all dimensions, levels and datums prior to starting the work. Any discrepancies or omissions shall be reported to the General Contractor and/or Architect.

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# Cover Sheet & Site Information

Date 03/26/2025

A.001

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### E. WYOMING PLACE



## 2 Proposed Site Plan

Lot 6, the Easterly 90 feet of Lots 4 & 5, the Northerly 30 feet of the Easterly 90 feet of Lot 3, and the Northerly 15 feet of Lot 7, in Block 5 of "Glidden & Lockwood's Addition" in the West 100 acres of the Northwest 1/4 of Section 22, Township 7 North, Range 22 East, in the City of Milwaukee, County of Milwaukee, State of Wisconsin.



EROSION CONTROL BARRIER - SEDIMENT/SILT FENCE	
ALL ELEV. DERIVED FROM SURVEY - SEE SURVEY	
SITE DRAINAGE DIRECTION	
DOWNSPOUT LOCATION	

1. THE FINISHED GRADE OF THE SOIL SHALL SLOPE AWAY FROM THE DWELLING AT A RATE OF AT LEAST 1/2" PER FOOT FOR A MINIMUM DISTANCE OF 10 FEET, OR TO THE LOT LINE, WHICHEVER IS LESS.

2. WHERE LAND DISTURBING CONSTRUCTION ACTIVITIES ARE TO OCCUR EROSION CONTROL AND SEDIMENT CONTROL PRACTICES SHALL BE EMPLOYED, AS NECESSARY, AND MAINTAINED TO PREVENT OR REDUCE THE POTENTIAL DEPOSITION OF SOIL OR SEDIMENT TO ADJACENT PROPERTIES, INCLUDING:

- ONTO STREETS BY VEHICLES
- FROM DISTURBED AREAS INTO ON-SITE STORM WATER INLETS
- INTO ADJUTING WATERS
- DRAINAGE WAYS THAT FLOW OFF THE SITE
- DISCHARGE FROM DE-WATERING ACTIVITIES
- DISCHARGE FROM SOIL STOCKPILES EXISTING FOR MORE THAN 7 DAYS

3. LAND DISTURBING CONSTRUCTION ACTIVITIES, EXCEPT THOSE ACTIVITIES NECESSARY TO IMPLEMENT EROSION OR SEDIMENT CONTROL PRACTICES, MAY NOT BEGIN UNTIL THE END OF THE SEDIMENT CONTROL PERIOD.

4. EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE MAINTAINED UNTIL THE DISTURBED AREAS ARE STABILIZED. THE DISTURBED AREA SHALL BE CONSIDERED STABILIZED WHEN THE FOLLOWING CRITERIA ARE MET:

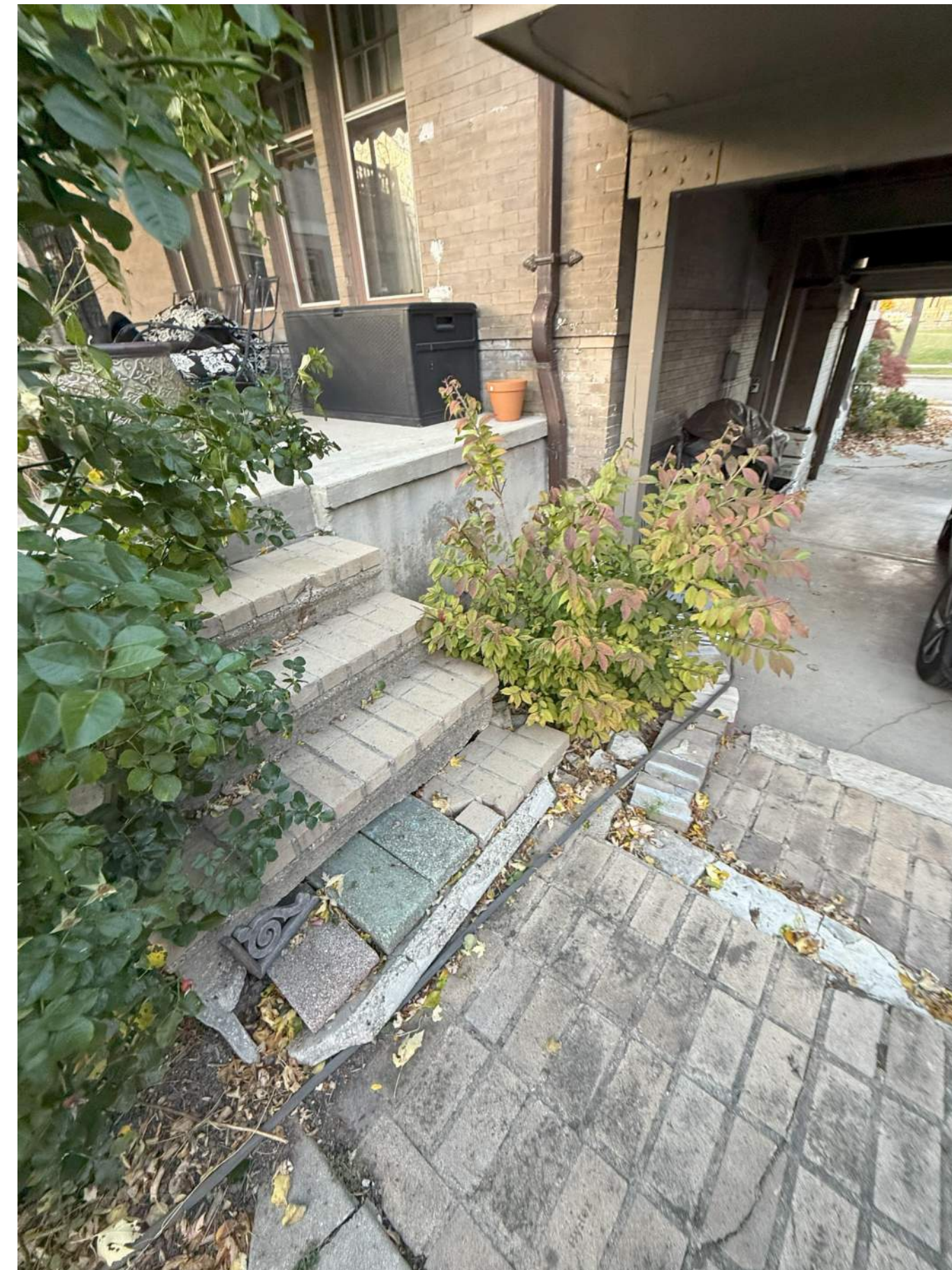
- OFF-SITE SEDIMENT DEPOSITION RESULTING FROM THE FAILURE OF AN EROSION OR SEDIMENT CONTROL PRACTICE SHALL BE CLEANED UP BY THE END OF THE NEXT DAY.
- OFF-SITE SOIL DEPOSITION RESULTING FROM CONSTRUCTION ACTIVITY THAT CREATES A NUISANCE, SHALL BE CLEANED UP BY THE END OF THE WORK DAY.

5. THE DISTURBED AREA SHALL BE REVEGETATED WITHIN 90 DAYS OF THE END OF THE SEDIMENT CONTROL PERIOD. REVEGETATION SHALL BE COMPLETED IN WR15.10.

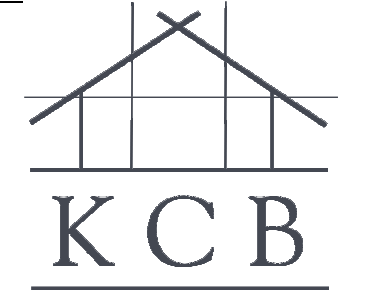




EXISTING CONDITION PHOTOGRAPHS



ARCHITECT:



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PROJECT:

2415 E Wyoming Pl. -  
New/Proposed Replacement  
Garage

OWNER:

Doug Rose

PROJECT ADDRESS:

2415 E Wyoming Pl  
Milwaukee, WI 53202

Drawing Issuance Schedule:

[illegible]

General Notes:

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Stamp:



Sheet Title:

Existing Condition  
Photographs

Scale

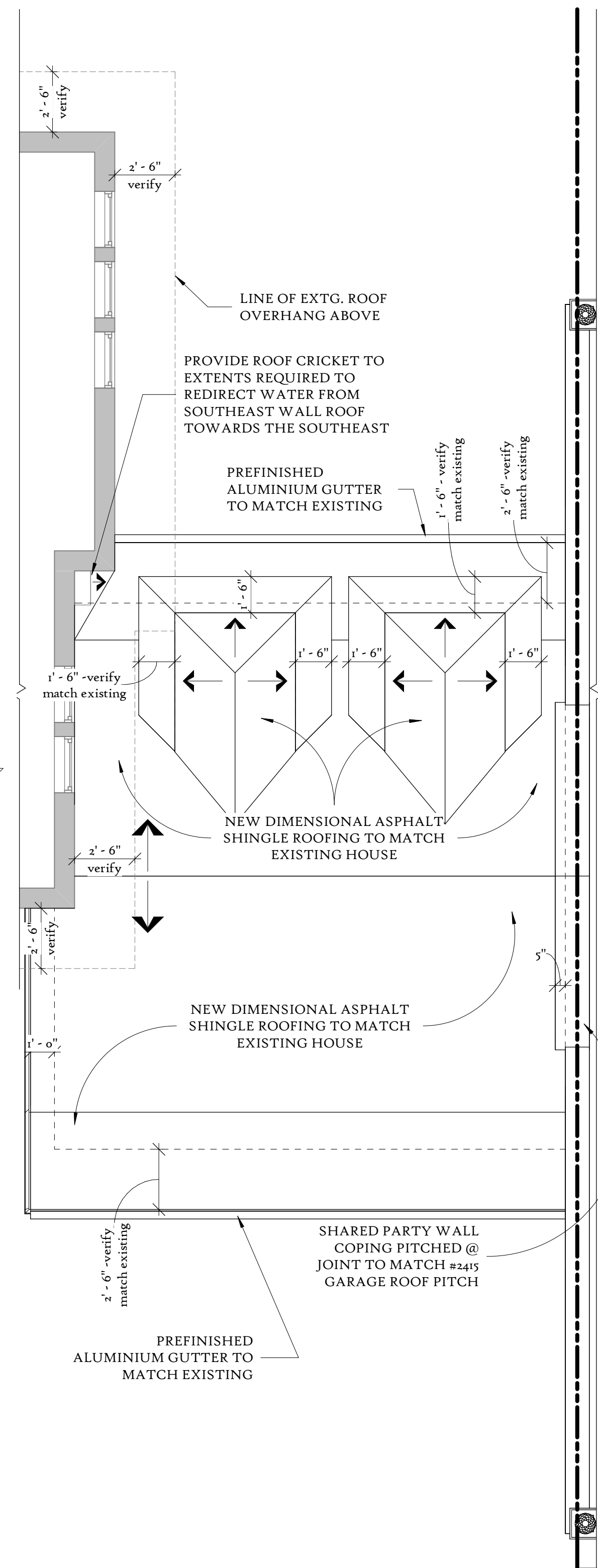
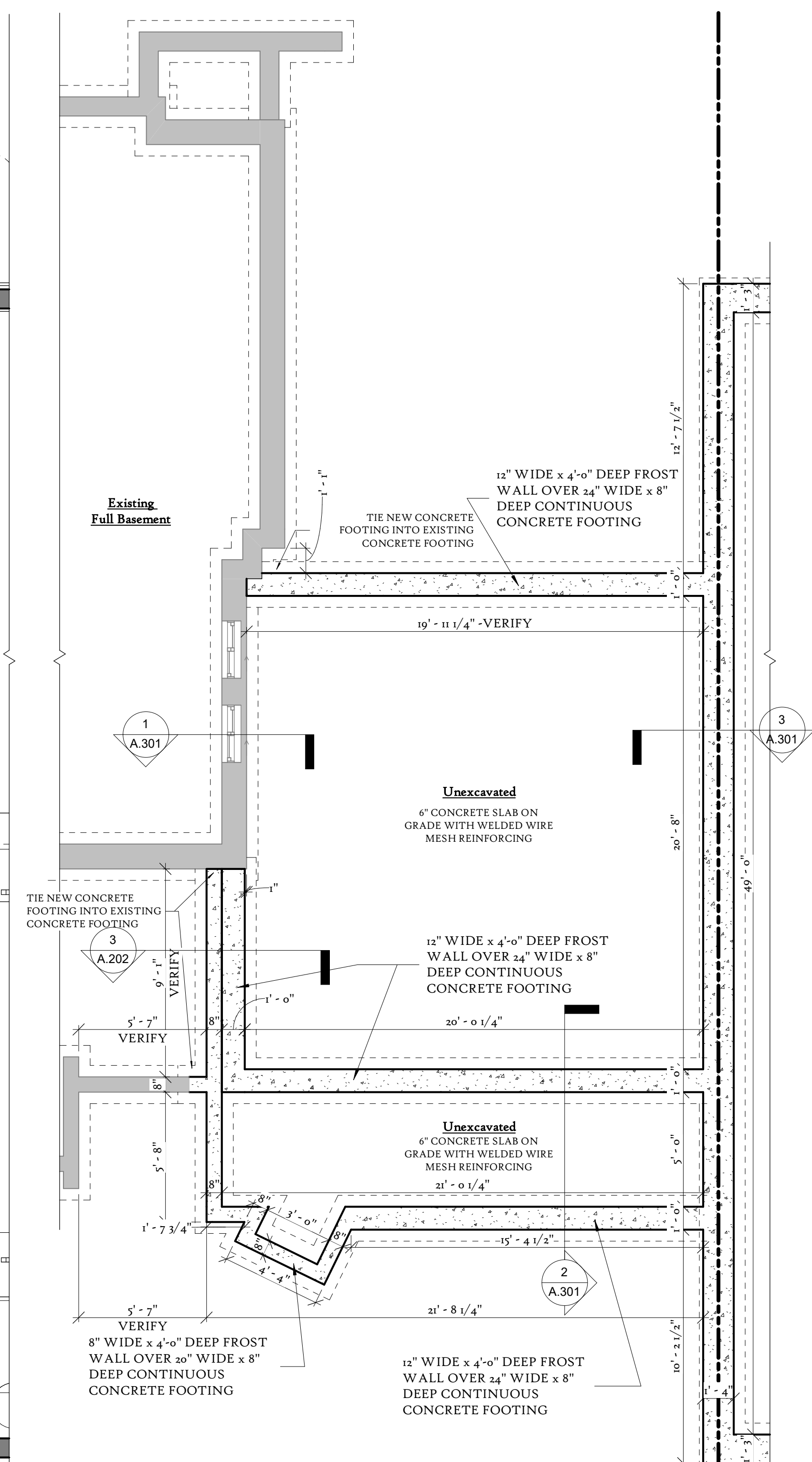
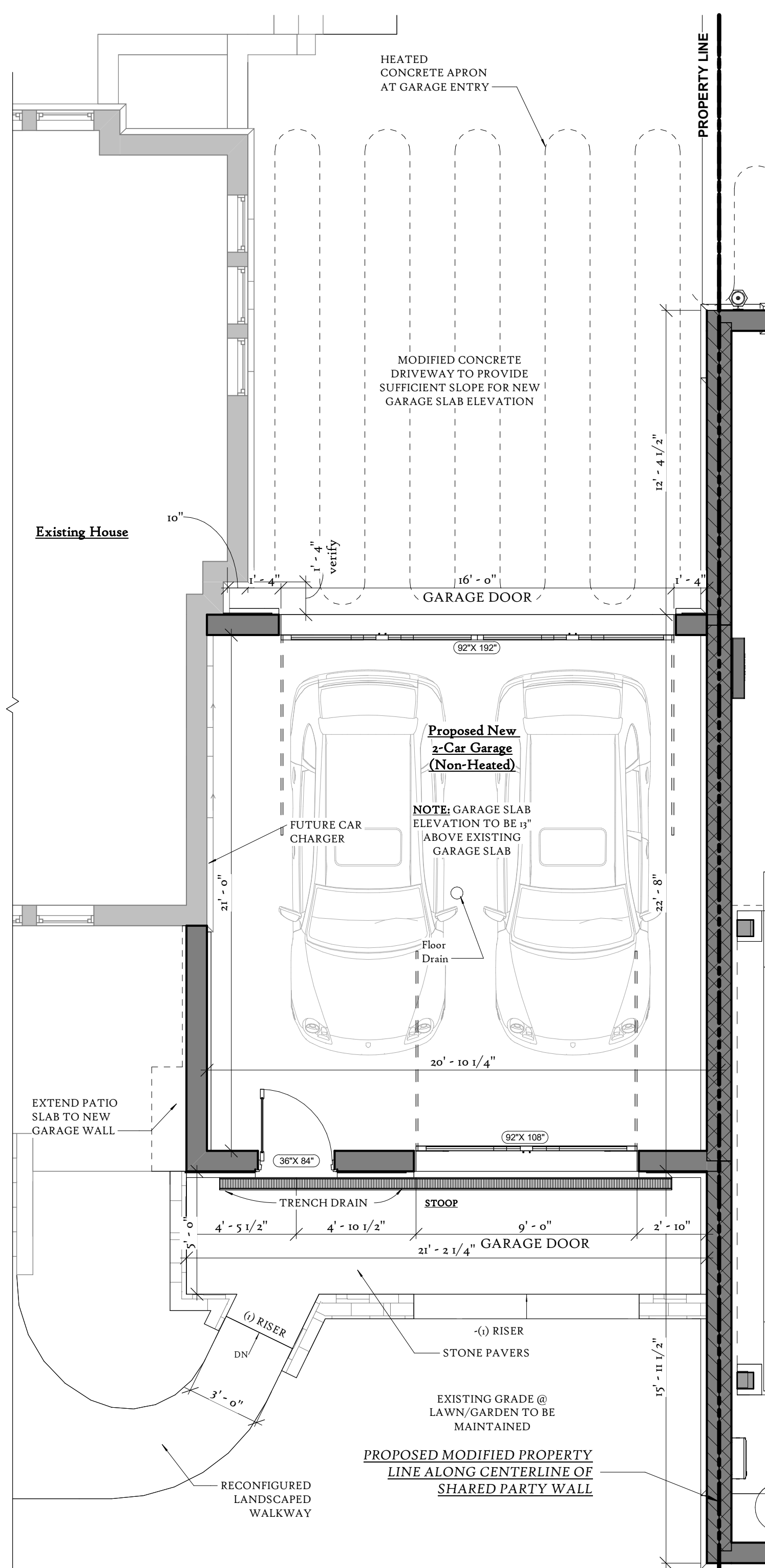
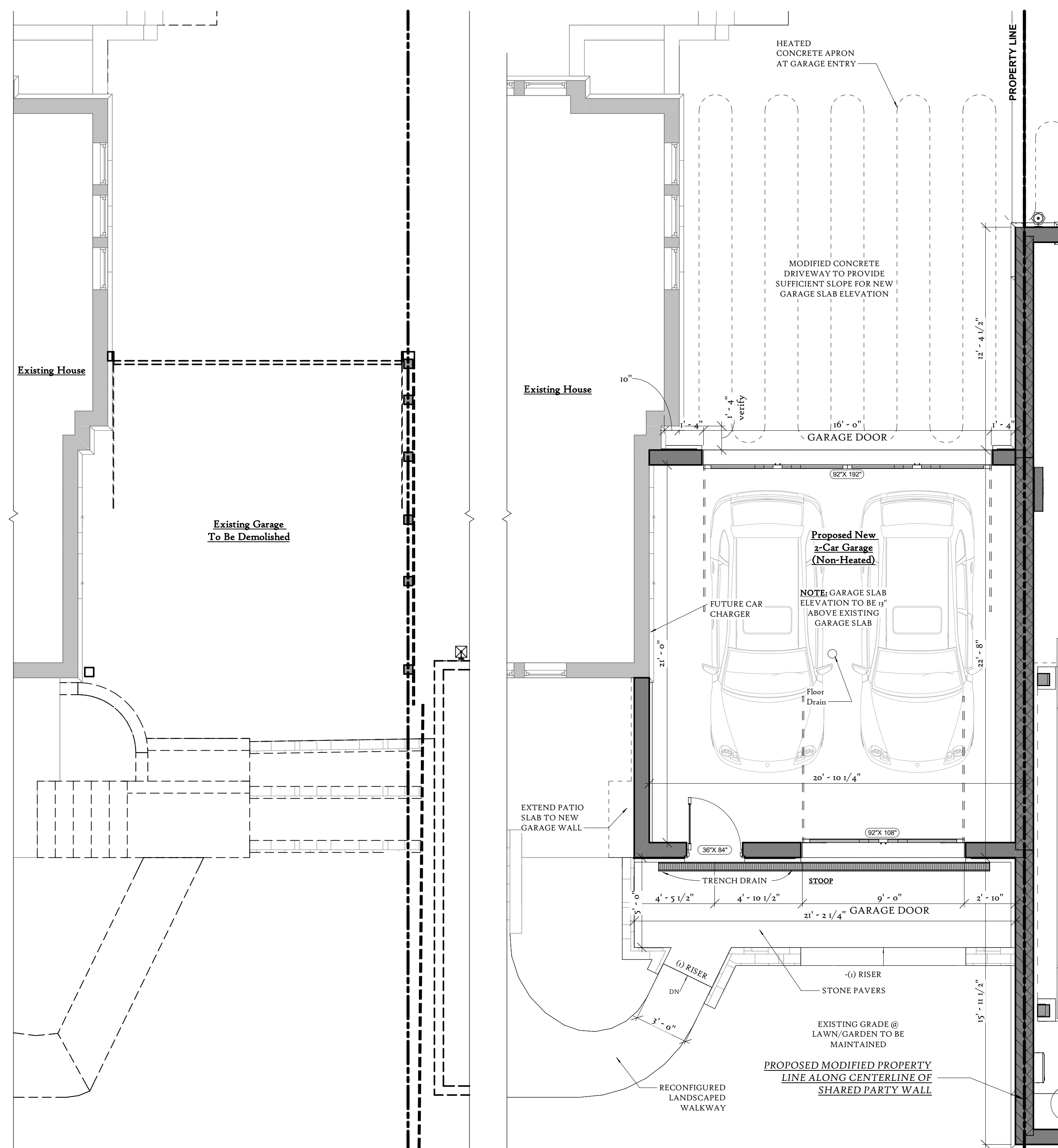
Date 03/26/2025

Sheet No.

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Window Schedule						
Tag	Window Type	Height	Width	Sill Height	Head Height	Notes
0101	Window-Double-Hung	3' - 4"	2' - 0"	11' - 0"	14' - 4"	VERIFY, MATCH EXTG. DORMER WINDOWS
0102	Window-Double-Hung	3' - 4"	2' - 0"	11' - 0"	14' - 4"	VERIFY, MATCH EXTG. DORMER WINDOWS
Grand total: 2						

1. VERIFY ROUGH OPENING SIZES W/ WINDOW VENDOR

1. FINAL DOWNSPOUT LOCATIONS TBD W/ GC IN ACCORDANCE WITH SITE DRAINAGE PLAN.

- ① NEW BRICK AND MORTAR COLOR/SIZE AND TEXTURE TO MATCH EXISTING HOUSE
- ② DORMERS AND ROOF EAVES/SOFFIT DETAILS TO MATCH EXISTING RESIDENCE
- ③ BRICK AND CUT STONE ACCENTS/DETAILS TO MATCH EXISTING RESIDENCE
- ④ NEW DIMENSIONAL ASPHALT SHINGLE ROOFING TO MATCH EXISTING RESIDENCE
- ⑤ STONE COPING AT PARTY WALL PITCHED TO MATCH #2449 GARAGE ROOF PITCH AT JOINT
- ⑥ NEW PAINTED WOOD FASCIA BOARD TO MATCH EXISTING HOUSE
- ⑦ NEW PREFINISHED ALUMINUM GUTTER, COLOR & STYLE TO MATCH EXISTING HOUSE GUTTERS
- ⑧ COMPOSITE OVERLAY OVERHEAD SECTIONAL GARAGE DOOR
- ⑨ COMPOSITE OVERLAY OVERHEAD SECTIONAL UTILITY DOOR
- ⑩ DECORATIVE WOOD RAFTER TAILS TO MATCH EXISTING
- ⑪ BRICK AND MORTAR TO MATCH EXISTING #2449 RESIDENCE
- ⑫ ¾" LITE FIBERGLASS DOOR
- ⑬ NEW LIGHT FIXTURE

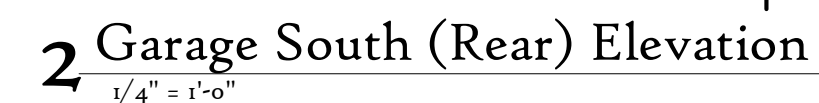
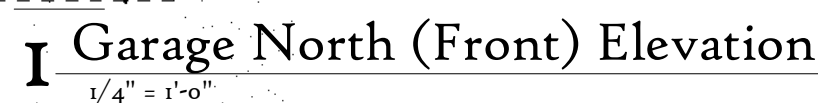
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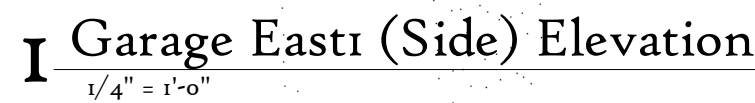
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A.201

“*It is a very good idea to have a good idea of what you want to do, and to have a good idea of what you want to do, and to have a good idea of what you want to do.*”







- 1 NEW BRICK AND MORTAR COLOR/SIZE AND TEXTURE TO MATCH EXISTING HOUSE
- 2 DORMERS AND ROOF EAVES/SOFFIT DETAILS TO MATCH EXISTING RESIDENCE
- 3 BRICK AND CUT STONE ACCENTS/DETAILS TO MATCH EXISTING RESIDENCE
- 4 NEW DIMENSIONAL ASPHALT SHINGLE ROOFING TO MATCH EXISTING RESIDENCE
- 5 STONE COPING AT PARTY WALL PITCHED TO MATCH #2415 GARAGE ROOF PITCH AT JOINT
- 6 NEW PAINTED WOOD FASCIA BOARD TO MATCH EXISTING HOUSE
- 7 NEW PREFINISHED ALUMINUM GUTTER, COLOR & STYLE TO MATCH EXISTING HOUSE GUTTERS
- 8 COMPOSITE OVERLAY OVERHEAD SECTIONAL GARAGE DOOR
- 9 COMPOSITE OVERLAY OVERHEAD SECTIONAL UTILITY DOOR
- 10 DECORATIVE WOOD RAFTER TAILS TO MATCH EXISTING
- 11 BRICK AND MORTAR TO MATCH EXISTING # 2419 RESIDENCE
- 12 3/4" LITE FIBERGLASS DOOR
- 13 NEW LIGHT FIXTURE

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Drawing Issuance Schedule:

[illegible]

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Stamp:



Sheet Title:

## Exterior Elevations & Wall Section

Scale	As indicated
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Date	03/26/2025
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Sheet No. \_\_\_\_\_

A.202

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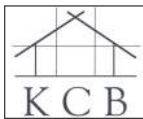




K/10/2000 received DM



I Garage North (Front) Elevation  
1/8" = 1'-0"



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## 2415 E Wyoming Pl. - New/Proposed Replacement Garage

HPC - REQUESTED DOCUMENTATION

Project Address:  
2415 E Wyoming Pl  
Milwaukee, WI 53202

Full Front Elevation  
A.401

Scale: 1/8" = 1'-0"  
03/26/2025



EXTERIOR MATERIALS,  
FINISHES, AND FIXTURES

- 1 NEW BRICK AND MORTAR COLOR/SIZE AND TEXTURE TO MATCH EXISTING HOUSE
- 2 DORMERS AND ROOF EAVES/SOFFIT DETAILS TO MATCH EXISTING RESIDENCE
- 3 BRICK AND CUT STONE ACCENTS/DETAILS TO MATCH EXISTING RESIDENCE
- 4 NEW DIMENSIONAL ASPHALT SHINGLE ROOFING TO MATCH EXISTING RESIDENCE
- 5 STONE COPING AT PARTY WALL PITCHED TO MATCH #2415 GARAGE ROOF PITCH AT JOINT
- 6 NEW PAINTED WOOD FASCIA BOARD TO MATCH EXISTING HOUSE
- 7 NEW PREFINISHED ALUMINUM GUTTER, COLOR & STYLE TO MATCH EXISTING HOUSE GUTTERS
- 8 COMPOSITE OVERLAY OVERHEAD SECTIONAL GARAGE DOOR
- 9 COMPOSITE OVERLAY OVERHEAD SECTIONAL UTILITY DOOR
- 10 DECORATIVE WOOD RAFTER TAILS TO MATCH EXISTING
- 11 BRICK AND MORTAR TO MATCH EXISTING # 2429 RESIDENCE
- 12 3/4 LITE FIBERGLASS DOOR
- 13 NEW LIGHT FIXTURE



2415 E Wyoming Pl. - New/Proposed Replacement Garage

HPC - REQUESTED DOCUMENTATION



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Project Address:  
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Materials, Finishes & Fixtures  
A.402  
Scale:  
03/26/2025



EXTERIOR MATERIALS,  
FINISHES, AND FIXTURES

- 1
- NEW BRICK AND MORTAR COLOR/SIZE AND TEXTURE TO MATCH EXISTING HOUSE
- 2
- DORMERS AND ROOF EAVES/SOFFIT DETAILS TO MATCH EXISTING RESIDENCE
- 3
- BRICK AND CUT STONE ACCENTS/DETAILS TO MATCH EXISTING RESIDENCE
- 4
- NEW DIMENSIONAL ASPHALT SHINGLE ROOFING TO MATCH EXISTING RESIDENCE
- 5
- STONE COPING AT PARTY WALL PITCHED TO MATCH #2415 GARAGE ROOF PITCH AT JOINT
- 6
- NEW PAINTED WOOD FASCIA BOARD TO MATCH EXISTING HOUSE
- 7
- NEW PREFINISHED ALUMINUM GUTTER, COLOR & STYLE TO MATCH EXISTING HOUSE GUTTERS
- 8
- COMPOSITE OVERLAY OVERHEAD SECTIONAL GARAGE DOOR
- 9
- COMPOSITE OVERLAY OVERHEAD SECTIONAL UTILITY DOOR
- 10
- DECORATIVE WOOD RAFTER TAILS TO MATCH EXISTING
- 11
- BRICK AND MORTAR TO MATCH EXISTING # 2429 RESIDENCE
- 12
- 3/4 LITE FIBERGLASS DOOR
- 13
- NEW LIGHT FIXTURE

8

C.H.I. COMPOSITE  
OVERLAY SECTIONAL  
OVERHEAD DOORS



FIBERGLASS OVERLAY CARRIAGE HOUSE



PROPOSED OPTION

TOP SECTION DESIGNS

Squared Top

Arched Top

DESIGNS

10

11

12

13

14

15

30

31

32

33

34

35

Shoreline<sup>®</sup> ACCENTS WOODTONES<sup>1</sup>

Walnut

Driftwood

Cedar

Dark Oak

Overlay Steel and Fiberglass<sup>2</sup> COLORS<sup>3</sup>

White

Almond

Sandstone

Bronze

Black [Steel only]

Shoreline<sup>®</sup> and Overlay Steel<sup>®</sup> 2-TONE COLORS<sup>3</sup>

White Overlays [Steel only]

Black Overlays

Overlay Wood<sup>®</sup> WOOD<sup>3</sup>

Cedar

Mahogany

<sup>1</sup> Refer to your local C.H.I. Dealer for exact color, woodtones, and woodtype match.  
<sup>2</sup> Overlay face boards are always black for a 2-tone design.  
<sup>3</sup> Overlay face boards are always white or black for a 2-tone design.

PERSONALIZING OPTIONS

Some option shown may not be available on all models, refer to your local C.H.I. Dealer for details.

12

WAUDENA  
WESTON  
FIBERGLASS DOOR

WAUDENA<sup>®</sup>  
entrance systems

WESTON<sup>™</sup>  
BRUSHED SMOOTH  
FIBERGLASS SERIES

DOOR & SIDELITE STYLES

Customize your entryway to reflect your unique style. The Weston Series offers a variety of design options, each tailored to enhance your home's curb appeal.

TRADITIONAL STYLES

1

24

32

34

60

SHAKER STYLES

11F

24F

35

37F

61F

SALUTE STYLES

20-LE

201-LE

606F-LE-FLG

461FB-LE

38-LE

422F-LE-FLG

PROPOSED OPTION

Step into elegance with the Weston<sup>™</sup> Fiberglass Door Series. Enhance your home's entryway with unmatched quality, style, and peace of mind.

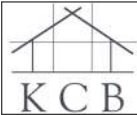
wardena.com

wardena<sup>®</sup> entrance systems

2415 E Wyoming Pl. - New/Proposed Replacement Garage

HPC - REQUESTED DOCUMENTATION

Project Address: 2415 E Wyoming Pl Milwaukee, WI 53202	Materials, Finishes & Fixtures A.403 Scale: 03/26/2025
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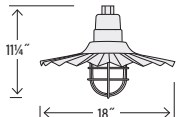
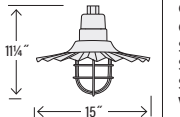

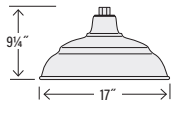
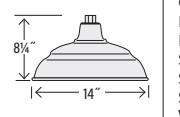


EXTERIOR MATERIALS,  
FINISHES, AND FIXTURES

- 1
- NEW BRICK AND MORTAR COLOR/SIZE AND TEXTURE TO MATCH EXISTING HOUSE
- 2
- DORMERS AND ROOF EAVES/SOFFIT DETAILS TO MATCH EXISTING RESIDENCE
- 3
- BRICK AND CUT STONE ACCENTS/DETAILS TO MATCH EXISTING RESIDENCE
- 4
- NEW DIMENSIONAL ASPHALT SHINGLE ROOFING TO MATCH EXISTING RESIDENCE
- 5
- STONE COPING AT PARTY WALL PITCHED TO MATCH #2415 GARAGE ROOF PITCH AT JOINT
- 6
- NEW PAINTED WOOD FASCIA BOARD TO MATCH EXISTING HOUSE
- 7
- NEW PREFINISHED ALUMINUM GUTTER, COLOR & STYLE TO MATCH EXISTING HOUSE GUTTERS
- 8
- COMPOSITE OVERLAY OVERHEAD SECTIONAL GARAGE DOOR
- 9
- COMPOSITE OVERLAY OVERHEAD SECTIONAL UTILITY DOOR
- 10
- DECORATIVE WOOD RAFTER TAILS TO MATCH EXISTING
- 11
- BRICK AND MORTAR TO MATCH EXISTING # 2429 RESIDENCE
- 12
- 3/4 LITE FIBERGLASS DOOR
- 13
- NEW LIGHT FIXTURE

13

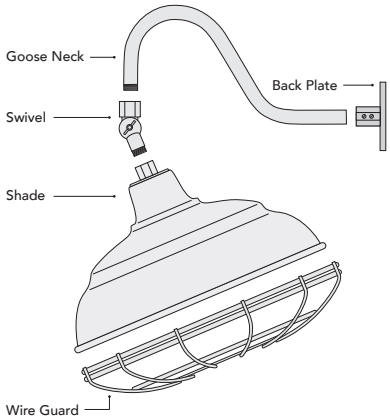
EXTERIOR  
LIGHT FIXTURE

#1 - Choose A Shade	#2 - Choose A Size		#3 - Choose A Finish
<b>RRWS</b> Radial Wave Shade	<b>RRWS18</b> 	<b>RRWS15</b> 	<b>ABR • Architectural Bronze</b> <b>CP • Copper</b> <b>GA • Galvanized</b> <b>SB • Satin Black</b> <b>SG • Satin Green</b> <b>SR • Satin Red</b> <b>WH • White</b>
	<b>RRWS12</b> 		
<b>RWHS</b> Warehouse Shade	<b>RWHS17</b> 	<b>RWHS14</b> 	



MILLENNIUM  
LIGHTING 11

HOW TO ASSEMBLE WITH GOOSE NECK

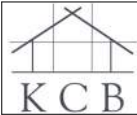


HOW TO ASSEMBLE WITH CANOPY



14 **R SERIES** | *experience the line*

HPC - REQUESTED DOCUMENTATION



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2415 E Wyoming Pl. - New/Proposed Replacement Garage

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Materials, Finishes & Fixtures  
A.404  
Scale:  
03/26/2025