

# CPC - RIVERWALK SPROZ EXHIBITS

03/12/2024

## The Edison

1005 North Edison Street,  
Milwaukee, WI  
HPA | Hartshorne Plunkard  
Architecture



THE  
NEUTRAL  
PROJECT

**C.D. SMITH**  
CONSTRUCTION

# INDEX

Existing Site Photos

Survey

Contextual Analysis

Site Plans

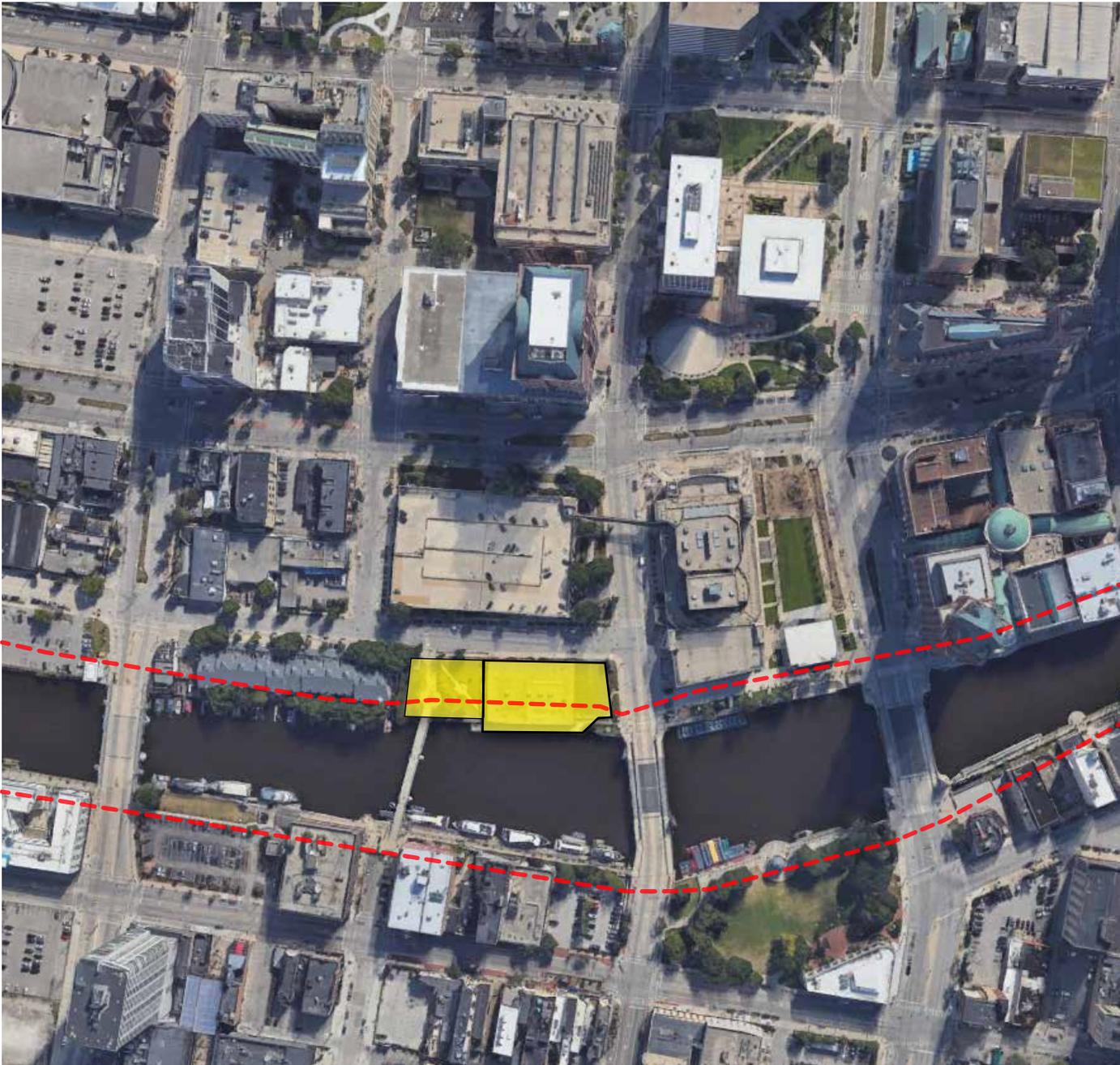
Landscape Documents

Riverwalk Connection Documents

Elevations / Sections

Renderings / Floor Plans





● RIVER OVERLAY DISTRICT

● RIVER OVERLAY DISTRICT

via Google





Edison looking West



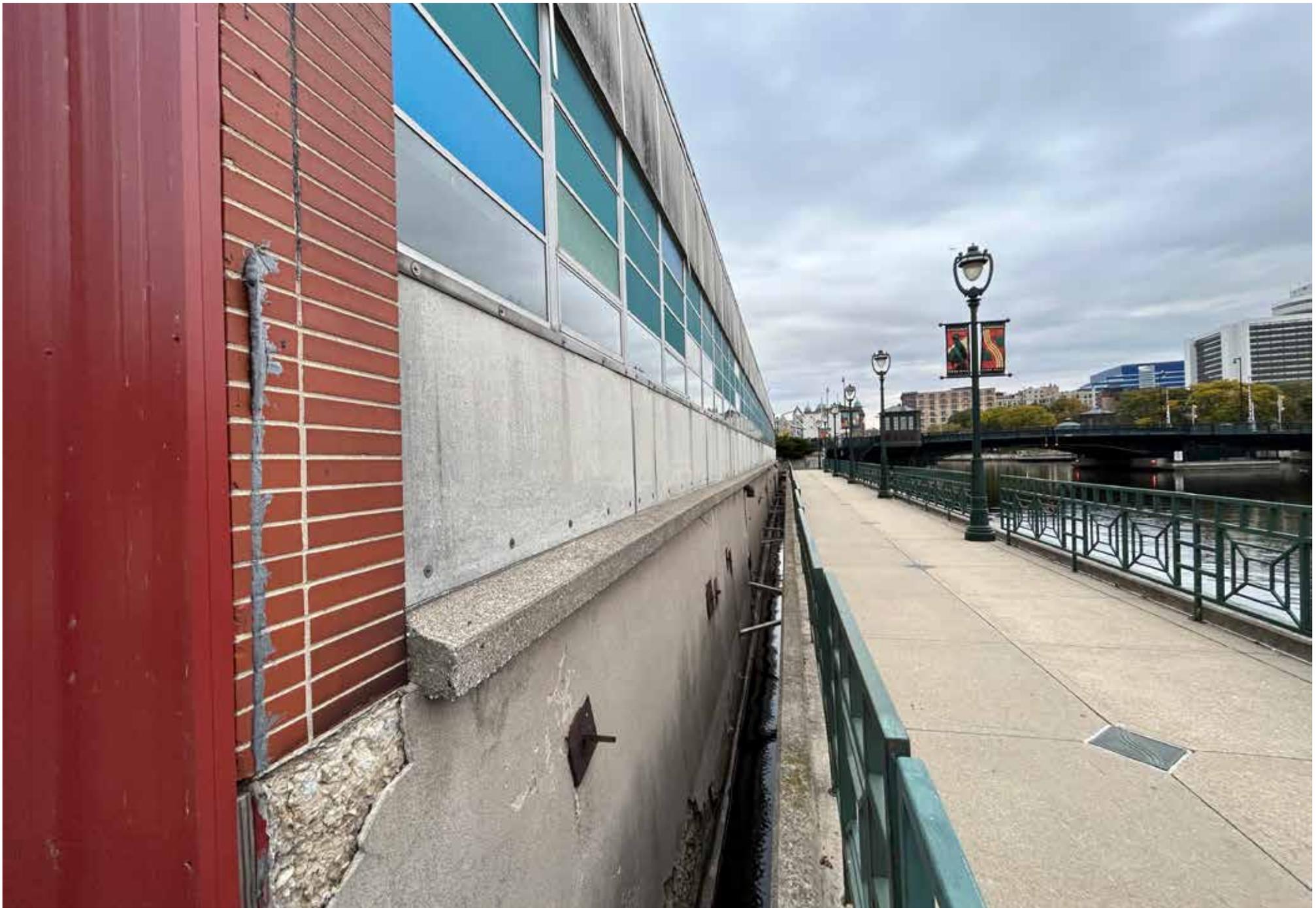
Edison looking West at Pedestrian Bridge



Edison looking Northwest at Pedestrian Bridge



Pedestrian Bridge looking Southeast at Riverwalk



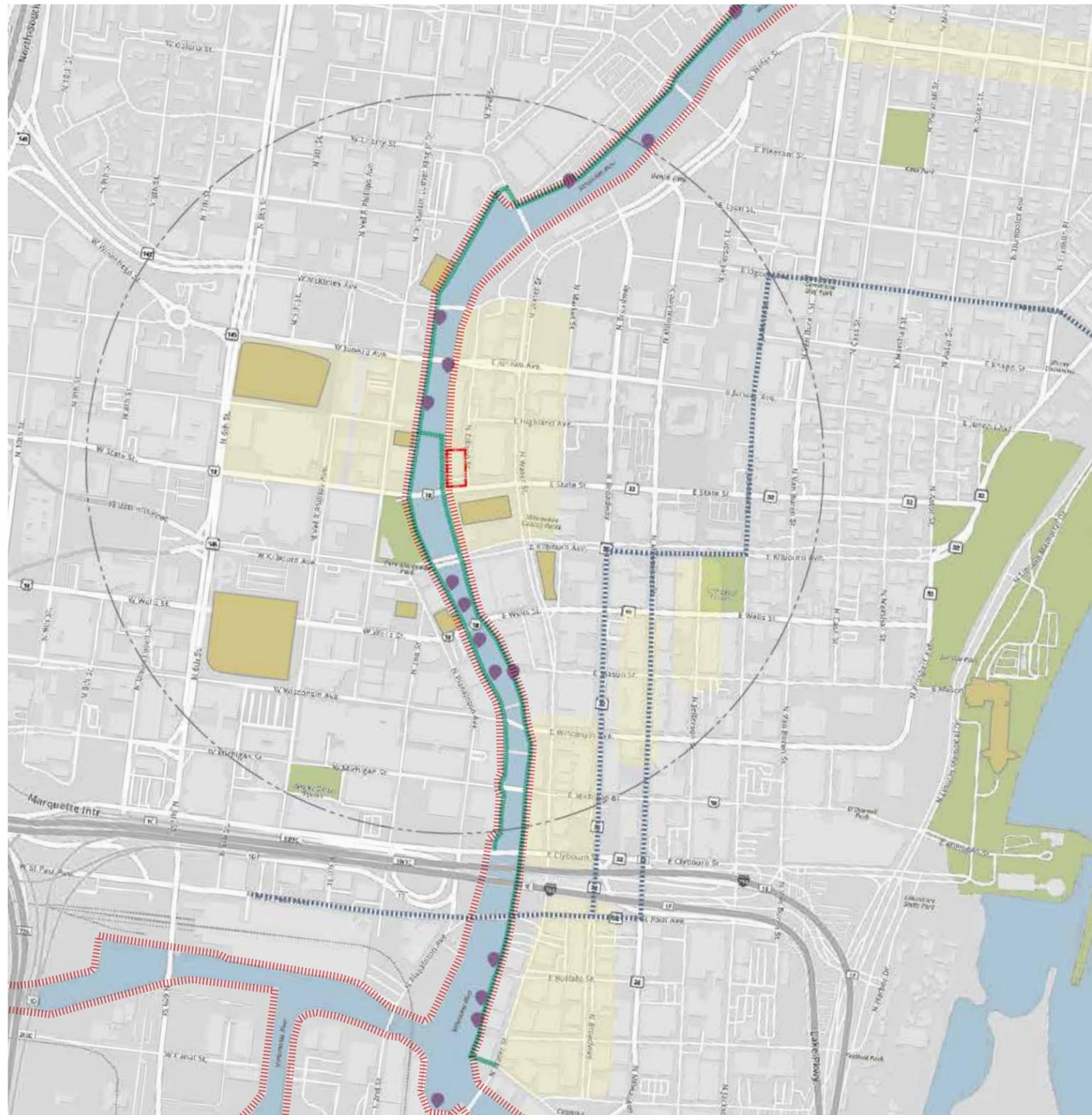
Existing Riverwalk at West of Previous Building (since demolished)







# CONTEXT ANALYSIS



## LEGEND

- RIVER OVERLAY DISTRICT
- 1/2 MILE RADIUS
- RIVERWALK
- STREETCAR
- DOCK
- ENTERTAINMENT DISTRICT
- ENTERTAINMENT BUILDING

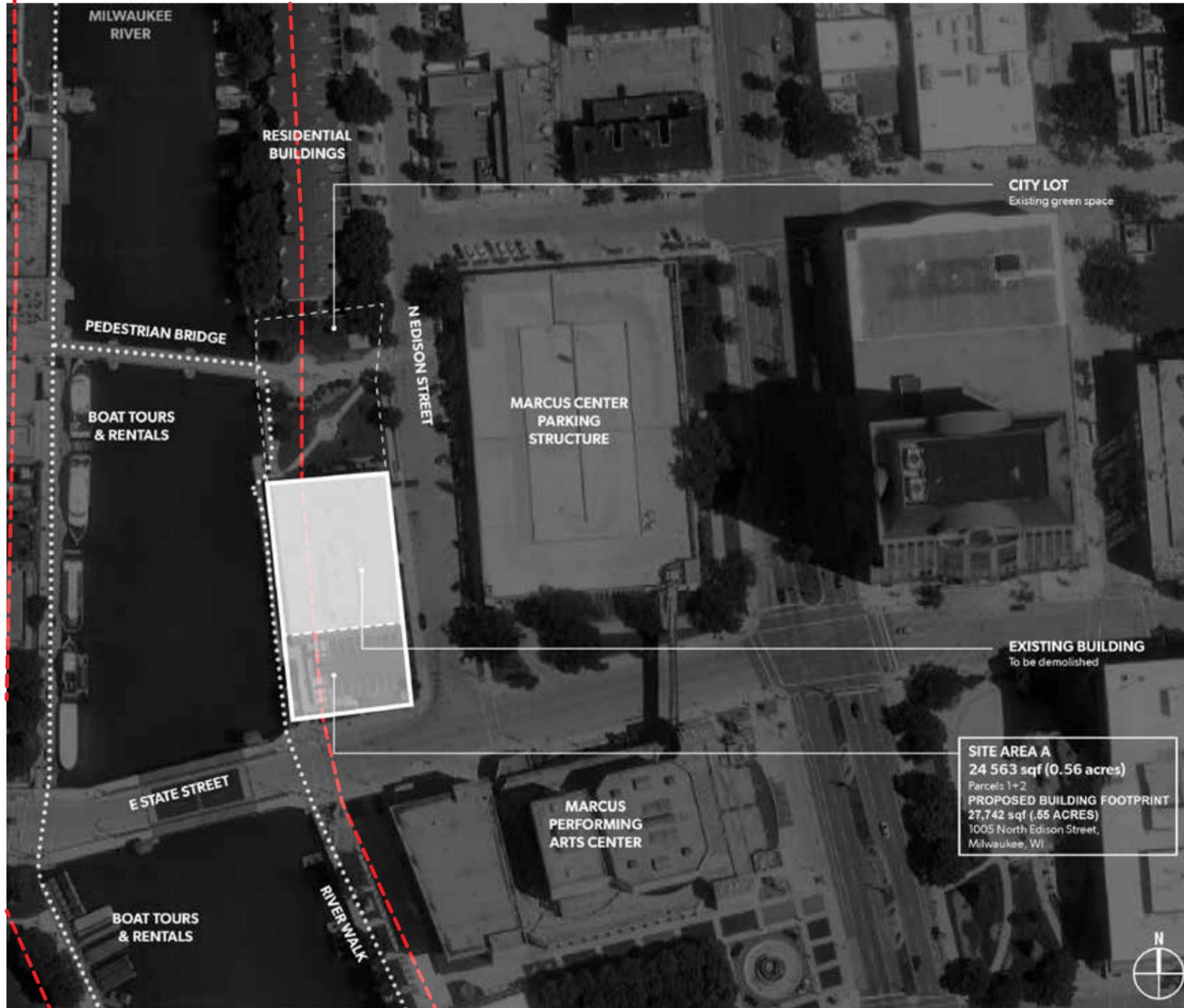




SITE CONTEXT

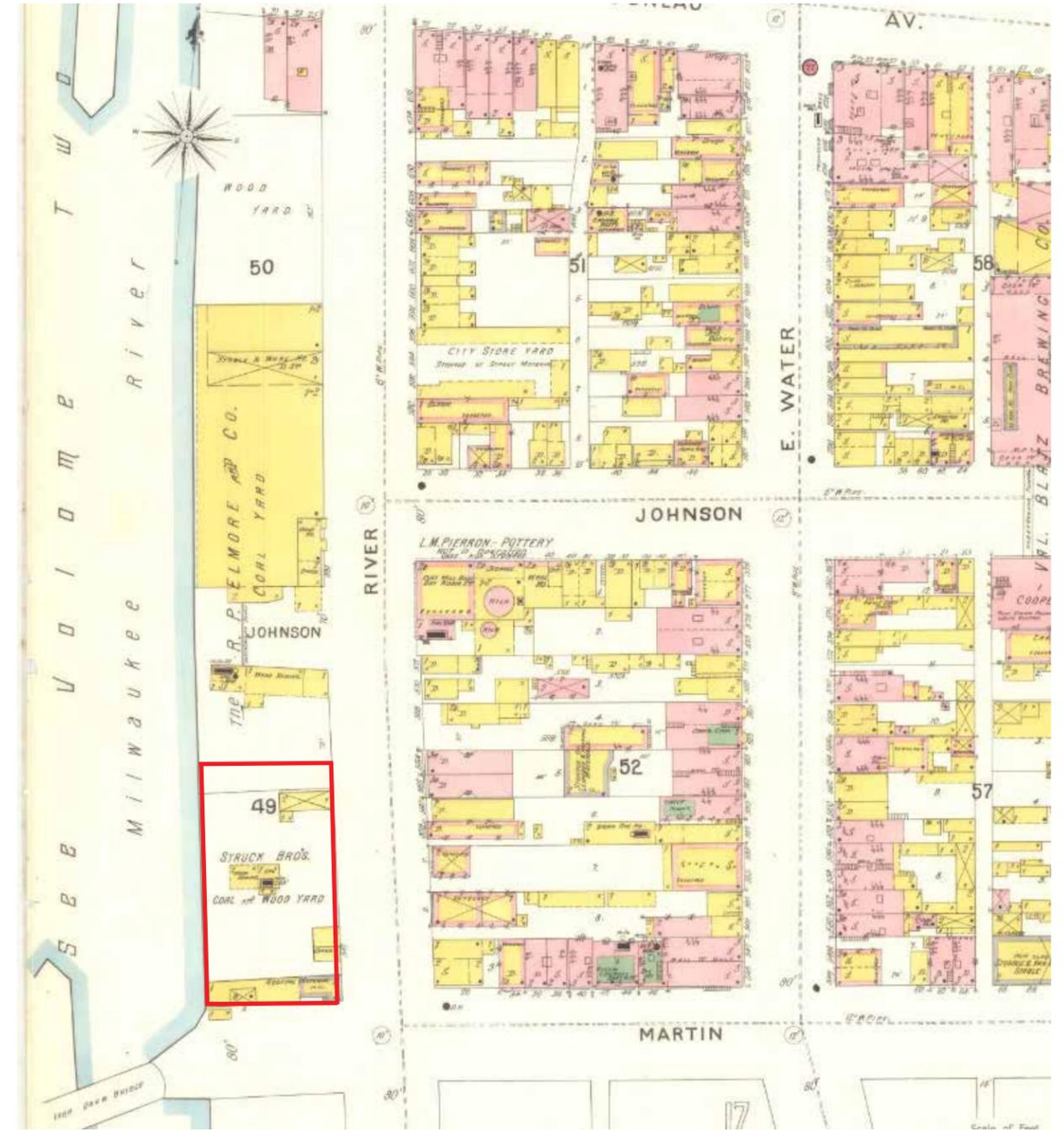
# SITE LOCATION

● RIVER OVERLAY DISTRICT



CURRENT MAP

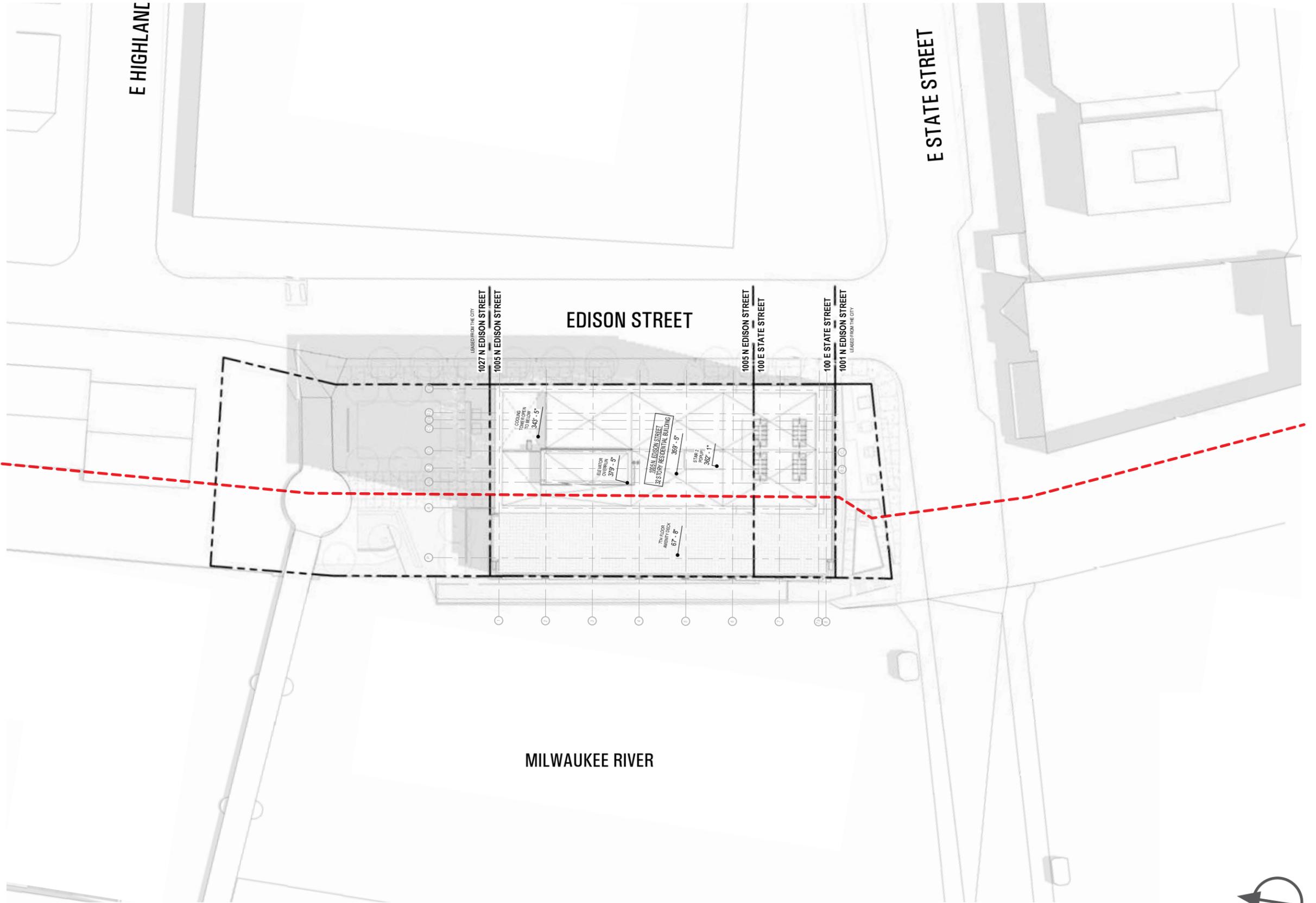
● RIVER OVERLAY DISTRICT



HISTORIC MAP



RIVER  
OVERLAY  
DISTRICT



# PROPOSED SITE PLAN

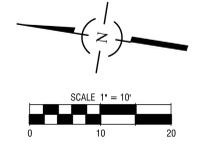


NEUTRAL PROJECT | CD SMITH

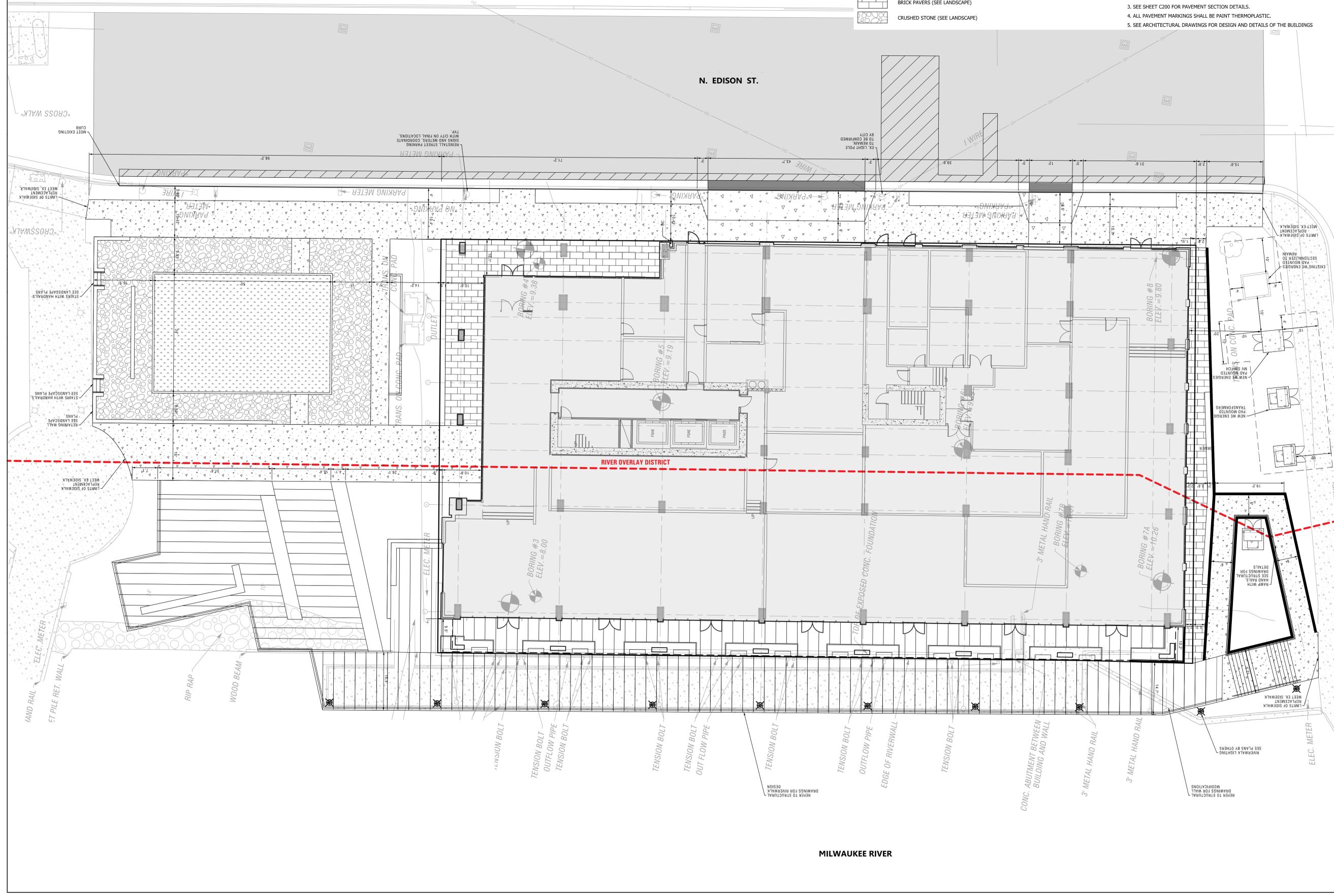




- LEGEND**
- 2" PAVEMENT RESTORATION
  - CONCRETE PAVEMENT OR APRON
  - CONCRETE SIDEWALK
  - PAVEMENT PATCH - FULL DEPTH
  - RIVER WALK (SEE LANDSCAPE)
  - RIVER WALK (SEE LANDSCAPE)
  - SYNTHETIC TURF
  - BRICK PAVERS (SEE LANDSCAPE)
  - CRUSHED STONE (SEE LANDSCAPE)
  - CONCRETE SIDEWALK  
HC RAMP (5" WIDE UNLESS NOTED)
  - REVERSE PITCH CURB
  - DEPRESSED CURB & GUTTER



- NOTES:**
1. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
  2. ALL CURBS AND GUTTERS ARE STANDARD REVERSED PITCH UNLESS OTHERWISE NOTED.
  3. SEE SHEET C200 FOR PAVEMENT SECTION DETAILS.
  4. ALL PAVEMENT MARKINGS SHALL BE PAINT THERMOPLASTIC.
  5. SEE ARCHITECTURAL DRAWINGS FOR DESIGN AND DETAILS OF THE BUILDINGS



AREA FOR CITY APPROVAL STAMP

ARCH. ELEV: 0'-0" = +9.50

Contractor shall be responsible for reviewing all Plans and Specifications, verifying all existing conditions prior to proceeding with Construction, complying with all applicable building codes, and notifying Architect immediately of any discrepancies or conflicts. Contractor shall construct the work in conformance with all applicable building codes.

Contractor is responsible for design and installation of properly sized and located systems. Submit shop drawings to architect for approval in conformity to Architectural design intent.

A written Architectural Specification was issued for this project and along with these printed documents constitute the Contract Documents for this project. Work scope pertains to all disciplines occurs throughout the Contract Documents. By submitting a bid for this work the Contractor and all subcontractors attest that they have reviewed the entire contract document set and site conditions and have included all applicable work. Additional Architectural Specification copies are available anytime upon request.

Harshome Plunkard, LLC shall retain all copyrights, statutory and common law right with regard to these plans and building design. Reproduction, changes or assignment to any third party shall not occur without obtaining express written permission and consent of Harshome Plunkard, LLC.

**THE EDISON**  
1005 NORTH EDISON STREET,  
MILWAUKEE, WISCONSIN 53202

DATE	ISSUED FOR
1 06/16/2023	PROGRESS SD
2 08/01/2023	PROGRESS SD
3 08/11/2023	PROGRESS SD
4 08/24/2023	100% SD
5 02/21/2024	WE ENERGIES

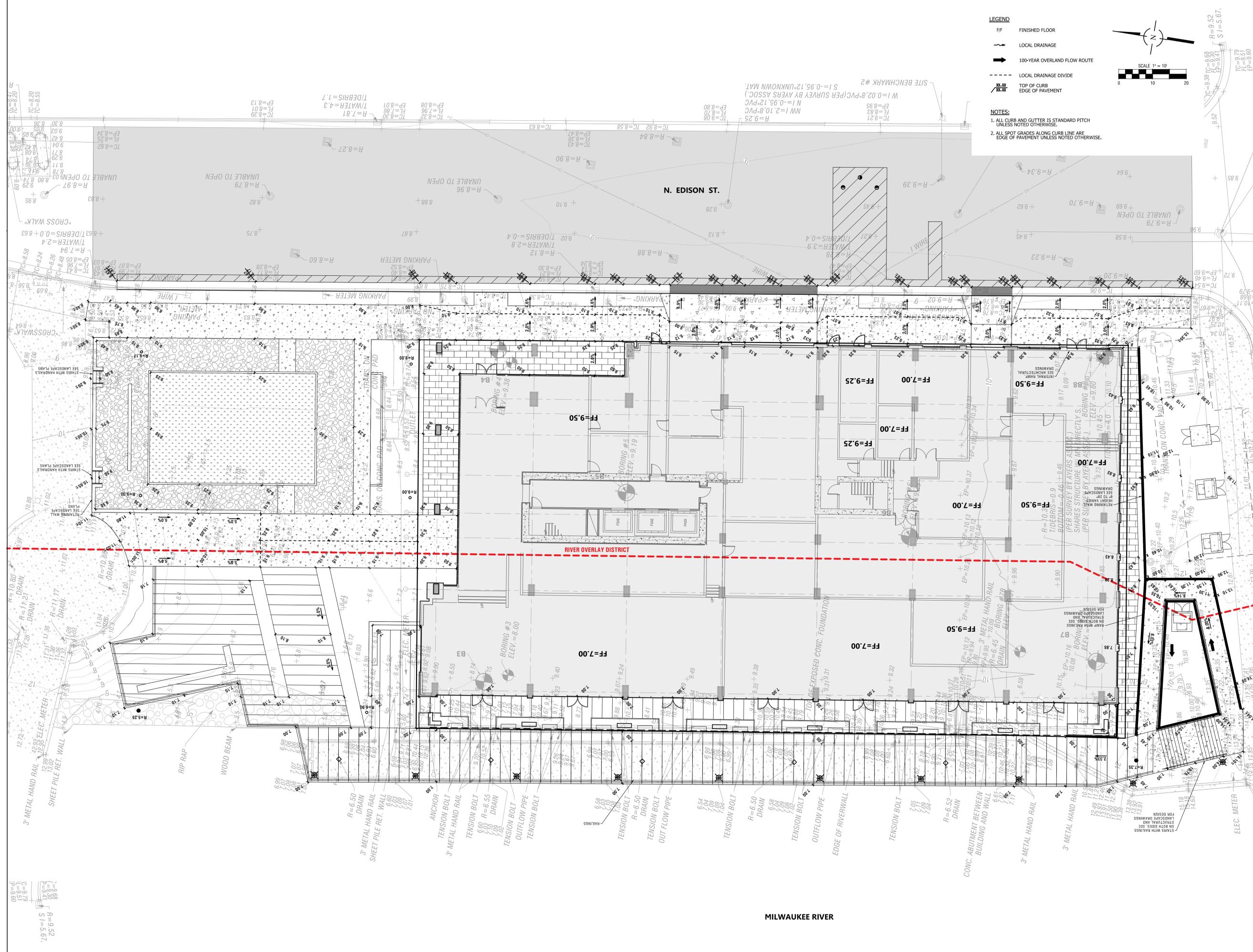
**SPACEO INC.**  
W. Higgins Road  
Suite 700,  
Rosemont  
Illinois 60018  
Ph: (847) 896-4060  
F: (847) 896-4065

PROJ. # 12416  
SCALE: As Indicated

**GEOMETRIC PLAN**

**C5.00**

MILWAUKEE RIVER

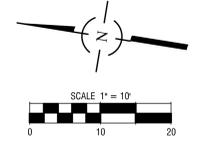


**LEGEND**

- FF FINISHED FLOOR
- LOCAL DRAINAGE
- 100-YEAR OVERLAND FLOW ROUTE
- LOCAL DRAINAGE DIVIDE
- TOP OF CURB
- EDGE OF PAVEMENT

**NOTES:**

1. ALL CURBS AND GUTTER IS STANDARD PITCH UNLESS NOTED OTHERWISE.
2. ALL SPOT GRADES ALONG CURB LINE ARE EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.



AREA FOR CITY APPROVAL STAMP

ARCH. ELEV: 0'-0" = +9.50

Contractor shall be responsible for reviewing all Plans and Specifications, verifying all existing conditions prior to proceeding with Construction, complying with all applicable building codes, and notifying Architect immediately of any discrepancies or conflicts. Contractor shall construct the work in conformance with all applicable building codes.

Contractor is responsible for design and installation of properly sized and loaded systems. Submit shop drawings to architect for approval on conformity to architectural design intent.

A written Architectural Specification was issued for this project and along with these printed documents constitute the Contract Documents for this project. Work scope pertains to all disciplines occurs throughout the Contract Documents by submitting a bid for this work the Contractor and all subcontractors shall that they have reviewed the entire contract document set and the conditions and have included all applicable work. Additional Architectural Specification copies are available anytime upon request.

Harshome Plunkard, LLC shall retain all copyrights, statutory and common law right with regard to these plans and building design. Reproduction, changes or assignment to any third party shall not occur without obtaining expressed written permission and consent of Harshome Plunkard, LLC.

**THE EDISON**  
1005 NORTH EDISON STREET,  
MILWAUKEE, WISCONSIN 53202

ISSUANCES	
DATE	ISSUED FOR
1/06/16/2023	PROGRESS SD
2/08/01/2023	PROGRESS SD
3/08/11/2023	PROGRESS SD
5/02/21/2024	WE ENERGIES

**SPARTACO INC.**

9575  
W. Higgins Road  
Suite 700,  
Rosemont  
Illinois 60018  
Ph: (847) 696-4060  
F: (847) 696-4065

PROJ. # 12416  
SCALE: As indicated

GRADING PLAN

C6.00

- Lobby
- Retail
- Back of House
- Parking
- Circulation

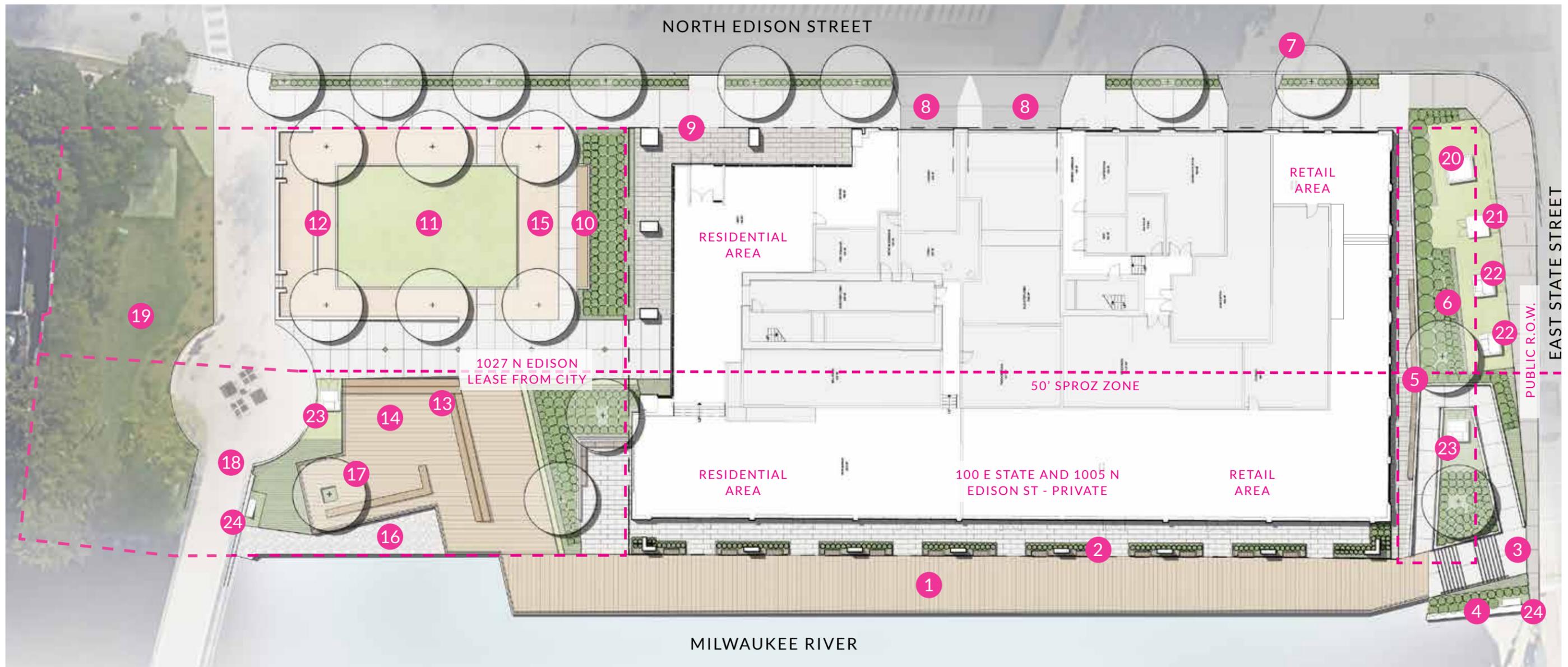


Scale: 1/32" = 1'-0"

GROUND FLOOR





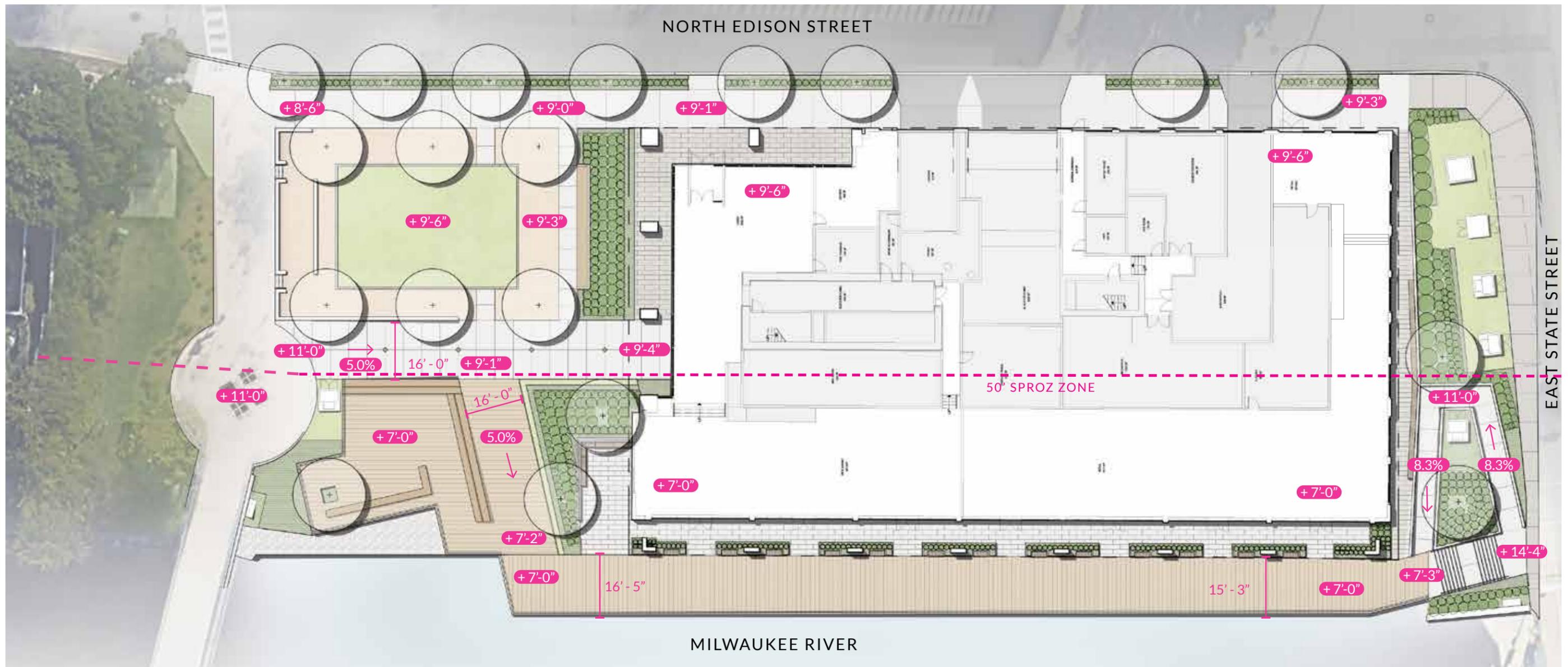


**LEGEND**

- |                               |                         |                                       |   |   |
|-------------------------------|-------------------------|---------------------------------------|---|---|
| 1 RIVERWALK                   | 6 SCREEN PLANTING       | 11 OPEN LAWN                          | 16 RIPRAP                                   | 21 MV SWITCH - BUILDING EQUIPMENT; NEW UNIT           |
| 2 RAISED PLANTERS AND BENCHES | 7 STREET TREE           | 12 FOCAL WALL                         | 17 EXISTING TREE                            | 22 TRANSFORMER - BUILDING EQUIPMENT; NEW UNIT         |
| 3 RIVERWALK STAIRS AND RAMP   | 8 GARAGE ENTRANCE       | 13 STADIUM SEATING                    | 18 EXISTING PEDESTRIAN BRIDGE               | 23 TRANSFORMER - CITY EQUIPMENT RELOCATED             |
| 4 HISTORIC WALL               | 9 PROPERTY LINE         | 14 OVERLOOK                           | 19 EXISTING PARK                            | 24 ELECTRIC METER - CITY EQUIPMENT EXSITING TO REMAIN |
| 5 FLOATING BENCH              | 10 WOOD BENCH SEAT WALL | 15 DECOMPOSED GRANITE WITH STABILIZER | 20 SECTIONALIZER - CITY EQUIPMENT TO REMAIN |   |

**SCHEMATIC DESIGN**  
THE EDISON | SCHEMATIC DESIGN

N.T.S. HDLA

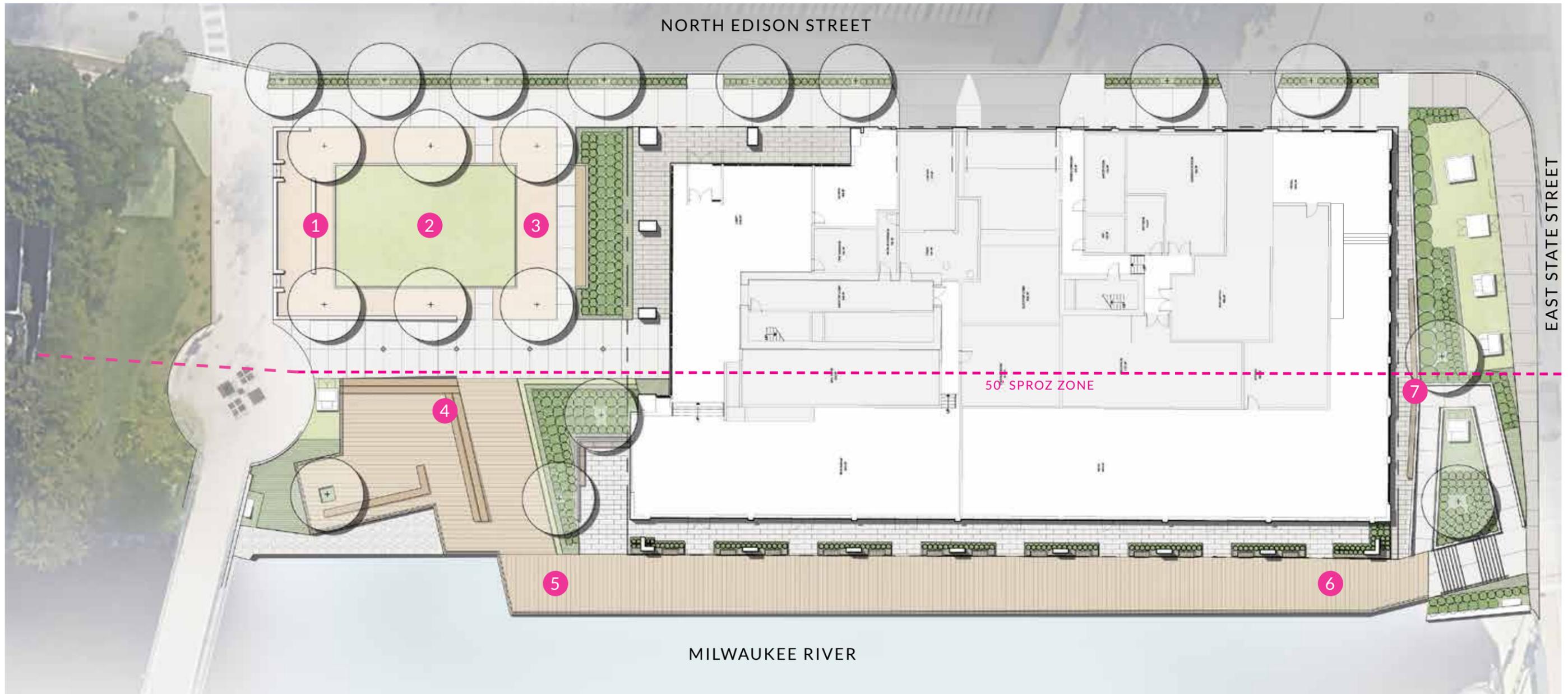


**LEGEND**

- 0' - 0"  $\longleftrightarrow$  DIMENSION
- +0' - 0" SPOT ELEVATION
- 0.0%  $\rightarrow$  SLOPE

**SCHEMATIC DESIGN**  
 THE EDISON | SCHEMATIC DESIGN GRADING

N.T.S.  $\ominus$  HDLA



**SCHEMATIC DESIGN**  
 THE EDISON | SCHEMATIC DESIGN & PRECEDENT IMAGERY

N.T.S.  HDLA



**WOOD DECK**  
along the river



**LANDSCAPE ELEMENTS**  
furnishing



**VERTICAL FIN DARK METAL RAILING**  
color and design to match existing



**LANDSCAPE ELEMENTS**  
Bollards with guard lights,  
planters



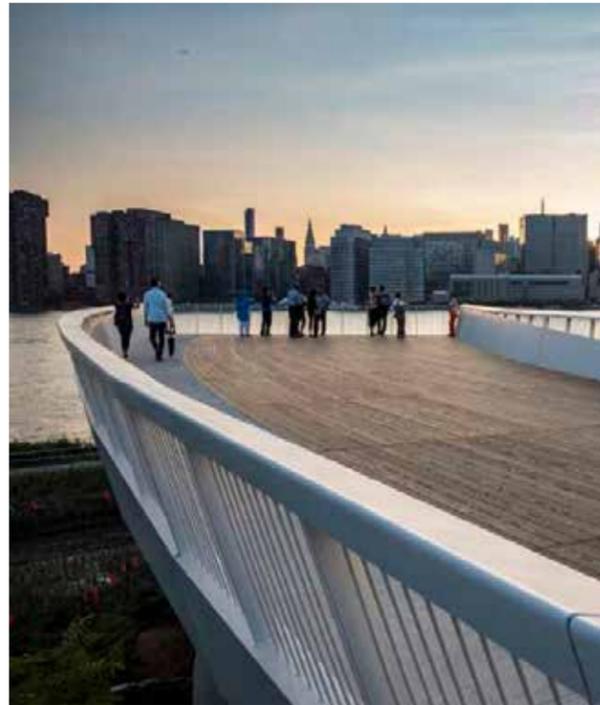
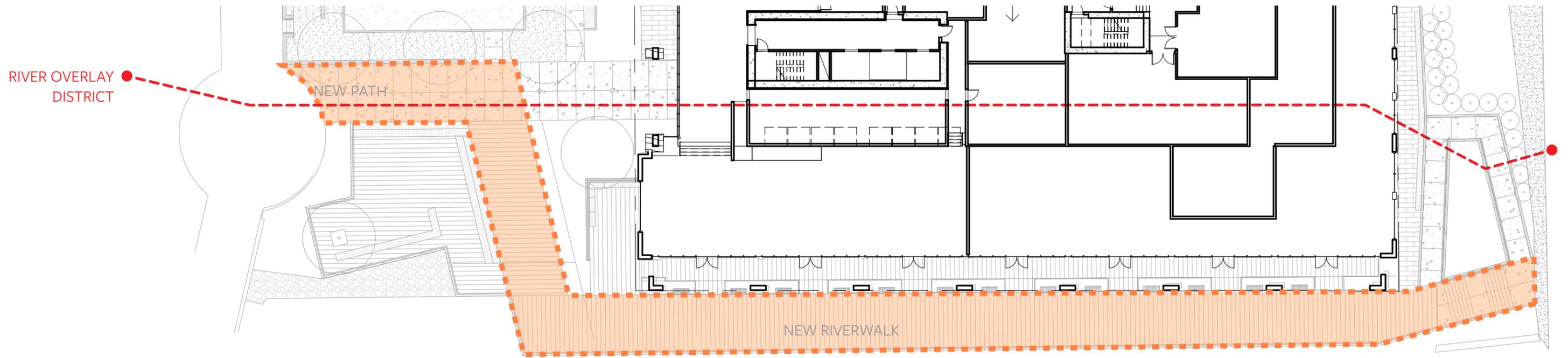
**EXISTING HARP LIGHT POLES**  
Remove existing finish, repaint and  
reinstall



**LANDSCAPE ELEMENTS**  
planters, edging



RIVERWALK - DESIGN



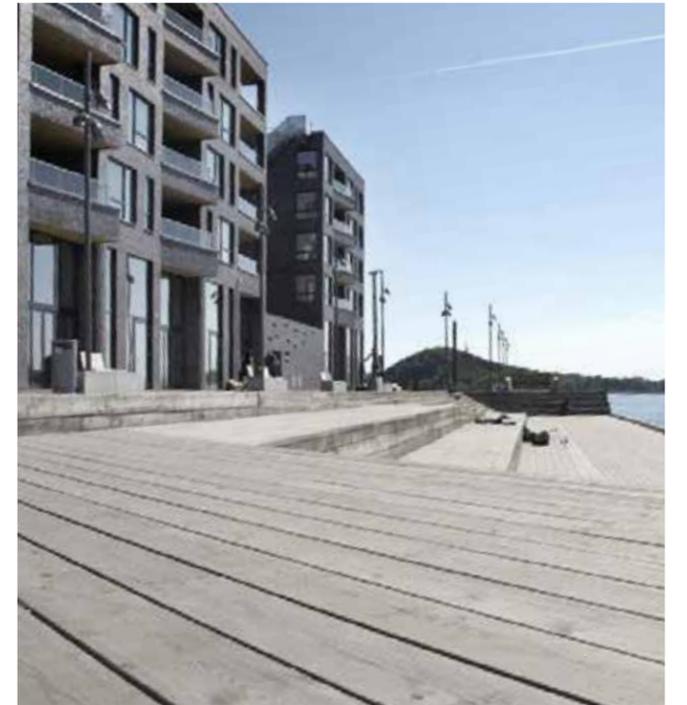
**HUNTERS POINT**  
NYC



**PIER 26**  
NYC



**RIVER WALK**  
CHICAGO



**SØRENGA HARBOR POOL**  
OSLO

RIVERWALK - PAVING





SCHEMATIC DESIGN  
THE EDISON | PRECEDENT IMAGERY



HPA

NEUTRAL PROJECT | CD SMITH

HDLA

NORTH EDISON STREET

1027 NORTH EDISON STREET  
LEASED FROM THE CITY

1005 NORTH EDISON STREET  
PRIVATELY OWNED BY  
NORTH EDISON LLC

50' SPROZ BOUNDARY LINE

MILWAUKEE RIVER

EXISTING PEDESTRIAN BRIDGE  
SIDEWALK TO REMAIN, TYP.

**TRANSFORMER** -  
CITY EQUIPMENT - RELOCATED FROM  
CURRENT LOCATION ADJACENT TO 1005  
N. EDISON NORTHERN PROPERTY LINE.  
PROVIDES POWER TO HIGHLAND AVENUE  
PEDESTRIAN BRIDGE.

**ELECTRICAL METER** -  
CITY EQUIPMENT EXISTING TO  
REMAIN - SERVES HIGHLAND  
AVENUE PEDESTRIAN BRIDGE.

EXISTING TREE TO REMAIN, TYP.

NOTE:  
PLANTS ARE TO BE SELECTED FROM A VARIETY OF NATIVE SPECIES,  
TO THE REGION DURING CONSTRUCTION DOCUMENTATION.

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	CONT./CAL.	HEIGHT	SPREAD	SPACING	REMARKS
<b>TREES</b>							
	EX	Existing Tree	NA				
<b>CANOPY TREES</b>							
	CT	Canopy Tree	B&B	10'-12'	8'-10'	Per Plans	WELL BRANCHED, SINGLE LEADER TRUNK, FULL CROWN, MATCHED
<b>FLOWERING TREES</b>							
	OT	Ornamental Tree	B&B	8'-10'	6'-8'	Per Plans	WELL BRANCHED, SINGLE LEADER TRUNK, FULL CROWN, MATCHED
<b>SHRUBS</b>							
	LE	Large Evergreen Shrub	3 GAL.			60" o.c.	
	ME	Medium Evergreen Shrub	3 GAL.			36" o.c.	
	OG	Ornamental Grass	3 GAL.			30" o.c.	
	SD	Small Deciduous Shrub	3 GAL.			24" o.c.	
	SE	Small Evergreen Shrub	3 GAL.			24" o.c.	
	OGS	Small Ornamental Grass	3 GAL.			18" o.c.	
<b>GROUND COVERS</b>							
	GC	Ground Cover	1 GAL.			18" o.c.	
<b>PERENNIALS</b>							
	PC	Perennial	1 GAL.			18" o.c.	
<b>TURF</b>							
	TS	Drought Tolerant Fescue Blend					

AREA FOR CITY APPROVAL  
STAMP

FOR REFERENCE

ARCH. ELEV. 0'-0" = +9.50

Contractor shall be responsible for reviewing all Plans and Specifications, verifying all existing conditions prior to proceeding with Construction, complying with all applicable building codes, and notifying Architect applicable building codes.

Immediately if any discrepancies or conflicts, Contractor shall construct the work in conformance with all Contractor is responsible for design and installation of properly sized and loaded systems. Submit shop drawings to architect for approval in conformance to Architectural design intent.

A written Architectural Specification was issued for this project and along with these printed documents constitute the Contract Documents for this project. Work scope pertains to all disciplines shown throughout the Contract Documents. By submitting a bid for this work, the Contractor and all subcontractors attest that they have reviewed the entire contract document set and all conditions and have included all applicable work. Additional Architectural Specification copies are available online upon request.

Fortsonne Plunkard Architecture, LLC shall retain all copyright, statutory and common law right with regard to these plans and building design. Reproduction, changes or assignment to any third party shall not occur without obtaining express written permission and consent of Fortsonne Plunkard Architecture, LLC.

THE EDISON

1005 NORTH EDISON STREET,  
MILWAUKEE, WISCONSIN 53202

DATE	ISSUED FOR
6/16/23	PROGRESS SD
8/1/23	50% SD
8/11/23	PROGRESS SD
8/24/23	100% SD

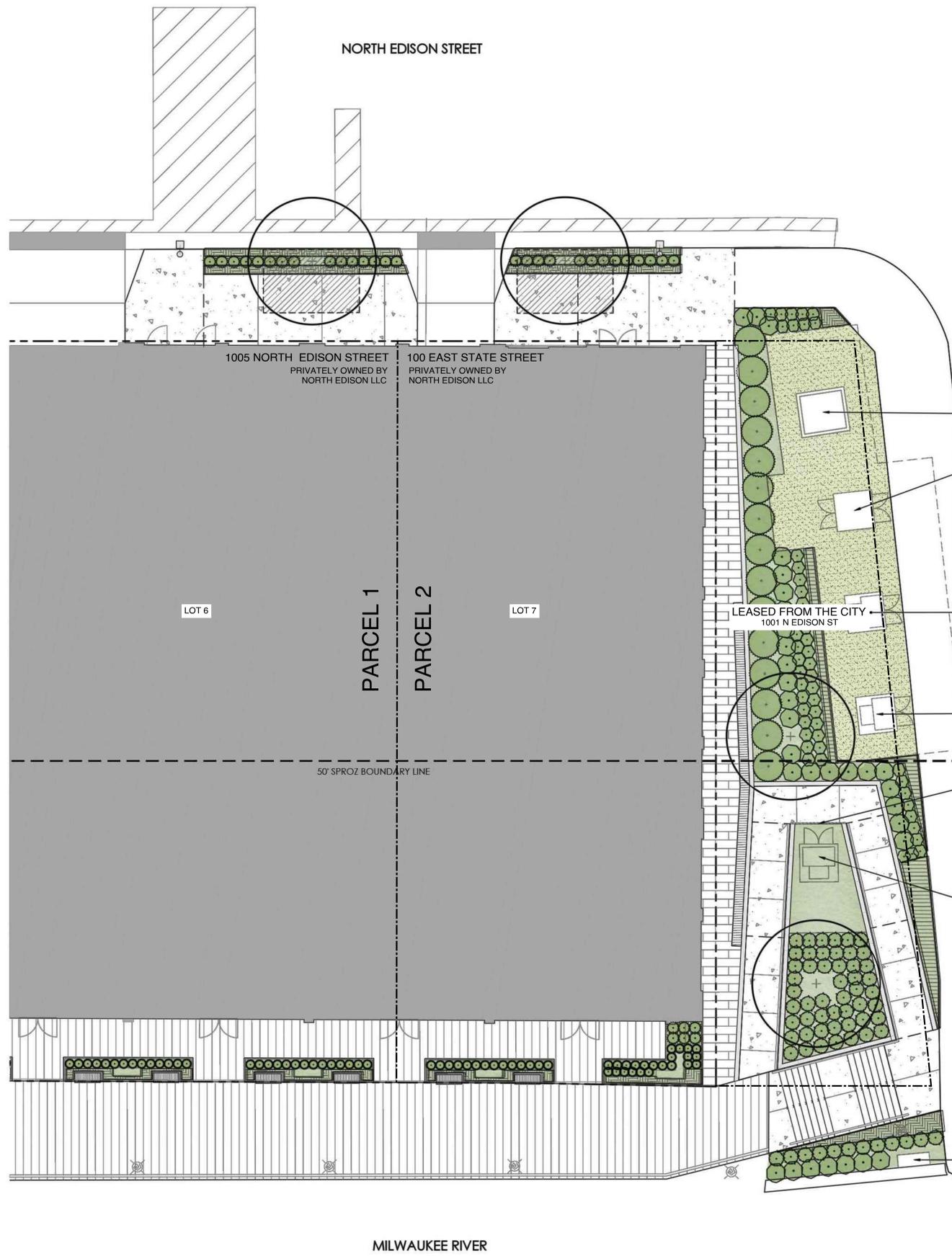
507 MAIN STREET,  
NASHVILLE, TN  
37206

PROJ. # 232327  
SCALE: REF. SHEET

POCKET PARK  
PLANTING PLAN

L5.00





**SECTIONALIZER** - CITY EQUIPMENT EXISTING TO REMAIN - FED FROM CITY HIGH VOLTAGE LINE. THIS UNIT SPLITS HIGH VOLTAGE FEED AND PROVIDES POWER TO TRANSFORMERS THROUGHOUT THE AREA.

**MV SWITCH** - BUILDING EQUIPMENT - NEW UNIT SWITCH THAT PROVIDES CONTROL OF POWER TO THE PROJECT.

**TRANSFORMER** - BUILDING EQUIPMENT - NEW UNIT PROVIDING WE ENERGIES POWER TO THE PROJECT.

**TRANSFORMER** - BUILDING EQUIPMENT - NEW UNIT PROVIDING WE ENERGIES POWER TO THE PROJECT.

**RAMP** TO HAVE REMOVABLE PORTION OF GUARDRAIL FOR TRANSFORMER ACCESS. TYP.

**TRANSFORMER** - CITY EQUIPMENT - RELOCATED FROM CURRENT LOCATION ADJACENT TO STATE STREET BRIDGE. PROVIDES POWER TO THE STATE STREET BRIDGE.

**ELECTRICAL METER** - CITY EQUIPMENT EXISTING TO REMAIN - SERVES STATE STREET BRIDGE.

**NOTE:**  
PLANTS ARE TO BE SELECTED FROM A VARIETY OF NATIVE SPECIES, TO THE REGION DURING CONSTRUCTION DOCUMENTATION.

PLANT SCHEDULE							
SYMBOL	CODE	BOTANICAL NAME	CONT./CAL.	HEIGHT	SPREAD	SPACING	REMARKS
<b>TREES</b>							
	EX	Existing Tree	NA				
<b>CANOPY TREES</b>							
	CT	Canopy Tree	B&B	10'-12'	8'-10'	Per Plans	WELL BRANCHED, SINGLE LEADER TRUNK, FULL CROWN, MATCHED
<b>FLOWERING TREES</b>							
	OT	Ornamental Tree	B&B	8'-10'	6'-8'	Per Plans	WELL BRANCHED, SINGLE LEADER TRUNK, FULL CROWN, MATCHED
<b>SHRUBS</b>							
	LE	Large Evergreen Shrub	3 GAL.			60" o.c.	
	ME	Medium Evergreen Shrub	3 GAL.			36" o.c.	
	OG	Ornamental Grass	3 GAL.			30" o.c.	
	SD	Small Deciduous Shrub	3 GAL.			24" o.c.	
	SE	Small Evergreen Shrub	3 GAL.			24" o.c.	
	OGS	Small Ornamental Grass	3 GAL.			18" o.c.	
<b>GROUND COVERS</b>							
	GC	Ground Cover	1 GAL.			18" o.c.	
<b>PERENNIALS</b>							
	PC	Perennial	1 GAL.			18" o.c.	
<b>TURF</b>							
	TS	Drought Tolerant Fescue Blend					

AREA FOR CITY APPROVAL STAMP

FOR REFERENCE

ARCH. ELEV: 0'-0" = +9.50

Contractor shall be responsible for reviewing all Plans and Specifications, verifying all existing conditions prior to proceeding with Construction, complying with all applicable building codes, and notifying Architect applicable building codes.

Immediately if any discrepancies or conflicts, Contractor shall construct the work in conformance with all Contractor is responsible for design and installation of properly sized and loaded systems. Submit shop drawings to architect for approval in conformance to Architectural design intent.

A written Architectural Specification was issued for this project and along with these printed documents constitute the Contract Documents for this project. Work scope pertains to all disciplines shown throughout the Contract Documents. By submitting a bid for this work, the Contractor and all subcontractors attest that they have reviewed the entire contract document set and all conditions and have included all applicable work. Additional Architectural Specification copies are available online upon request.

Horstmann Plunkard Architecture, LLC shall retain all copyrights, including and without limitation, with respect to these plans and building design. Reproduction, change or assignment to any third party shall not occur without obtaining expressed written permission and consent of Horstmann Plunkard Architecture.

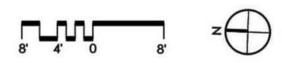
THE EDISON	
1005 NORTH EDISON STREET, MILWAUKEE, WISCONSIN 53202	
DATE	ISSUED FOR
6/16/23	PROGRESS SD
8/1/23	50% SD
8/11/23	PROGRESS SD
8/24/23	100% SD

507 MAIN STREET, NASHVILLE, TN 37206

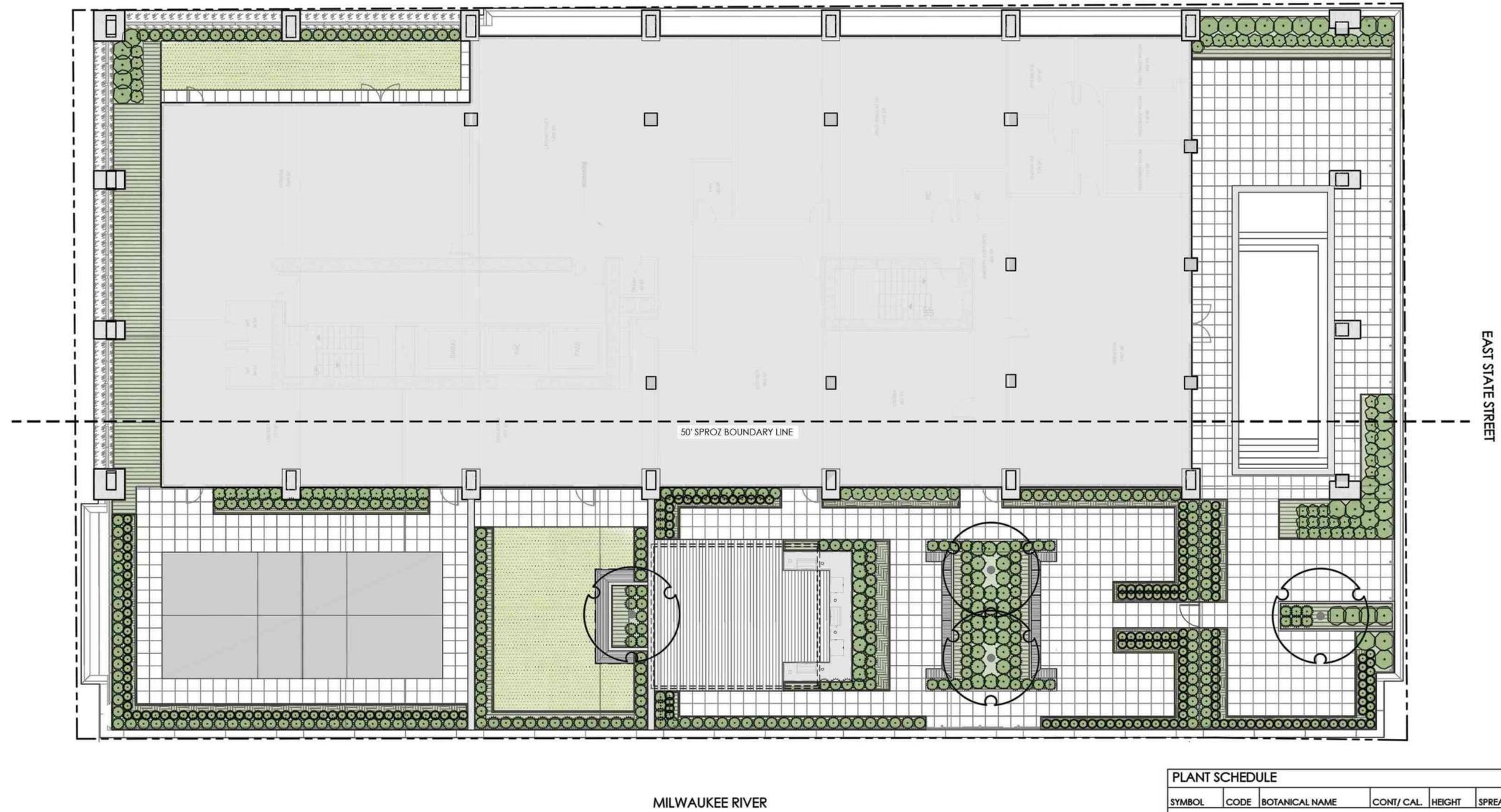
PROJ. # 232327  
SCALE: REF. SHEET

EAST STATE STREET PLANTING PLAN

L5.10



NORTH EDISON STREET



MILWAUKEE RIVER

AREA FOR CITY APPROVAL  
STAMP

FOR REFERENCE

ARCH. ELEV: 0'-0" = +9.50

Contractor shall be responsible for reviewing all Plans and Specifications, verifying all existing conditions prior to proceeding with Construction, complying with all applicable building codes, and notifying Architect of any discrepancies or conflicts. Contractor shall construct the work in conformance with all Contractor is responsible for design and installation of properly sized and loaded systems. Submit shop drawings to architect for approval in conformity to Architectural design intent.

A written Architectural Specification was issued for this project and along with these printed documents constitute the Contract Documents for this project. Work scope pertinent to all disciplines occurs throughout the Contract Documents. By submitting a bid for this work, the Contractor and all subcontractors attest that they have reviewed the entire contract document set and all conditions and have included all applicable work. Additional Architectural Specifications are available online upon request.

Hortanna Plunkard Architecture, LLC shall retain all copyright, liability and common law right with regard to these plans and building design. Reproduction, changes or assignment to any third party shall not occur without obtaining expressed written permission and consent of Hortanna Plunkard Architecture.

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	CONT/ CAL.	HEIGHT	SPREAD	SPACING	REMARKS
<b>TREES</b>							
	EX	Existing Tree	NA				
<b>CANOPY TREES</b>							
	CT	Canopy Tree	B&B	10'- 12'	8'- 10'	Per Plans	
<b>FLOWERING TREES</b>							
	OT	Ornamental Tree	B&B	8'- 10'	6'- 8'	Per Plans	
<b>SHRUBS</b>							
	LE	Large Evergreen Shrub	3 GAL.				60" o.c.
	ME	Medium Evergreen Shrub	3 GAL.				36" o.c.
	OG	Ornamental Grass	SEED				30" o.c.
	SD	Small Deciduous Shrub	3 GAL.				24" o.c.
	SE	Small Evergreen Shrub	3 GAL.				24" o.c.
	OGS	Small Ornamental Grass	SEED				18" o.c.
<b>GROUND COVERS</b>							
	GC	Ground Cover	18"				15" o.c.
<b>PERENNIALS</b>							
	PC	Perennial	QUART				18" o.c.
<b>TURF</b>							
	TS	Turf Sod	48"				12" o.c.

NOTE:  
PLANTS ARE TO BE SELECTED FROM A VARIETY OF NATIVE SPECIES,  
TO THE REGION DURING CONSTRUCTION DOCUMENTATION.



**THE EDISON**  
1005 NORTH EDISON STREET,  
MILWAUKEE, WISCONSIN 53202

DATE	ISSUED FOR
6/16/23	PROGRESS SD
8/1/23	50% SD
8/11/23	PROGRESS SD
8/24/23	100% SD

**HPA**  
507 MAIN STREET,  
NASHVILLE, TN  
37206

PROJ. # 232327  
SCALE: REF. SHEET

LEVEL 7 AMENITY  
PLANTING PLAN

**L5.20**

## PLANTING NOTES

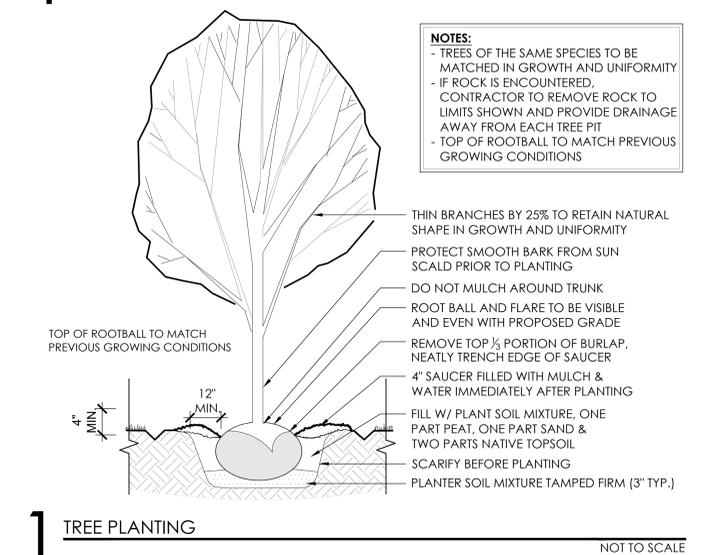
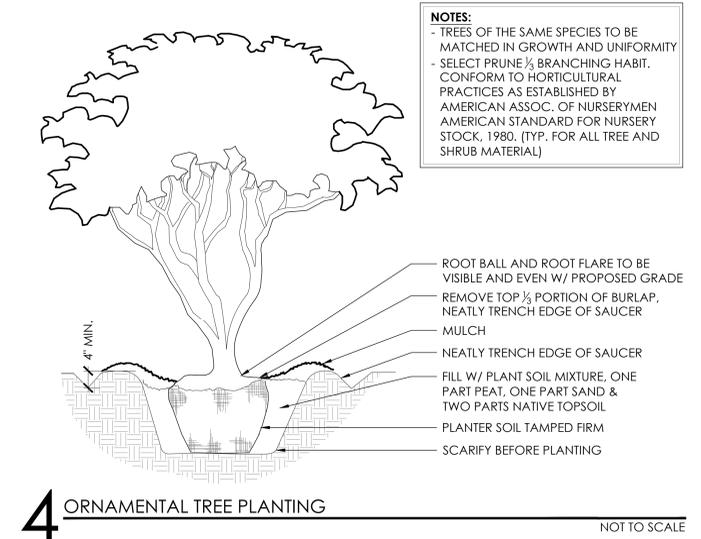
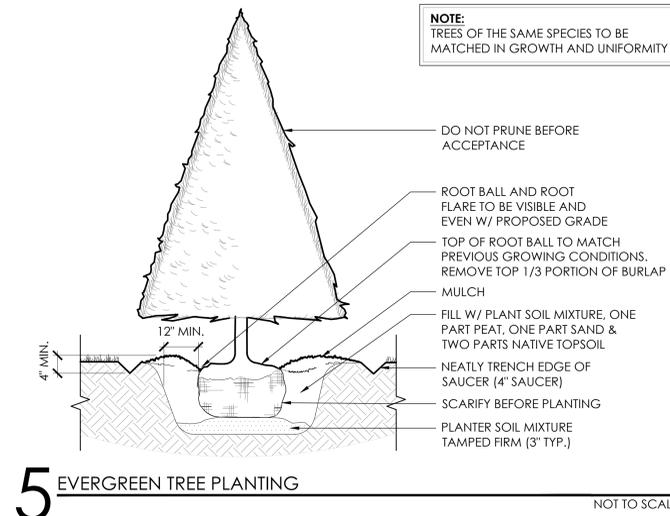
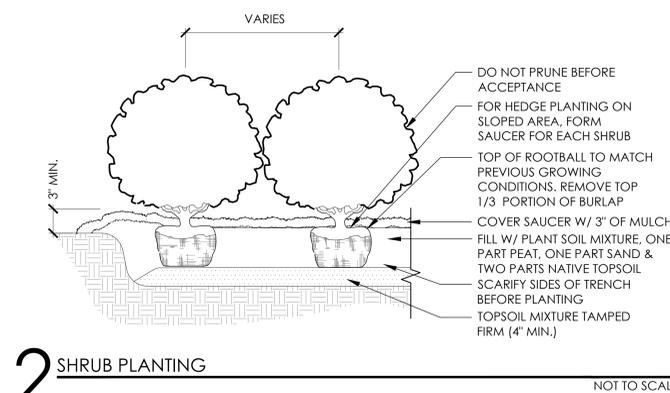
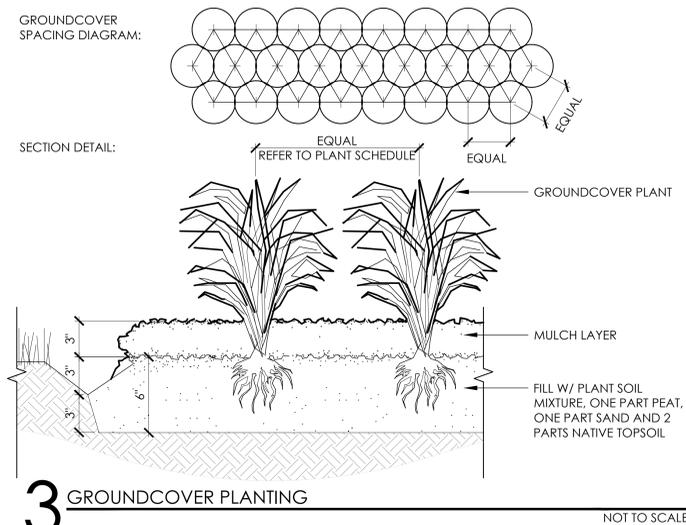
- TREAT ALL GROUND COVER BEDS WITH PRE-EMERGENT HERBICIDE PRIOR TO PLANTING. CONTRACTOR IS RESPONSIBLE FOR ALL WEEDING UNTIL FINAL ACCEPTANCE.
- ALL PLANT BEDS TO BE NEATLY LAID IN WITH 3" DEEP TRENCH EDGING BORDER.
- ALL GROUND COVER AND PLANT BEDS SHALL MEET LANDSCAPE ARCHITECTS SPECIFICATIONS. FINAL GRADES FOR ALL PLANT BEDS SHALL BE 1" BELOW EDGE OF WALK OR CURBING SO THAT WHEN 3" OF MULCH IS ADDED THE MULCH WILL BE 2" ABOVE THE WALKS. TAPER MULCH DOWN TO EDGE OF WALK OR CURB.
- ALL AREAS WITHIN PLANT BEDS TO BE MULCHED WITH 3" DEEP LAYER OF DECOMPOSED SHREDDED PINE BARK.
- ALL TREES OF A SIMILAR SPECIES TO BE MATCHED IN SIZE AND UNIFORMITY.
- CONTRACTOR TO WARRANTY ALL PLANTINGS FOR A PERIOD OF ONE YEAR AFTER DATE OF FINAL ACCEPTANCE BY OWNER. WARRANTY TO INCLUDE ALL DEFECTS INCLUDING DEATH OR UNSATISFACTORY GROWTH; EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE OR ABUSE BY OWNER, OR ABNORMAL WEATHER CONDITIONS UNUSUAL FOR WARRANTY PERIOD.
- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF PLANTS UNTIL TIME OF FINAL ACCEPTANCE.
- PROVIDE TREES, SHRUBS, AND PLANTS OF QUALITY, SIZE, GENUS, SPECIES AND VARIETY SHOWN AND SCHEDULED FOR LANDSCAPE WORK AND COMPLYING WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". PROVIDE HEALTHY, VIGOROUS STOCK, GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE AND FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS OR DISFIGUREMENT. HEIGHT AND WIDTH SHOWN ARE MINIMUM SIZES.
- DO NOT MAKE SUBSTITUTIONS. IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY FROM A MINIMUM OF 6 SUPPLIERS TO LANDSCAPE ARCHITECT, TOGETHER WITH A PROPOSAL FOR USE OF EQUIVALENT MATERIAL PRIOR TO FINAL BID DATE.
- SUBMIT TYPED INSTRUCTIONS RECOMMENDING PROCEDURES TO BE ESTABLISHED BY OWNER FOR MAINTENANCE OF LANDSCAPE WORK FOR ONE FULL YEAR; SUBMIT PRIOR TO EXPIRATION OF REQUIRED MAINTENANCE PERIOD.
- DELIVER PACKAGED MATERIALS IN CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM DETERIORATION DURING DELIVERY AND WHILE STORED AT THE SITE.
- DELIVER TREES AND SHRUBS AFTER PREPARATIONS FOR PLANTING HAS BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY, SET TREES AND SHRUBS IN SHADE.

- PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST BY COVERING WITH MULCH, BURLAP, OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.
- DETERMINE LOCATION OF UNDERGROUND UTILITIES AND PERFORM WORK IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE. HAND EXCAVATE AS REQUIRED, MAINTAIN GRADE STAKES SET BY OTHERS UNTIL REMOVAL IS MUTUALLY AGREED UPON BY PARTIES CONCERNED.
- PROVIDE 24" OF NEW TOPSOIL TO ALL PLANTING AREAS PER LANDSCAPE ARCHITECT'S SPECIFICATIONS. OBTAIN TOPSOIL FROM SOURCES LISTED IN SPECIFICATIONS.
- BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING. MAINTAIN TREES, SHRUBS, AND OTHER PLANTINGS BY PRUNING, WATERING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. MAINTAIN LAWN BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING, AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
- WHERE INSPECTED LANDSCAPE WORK DOES NOT COMPLY WITH REQUIREMENTS, REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL REINSPECTED BY LANDSCAPE ARCHITECT AND FOUND TO BE ACCEPTABLE. REMOVE REJECTED PLANTS AND MATERIALS PROMPTLY FROM PROJECT SITE.
- ANY AND ALL QUANTITIES INDICATED ON THE PLANT SCHEDULE AND PLAN ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN QUANTITY CALCULATION AND THE LIABILITY WHICH PERTAINS TO THOSE QUOTATIONS. ANY DISCREPANCY SHALL BE CALLED TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY.
- LOCATIONS OF ALL PLANT BEDS AND TREES TO BE STAKED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- SCARIFY ALL TREE PITS BEFORE PLANTING. VERIFY THAT ALL TREE PITS ADEQUATELY DRAIN BEFORE PLANTING TREES.
- IF ROCK IS ENCOUNTERED, CONTRACTOR TO REMOVE ROCK AND PROVIDE DRAINAGE AWAY FROM EACH TREE PIT.
- SHRUBS AND GROUND COVER BEDS TO BE PLANTED IN A TRIANGULAR SPACING. SEE PLANTING SCHEDULE FOR DISTANCES.
- PROVIDE TRUE RADII FOR THE LAYOUT OF ALL PLANT BEDS.
- REFER TO PROJECT MANUAL REGARDING TREE FERTILIZATION AND PRUNING.
- ALL LANDSCAPE AREAS TO BE IRRIGATED WITH FULLY AUTOMATED IRRIGATION SYSTEM. IRRIGATION SYSTEM TO USE EXISTING WATER SOURCE ON SITE. BACK FLOW PREVENTER, CONTROLLER AND METER TO BE PROVIDED.

## PLANTING SCHEDULE NOTES

- TREES TO BE OF THE HIGHEST GRADE AND PURCHASED FROM THESE SELECTED VENDORS ONLY:  
**SELECT TREES**  
 CRAWFORD, GA - (706)743-5124  
 BOLD SPRINGS NURSERY  
 HAWKINSVILLE, GA - (478)783-4975  
 SHADY GROVE PLANTATION AND NURSERY  
 ORANGEBURG, SC - (803)534-5683  
**WATKINS NURSERIES**  
 MIDLOTHIAN, VA - (804)379-8733  
 HUNTER TREES NURSERY, LLC,  
 BIRMINGHAM, AL - (866)348-6837  
 HAWKERSMITH NURSERY  
 TULLAHOMA, TN - (931)455-5436  
 SOUTHEASTERN GROWERS, INC.,  
 WATKINSVILLE, GA - (706)310-1151  
 PLANTATION TREE CO.,  
 SELMA, AL - (334)875-9176
- IF TREES ARE NOT AVAILABLE AT THE INDICATED NURSERIES, CONTRACTOR TO SUBMIT ALTERNATIVE NURSERIES. ALL TREES OBTAINED AT LISTED NURSERIES MUST MEET ALL OF THE SPECIFICATIONS REQUIRED

PLANT SCHEDULE							
SYMBOL	CODE	BOTANICAL NAME	CONT/ CAL.	HEIGHT	SPREAD	SPACING	REMARKS
<b>TREES</b>							
	EX	Existing Tree	NA				
<b>CANOPY TREES</b>							
	CT	Canopy Tree	B&B	10' - 12'	8' - 10'	Per Plans	
<b>FLOWERING TREES</b>							
	OT	Ornamental Tree	B&B	8' - 10'	6' - 8'	Per Plans	
SYMBOL	CODE	BOTANICAL NAME	HEIGHT	SPREAD	SPACING	SPACING	REMARKS
<b>SHRUBS</b>							
	LE	Large Evergreen Shrub	3 GAL.				60" o.c.
	ME	Medium Evergreen Shrub	3 GAL.				36" o.c.
	OG	Ornamental Grass	SEED				30" o.c.
	SD	Small Deciduous Shrub	3 GAL.				24" o.c.
	SE	Small Evergreen Shrub	3 GAL.				24" o.c.
	OGS	Small Ornamental Grass	SEED				18" o.c.
<b>GROUND COVERS</b>							
	GC	Ground Cover	18"				15" o.c.
<b>PERENNIALS</b>							
	PC	Perennial	QUART				18" o.c.
<b>TURF</b>							
	TS	Turf Sod	48"				12" o.c.



AREA FOR CITY APPROVAL STAMP

FOR REFERENCE

ARCH. ELEV: 0' - 0" = +9.50

Contractor shall be responsible for reviewing all Plans and Specifications, verifying all existing conditions prior to proceeding with Construction, complying with all applicable building codes, and notifying Architect.

Immediately in any discrepancies or conflicts, Contractor shall contact the work in accordance with all Contractor is responsible for design and installation of properly sized and loaded systems. Submit shop drawings to architect for approval on conformity to Architectural design intent.

A written Architectural Specification was issued for this project and along with these printed documents constitute the Contract Documents for this project. Work scope pertains to all disciplines shown. By submitting a bid for this work the Contractor and all subcontractors attest that they have reviewed the entire contract document set and site conditions and have included all applicable work. Additional Architectural Specification copies are available anytime upon request.

Horticulture Planning Architecture, LLC shall retain all copyrights, statutory and common law right with regard to these plans and building design. Reproduction, changes or assignment to any third party shall not occur without obtaining expressed written permission and consent of Horticulture Planning Architecture.

## THE EDISON

1005 NORTH EDISON STREET,  
MILWAUKEE, WISCONSIN 53202

### ISSUANCES

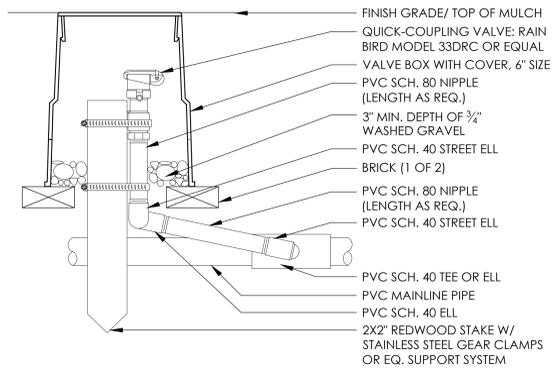
DATE	ISSUED FOR
6/18/23	PROGRESS SD
8/1/23	50% SD
8/11/23	PROGRESS SD
8/24/23	100% SD



PROJ. # 232327  
SCALE: REF. SHEET

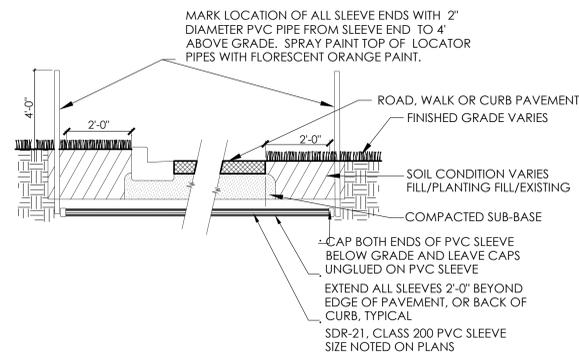
PLANTING SCHEDULE, NOTES AND DETAILS

L5.30



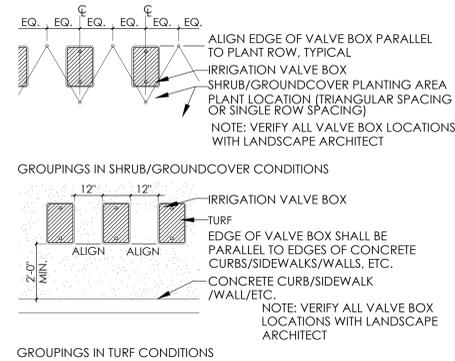
NOTE:  
1. FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE.

**9 QUICK COUPLING VALVE** NOT TO SCALE



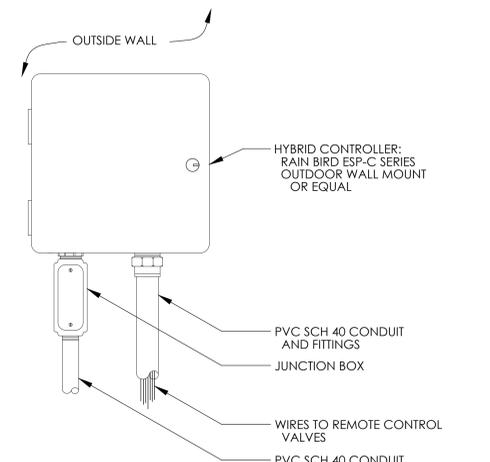
NOTE: PROVIDE AN AS-INSTALLED IRRIGATION SLEEVE PLAN. INDICATE THE ROAD STATION OF EACH IRRIGATION SLEEVE LOCATION UNDER ROADWAYS.

**8 SLEEVES UNDER WALK/ ROAD** NOT TO SCALE

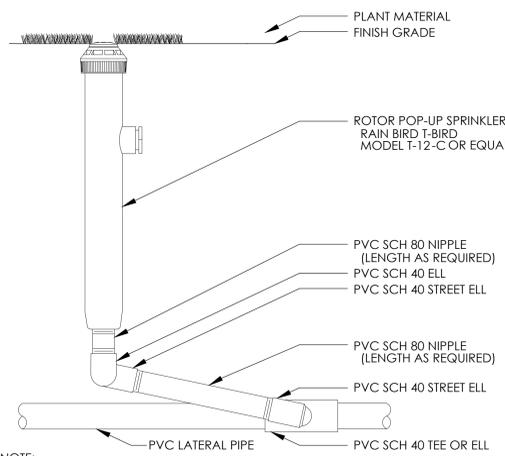


NOTE: VERIFY ALL VALVE BOX LOCATIONS WITH LANDSCAPE ARCHITECT

**7 VALVE BOX GROUPINGS** NOT TO SCALE

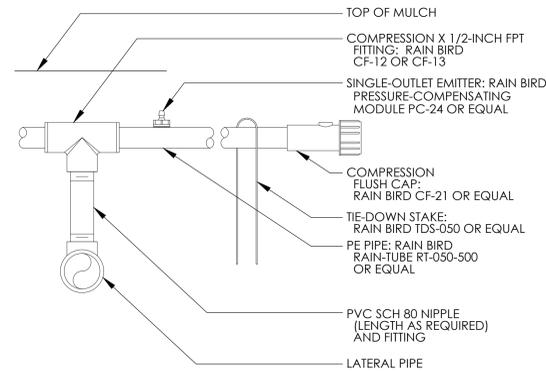


**3 HYBRID CONTROLLER** NOT TO SCALE



NOTE:  
1. A SWING PIPE ASSEMBLY MAY BE USED WITH FLOWS LESS THAN 4 GPM.

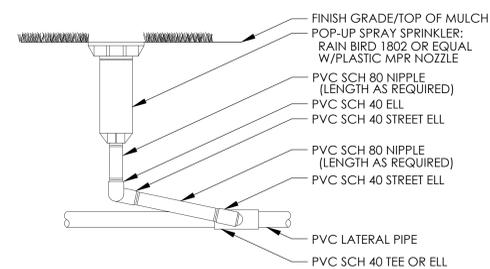
**5 ROTOR POP-UP SPRINKLER** NOT TO SCALE



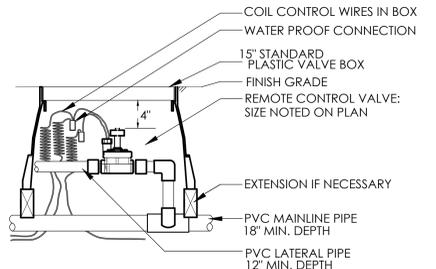
NOTE:  
XERI-TUBE AND RAIN TUBE OR EQUAL.

1. USE RAIN BIRD BUG GUN MODEL EMA-BG TO INSERT EMITTER DIRECTLY INTO

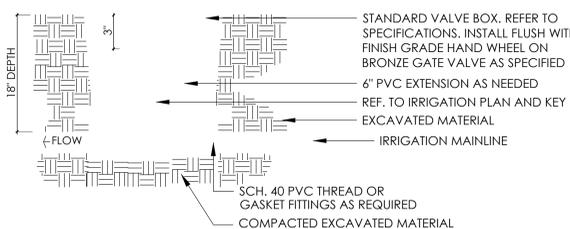
**4 PVC TO PIPE CONNECTION** NOT TO SCALE



**3 POP-UP SPRAY SPRINKLER** NOT TO SCALE



**2 REMOTE TO PIPE CONNECTION** NOT TO SCALE



**1 ISOLATION VALVE** NOT TO SCALE

**STANDARD IRRIGATION NOTES**

1) CONTRACTOR TO SUBMIT SHOP DRAWING OF IRRIGATION SYSTEM TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

**IRRIGATION NOTES**

- 1) SITE TO BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR IN ACCORDANCE TO STATE LAW.
- 2) CONTRACTOR SHALL SUPPLY AND INSTALL ALL VALVES, HEADS, PIPE, CONTROLLING, WIRING, BACKFLOW PREVENTOR AND CONTROLLER FOR A TWO WIRE IRRIGATION SYSTEM.
- 3) COORDINATE LOCATION OF WATER SOURCE AND BACKFLOW PREVENTOR WITH GENERAL CONTRACTOR COORDINATE LOCATION OF CONTROLLER WITH OWNER.
- 4) INSTALL SYSTEM AS PER SPECS. REFERENCE SPECIFICATIONS FOR MEETING AND MATCHING EXISTING IRRIGATION SYSTEM.
- 5) CONTRACTOR TO LOCATE AND VERIFY ALL EXISTING SITE UTILITIES PRIOR TO COMMENCING WITH WORK. CONTRACTOR RESPONSIBLE FOR DAMAGE CAUSED DURING CONSTRUCTION TO ANY SITE UTILITIES AND SITE FEATURES.
- 6) FOR ALL PIPE PENETRATIONS REFER TO ARCHITECTS PLANS.
- 7) CONTRACTOR TO PROVIDE FULL SHOP DRAWINGS PER SPECIFICATIONS FOR DESIGN BUILD IRRIGATION FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT. REF. DESIGN BUILD IRRIGATION SPECIFICATION AND NOTES ON SHEET L730. REF. LANDSCAPE PLANS FOR SPECIFIC PLANT TYPES AND LOCATIONS. COMMUNICATE SITE WATER CONNECTIONS WITH PROJECT CIVIL, M.E.P. ENGINEERS, CONTRACTOR AND LANDSCAPE ARCHITECT.

**DESIGN BUILD IRRIGATION NOTES**

- 1) ALL WORK SHALL CONFORM TO ANY AND ALL APPLICABLE REGULATIONS AND CODES FOR THE LOCATION OF THE WORK. THE INSTALLER SHALL OBTAIN ANY NECESSARY LOCATES, PERMITS AND INSPECTIONS.
- 2) ALL WORK SHALL BE CLOSELY COORDINATED WITH THAT OF OTHER TRADES, IN ORDER TO AVOID CONFLICTS. REFER TO LANDSCAPE AND UTILITIES PLANS WHEN TRENCHING TO AVOID TREES, SHRUBS AND UNDERGROUND UTILITIES.
- 3) ALL MATERIAL AND LABOR REQUIRED TO PROVIDE A COMPLETE, OPERATIONAL AND FULLY GUARANTEED SYSTEM SHALL BE CONSIDERED PART OF THE WORK, WHETHER OR NOT THEY ARE SPECIFICALLY INDICATED IN THE DOCUMENTS.
- 4) THE CONTRACTOR SHALL PREPARE A DESIGN HARD COPY DRAWINGS ON REPRODUCIBLE PAPER SHOWING ALL IRRIGATION INSTALLATION. A HARDCOPY OF THE ORIGINAL LANDSCAPE PLAN MAYBE OBTAINED FROM THE DESIGNER. THE DRAWING SHALL LOCATE ALL MAINLINE VALVES AND HEADS BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES. PLEASE SHOW WIRE DIRECTION. PROVIDE DESIGN DRAWINGS FOR DESIGNER APPROVAL.
- 5) ALL HEADS SHALL BE OF THE PROPER TYPE FOR THE AREAS WHERE LOCATED AND SHALL BE INSTALLED TO THE PROPER HEIGHT. ALL HEADS AND OTHER EQUIPMENT SHALL BE INSTALLED WITH ADEQUATE AND UNIFORM CLEARANCE FROM ALL HARD-SCAPING, TO MINIMIZE WATER OVER SPRAY ON IMPERVIOUS AREAS. ALL HEADS SHALL BE MOUNTED WITH POLY PIPE WITH BARBED ELBOWS.
- 6) CONTRACTOR TO DESIGN SYSTEM BASED ON AVAILABLE WATER PRESSURE AT THE SITE. PRESSURE TEST SYSTEM AND SUBMIT TO OWNER.
7. MAKE USE OF EXISTING POWER SUPPLY PROVIDED BY GENERAL CONTRACTOR.
- 8) CONTROL WIRING SHALL BE ROUTED WITH THE MAINLINE WHEREVER POSSIBLE. LOW VOLT AGE WIRING SHALL BE UP 14

- PVC JACKETED, SINGLE CONDUCTOR CABLE. USE RED WIRES FOR "HOT" AND WHITE FOR VALVE COMMON. WIRES SHALL BE INSTALLED WITH ADEQUATE SLACK AND SURGE/EXPANSION LOOPS, AND SHALL BE SPLICED ONLY IN VALVE BOXES. USING 3-1.4 DIRECT BURY CDBY> WIRE CONNECTORS.
- 9) ALL PIPING AND WIRE PASSING UNDER PAVED AREAS SHALL BE SLEEVED WITH SCH 40 PVC PIPE. SIZED A MINIMUM OF TWO NOMINAL SIZES LARGER THAN CONTAINED PIPE. ALL SLEEVING SHALL BE PROVIDED.
  - 10) ALL LINES SHALL BE INSTALLED ON THE PROPERTY AND INSIDE THE LANDSCAPE AREAS.
  - 11) PROVIDE A MINIMUM OF 8" OF COVER OVER LATERAL PIPING. PROVIDE A MINIMUM OF 12" OF COVER OVER MAINLINE PIPING.
  - 12) LATERAL LINES SHALL BE CLASS 200 PVC. SEE PLAN FOR SIZES. MAIN LINE PIPE SHALL BE CLASS 200 PVC. SEE PLAN FOR SIZES.
  - 13) FLUSH ALL LINES.
  - 14) CONDUCT AN INSPECTION OF THE SYSTEM IN OPERATION WITH THE DESIGNER.
  - 15) THE CONTRACTOR IS RESPONSIBLE FOR WINTERIZING THE SYSTEM THE FIRST YEAR OF INSTALLATION. DURING THE WINTERIZATION OF THE SYSTEM, THE CONTRACTOR WILL SHOW THE OWNER'S DESIGNATED REPRESENTATIVE THE PROPER PROCEDURES FOR WINTERIZING THE SYSTEM. THE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR RESTARTING THE SYSTEM IN THE SPRING OF THE FOLLOWING YEAR.
  - 16) CONTRACTOR TO GUARANTEE IRRIGATION SYSTEM, EQUIPMENT AND WORKMANSHIP FOR 1 YEAR FROM SUBSTANTIAL COMPLETION.
  - 17) ANY ADDITIONAL NEEDED SLEEVES WILL BE PROVIDED BY THE DESIGN BUILD CONTRACTOR.

AREA FOR CITY APPROVAL STAMP

FOR REFERENCE

ARCH. ELEV. 0'-0" = +9.50

Contractor shall be responsible for reviewing all Plans and Specifications, verifying all existing conditions prior to proceeding with Construction, complying with all applicable building codes, and notifying Architect applicable building codes.

Immediately in any discrepancies or conflicts. Contractor shall construct the work in accordance with all Contractor is responsible for design and installation of properly sized and loaded systems. Submit shop drawings to architect for approval on conformity to Architectural design intent.

A written Architectural Specification was issued for this project and along with these printed documents constitute the Contract Documents for this project. Work scope pertinent to all disciplines secure throughout the Contract Documents. By submitting a bid for this work the Contractor and all subcontractors attest that they have reviewed the entire contract document set and site conditions and have included all applicable work. Additional Architectural Specification copies are available anytime upon request.

Horticulture Plunkard Architecture, LLC shall retain all copyrights, statutory and common law right with regard to these plans and building design. Reproduction, changes or assignment to any third party shall not occur without explicitly expressed written permission and consent of Horticulture Plunkard Architecture.

**THE EDISON**  
1005 NORTH EDISON STREET,  
MILWAUKEE, WISCONSIN 53202

ISSUANCES	
DATE	ISSUED FOR
6/18/23	PROGRESS SD
8/1/23	50% SD
8/11/23	PROGRESS SD
8/24/23	100% SD

507 MAIN STREET,  
NASHVILLE, TN  
37206

PROJ. # 232327  
SCALE: REF. SHEET

IRRIGATION NOTES AND DETAILS

**L5.31**





# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

**Property** 1005 N. EDISON ST. State Street Bridge (northeast abutment)  
**Description of work** Alter NE bridge abutments to accommodate a change in riverwalk alignment and new construction on the site of the Rojahn-Malaney Building. The primary purpose of the project is to straighten the riverwalk and eliminate an awkward triangular recess created by the design of the bridge abutments. Part of the angled portion of the bridge abutment will be shortened and capped so that the riverwalk can rise over it.

Historic railing on bridge is only to be removed from the portion of the abutment being shortened. All other existing railing on the abutment shall remain and not be replaced with a new style.

**Date issued** 12/9/22 PTS ID 115168 COA:BRIDGE ABUTMENT ALTERATIONS

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

**Return all removed sections of railing to Department of Public Works, Bridges & Buildings Division.**

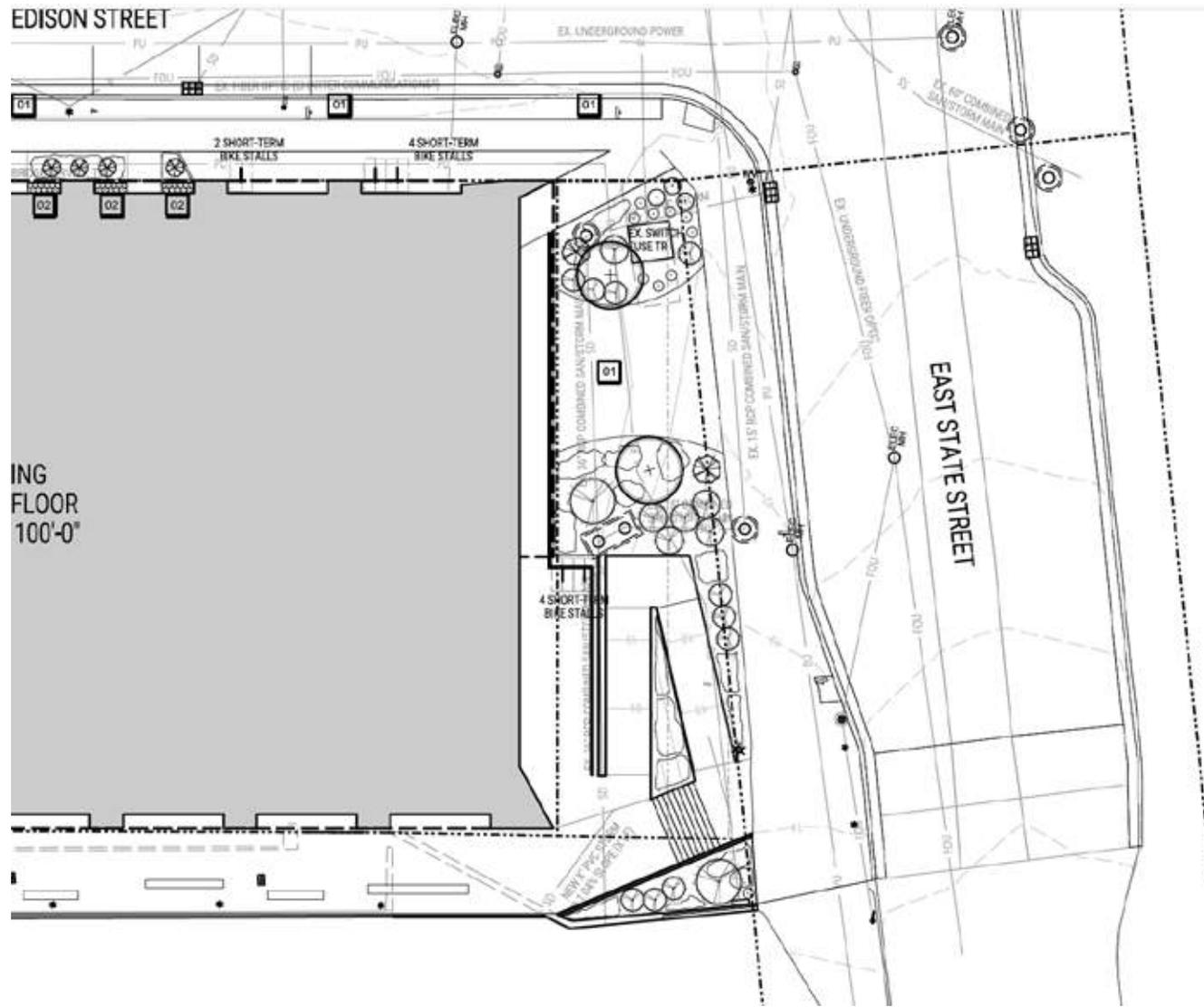
All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact [hpc@milwaukee.gov](mailto:hpc@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.milwaukee.gov/build](http://www.milwaukee.gov/build), or call (414) 286-8210.

City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Robert Bauman, Contractor

EDISON STREET



Approved site plan.



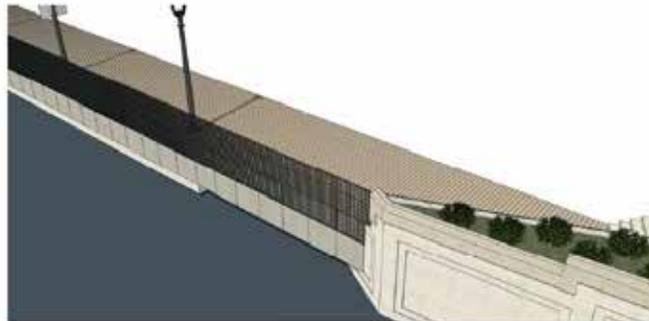
Original railing



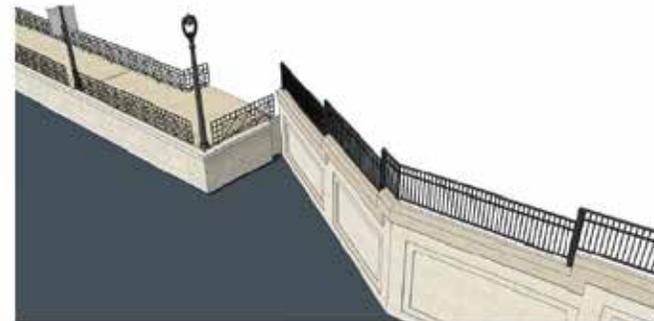
PROPOSED RIVERWALK | FROM NORTH



EXISTING RIVERWALK | FROM NORTH



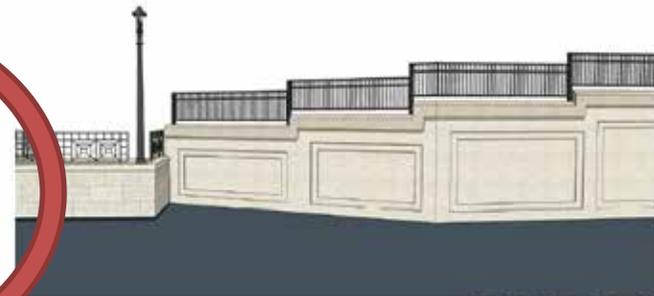
PROPOSED RIVERWALK | FROM SOUTH



EXISTING RIVERWALK | FROM SOUTH



PROPOSED RIVERWALK | ELEVATION

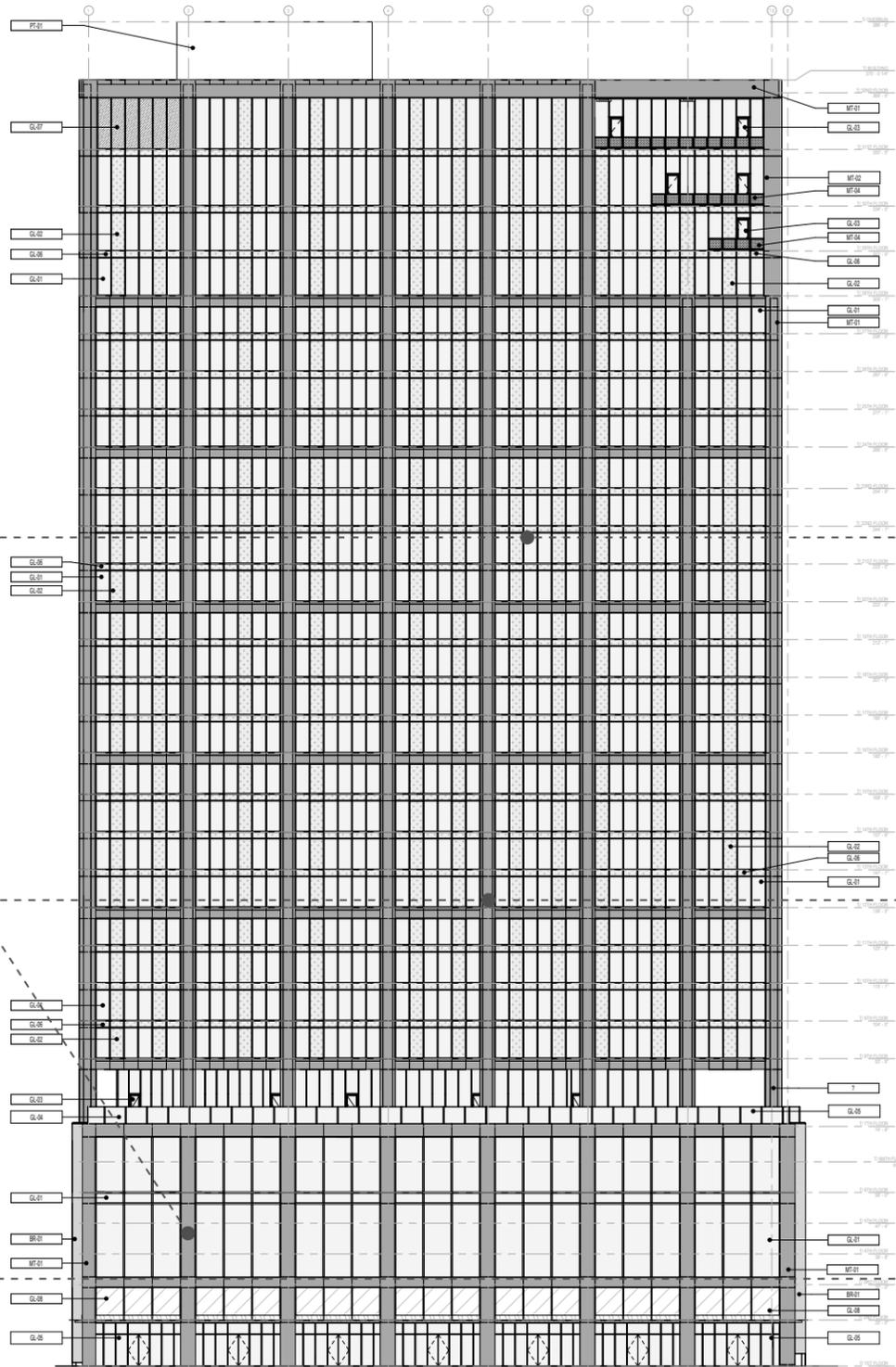


EXISTING RIVERWALK | ELEVATION

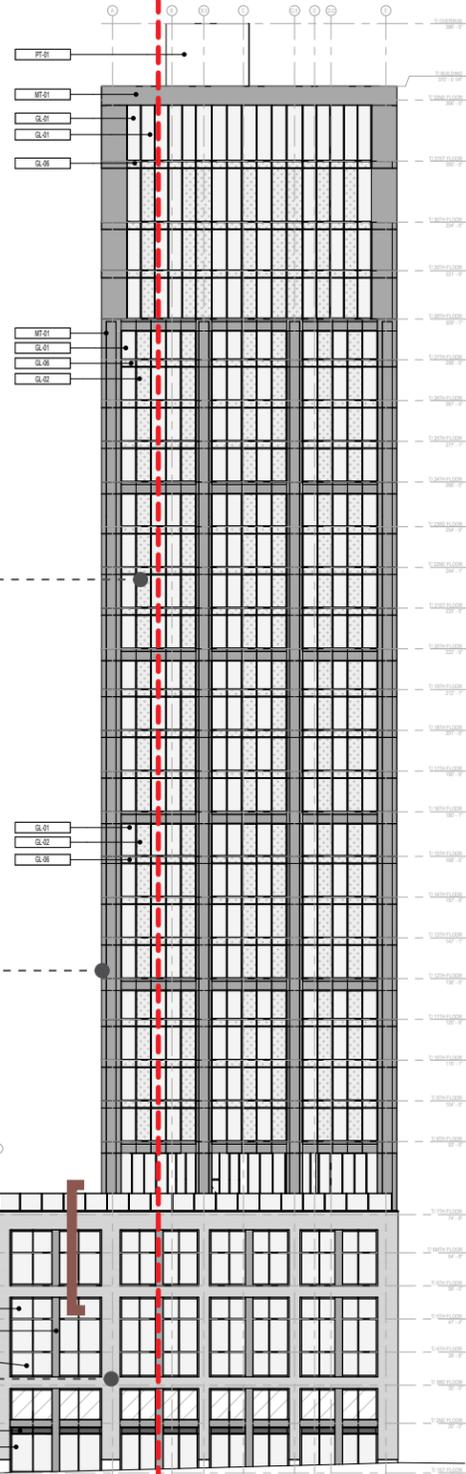
**Original railing must remain in place to the maximent extent possible.  
Remove railing only from the tier that is being shortened.**



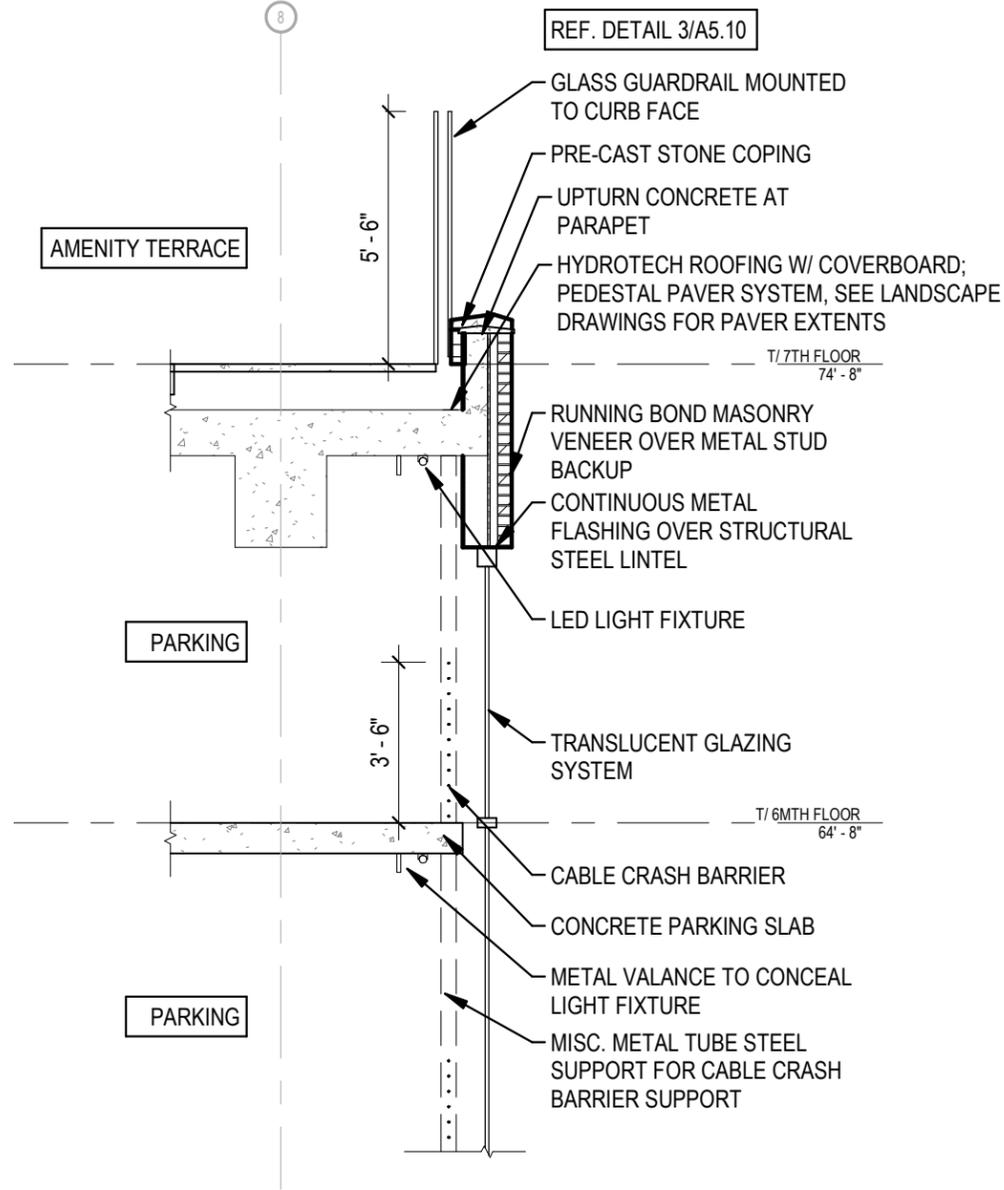
RIVER OVERLAY DISTRICT



WEST ELEVATION  
RIVER OVERLAY APPLICABLE



SOUTH ELEVATION



DETAIL AT GARAGE GLAZING  
RIVER OVERLAY APPLICABLE



Window Wall



Aluminum Panel



Opening within  
Brick Masonry



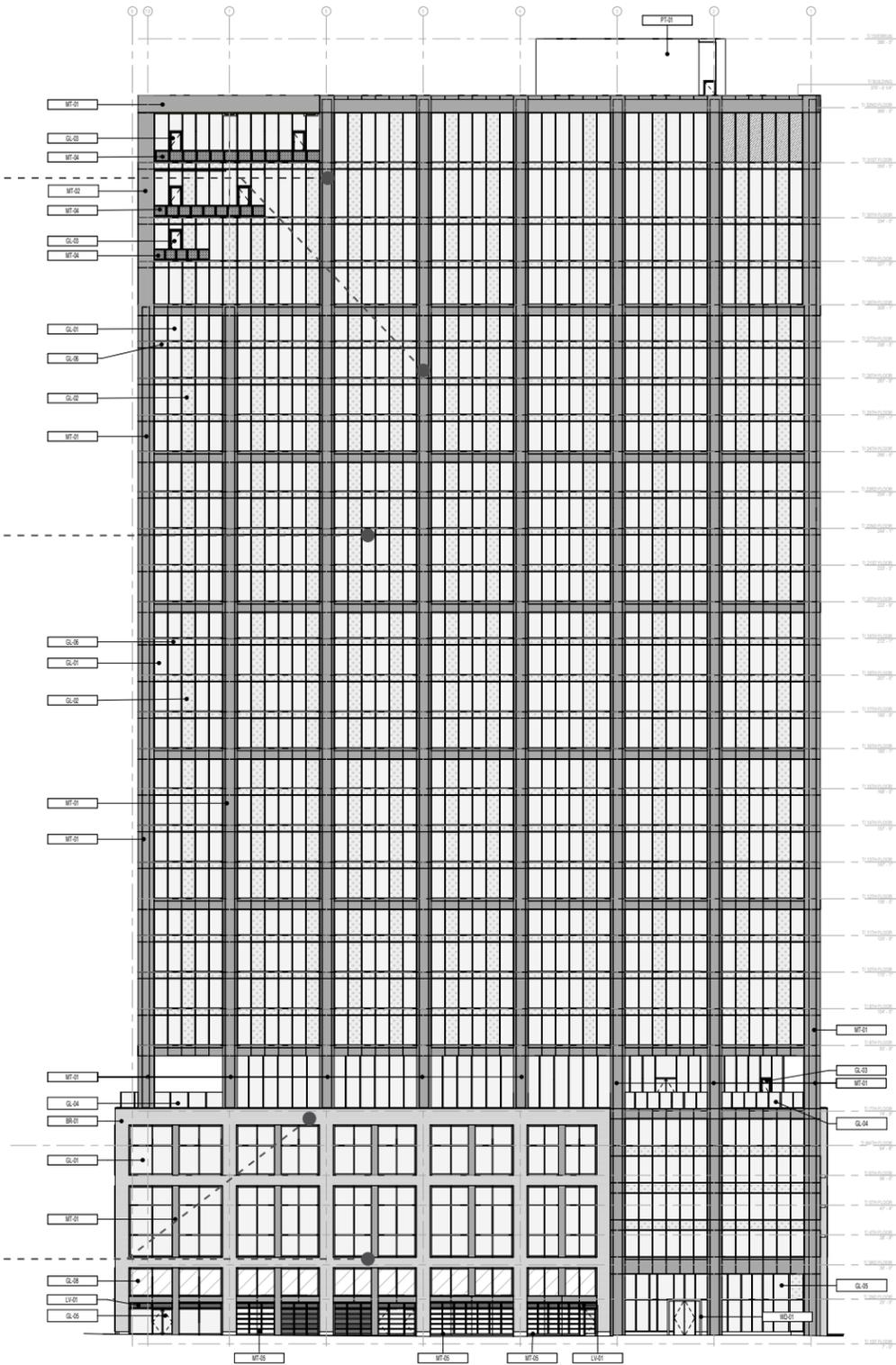
Aluminum Panel



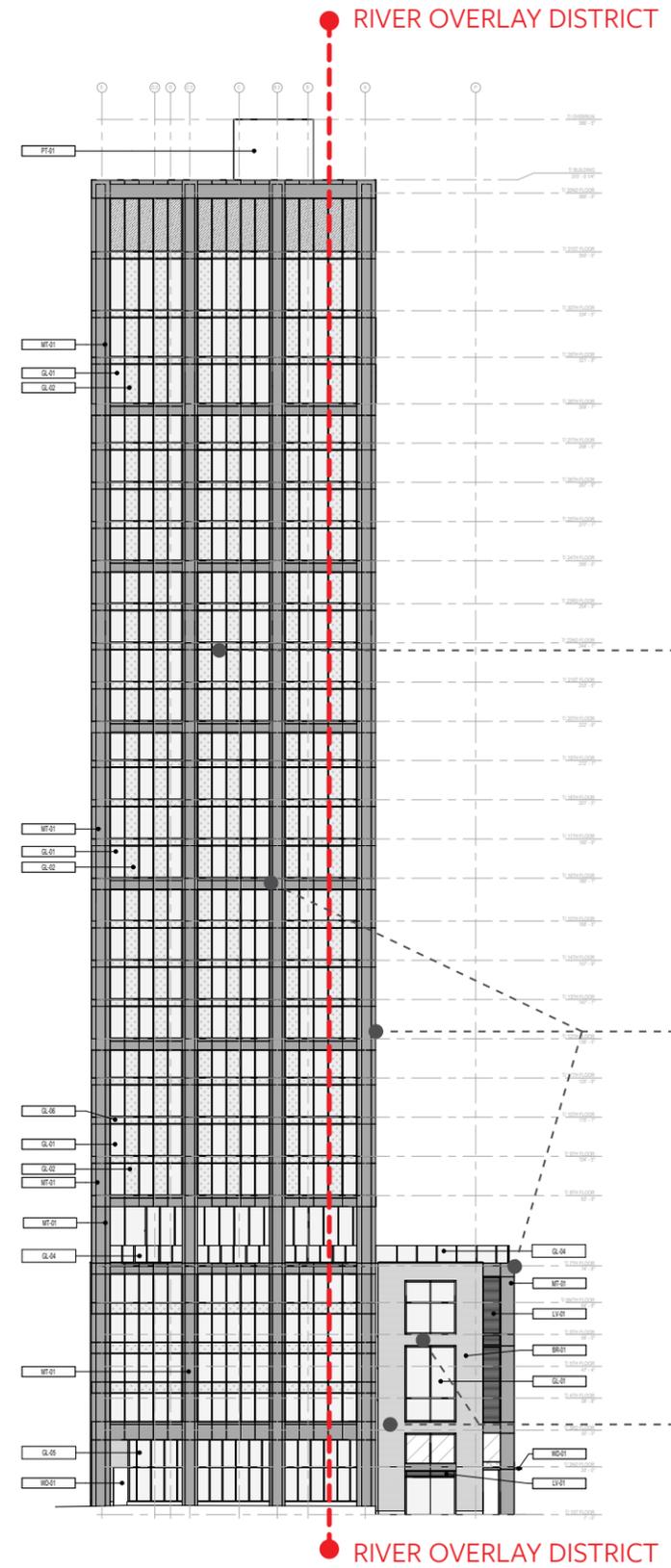
Window Wall



Opening within Brick Masonry



EAST ELEVATION  
RIVER OVERLAY APPLICABLE



NORTH ELEVATION



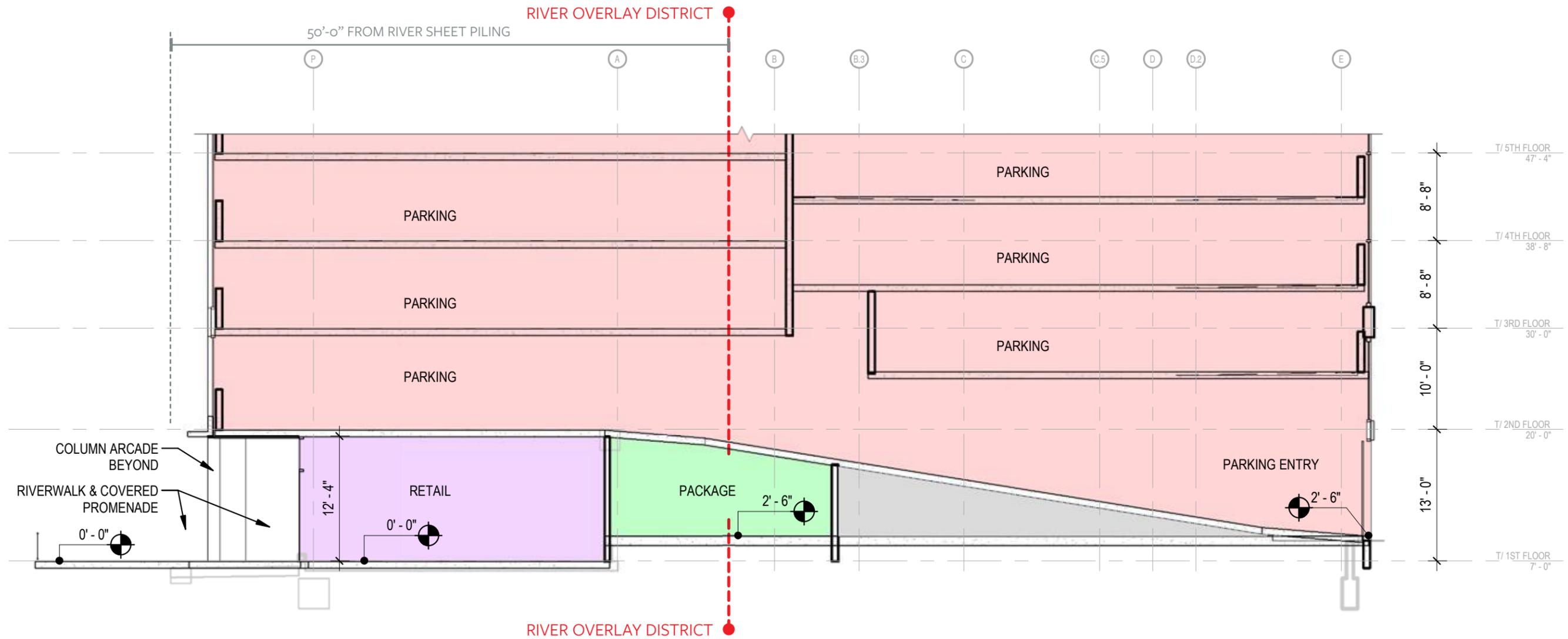
Window Wall



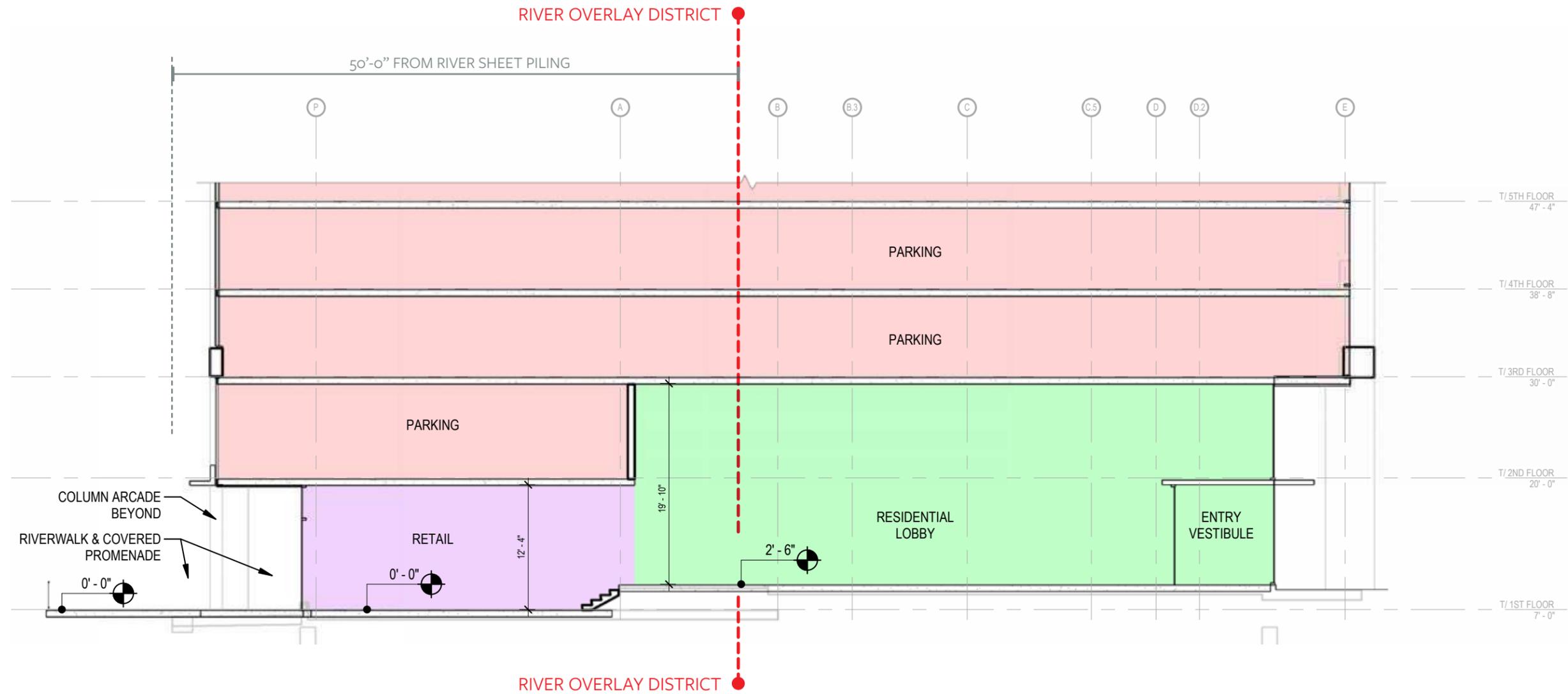
Aluminum Panel



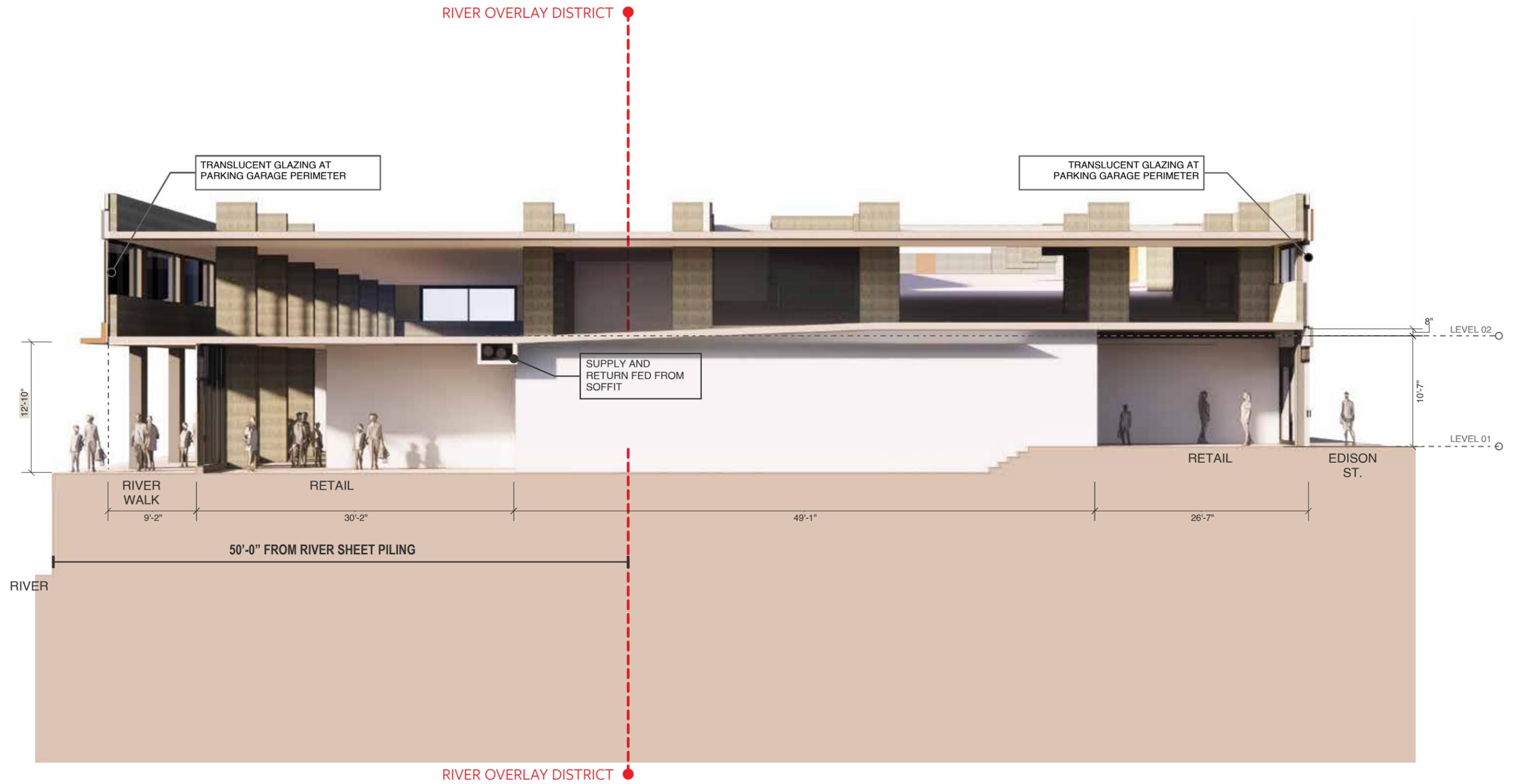
Opening within Brick Masonry



E/W SECTION THROUGH PARKING RAMP AND RETAIL LOOKING NORTH



E/W SCHEMATIC SECTION THROUGH LOBBY AND RETAIL LOOKING NORTH  
 SCALE: 3/32" = 1'-0"



SECTION THROUGH RETAIL

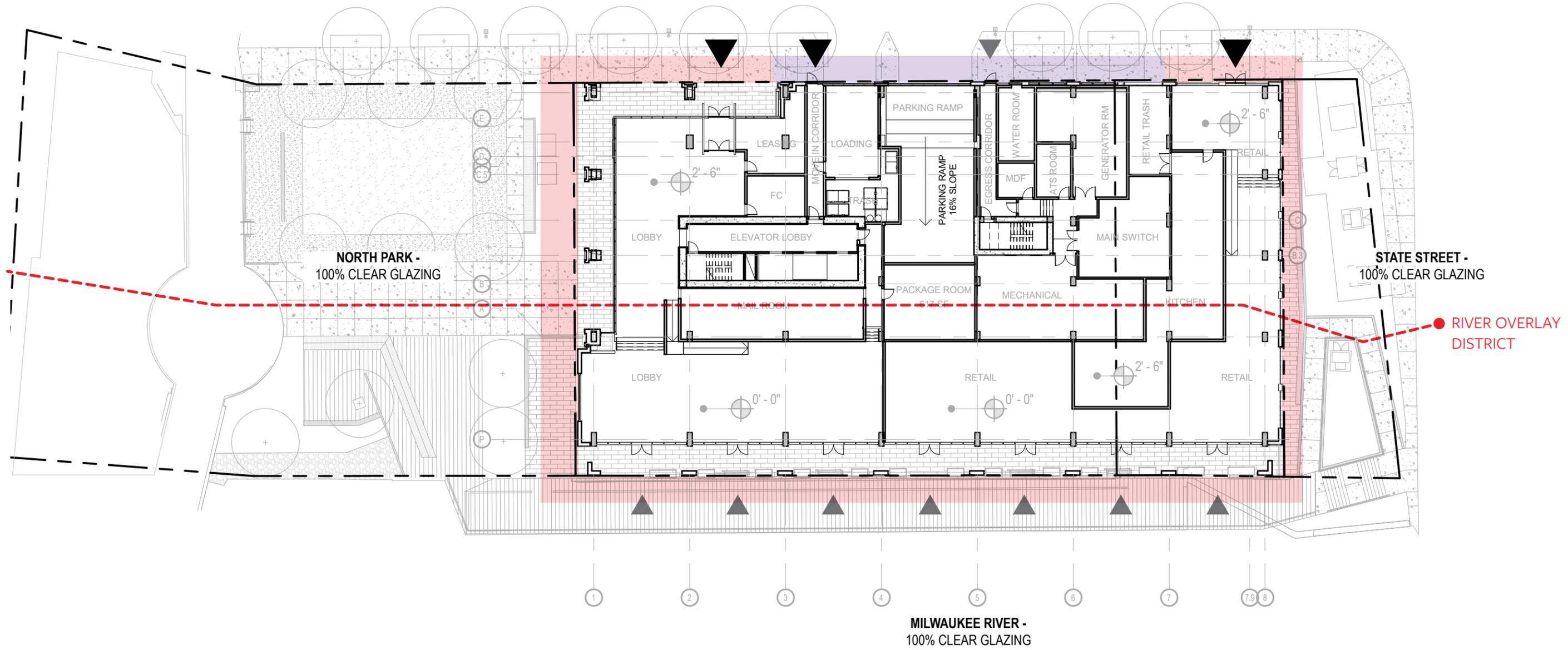




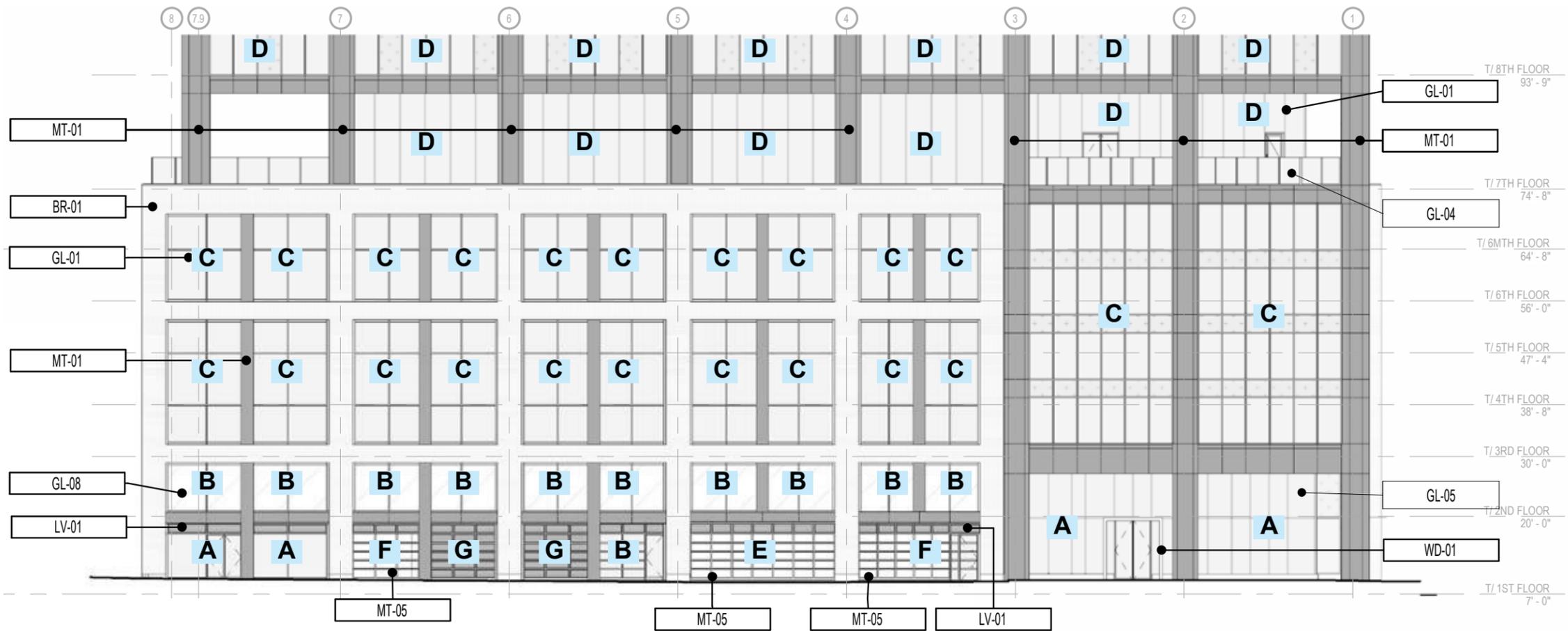
AERIAL VIEW FROM WEST - PROPOSED

- Exterior Open Glazing
- No Exterior Open Glazing
- Primary Entrance
- Secondary Entrance

**NORTH EDISON ST. -**  
 60.8% TRANSLUCENT FROSTED GLAZING  
 39.2% CLEAR GLAZING



GROUND FLOOR - GLAZING



- A. Ground Floor Clear Glazing
- B. Ground Floor Translucent Frosted Glazing
- C. Plinth Level Translucent Frosted Glazing
- D. Residential Clear Glazing
- E. Overhead Garage Door with Clear Glazing
- F. Overhead Garage Door with Translucent Frosted Glazing
- G. Louver



Overhead Garage Door with Clear Glazing



Plinth Level Translucent Frosted Glazing



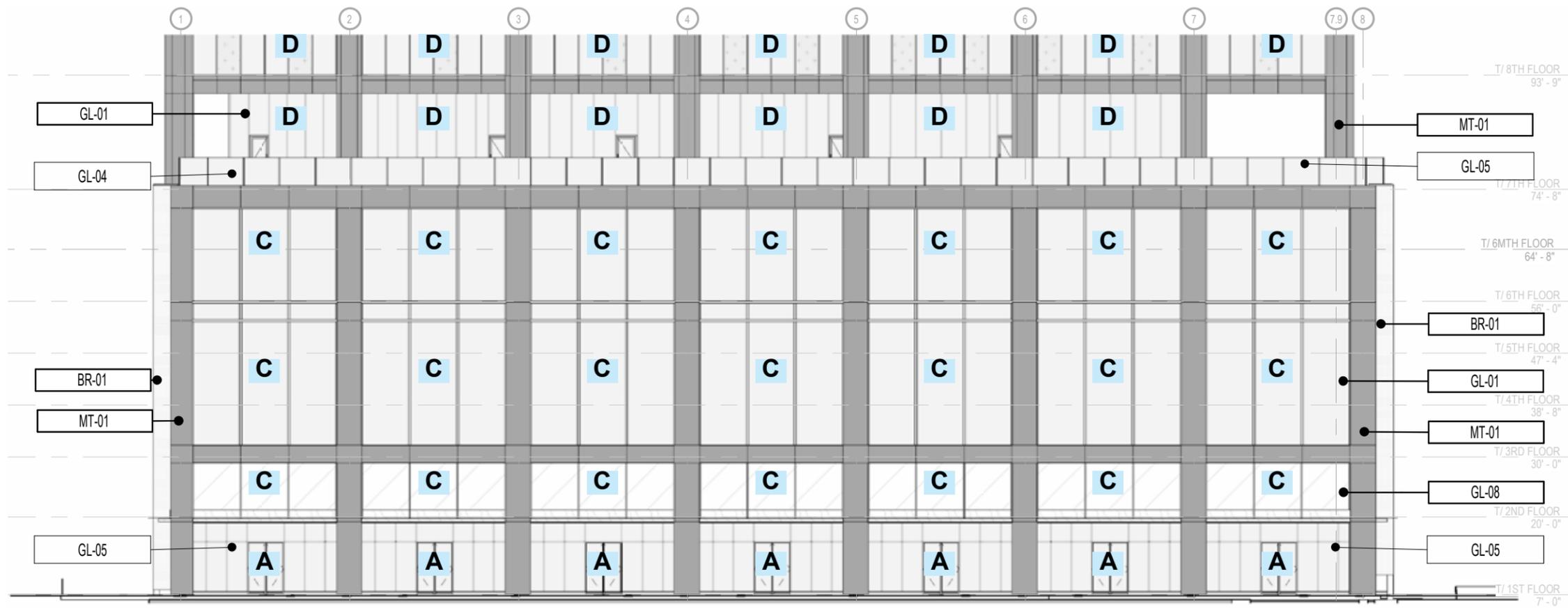
Residential Clear Glazing



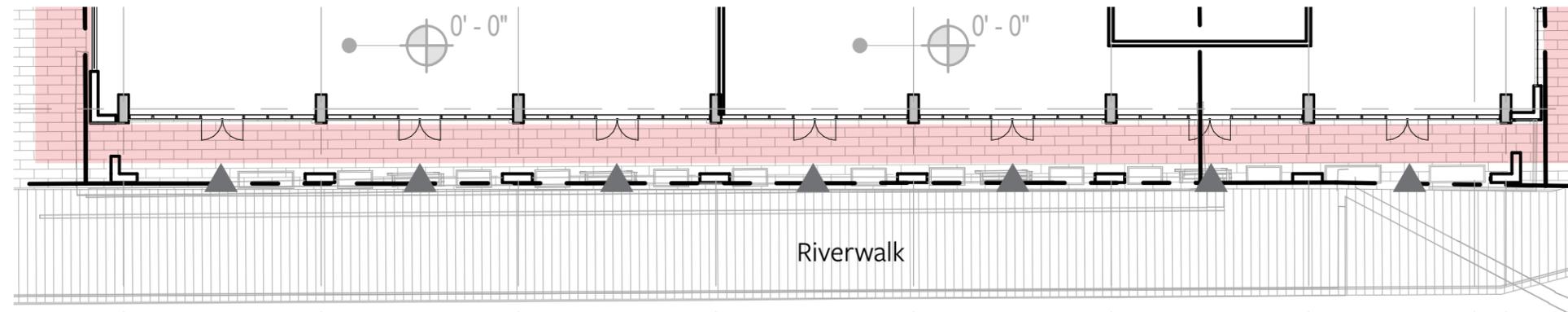
Metal Spandrel



## GROUND FLOOR - GLAZING



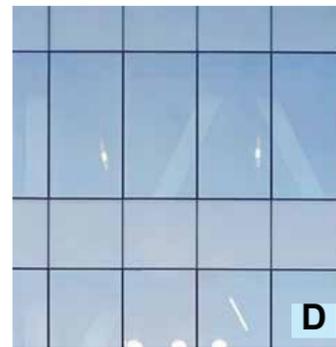
- A. Ground Floor Clear Glazing
- B. Ground Floor Translucent Frosted Glazing
- C. Plinth Level Translucent Frosted Glazing
- D. Residential Clear Glazing
- E. Overhead Garage Door with Clear Glazing
- F. Overhead Garage Door with Translucent Frosted Glazing
- G. Louver



Wood Awning & Arcade Ceiling



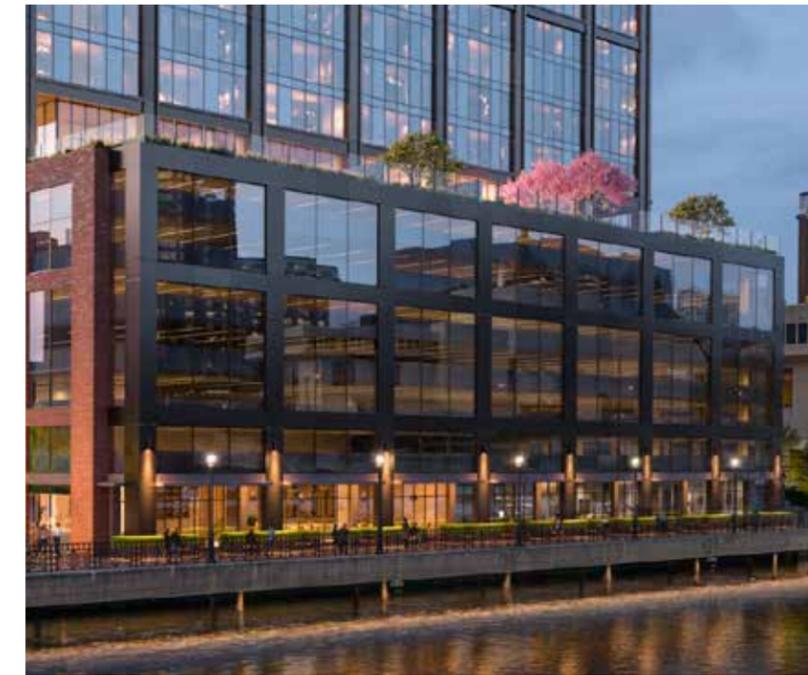
Plinth Level Translucent Frosted Glazing



Residential Clear Glazing



Metal Spandrel



## GROUND FLOOR - GLAZING

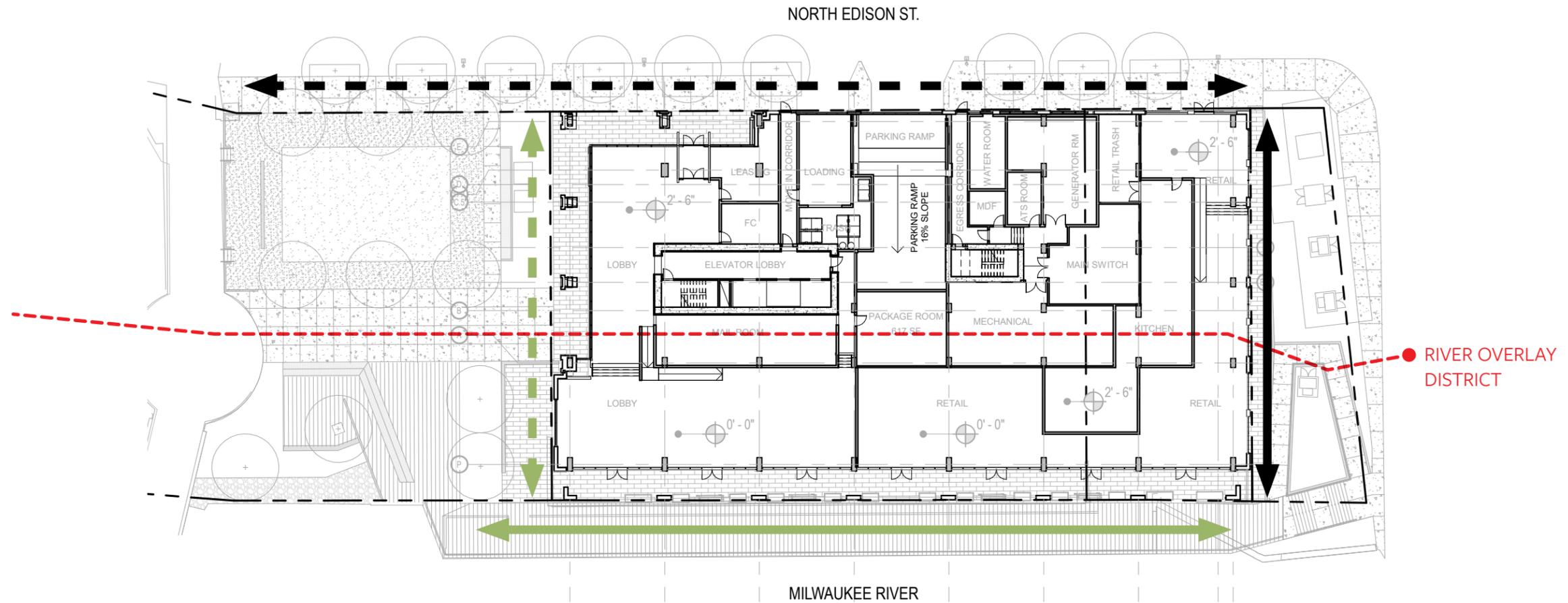
## Passive Urban

residential  
pedestrian  
density



## Active Urban

fast movement  
commercial  
engaging  
visual connection  
defined edges



## Green Plaza

pause + leisure  
meeting point  
playground  
smooth edge  
small commercial



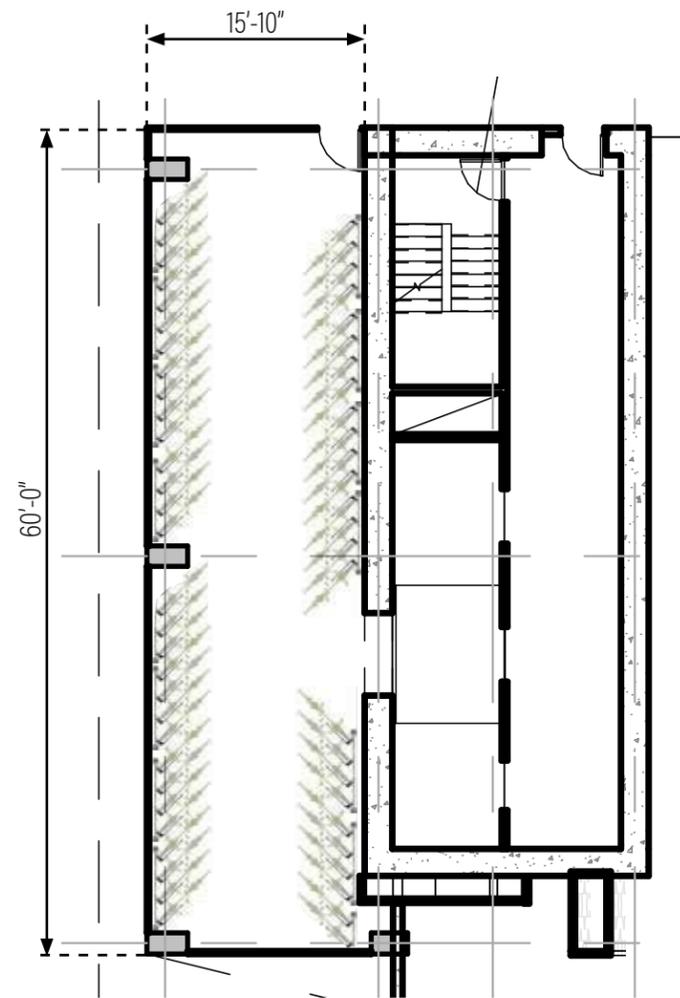
## River Walk

slow movement  
linkage  
pedestrian  
smooth edge



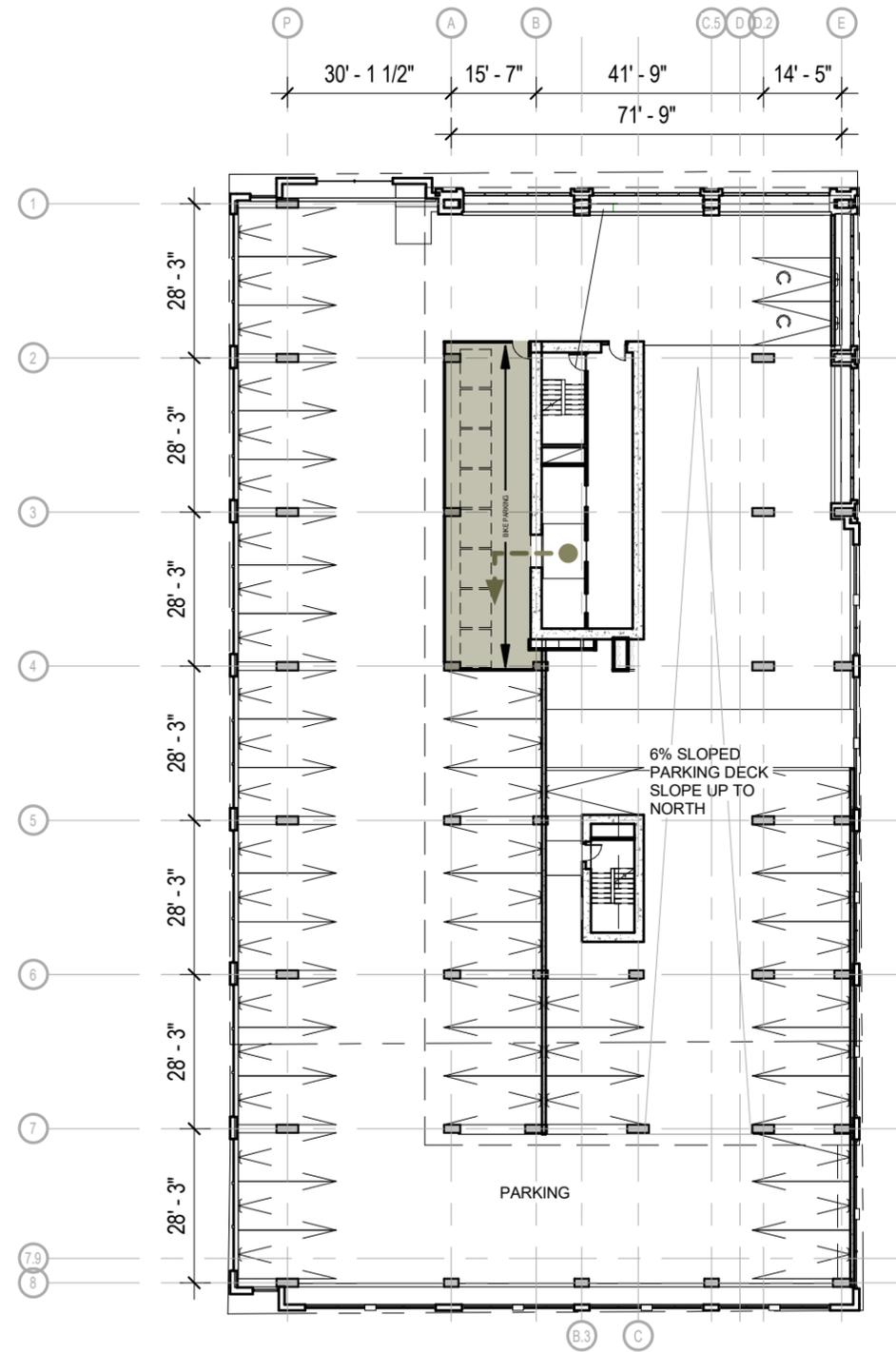
## USE ADJACENCIES



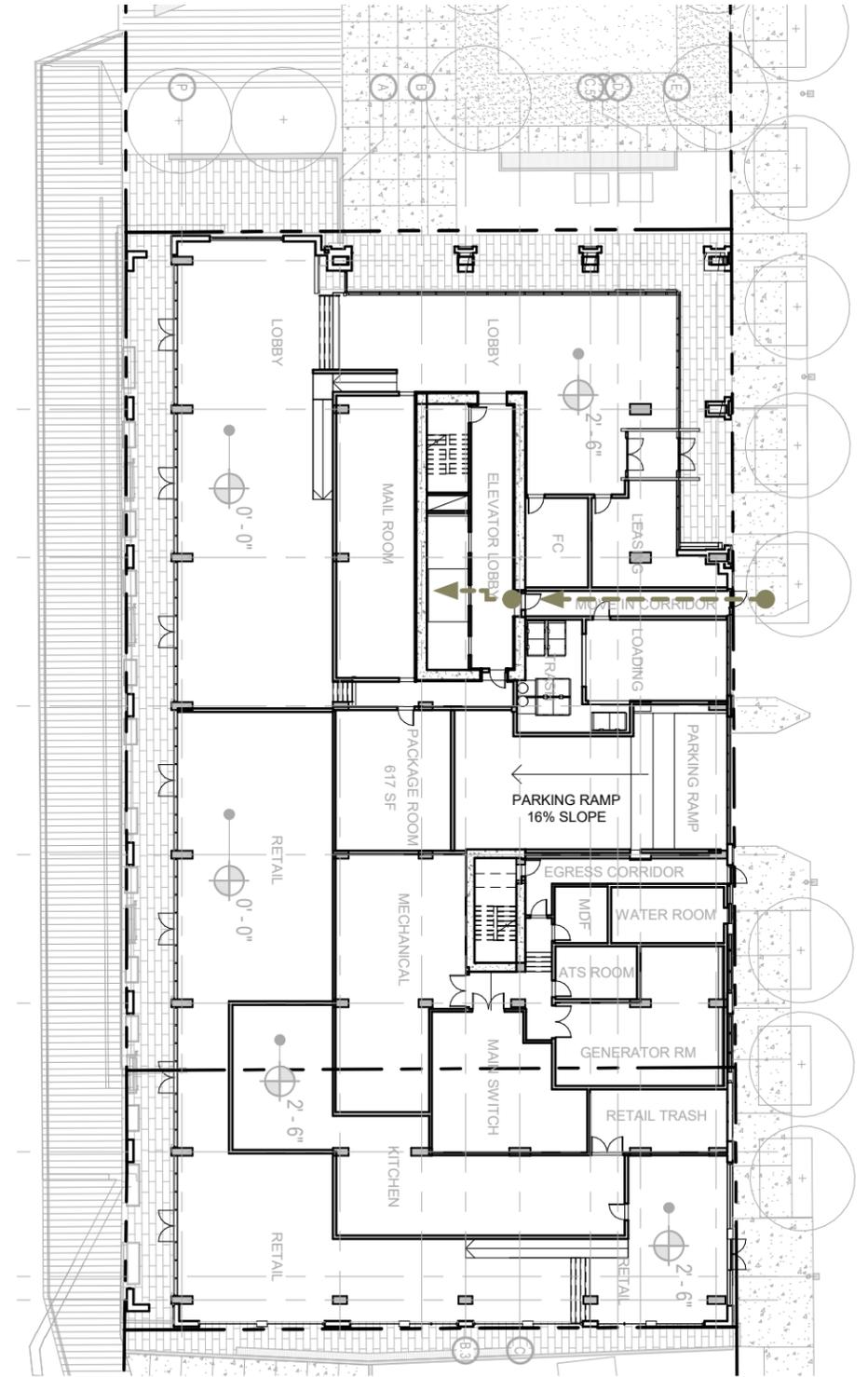


56 Bikes per Floor =  
168 Spaces Total

4TH-6TH FLOOR - BIKE STORAGE ROOM

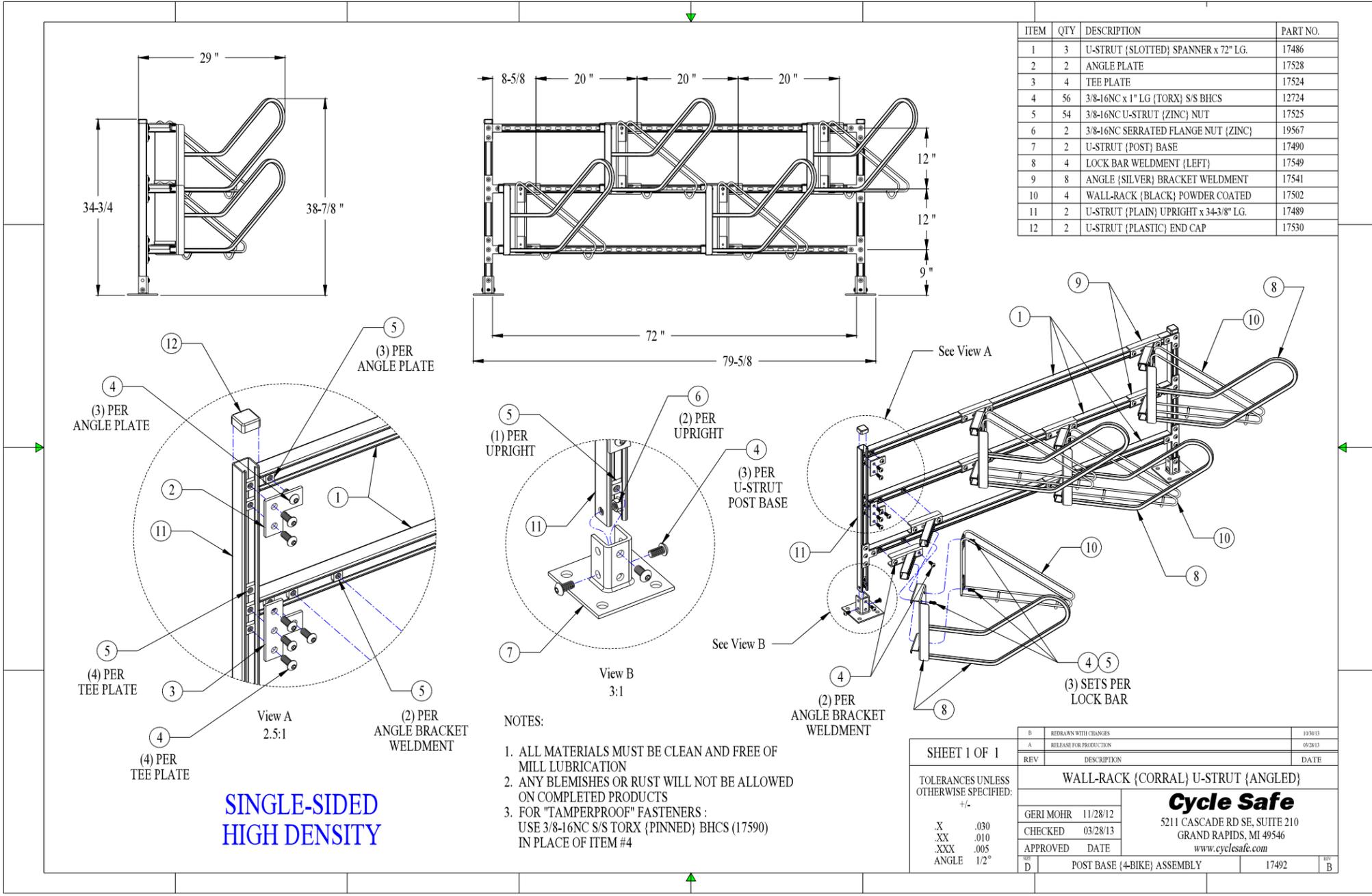


4TH-6TH FLOOR - PARKING LEVEL

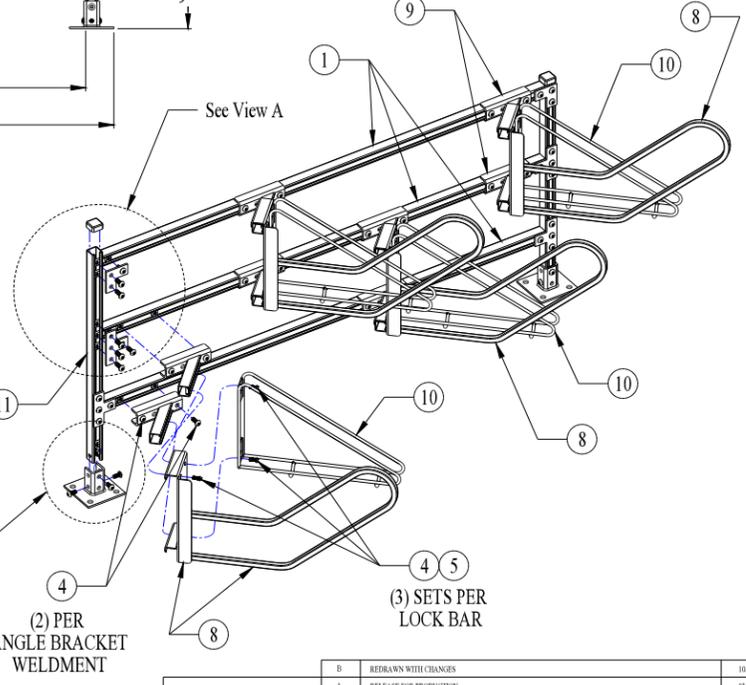
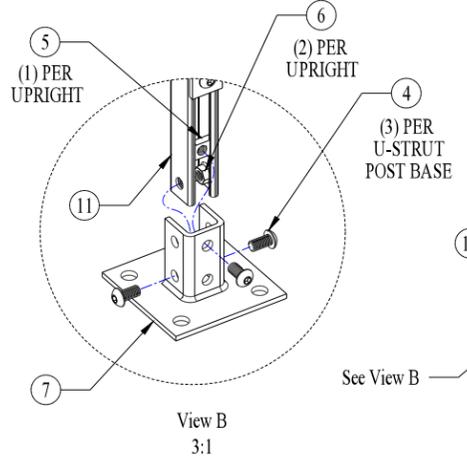
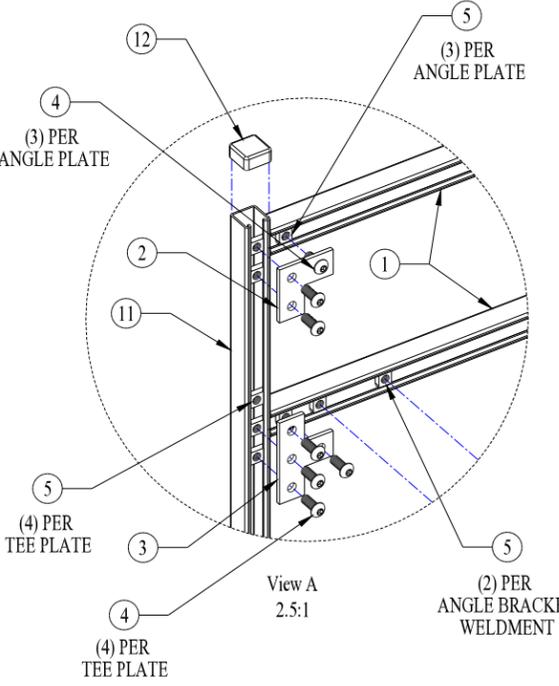


GROUND FLOOR

## LONG TERM BIKE PARKING



ITEM	QTY	DESCRIPTION	PART NO.
1	3	U-STRUT (SLOTTED) SPANNER x 72" LG.	17486
2	2	ANGLE PLATE	17528
3	4	TEE PLATE	17524
4	56	3/8-16NC x 1" LG (TORX) S/S BHCS	12724
5	54	3/8-16NC U-STRUT (ZINC) NUT	17525
6	2	3/8-16NC SERRATED FLANGE NUT (ZINC)	19567
7	2	U-STRUT (POST) BASE	17490
8	4	LOCK BAR WELDMENT (LEFT)	17549
9	8	ANGLE (SILVER) BRACKET WELDMENT	17541
10	4	WALL-RACK (BLACK) POWDER COATED	17502
11	2	U-STRUT (PLAIN) UPRIGHT x 34-3/8" LG.	17489
12	2	U-STRUT (PLASTIC) END CAP	17530



- NOTES:
1. ALL MATERIALS MUST BE CLEAN AND FREE OF MILL LUBRICATION
  2. ANY BLEMISHES OR RUST WILL NOT BE ALLOWED ON COMPLETED PRODUCTS
  3. FOR "TAMPERPROOF" FASTENERS : USE 3/8-16NC S/S TORX (PINNED) BHCS (17590) IN PLACE OF ITEM #4

SHEET 1 OF 1		TOLERANCES UNLESS OTHERWISE SPECIFIED:	
.X	.030	ANGLE	1/2°
.XX	.010		
.XXX	.005		

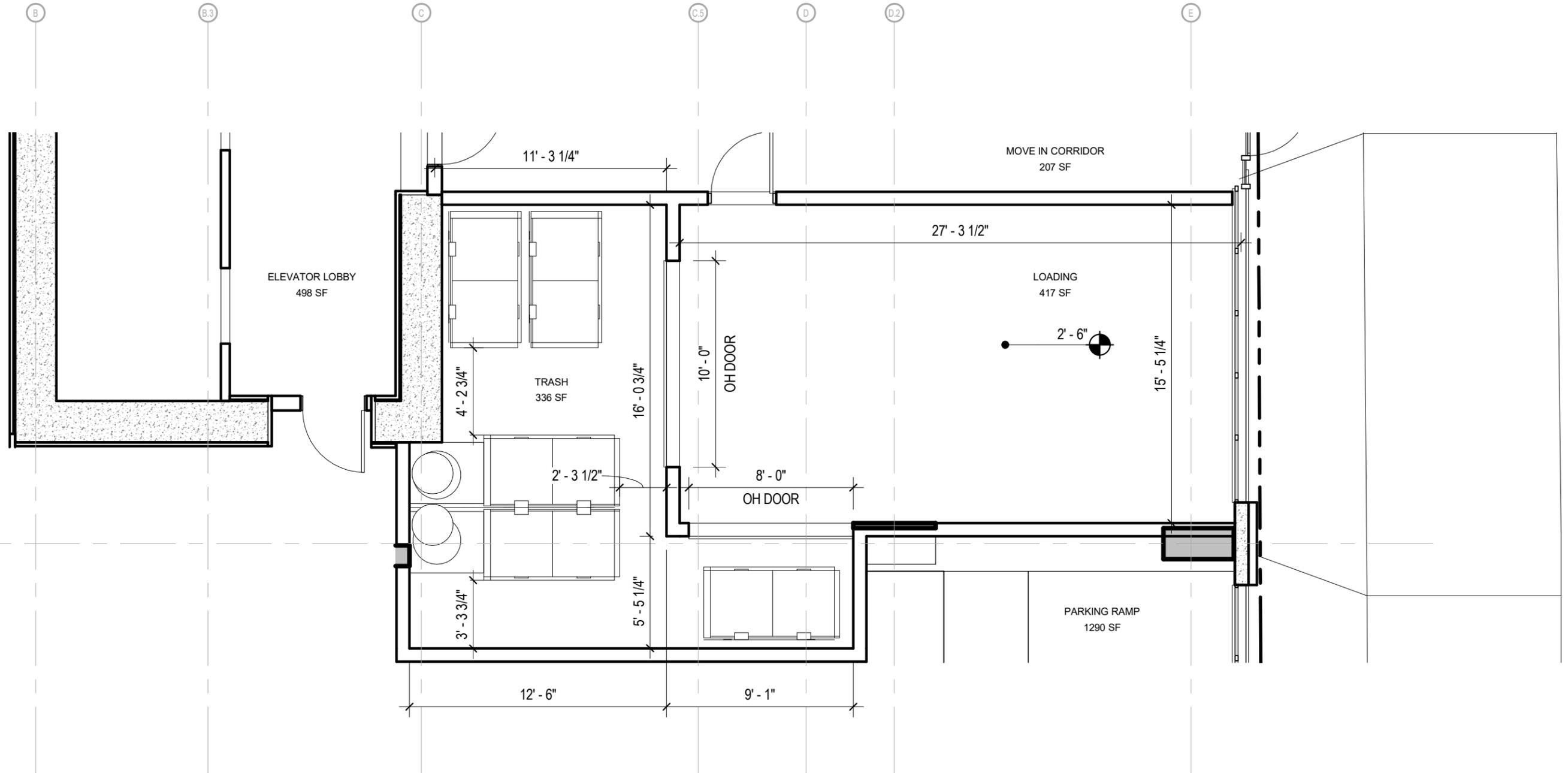
REV	DESCRIPTION	DATE
B	REDRAWN WITH CHANGES	10/30/13
A	RELEASE FOR PRODUCTION	05/28/13

GERI MOHR	11/28/12	<b>Cycle Safe</b> 5211 CASCADE RD SE, SUITE 210 GRAND RAPIDS, MI 49546 www.cyclesafe.com
CHECKED	03/28/13	
APPROVED	DATE	

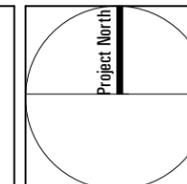
POST BASE (4-BIKE) ASSEMBLY	17492	REV B
-----------------------------	-------	-------

**SINGLE-SIDED  
HIGH DENSITY**

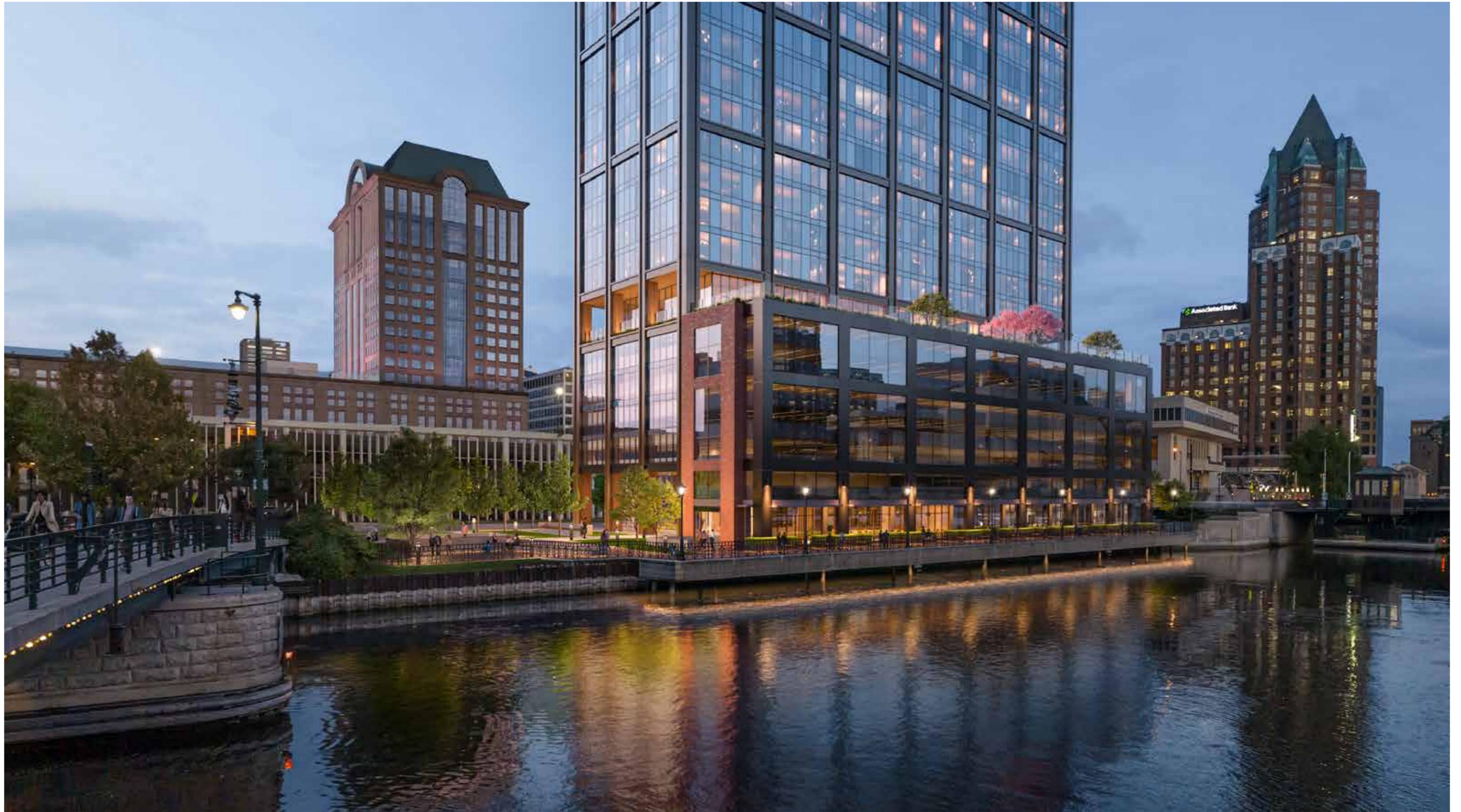
LONG TERM BIKE PARKING - CUT SHEET



# THE EDISON



SCALE	DRAWING	SK #
3/16" = 1'-0"		
DATE	TRASH ROOM	03
02/29/24		



RIVERWALK - PROPOSED



LPA

NEUTRAL PROJECT | CD SMITH



EDISON STREET - PROPOSED



LPA

NEUTRAL PROJECT | CD SMITH

