

CPC - RIVERWALK SPROZ EXHIBITS

03/12/2024

The Edison

1005 North Edison Street,
Milwaukee, WI
HPA | Hartshorne Plunkard
Architecture



THE
NEUTRAL
PROJECT

C.D. SMITH
CONSTRUCTION

INDEX

Existing Site Photos

Survey

Contextual Analysis

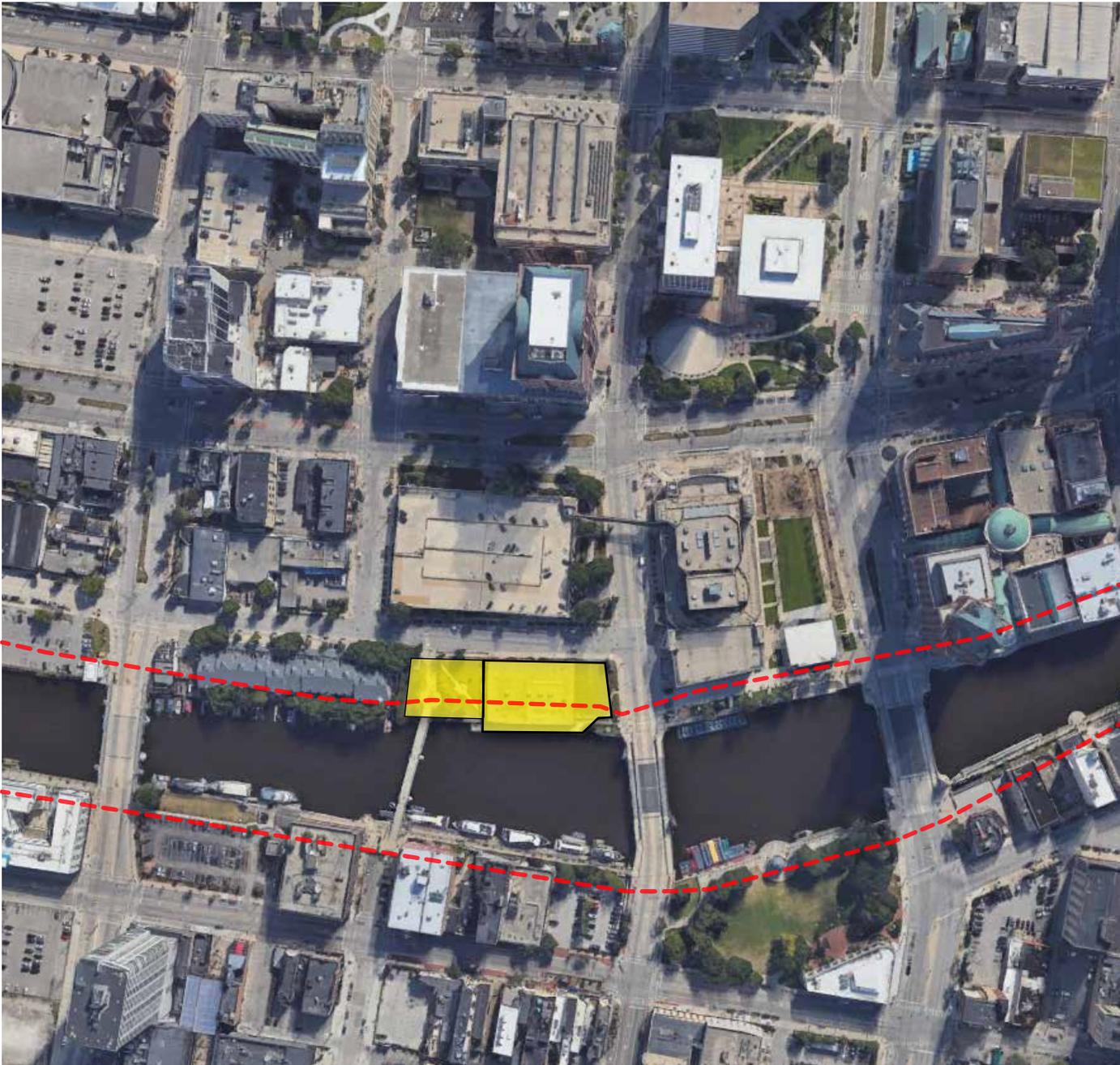
Site Plans

Landscape Documents

Riverwalk Connection Documents

Elevations / Sections

Renderings / Floor Plans



● RIVER OVERLAY DISTRICT

● RIVER OVERLAY DISTRICT



via Google



HDA

NEUTRAL PROJECT | CD SMITH



Edison looking West



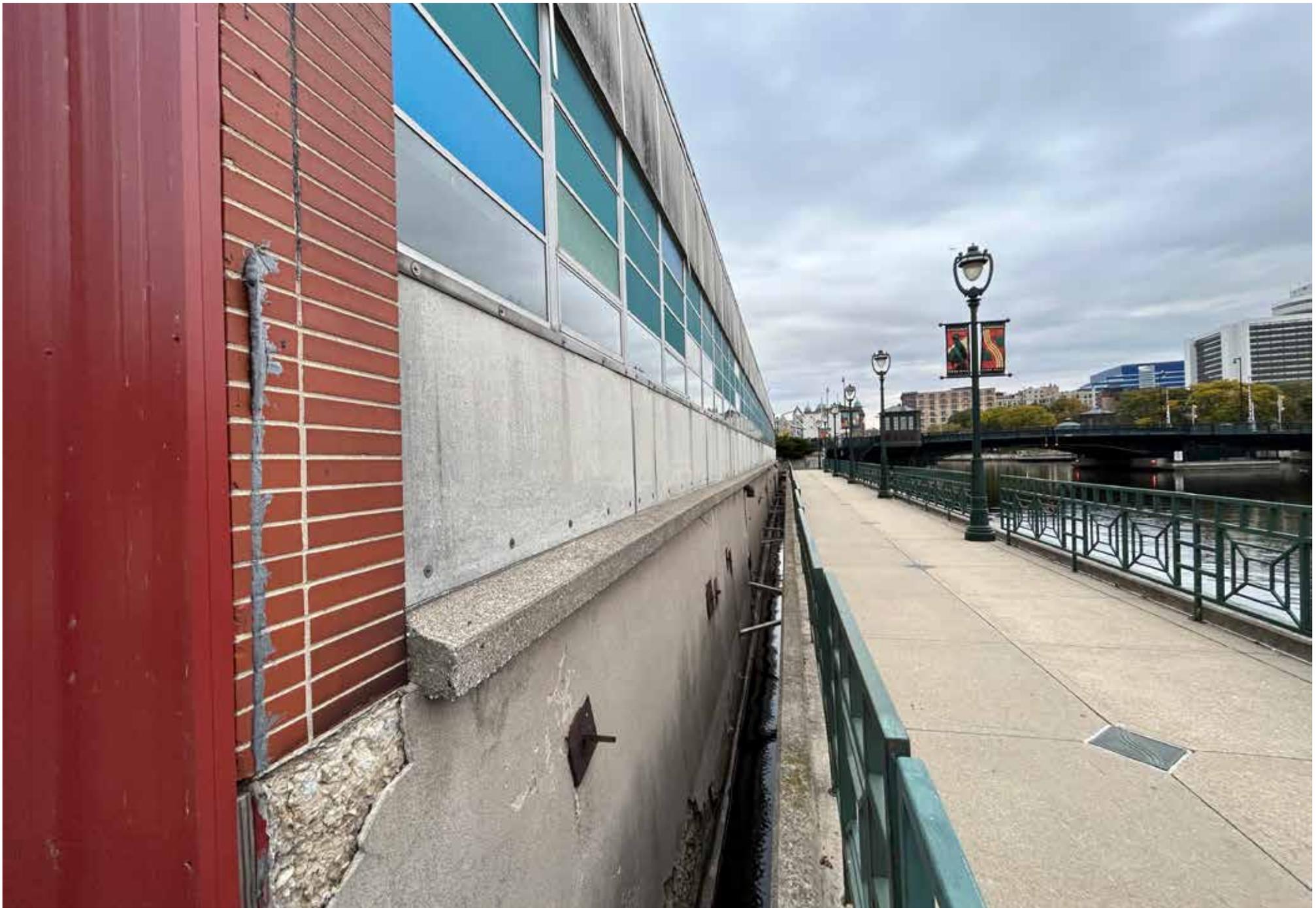
Edison looking West at Pedestrian Bridge



Edison looking Northwest at Pedestrian Bridge

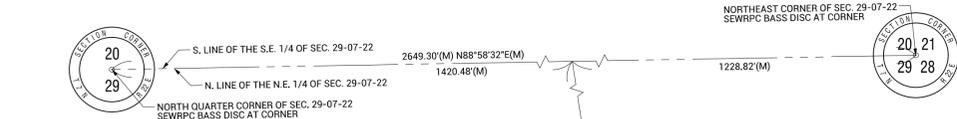


Pedestrian Bridge looking Southeast at Riverwalk

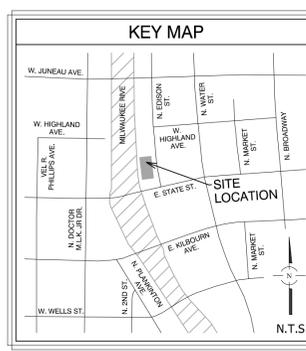
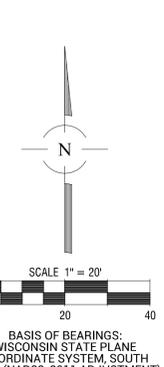
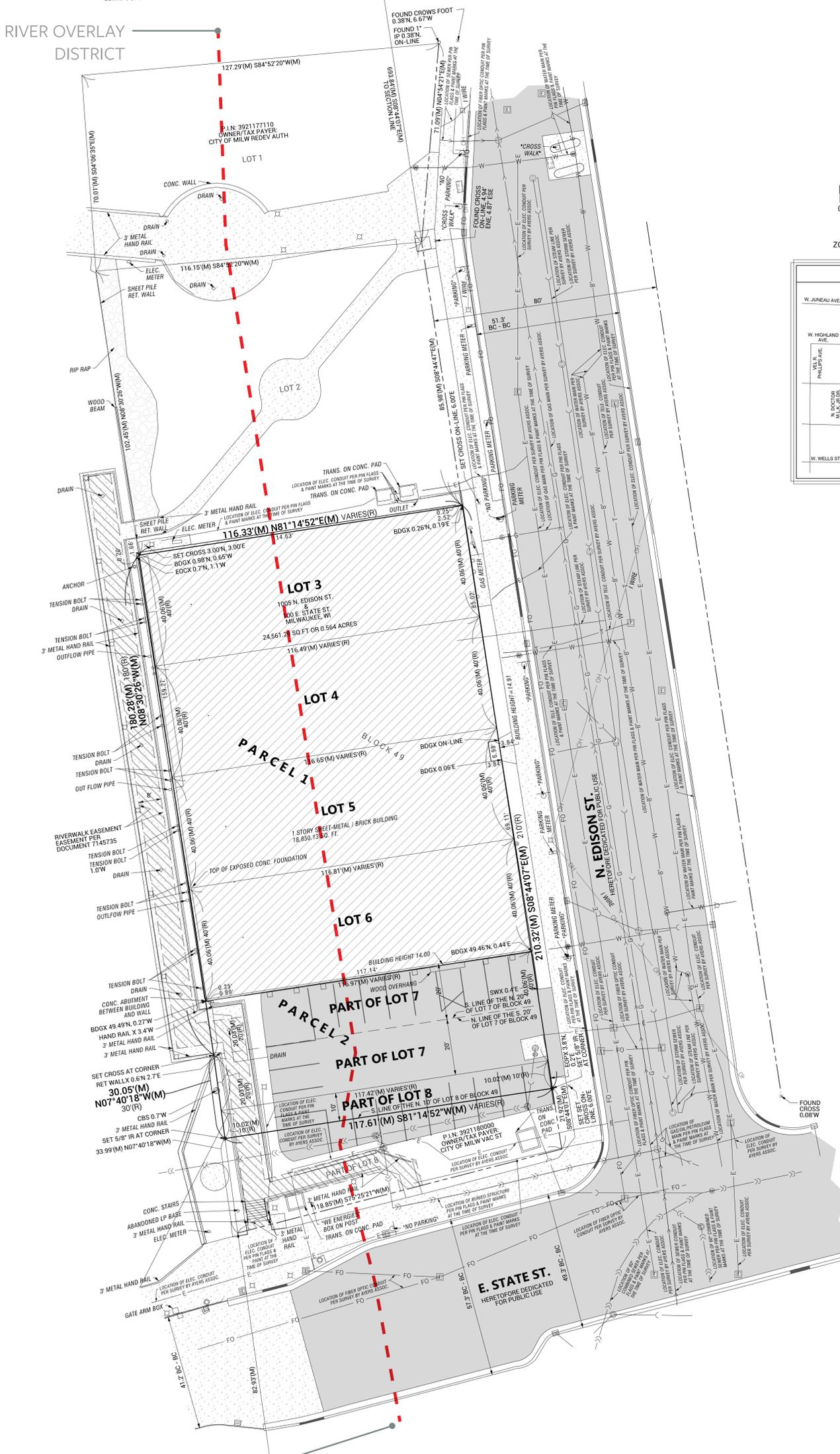


Existing Riverwalk at West of Previous Building (since demolished)

A.L.T.A. / N.S.P.S. LAND TITLE SURVEY



RIVER OVERLAY DISTRICT



LEGEND	
	STORM SEWER
	SANITARY SEWER
	COMBINED SEWER
	WATER MAIN
	GAS MAIN
	UNDERGROUND TELEPHONE LINE
	UNDERGROUND ELECTRIC LINE
	OVERHEAD WIRE(S) ON UTILITY POLES
	FIBER OPTIC LINE
	FENCE
	GUARDRAIL
	TRAFFIC SIGNAL
	ELECTRIC METER
	LIGHT POLE
	UTILITY POLE
	ELECTRIC MANHOLE
	TELEPHONE MANHOLE
	GAS METER
	COMBINATION MANHOLE
	SANITARY MANHOLE
	CLEANOUT
	STORM MANHOLE
	CATCH BASIN
	INLET
	BUFFALO BOX
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	MAILBOX
	SIGN
	UNIDENTIFIED MANHOLE
	PK MANHOLE
	IRON PIPE
	CROSS
	MEASURED RECORD
	RECORDED
	IRON ROD
	IRON PIPE (BACK OF CURVE TO BACK OF CURVE)
	EDGE OF CONCRETE CORNER
	EDGE OF PAVEMENT CORNER
	BOOK
	RETAINING WALL CORNER
	CATCH BASIN CORNER
	SEWER/CLEANOUT CORNER
	ASPHALT
	CONCRETE
	GRAVEL
	RIP RAP

PARCEL 1:
LOTS NUMBERED THREE (3), FOUR (4), FIVE (5), AND SIX (6), IN BLOCK NUMBERED FORTY-NINE (49), PLAT OF MILWAUKEE ORIGINAL BLOCKS EAST OF THE RIVER IN THE NORTH EAST ONE-QUARTER (NE 1/4) OF SECTION TWENTY-NINE (29), TOWNSHIP SEVEN (7) NORTH, RANGE TWENTY-TWO (22) EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

PARCEL 2:
THAT PART OF THE NORTH TWENTY (20) FEET OF LOT NUMBERED SEVEN (7) IN BLOCK NUMBERED FORTY-NINE (49), LYING EAST OF THE EAST DOCK LINE OF THE MILWAUKEE RIVER AS ESTABLISHED BY THE COMMON COUNCIL OF MILWAUKEE ON OCTOBER 14, 1944, IN THE NORTH EAST ONE-QUARTER (NE 1/4) OF SECTION NUMBERED TWENTY-NINE (29), TOWNSHIP NUMBERED SEVEN (7) NORTH, RANGE NUMBERED TWENTY-TWO (22) EAST, BEING A PART OF THE PLAT OF MILWAUKEE ON THE EAST SIDE OF THE RIVER, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

ALSO, THE NORTH THIRTY (30) FEET OF FORMER MARTIN STREET (NOW EAST STATE STREET) LYING EAST OF THE EAST DOCK LINE OF THE MILWAUKEE RIVER AS ESTABLISHED BY THE COMMON COUNCIL OF MILWAUKEE ON OCTOBER 14, 1944, SAID THIRTY (30) FOOT PARCEL ORIGINALLY BEING DESCRIBED AS THE SOUTH 20 FEET OF LOT NUMBERED SEVEN (7) AND THE NORTH TEN (10) FEET OF LOT NUMBERED EIGHT (8) IN BLOCK NUMBERED FORTY-NINE (49), IN THE NORTH EAST ONE-QUARTER (NE 1/4) OF SECTION NUMBERED TWENTY-NINE (29), TOWNSHIP NUMBERED SEVEN (7) NORTH, RANGE NUMBERED TWENTY-TWO (22) EAST, BEING A PART OF THE PLAT OF MILWAUKEE ON THE EAST SIDE OF THE RIVER, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN.

SURVEY NOTES:
THIS SURVEY REFLECTS MATTERS OF TITLE AS LISTED ON A COMMITMENT FOR TITLE INSURANCE BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NUMBER: NCS-975515-MAD, WITH A COMMITMENT DATE OF AUGUST 14, 2019.

UNDERGROUND UTILITIES ARE SHOWN BY USING PHYSICAL EVIDENCE FOUND ON THE SURFACE AND/OR FROM UTILITY COMPANY FIELD STAKES AND/OR ENGINEERING PLANS. THEREFORE, THEIR LOCATIONS ARE APPROXIMATE AND SUSPECTED AND MAY NOT BE COMPLETELY ACCURATE. FOR MORE ACCURATE LOCATION, FIELD EXCAVATE OTHER UTILITIES NOT SHOWN MAY EXIST, BEFORE DIGGING CALL WISCONSIN'S ONE-CALL CENTER 811 OR (800) 242-8811. A DIGGERS HOLE TICKET WAS CALLED IN BY THE OWNER FOR JANUARY 10, 2023 AND THOSE MARKINGS/UTILITIES ARE SHOWN.

ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF. NO DISTANCES OR ANGLES SHOWN HEREON MAY BE ASSUMED BY SCALING. BEARINGS SHOWN HEREON ARE BASED ON THE WISCONSIN STATE PLANE COORDINATE SYSTEM GRID, SOUTH ZONE (NAD-83), WISCONSIN WAS USED TO ESTABLISH THE COORDINATE SYSTEM FOR THIS SURVEY.

THIS SURVEY COMPLIES WITH CHAPTER AE-7 OF THE WISCONSIN ADMINISTRATIVE CODE AND IS CORRECT TO THE BEST OF THE SURVEYOR'S KNOWLEDGE AND BELIEF.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS.

NO CEMETERIES, GRAVESTONES OR BURIAL GROUNDS WERE DISCLOSED IN THE RECORD DOCUMENTS PROVIDED TO THE SURVEYOR OR OBSERVED IN THE PROCESS OF CONDUCTING THIS SURVEY.

ADDITIONALLY, THIS SURVEYOR HAS NO PRIOR KNOWLEDGE OF CEMETERIES, GRAVESTONES OR BURIAL GROUNDS BEING LOCATED ON THE SURVEYED PROPERTY.

TAX KEY NOS.:
392-1179-100 (PARCEL 1)
392-1179-100 (PARCEL 2)

MONUMENTS WERE FOUND/SET AT THE PARCEL CORNERS AS SHOWN. (TABLE ITEM 1)
ADDRESS PER TITLE COMMITMENT:
1005 N. EDISON STREET (PARCEL 1)
100-110 EAST STATE STREET (PARCEL 2)
(TABLE ITEM 2)

BASED UPON A REVIEW OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 58073C001E WITH AN EFFECTIVE DATE OF 09/26/2008 IT IS OUR CONSIDERED OPINION THAT THIS PROPERTY LIES IN ZONE X (UNSHADDED) - AREA WITH A 0.2% ANNUAL CHANCE FLOOD HAZARD AS IDENTIFIED BY SAID F.I.R.M. MAP. (TABLE ITEM 3)

THE PROPERTY SURVEYED CONTAINS 24,561 SQUARE FEET, OR 0.564 ACRES, MORE OR LESS. (TABLE ITEM 4)

SUBSTANTIAL FEATURES ARE SHOWN HEREON. (TABLE ITEM 8)

THERE ARE 20 STRIPPED PARKING SPACES ON THE SURVEYED PROPERTY, NONE OF WHICH ARE MARKED HANDICAPPED. (TABLE ITEM 9)

UTILITY MARKINGS AS FOUND AT THE TIME OF THE SURVEY ARE SHOWN HEREON. (TABLE ITEM 11(B))

THE NAMES OF ADJOINING OWNERS ACCORDING TO CURRENT TAX RECORDS ARE SHOWN HEREON. (TABLE ITEM 13)

THIS SURVEYOR KNOWS OF NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED AND AVAILABLE FROM THE CONTROLLING JURISDICTION. THERE IS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS. (TABLE ITEM 17)

NOTES FROM TITLE COMMITMENT:
10. CURRENT AND FUTURE OBLIGATIONS ARISING FROM THE INCLUSION OF THE SUBJECT PARCELS IN BUSINESS IMPROVEMENT DISTRICT NO. 15 (MILWAUKEE RIVER WALKS) AND BUSINESS IMPROVEMENT DISTRICT NO. 21 (DOWNTOWN MANAGEMENT DISTRICT). (SURVEYOR'S NOTE: NOT A SURVEY RELATED ITEM.)

11. PUBLIC OR PRIVATE RIGHTS IN SUCH PORTION OF THE SUBJECT PREMISES AS MAY BE PRESENTLY USED, LAID OUT OR DEDICATED IN ANY MANNER WHATSOEVER, FOR STREET, HIGHWAY, AND OR ALLEY PURPOSES. (SURVEYOR'S NOTE: ADJOINING ROADWAYS ARE SHOWN.)

12. PUBLIC RIGHTS OF THE UNITED STATES, THE STATE OF WISCONSIN OR THE CITY OR COUNTY OF MILWAUKEE OR OF ANY OF THEIR AGENCIES IN THAT PORTION OF THE DESCRIBED REAL ESTATE LYING EASTERLY OF THE DOCK LINE AS MAY BE ESTABLISHED FROM TIME TO TIME AND CONSTITUTING THE BED OR THE WATERS OF THE MILWAUKEE RIVER OR THE DOCK LINE, PROTECTION WALLS, BULKHEADS OR OTHER STRUCTURES PERTAINING THEREOF. (SURVEYOR'S NOTE: RIVER DOCK WALLS IS SHOWN.)

13. TERMS, CONDITIONS, RESERVATIONS AND PROVISIONS SET FORTH IN WARRANTY DEED DATED JUNE 14, 1954 AND RECORDED ON JUNE 18, 1954, IN VOLUME 3303 OF DEEDS, PAGE 199, AS DOCUMENT NO. 3304054. (SURVEYOR'S NOTE: TERMS, CONDITIONS, RESERVATIONS AND PROVISIONS HAVE BEEN RELEASED PER DOCUMENT 11188995 RECORDED NOVEMBER 19, 2021.)

14. TERMS, PROVISIONS AND CONDITIONS SET FORTH IN GRANT OF EASEMENT AGREEMENT DATED APRIL 20, 1995 AND RECORDED ON NOVEMBER 02, 1995, IN REEL 3665, IMAGE 1404, AS DOCUMENT NO. 7145255. (SURVEYOR'S NOTE: THE APPROXIMATE LOCATION OF THE EASEMENT IS SHOWN. SPECIFIC DIMENSIONS ARE NOT ILLEGIBLE. SEE DOCUMENT FOR DETAILS.)

15. ASSESSMENT PROVISIONS AS SET FORTH IN ATTACHMENTS TO AFFIDAVIT OF HARRY A. STEIN RECORDED ON JUNE 22, 1998, IN REEL 4234, IMAGE 1366, AS DOCUMENT NO. 751859. (SURVEYOR'S NOTE: ASSESSMENTS ARE NOT A SURVEY RELATED ITEM, EASEMENTS TAKEN BY THIS DOCUMENT ARE BEYOND THE LIMITS OF THE SURVEYED PROPERTY.)

16. TERMS, PROVISIONS AND CONDITIONS SET FORTH IN RIVERWALK LICENSE AGREEMENT DATED MARCH 01, 2005 AND RECORDED ON OCTOBER 06, 2005, AS DOCUMENT NO. 09315832. (SURVEYOR'S NOTE: THIS EXCEPTION AFFECTS THE SURVEYED PROPERTY BUT DOES NOT CONTAIN ANY PLOTTABLE ITEMS. SEE DOCUMENT FOR SPECIFIC DETAILS.)

STATE OF ILLINOIS) SS
COUNTY OF COOK)

TO: ROJAHN AND MALANEY COMPANY
AND TO: FIRST AMERICAN TITLE INSURANCE COMPANY NATIONAL COMMERCIAL SERVICES

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(a), 7(b), 7(c), 8, 9, 11(a), 13, & 17 OF TABLE "A" THEREOF. THE FIELDWORK WAS COMPLETED ON JANUARY 11, 2023.

GIVEN UNDER MY HAND AND SEAL THIS ___ DAY OF _____, 2021 IN ROSEMONT, ILLINOIS.

JERRY P. CHRISTOPH, WISCONSIN P.L.S. No. 2701-8
LICENSE EXPIRES: 01-31-2024
jchristoph@spaceoinc.com
(VALID ONLY IF EMBOSSED SEAL AFFIXED)

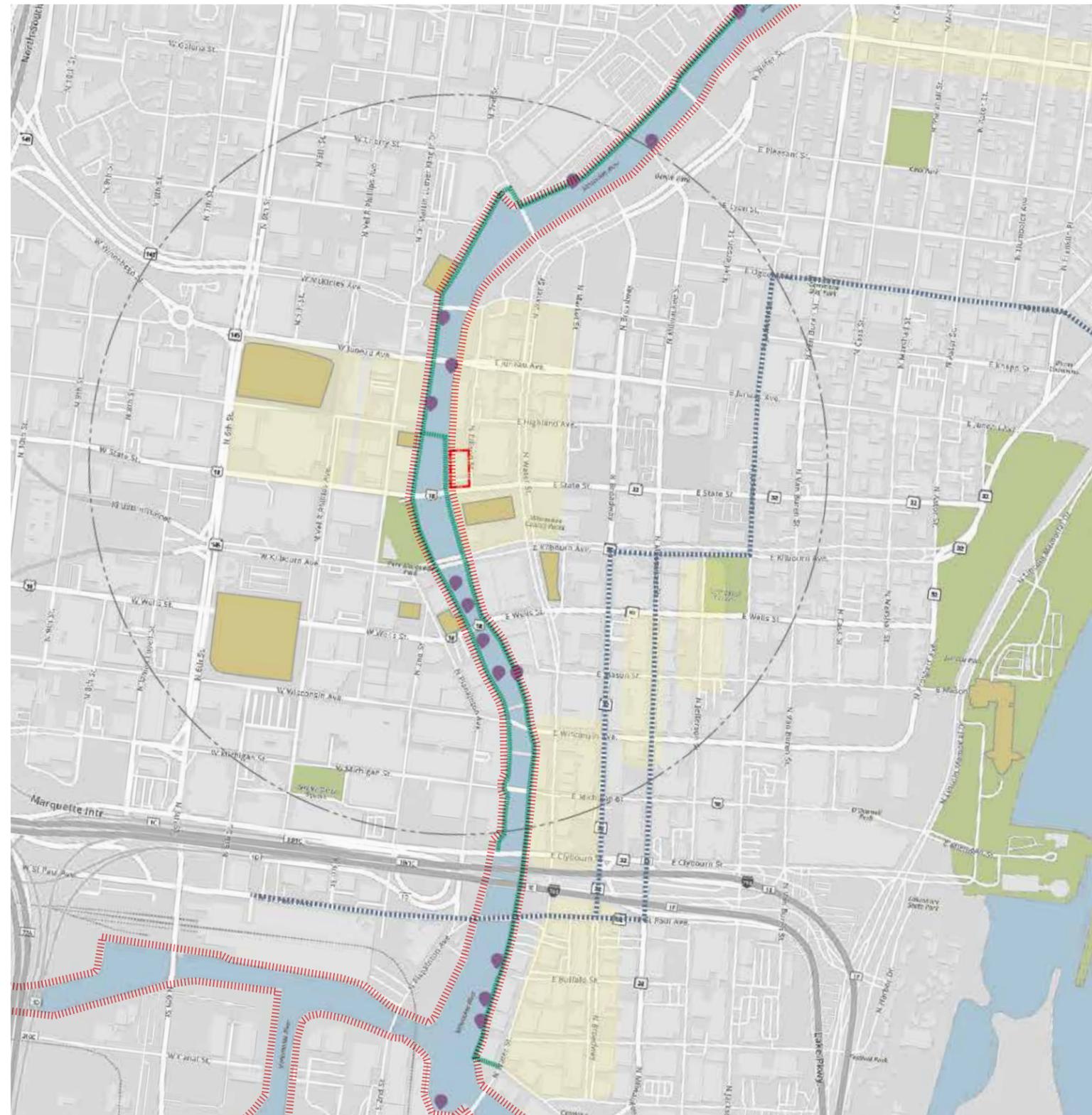
PREPARED FOR:
THE NEUTRAL PROJECT
25 W. MAIN
SUITE 500
MADISON, WI 53703

FOR REVIEW
PURPOSES ONLY

REVISIONS:		CONSULTING ENGINEERS	DATE: 1/25/2023
		SITE DEVELOPMENT ENGINEERS	JOB NO: 12416
		LAND SURVEYORS	FILENAME: 12416ALTA-01
			SHEET 1 OF 1

9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

CONTEXT ANALYSIS



LEGEND

-  RIVER OVERLAY DISTRICT
-  1/2 MILE RADIUS
-  RIVERWALK
-  STREETCAR
-  DOCK
-  ENTERTAINMENT DISTRICT
-  ENTERTAINMENT BUILDING

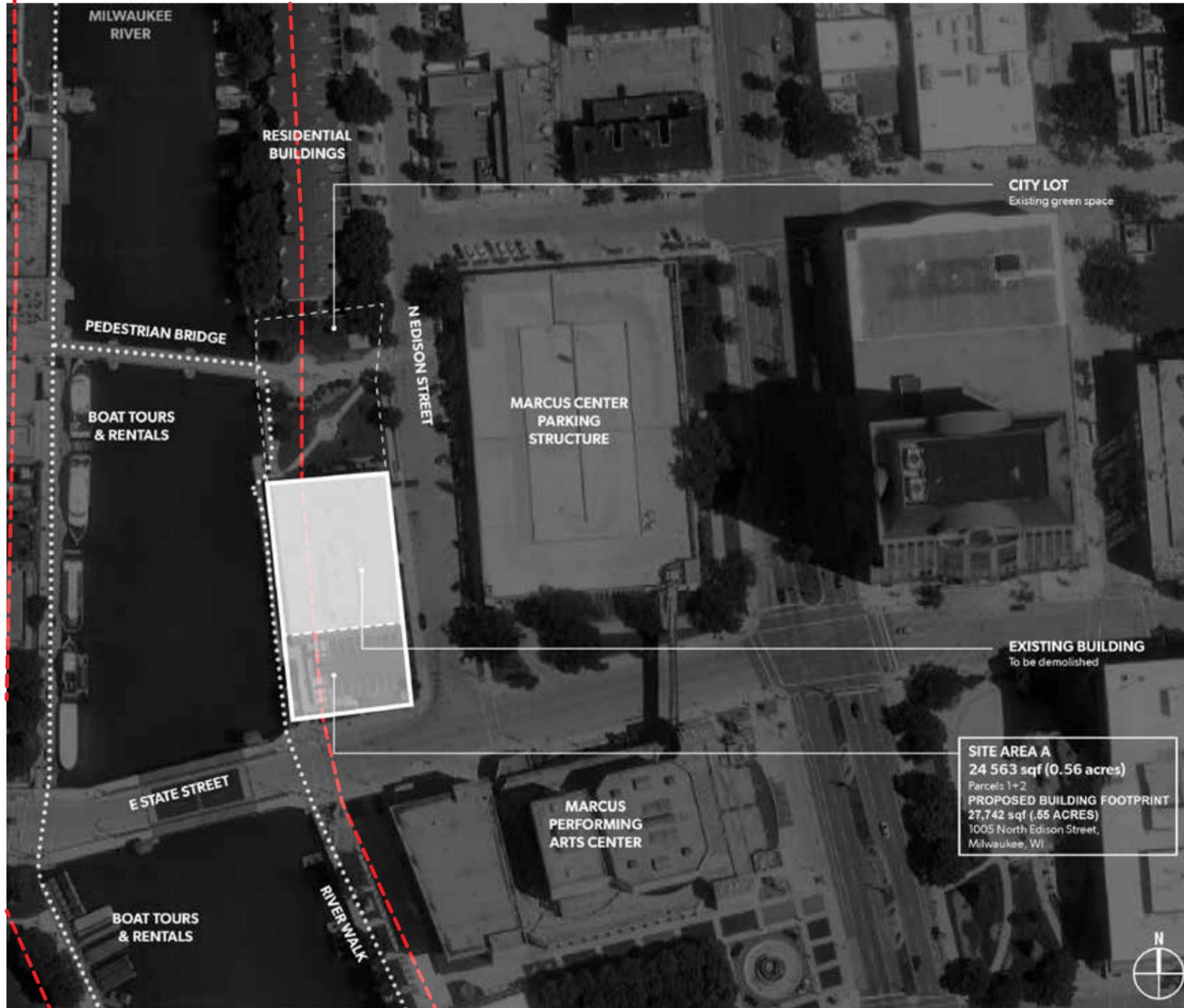




SITE CONTEXT

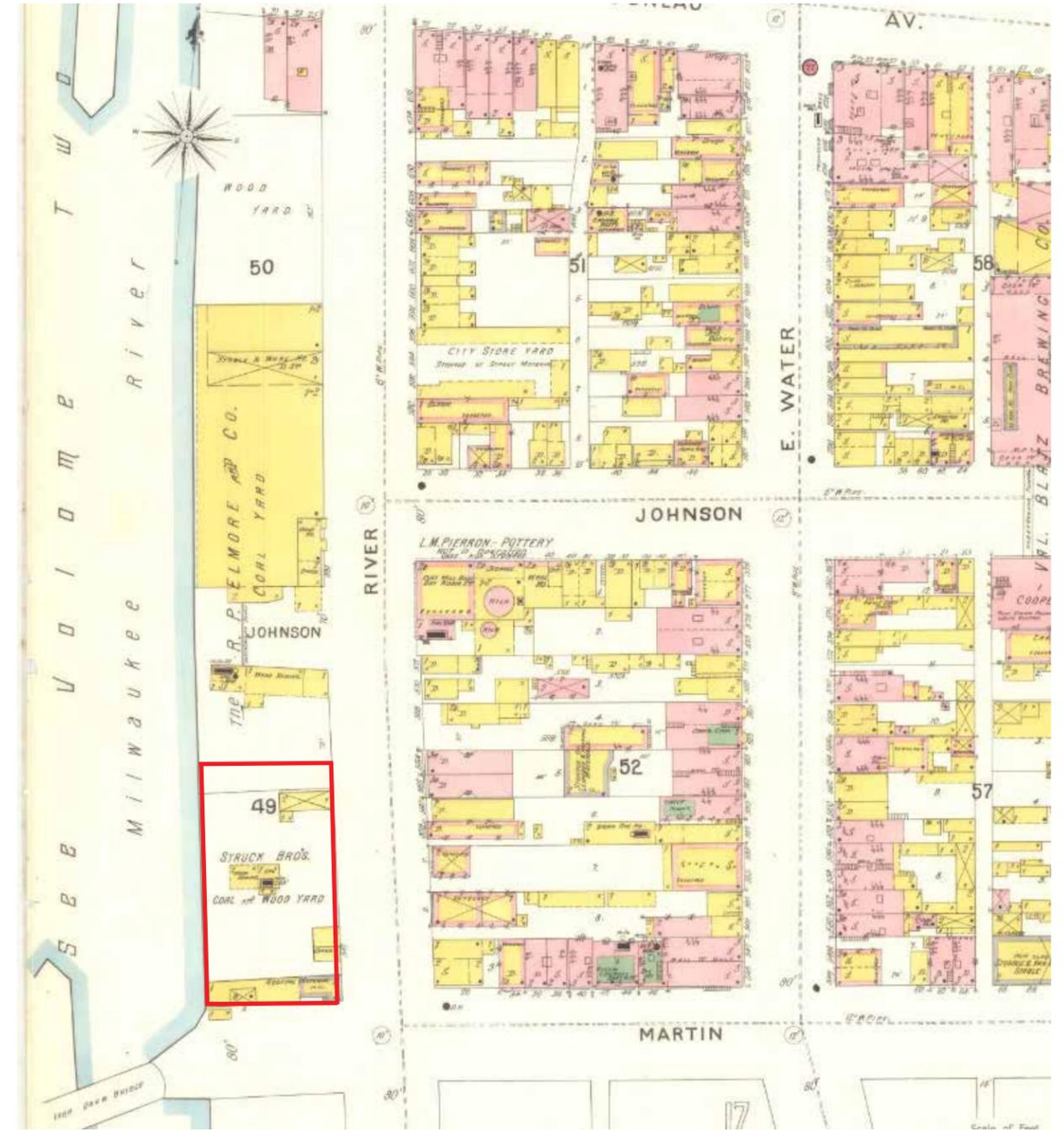
SITE LOCATION

● RIVER OVERLAY DISTRICT



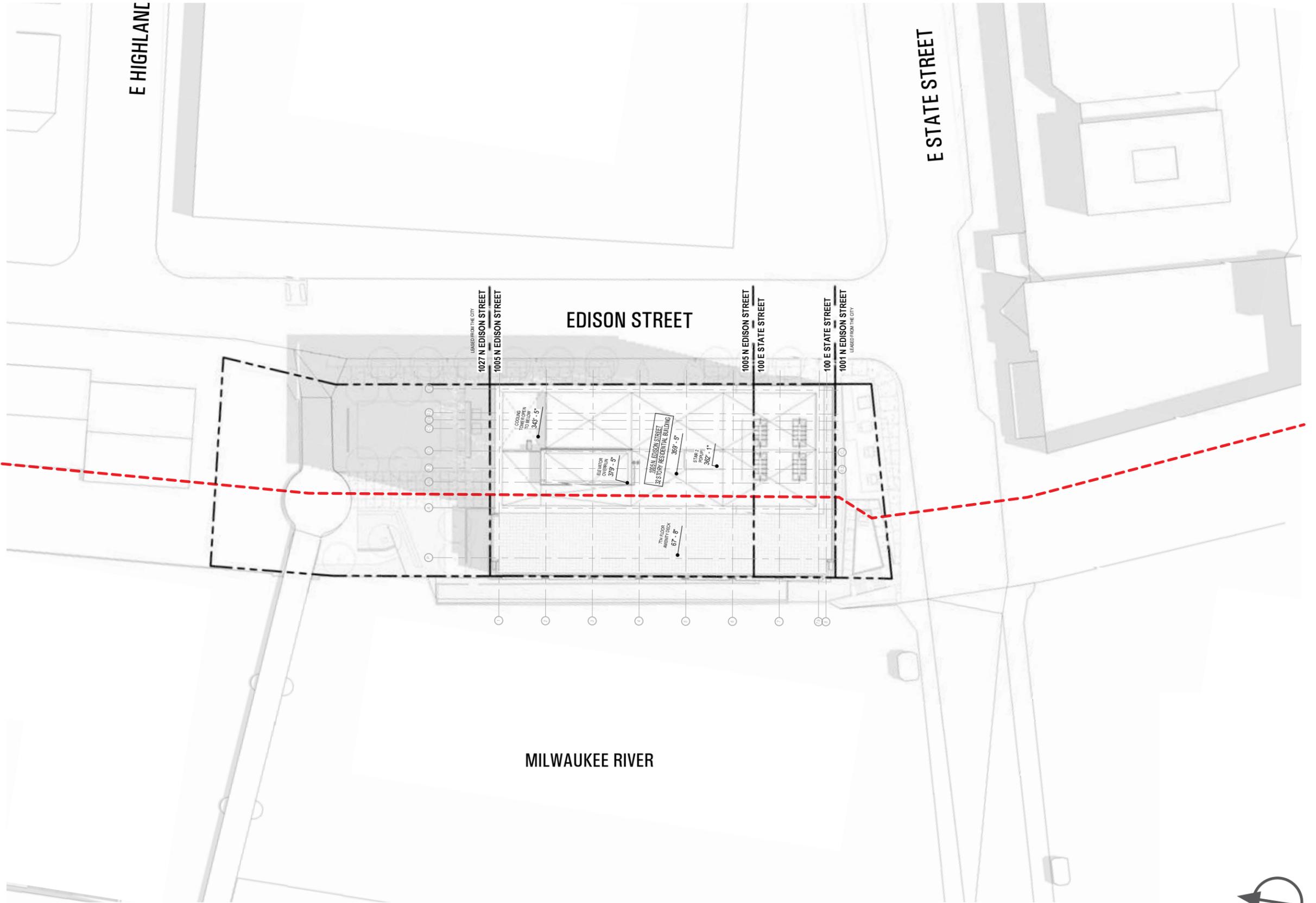
CURRENT MAP

● RIVER OVERLAY DISTRICT



HISTORIC MAP

RIVER
OVERLAY
DISTRICT



PROPOSED SITE PLAN

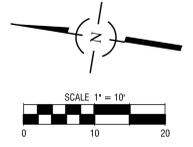


HPA

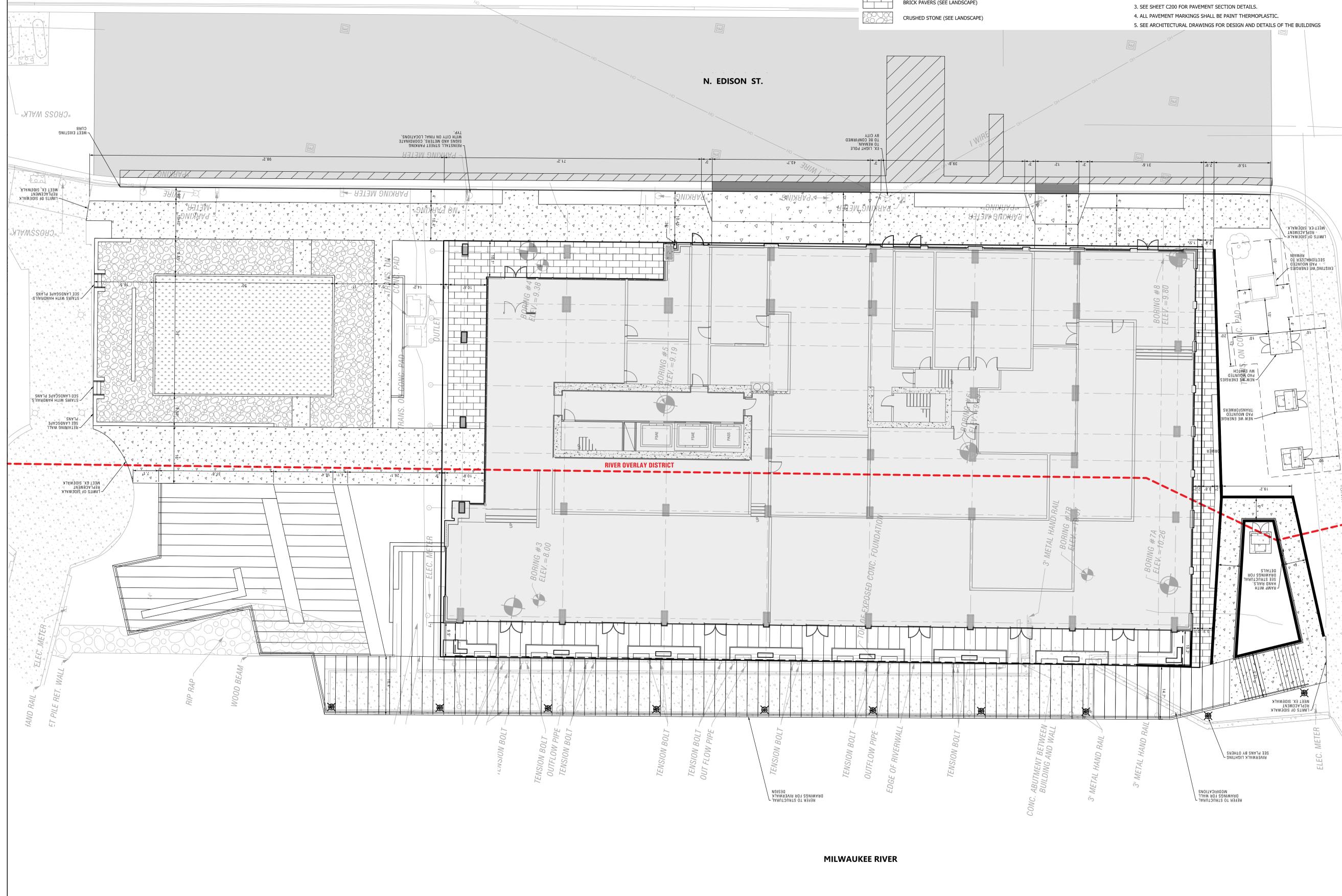
NEUTRAL PROJECT | CD SMITH



- LEGEND**
- 2" PAVEMENT RESTORATION
 - CONCRETE PAVEMENT OR APRON
 - CONCRETE SIDEWALK
 - PAVEMENT PATCH - FULL DEPTH
 - RIVER WALK (SEE LANDSCAPE)
 - RIVER WALK (SEE LANDSCAPE)
 - SYNTHETIC TURF
 - BRICK PAVERS (SEE LANDSCAPE)
 - CRUSHED STONE (SEE LANDSCAPE)
 - CONCRETE SIDEWALK
HC RAMP (5" WIDE UNLESS NOTED)
 - REVERSE PITCH CURB
 - DEPRESSED CURB & GUTTER



- NOTES:**
1. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 2. ALL CURBS AND GUTTERS ARE STANDARD REVERSED PITCH UNLESS OTHERWISE NOTED.
 3. SEE SHEET C200 FOR PAVEMENT SECTION DETAILS.
 4. ALL PAVEMENT MARKINGS SHALL BE PAINT THERMOPLASTIC.
 5. SEE ARCHITECTURAL DRAWINGS FOR DESIGN AND DETAILS OF THE BUILDINGS



AREA FOR CITY APPROVAL STAMP

ARCH. ELEV: 0'-0" = +9.50

Contractor shall be responsible for reviewing all Plans and Specifications, verifying all existing conditions prior to proceeding with Construction, complying with all applicable building codes, and notifying Architect immediately of any discrepancies or conflicts. Contractor shall construct the work in conformance with all applicable building codes.

Contractor is responsible for design and installation of properly sized and located systems. Submit shop drawings to architect for approval in conformity to Architectural design intent.

A written Architectural Specification was issued for this project and along with these printed documents constitute the Contract Documents for this project. Work scope pertains to all disciplines occurs throughout the Contract Documents. By submitting a bid for this work the Contractor and all subcontractors attest that they have reviewed the entire contract document set and site conditions and have included all applicable work. Additional Architectural Specification copies are available anytime upon request.

Hartshome Plunkard, LLC shall retain all copyrights, statutory and common law right with regard to these plans and building design. Reproduction, changes or assignment to any third party shall not occur without obtaining expressed written permission and consent of Hartshome Plunkard, LLC.

THE EDISON
1005 NORTH EDISON STREET,
MILWAUKEE, WISCONSIN 53202

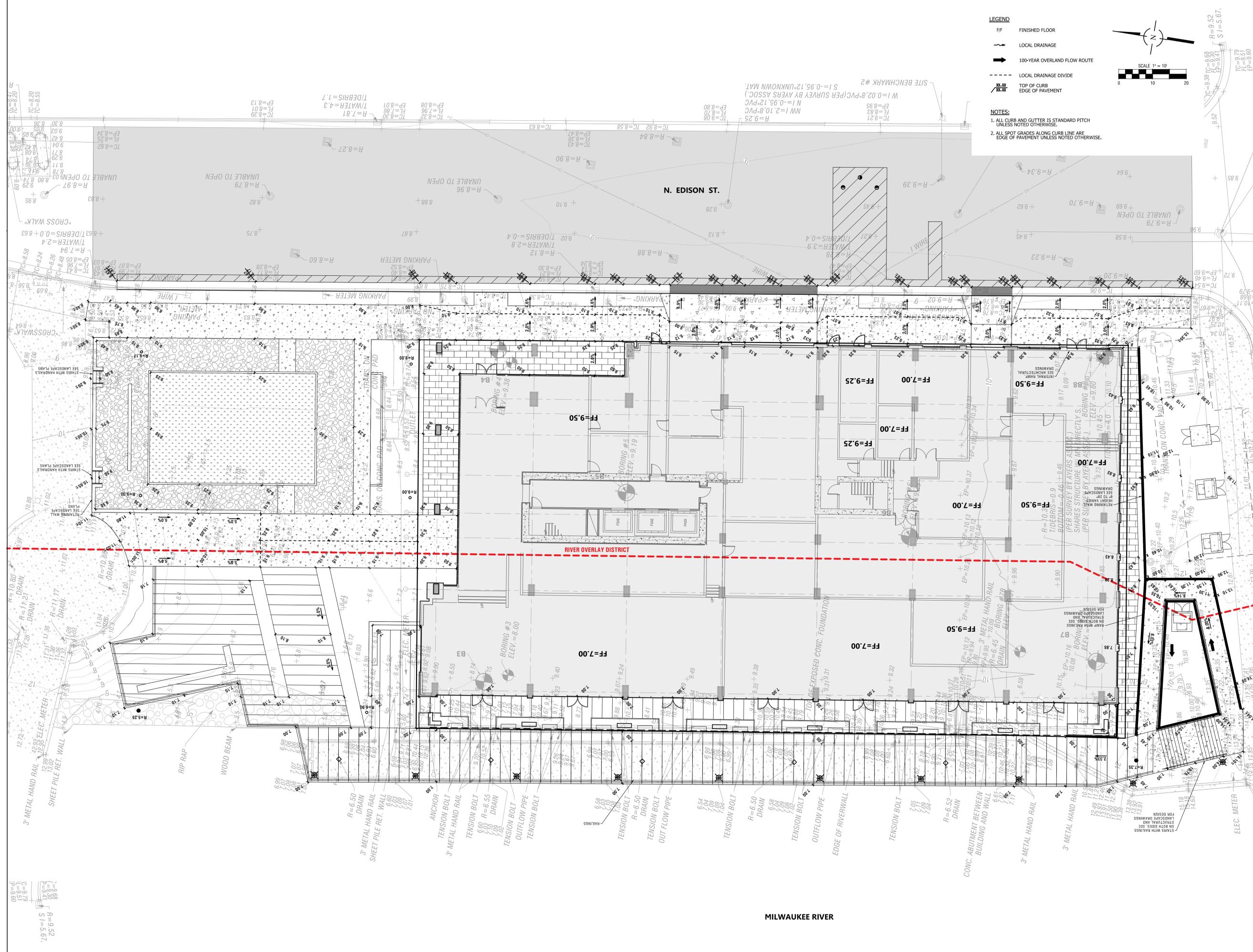
ISSUANCES	
DATE	ISSUED FOR
1 06/16/2023	PROGRESS SD
2 08/01/2023	PROGRESS SD
3 08/11/2023	PROGRESS SD
4 08/24/2023	100% SD
5 02/21/2024	WE ENERGIES

Spaceo Inc.
W. Higgins Road
Suite 700,
Rosemont
Illinois 60018
Ph: (847) 896-4060
F: (847) 896-4065

PROJ. # 12416
SCALE: As Indicated

GEOMETRIC PLAN

C5.00

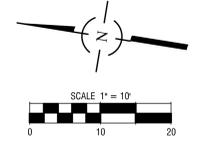


LEGEND

- FF FINISHED FLOOR
- LOCAL DRAINAGE
- 100-YEAR OVERLAND FLOW ROUTE
- LOCAL DRAINAGE DIVIDE
- TOP OF CURB
- EDGE OF PAVEMENT

NOTES:

1. ALL CURBS AND GUTTER IS STANDARD PITCH UNLESS NOTED OTHERWISE.
2. ALL SPOT GRADES ALONG CURB LINE ARE EDGE OF PAVEMENT UNLESS NOTED OTHERWISE.



AREA FOR CITY APPROVAL STAMP

ARCH. ELEV: 0'-0" = +9.50

Contractor shall be responsible for reviewing all Plans and Specifications, verifying all existing conditions prior to proceeding with Construction, complying with all applicable building codes, and notifying Architect immediately of any discrepancies or conflicts. Contractor shall construct the work in conformance with all applicable building codes.

Contractor is responsible for design and installation of properly sized and loaded systems. Submit shop drawings to architect for approval on conformity to architectural design intent.

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Harshome Plunkard, LLC shall retain all copyrights, statutory and common law right with regard to these plans and building design. Reproduction, changes or assignment to any third party shall not occur without obtaining expressed written permission and consent of Harshome Plunkard, LLC.

THE EDISON
1005 NORTH EDISON STREET,
MILWAUKEE, WISCONSIN 53202

ISSUANCES	
DATE	ISSUED FOR
1/06/16/2023	PROGRESS SD
2/08/01/2023	PROGRESS SD
3/08/11/2023	PROGRESS SD
4/08/24/2023	100% SD
5/02/21/2024	WE ENERGIES

SPARTACO INC.

9575
W. Higgins Road
Suite 700,
Rosemont
Illinois 60018
Ph: (847) 696-4060
F: (847) 696-4065

PROJ. # 12416
SCALE: As indicated

GRADING PLAN

C6.00

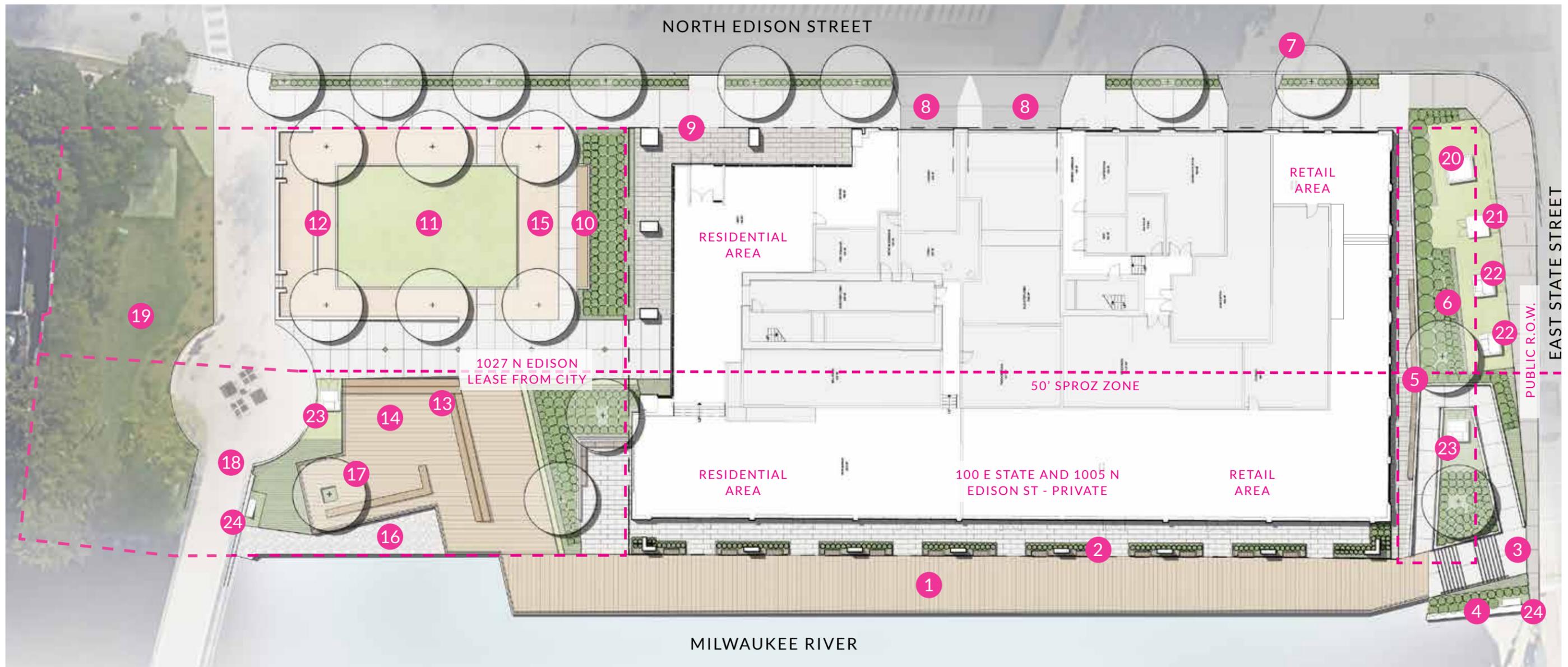
- Lobby
- Retail
- Back of House
- Parking
- Circulation



Scale: 1/32" = 1'-0"

GROUND FLOOR



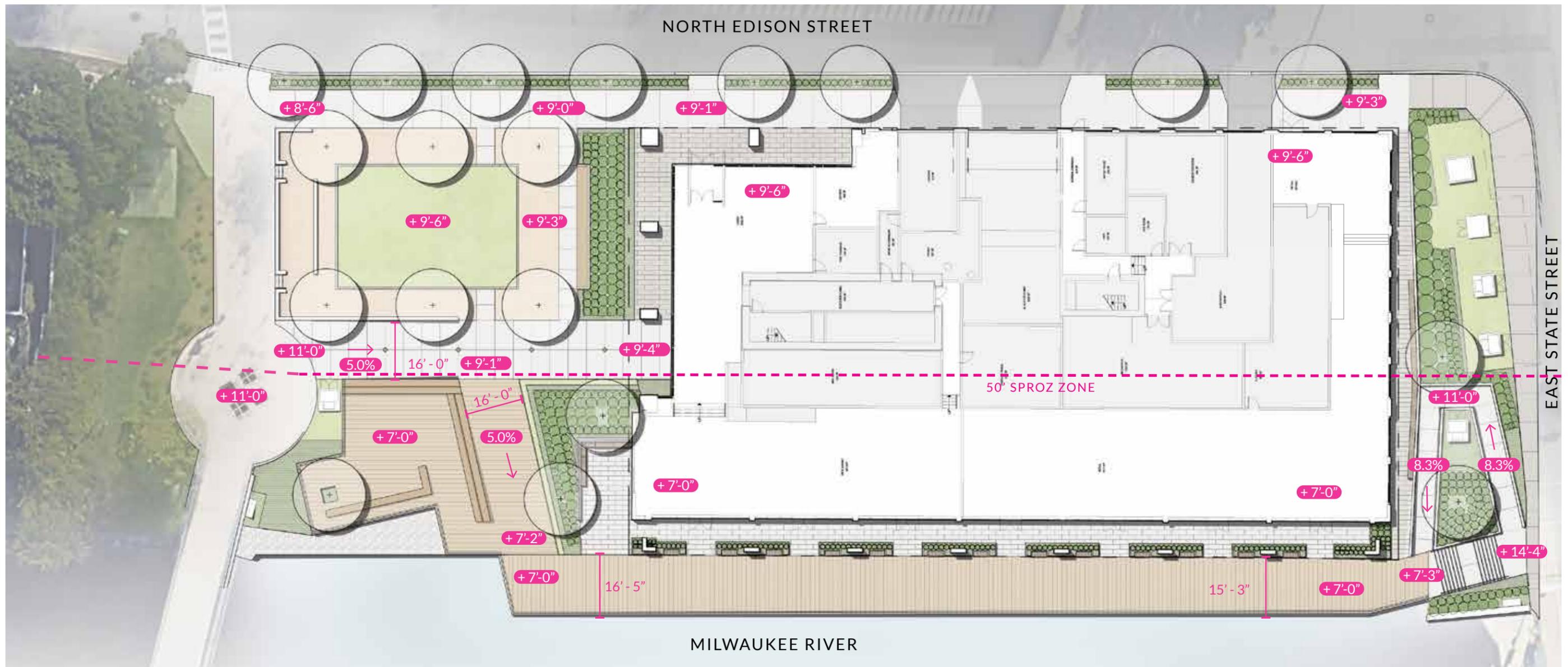


LEGEND

- | | | | | |
|-------------------------------|-------------------------|---------------------------------------|---|---|
| 1 RIVERWALK | 6 SCREEN PLANTING | 11 OPEN LAWN | 16 RIPRAP | 21 MV SWITCH - BUILDING EQUIPMENT; NEW UNIT |
| 2 RAISED PLANTERS AND BENCHES | 7 STREET TREE | 12 FOCAL WALL | 17 EXISTING TREE | 22 TRANSFORMER - BUILDING EQUIPMENT; NEW UNIT |
| 3 RIVERWALK STAIRS AND RAMP | 8 GARAGE ENTRANCE | 13 STADIUM SEATING | 18 EXISTING PEDESTRIAN BRIDGE | 23 TRANSFORMER - CITY EQUIPMENT RELOCATED |
| 4 HISTORIC WALL | 9 PROPERTY LINE | 14 OVERLOOK | 19 EXISTING PARK | 24 ELECTRIC METER - CITY EQUIPMENT EXSITING TO REMAIN |
| 5 FLOATING BENCH | 10 WOOD BENCH SEAT WALL | 15 DECOMPOSED GRANITE WITH STABILIZER | 20 SECTIONALIZER - CITY EQUIPMENT TO REMAIN | |

SCHEMATIC DESIGN
THE EDISON | SCHEMATIC DESIGN

N.T.S. HDLA

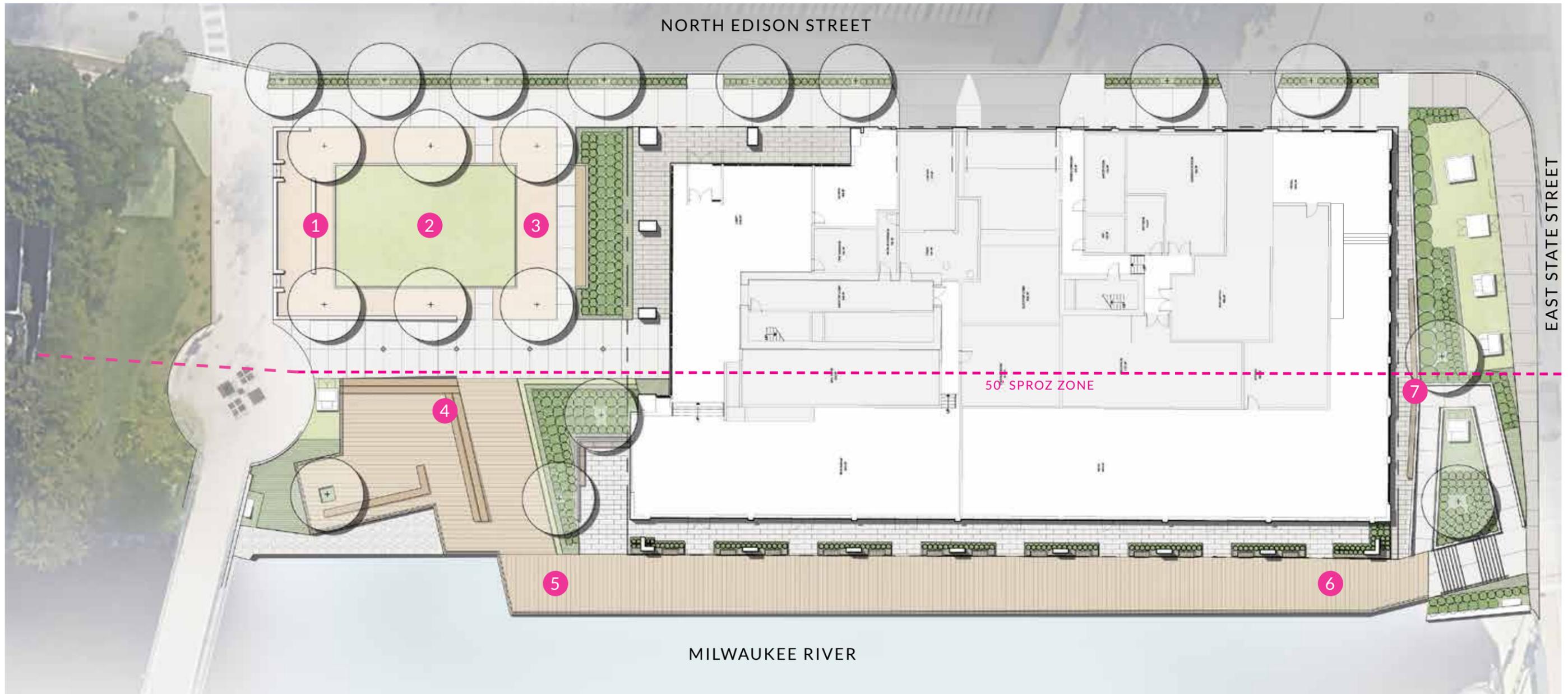


LEGEND

- 0' - 0" \longleftrightarrow DIMENSION
- +0' - 0" SPOT ELEVATION
- 0.0% \rightarrow SLOPE

SCHEMATIC DESIGN
 THE EDISON | SCHEMATIC DESIGN GRADING

N.T.S. \ominus HDLA



SCHEMATIC DESIGN
 THE EDISON | SCHEMATIC DESIGN & PRECEDENT IMAGERY

N.T.S.  HDLA



WOOD DECK
along the river



LANDSCAPE ELEMENTS
furnishing



VERTICAL FIN DARK METAL RAILING
color and design to match existing



LANDSCAPE ELEMENTS
Bollards with guard lights,
planters



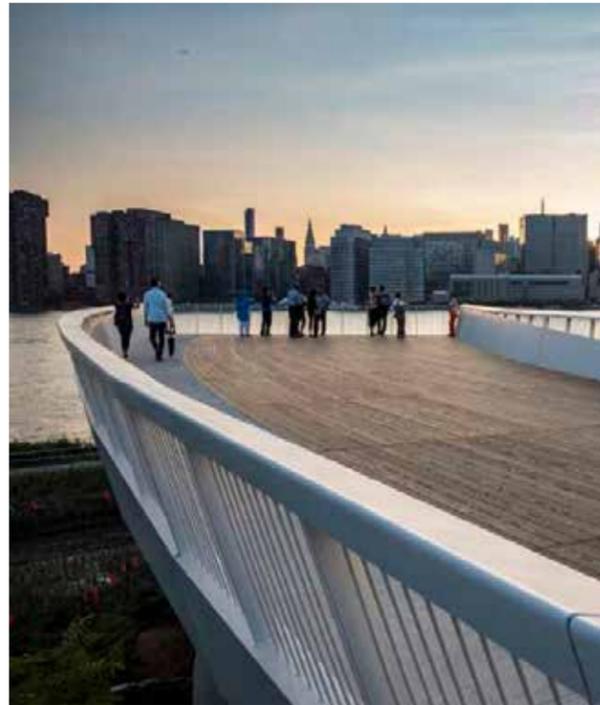
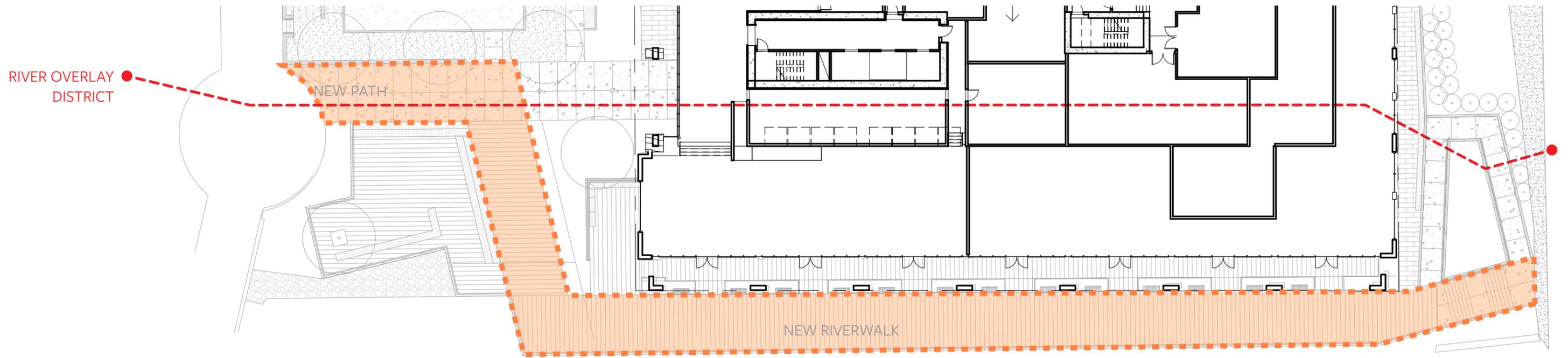
EXISTING HARP LIGHT POLES
Remove existing finish, repaint and
reinstall



LANDSCAPE ELEMENTS
planters, edging



RIVERWALK - DESIGN



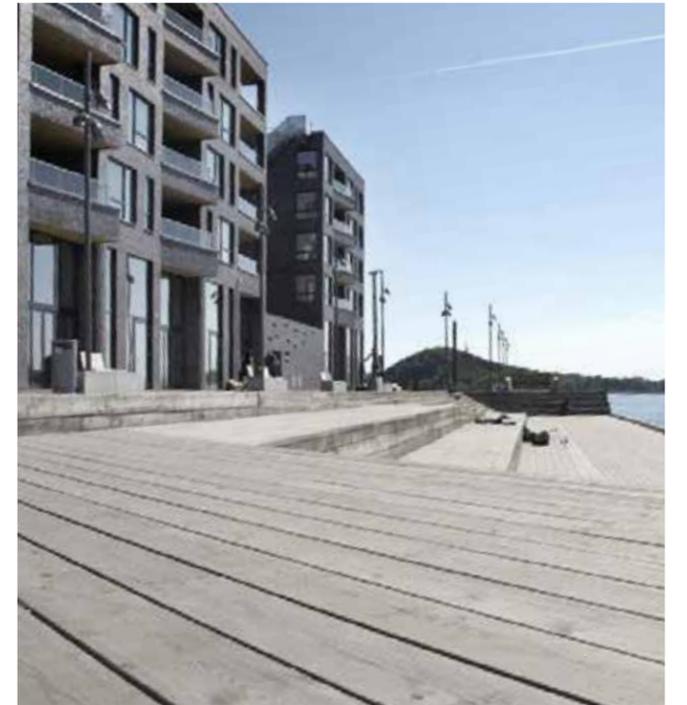
HUNTERS POINT
NYC



PIER 26
NYC



RIVER WALK
CHICAGO



SØRENGA HARBOR POOL
OSLO

RIVERWALK - PAVING





SCHEMATIC DESIGN
THE EDISON | PRECEDENT IMAGERY



HPA

NEUTRAL PROJECT | CD SMITH

HDLA

NORTH EDISON STREET

1027 NORTH EDISON STREET
LEASED FROM THE CITY

1005 NORTH EDISON STREET
PRIVATELY OWNED BY
NORTH EDISON LLC

50' SPROZ BOUNDARY LINE

MILWAUKEE RIVER

EXISTING PEDESTRIAN BRIDGE
SIDEWALK TO REMAIN, TYP.

TRANSFORMER -
CITY EQUIPMENT - RELOCATED FROM
CURRENT LOCATION ADJACENT TO 1005
N. EDISON NORTHERN PROPERTY LINE.
PROVIDES POWER TO HIGHLAND AVENUE
PEDESTRIAN BRIDGE.

ELECTRICAL METER -
CITY EQUIPMENT EXISTING TO
REMAIN - SERVES HIGHLAND
AVENUE PEDESTRIAN BRIDGE.

EXISTING TREE TO REMAIN, TYP.

NOTE:
PLANTS ARE TO BE SELECTED FROM A VARIETY OF NATIVE SPECIES,
TO THE REGION DURING CONSTRUCTION DOCUMENTATION.

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	CONT./CAL.	HEIGHT	SPREAD	SPACING	REMARKS
TREES							
	EX	Existing Tree	NA				
CANOPY TREES							
	CT	Canopy Tree	B&B	10'-12'	8'-10'	Per Plans	WELL BRANCHED, SINGLE LEADER TRUNK, FULL CROWN, MATCHED
FLOWERING TREES							
	OT	Ornamental Tree	B&B	8'-10'	6'-8'	Per Plans	WELL BRANCHED, SINGLE LEADER TRUNK, FULL CROWN, MATCHED
SHRUBS							
	LE	Large Evergreen Shrub	3 GAL.			60" o.c.	
	ME	Medium Evergreen Shrub	3 GAL.			36" o.c.	
	OG	Ornamental Grass	3 GAL.			30" o.c.	
	SD	Small Deciduous Shrub	3 GAL.			24" o.c.	
	SE	Small Evergreen Shrub	3 GAL.			24" o.c.	
	OGS	Small Ornamental Grass	3 GAL.			18" o.c.	
GROUND COVERS							
	GC	Ground Cover	1 GAL.			18" o.c.	
PERENNIALS							
	PC	Perennial	1 GAL.			18" o.c.	
TURF							
	TS	Drought Tolerant Fescue Blend					

AREA FOR CITY APPROVAL
STAMP

FOR REFERENCE

ARCH. ELEV. 0'-0" = +9.50

Contractor shall be responsible for reviewing all Plans and Specifications, verifying all existing conditions prior to proceeding with Construction, complying with all applicable building codes, and notifying Architect applicable building codes.

Immediately if any discrepancies or conflicts, Contractor shall construct the work in conformance with all Contractor is responsible for design and installation of properly sized and loaded systems. Submit shop drawings to architect for approval in conformity to Architectural design intent.

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Fortstone Plunkard Architecture, LLC shall retain all copyright, statutory and common law right with regard to these plans and building design. Reproduction, changes or amendment to any third party shall not occur without obtaining express written permission and consent of Fortstone Plunkard Architecture, LLC.

THE EDISON

1005 NORTH EDISON STREET,
MILWAUKEE, WISCONSIN 53202

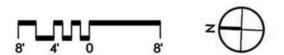
DATE	ISSUED FOR
6/16/23	PROGRESS SD
8/1/23	50% SD
8/11/23	PROGRESS SD
8/24/23	100% SD

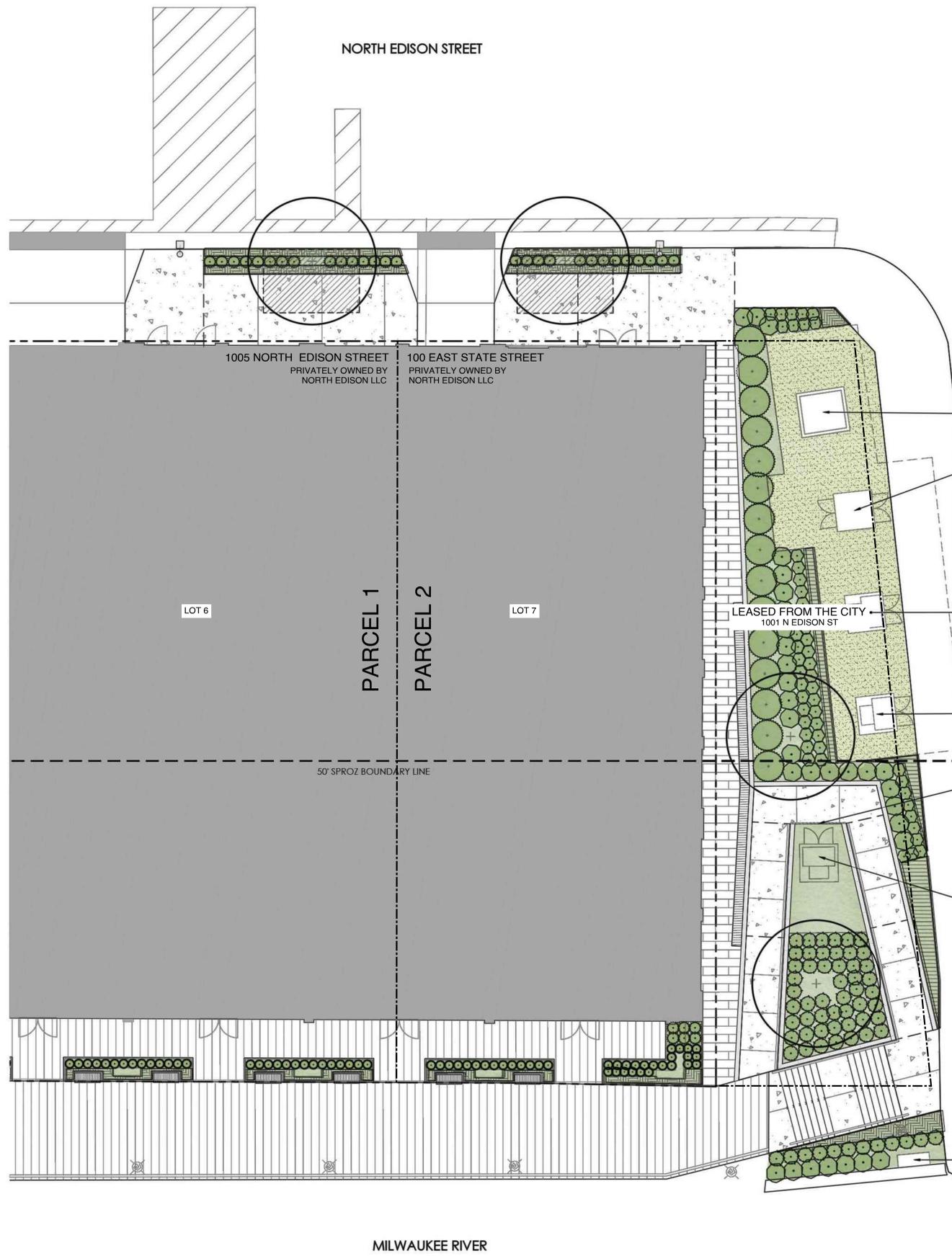
507 MAIN STREET,
NASHVILLE, TN
37206

PROJ. # 232327
SCALE: REF. SHEET

POCKET PARK
PLANTING PLAN

L5.00





SECTIONALIZER - CITY EQUIPMENT EXISTING TO REMAIN - FED FROM CITY HIGH VOLTAGE LINE. THIS UNIT SPLITS HIGH VOLTAGE FEED AND PROVIDES POWER TO TRANSFORMERS THROUGHOUT THE AREA.

MV SWITCH - BUILDING EQUIPMENT - NEW UNIT SWITCH THAT PROVIDES CONTROL OF POWER TO THE PROJECT.

TRANSFORMER - BUILDING EQUIPMENT - NEW UNIT PROVIDING WE ENERGIES POWER TO THE PROJECT.

TRANSFORMER - BUILDING EQUIPMENT - NEW UNIT PROVIDING WE ENERGIES POWER TO THE PROJECT.

RAMP TO HAVE REMOVABLE PORTION OF GUARDRAIL FOR TRANSFORMER ACCESS. TYP.

TRANSFORMER - CITY EQUIPMENT - RELOCATED FROM CURRENT LOCATION ADJACENT TO STATE STREET BRIDGE. PROVIDES POWER TO THE STATE STREET BRIDGE.

ELECTRICAL METER - CITY EQUIPMENT EXISTING TO REMAIN - SERVES STATE STREET BRIDGE.

NOTE:
PLANTS ARE TO BE SELECTED FROM A VARIETY OF NATIVE SPECIES, TO THE REGION DURING CONSTRUCTION DOCUMENTATION.

PLANT SCHEDULE							
SYMBOL	CODE	BOTANICAL NAME	CONT./CAL.	HEIGHT	SPREAD	SPACING	REMARKS
TREES							
	EX	Existing Tree	NA				
CANOPY TREES							
	CT	Canopy Tree	B&B	10'-12'	8'-10'	Per Plans	WELL BRANCHED, SINGLE LEADER TRUNK, FULL CROWN, MATCHED
FLOWERING TREES							
	OT	Ornamental Tree	B&B	8'-10'	6'-8'	Per Plans	WELL BRANCHED, SINGLE LEADER TRUNK, FULL CROWN, MATCHED
SHRUBS							
	LE	Large Evergreen Shrub	3 GAL.			60" o.c.	
	ME	Medium Evergreen Shrub	3 GAL.			36" o.c.	
	OG	Ornamental Grass	3 GAL.			30" o.c.	
	SD	Small Deciduous Shrub	3 GAL.			24" o.c.	
	SE	Small Evergreen Shrub	3 GAL.			24" o.c.	
	OGS	Small Ornamental Grass	3 GAL.			18" o.c.	
GROUND COVERS							
	GC	Ground Cover	1 GAL.			18" o.c.	
PERENNIALS							
	PC	Perennial	1 GAL.			18" o.c.	
TURF							
	TS	Drought Tolerant Fescue Blend					

AREA FOR CITY APPROVAL STAMP

FOR REFERENCE

ARCH. ELEV: 0'-0" = +9.50

Contractor shall be responsible for reviewing all Plans and Specifications, verifying all existing conditions prior to proceeding with Construction, complying with all applicable building codes, and notifying Architect applicable building codes.

Immediately if any discrepancies or conflicts, Contractor shall construct the work in conformance with all Contractor is responsible for design and installation of properly sized and loaded systems. Submit shop drawings to architect for approval in conformance to Architectural design intent.

A written Architectural Specification was issued for this project and along with these printed documents constitute the Contract Documents for this project. Work scope pertains to all disciplines occur throughout the Contract Documents. By submitting a bid for this work, the Contractor and all subcontractors attest that they have reviewed the entire contract document set and all conditions and have included all applicable work. Additional Architectural Specification copies are available online upon request.

Horstmann Plunkard Architecture, LLC shall retain all copyrights, liability and common law right with respect to these plans and building design. Reproduction, changes or assignment to any third party shall not occur without obtaining express written permission and consent of Horstmann Plunkard Architecture.

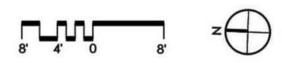
THE EDISON	
1005 NORTH EDISON STREET, MILWAUKEE, WISCONSIN 53202	
DATE	ISSUED FOR
6/16/23	PROGRESS SD
8/1/23	50% SD
8/11/23	PROGRESS SD
8/24/23	100% SD

HPA
507 MAIN STREET, NASHVILLE, TN 37206

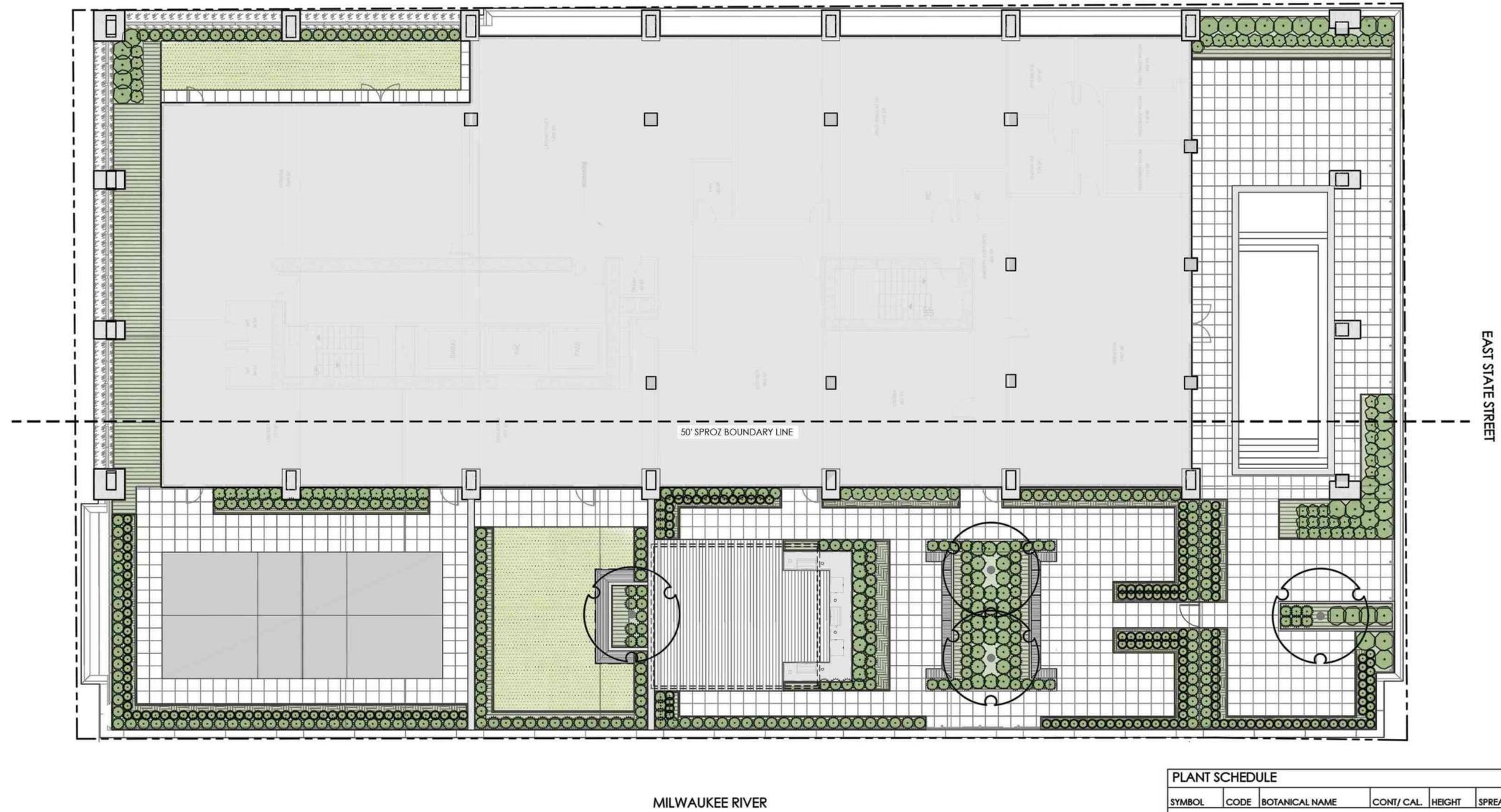
PROJ. # 232327
SCALE: REF. SHEET

EAST STATE STREET PLANTING PLAN

L5.10



NORTH EDISON STREET



MILWAUKEE RIVER

AREA FOR CITY APPROVAL
STAMP

FOR REFERENCE

ARCH. ELEV: 0'-0" = +9.50

Contractor shall be responsible for reviewing all Plans and Specifications, verifying all existing conditions prior to proceeding with Construction, complying with all applicable building codes, and notifying Architect of any discrepancies or conflicts.

Immediately of any discrepancies or conflicts, Contractor shall construct the work in conformance with all applicable building codes, and notifying Architect of any discrepancies or conflicts.

A written Architectural Specification was issued for this project and along with these printed documents constitute the Contract Documents for this project. Work scope pertinent to all disciplines occurs throughout the Contract Documents. By submitting a bid for this work, the Contractor and all subcontractors attest that they have reviewed the entire contract document set and all conditions and have included all applicable work. Additional Architectural Specifications are available online upon request.

Hortons Plunkard Architecture, LLC shall retain all copyright, liability and common law right with regard to these plans and building design. Reproduction, changes or assignment to any third party shall not occur without obtaining expressed written permission and consent of Hortons Plunkard Architecture.

THE EDISON	
1005 NORTH EDISON STREET, MILWAUKEE, WISCONSIN 53202	
DATE	ISSUED FOR
6/16/23	PROGRESS SD
8/1/23	50% SD
8/11/23	PROGRESS SD
8/24/23	100% SD

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	CONT/ CAL.	HEIGHT	SPREAD	SPACING	REMARKS
TREES							
	EX	Existing Tree	NA				
CANOPY TREES							
	CT	Canopy Tree	B&B	10'- 12'	8'- 10'	Per Plans	
FLOWERING TREES							
	OT	Ornamental Tree	B&B	8'- 10'	6'- 8'	Per Plans	
SYMBOL	CODE	BOTANICAL NAME	HEIGHT	SPREAD	SPACING	REMARKS	
SHRUBS							
	LE	Large Evergreen Shrub	3 GAL.			60" o.c.	
	ME	Medium Evergreen Shrub	3 GAL.			36" o.c.	
	OG	Ornamental Grass	SEED			30" o.c.	
	SD	Small Deciduous Shrub	3 GAL.			24" o.c.	
	SE	Small Evergreen Shrub	3 GAL.			24" o.c.	
	OGS	Small Ornamental Grass	SEED			18" o.c.	
GROUND COVERS							
	GC	Ground Cover	18"			15" o.c.	
PERENNIALS							
	PC	Perennial	QUART			18" o.c.	
TURF							
	TS	Turf Sod	48"			12" o.c.	

NOTE:
PLANTS ARE TO BE SELECTED FROM A VARIETY OF NATIVE SPECIES,
TO THE REGION DURING CONSTRUCTION DOCUMENTATION.

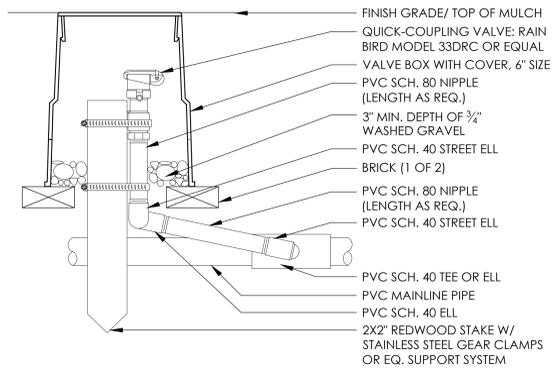


507 MAIN STREET,
NASHVILLE, TN
37206

PROJ. # 232327
SCALE: REF. SHEET

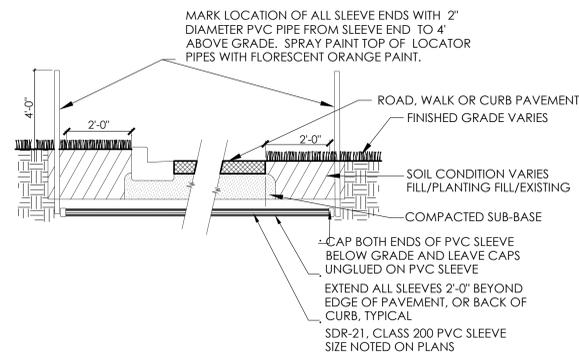
LEVEL 7 AMENITY
PLANTING PLAN

L5.20



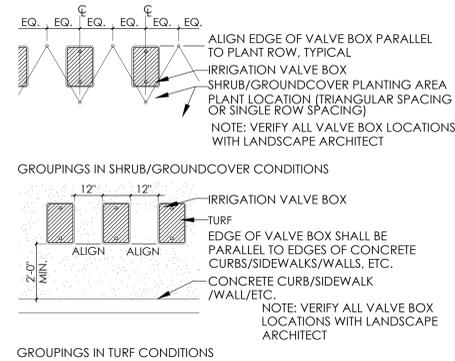
NOTE:
1. FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE.

9 QUICK COUPLING VALVE NOT TO SCALE



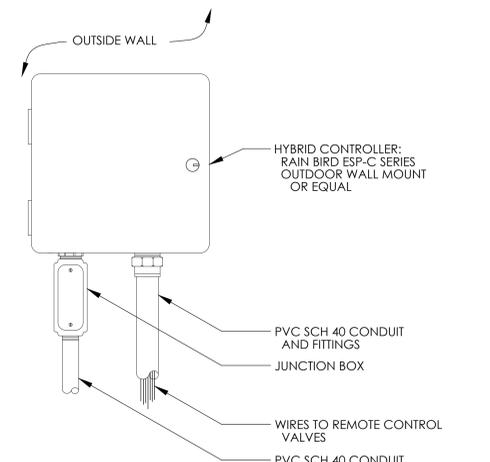
NOTE: PROVIDE AN AS-INSTALLED IRRIGATION SLEEVE PLAN. INDICATE THE ROAD STATION OF EACH IRRIGATION SLEEVE LOCATION UNDER ROADWAYS.

8 SLEEVES UNDER WALK/ ROAD NOT TO SCALE

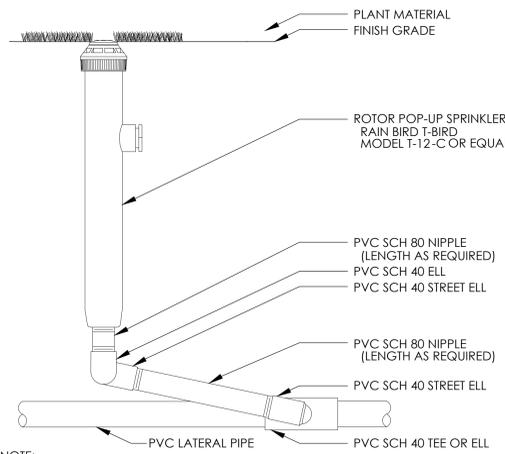


GROUPINGS IN TURF CONDITIONS

7 VALVE BOX GROUPINGS NOT TO SCALE

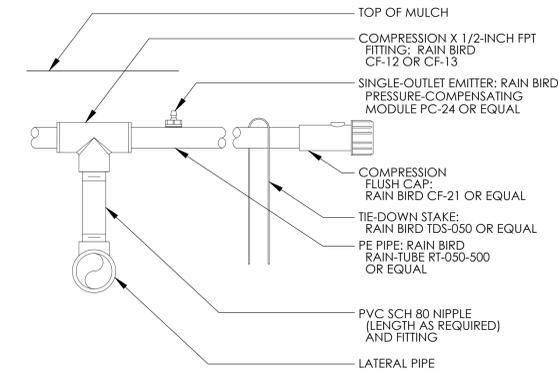


3 HYBRID CONTROLLER NOT TO SCALE



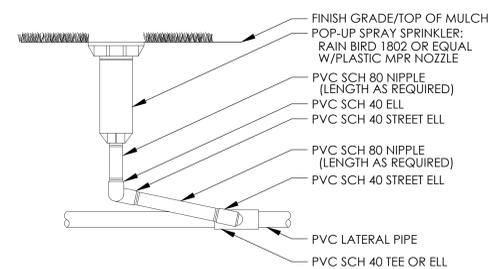
NOTE:
1. A SWING PIPE ASSEMBLY MAY BE USED WITH FLOWS LESS THAN 4 GPM.

5 ROTOR POP-UP SPRINKLER NOT TO SCALE

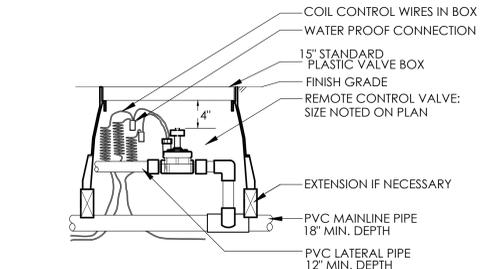


NOTE:
XERI-TUBE AND RAIN TUBE OR EQUAL.

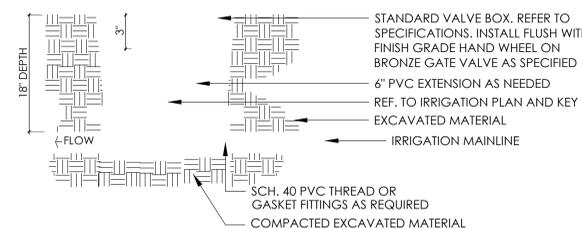
4 PVC TO PIPE CONNECTION NOT TO SCALE



3 POP-UP SPRAY SPRINKLER NOT TO SCALE



2 REMOTE TO PIPE CONNECTION NOT TO SCALE



1 ISOLATION VALVE NOT TO SCALE

STANDARD IRRIGATION NOTES

1) CONTRACTOR TO SUBMIT SHOP DRAWING OF IRRIGATION SYSTEM TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

IRRIGATION NOTES

- 1) SITE TO BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR IN ACCORDANCE TO STATE LAW.
- 2) CONTRACTOR SHALL SUPPLY AND INSTALL ALL VALVES, HEADS, PIPE, CONTROLLING, WIRING, BACKFLOW PREVENTOR AND CONTROLLER FOR A TWO WIRE IRRIGATION SYSTEM.
- 3) COORDINATE LOCATION OF WATER SOURCE AND BACKFLOW PREVENTOR WITH GENERAL CONTRACTOR COORDINATE LOCATION OF CONTROLLER WITH OWNER.
- 4) INSTALL SYSTEM AS PER SPECS. REFERENCE SPECIFICATIONS FOR MEETING AND MATCHING EXISTING IRRIGATION SYSTEM.
- 5) CONTRACTOR TO LOCATE AND VERIFY ALL EXISTING SITE UTILITIES PRIOR TO COMMENCING WITH WORK. CONTRACTOR RESPONSIBLE FOR DAMAGE CAUSED DURING CONSTRUCTION TO ANY SITE UTILITIES AND SITE FEATURES.
- 6) FOR ALL PIPE PENETRATIONS REFER TO ARCHITECTS PLANS.
- 7) CONTRACTOR TO PROVIDE FULL SHOP DRAWINGS PER SPECIFICATIONS FOR DESIGN BUILD IRRIGATION FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT. REF. DESIGN BUILD IRRIGATION SPECIFICATION AND NOTES ON SHEET L730. REF. LANDSCAPE PLANS FOR SPECIFIC PLANT TYPES AND LOCATIONS. COMMUNICATE SITE WATER CONNECTIONS WITH PROJECT CIVIL, M.E.P. ENGINEERS, CONTRACTOR AND LANDSCAPE ARCHITECT.

DESIGN BUILD IRRIGATION NOTES

- 1) ALL WORK SHALL CONFORM TO ANY AND ALL APPLICABLE REGULATIONS AND CODES FOR THE LOCATION OF THE WORK. THE INSTALLER SHALL OBTAIN ANY NECESSARY LOCATES, PERMITS AND INSPECTIONS.
- 2) ALL WORK SHALL BE CLOSELY COORDINATED WITH THAT OF OTHER TRADES, IN ORDER TO AVOID CONFLICTS. REFER TO LANDSCAPE AND UTILITIES PLANS WHEN TRENCHING TO AVOID TREES, SHRUBS AND UNDERGROUND UTILITIES.
- 3) ALL MATERIAL AND LABOR REQUIRED TO PROVIDE A COMPLETE, OPERATIONAL AND FULLY GUARANTEED SYSTEM SHALL BE CONSIDERED PART OF THE WORK, WHETHER OR NOT THEY ARE SPECIFICALLY INDICATED IN THE DOCUMENTS.
- 4) THE CONTRACTOR SHALL PREPARE A DESIGN HARD COPY DRAWINGS ON REPRODUCIBLE PAPER SHOWING ALL IRRIGATION INSTALLATION. A HARDCOPY OF THE ORIGINAL LANDSCAPE PLAN MAYBE OBTAINED FROM THE DESIGNER. THE DRAWING SHALL LOCATE ALL MAINLINE VALVES AND HEADS BY SHOWING EXACT MEASUREMENTS FROM HARD SURFACES. PLEASE SHOW WIRE DIRECTION. PROVIDE DESIGN DRAWINGS FOR DESIGNER APPROVAL.
- 5) ALL HEADS SHALL BE OF THE PROPER TYPE FOR THE AREAS WHERE LOCATED AND SHALL BE INSTALLED TO THE PROPER HEIGHT. ALL HEADS AND OTHER EQUIPMENT SHALL BE INSTALLED WITH ADEQUATE AND UNIFORM CLEARANCE FROM ALL HARD-SCAPING, TO MINIMIZE WATER OVER SPRAY ON IMPERVIOUS AREAS. ALL HEADS SHALL BE MOUNTED WITH POLY PIPE WITH BARBED ELBOWS.
- 6) CONTRACTOR TO DESIGN SYSTEM BASED ON AVAILABLE WATER PRESSURE AT THE SITE. PRESSURE TEST SYSTEM AND SUBMIT TO OWNER.
7. MAKE USE OF EXISTING POWER SUPPLY PROVIDED BY GENERAL CONTRACTOR.
- 8) CONTROL WIRING SHALL BE ROUTED WITH THE MAINLINE WHEREVER POSSIBLE. LOW VOLT AGE WIRING SHALL BE UP 14

- PVC JACKETED, SINGLE CONDUCTOR CABLE. USE RED WIRES FOR "HOT" AND WHITE FOR VALVE COMMON. WIRES SHALL BE INSTALLED WITH ADEQUATE SLACK AND SURGE/EXPANSION LOOPS, AND SHALL BE SPLICED ONLY IN VALVE BOXES. USING 3-1.4 DIRECT BURY CDBY> WIRE CONNECTORS.
- 9) ALL PIPING AND WIRE PASSING UNDER PAVED AREAS SHALL BE SLEEVED WITH SCH 40 PVC PIPE. SIZED A MINIMUM OF TWO NOMINAL SIZES LARGER THAN CONTAINED PIPE. ALL SLEEVING SHALL BE PROVIDED.
 - 10) ALL LINES SHALL BE INSTALLED ON THE PROPERTY AND INSIDE THE LANDSCAPE AREAS.
 - 11) PROVIDE A MINIMUM OF 8" OF COVER OVER LATERAL PIPING. PROVIDE A MINIMUM OF 12" OF COVER OVER MAINLINE PIPING.
 - 12) LATERAL LINES SHALL BE CLASS 200 PVC. SEE PLAN FOR SIZES. MAIN LINE PIPE SHALL BE CLASS 200 PVC. SEE PLAN FOR SIZES.
 - 13) FLUSH ALL LINES.
 - 14) CONDUCT AN INSPECTION OF THE SYSTEM IN OPERATION WITH THE DESIGNER.
 - 15) THE CONTRACTOR IS RESPONSIBLE FOR WINTERIZING THE SYSTEM THE FIRST YEAR OF INSTALLATION. DURING THE WINTERIZATION OF THE SYSTEM, THE CONTRACTOR WILL SHOW THE OWNER'S DESIGNATED REPRESENTATIVE THE PROPER PROCEDURES FOR WINTERIZING THE SYSTEM. THE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR RESTARTING THE SYSTEM IN THE SPRING OF THE FOLLOWING YEAR.
 - 16) CONTRACTOR TO GUARANTEE IRRIGATION SYSTEM, EQUIPMENT AND WORKMANSHIP FOR 1 YEAR FROM SUBSTANTIAL COMPLETION.
 - 17) ANY ADDITIONAL NEEDED SLEEVES WILL BE PROVIDED BY THE DESIGN BUILD CONTRACTOR.

AREA FOR CITY APPROVAL STAMP

FOR REFERENCE

ARCH. ELEV. 0'-0" = +9.50

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THE EDISON
1005 NORTH EDISON STREET,
MILWAUKEE, WISCONSIN 53202

ISSUANCES	
DATE	ISSUED FOR
6/18/23	PROGRESS SD
8/1/23	50% SD
8/11/23	PROGRESS SD
8/24/23	100% SD

507 MAIN STREET,
NASHVILLE, TN
37206

PROJ. # 232327
SCALE: REF. SHEET

IRRIGATION NOTES AND DETAILS

L5.31



Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

Property 1005 N. EDISON ST. State Street Bridge (northeast abutment)
Description of work Alter NE bridge abutments to accommodate a change in riverwalk alignment and new construction on the site of the Rojahn-Malaney Building. The primary purpose of the project is to straighten the riverwalk and eliminate an awkward triangular recess created by the design of the bridge abutments. Part of the angled portion of the bridge abutment will be shortened and capped so that the riverwalk can rise over it.

Historic railing on bridge is only to be removed from the portion of the abutment being shortened. All other existing railing on the abutment shall remain and not be replaced with a new style.

Date issued 12/9/22 PTS ID 115168 COA:BRIDGE ABUTMENT ALTERATIONS

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

Return all removed sections of railing to Department of Public Works, Bridges & Buildings Division.

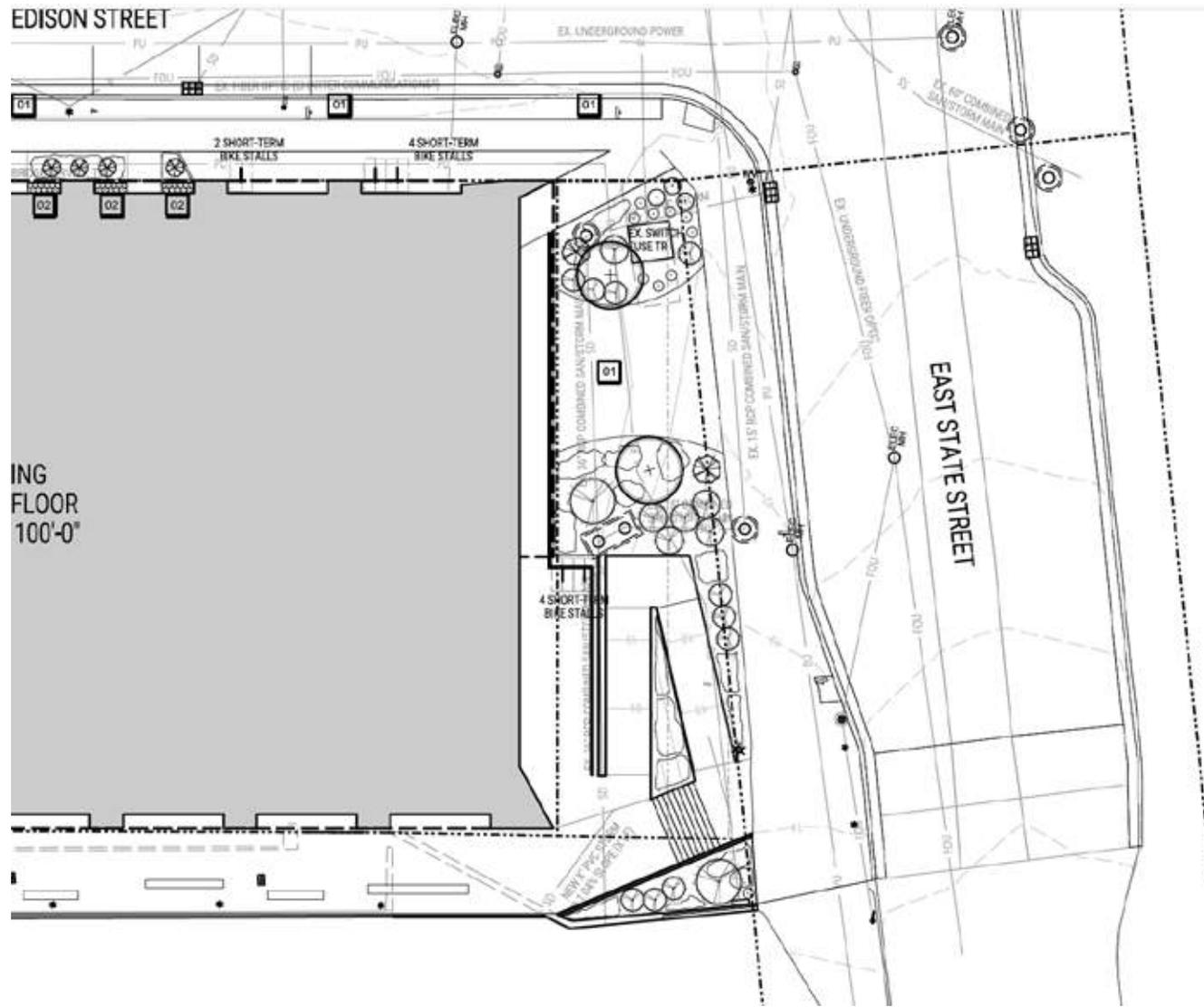
All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact hpc@milwaukee.gov.

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, www.milwaukee.gov/build, or call (414) 286-8210.

City of Milwaukee Historic Preservation Staff

Copies to: Development Center, Ald. Robert Bauman, Contractor

EDISON STREET



Approved site plan.



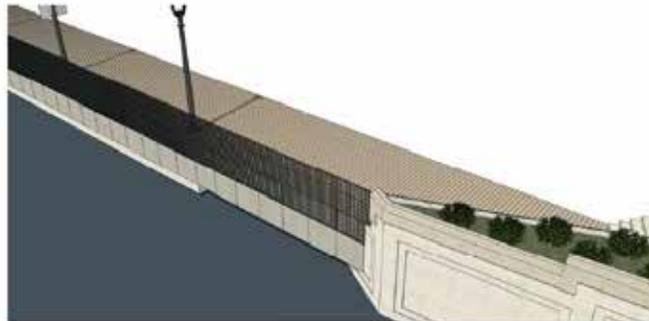
Original railing



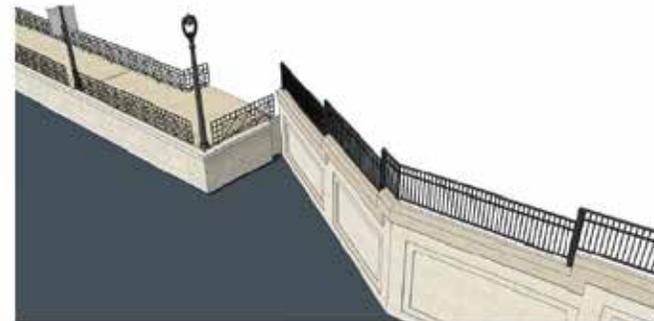
PROPOSED RIVERWALK | FROM NORTH



EXISTING RIVERWALK | FROM NORTH



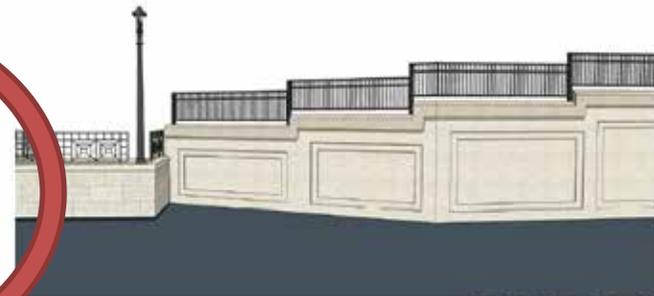
PROPOSED RIVERWALK | FROM SOUTH



EXISTING RIVERWALK | FROM SOUTH



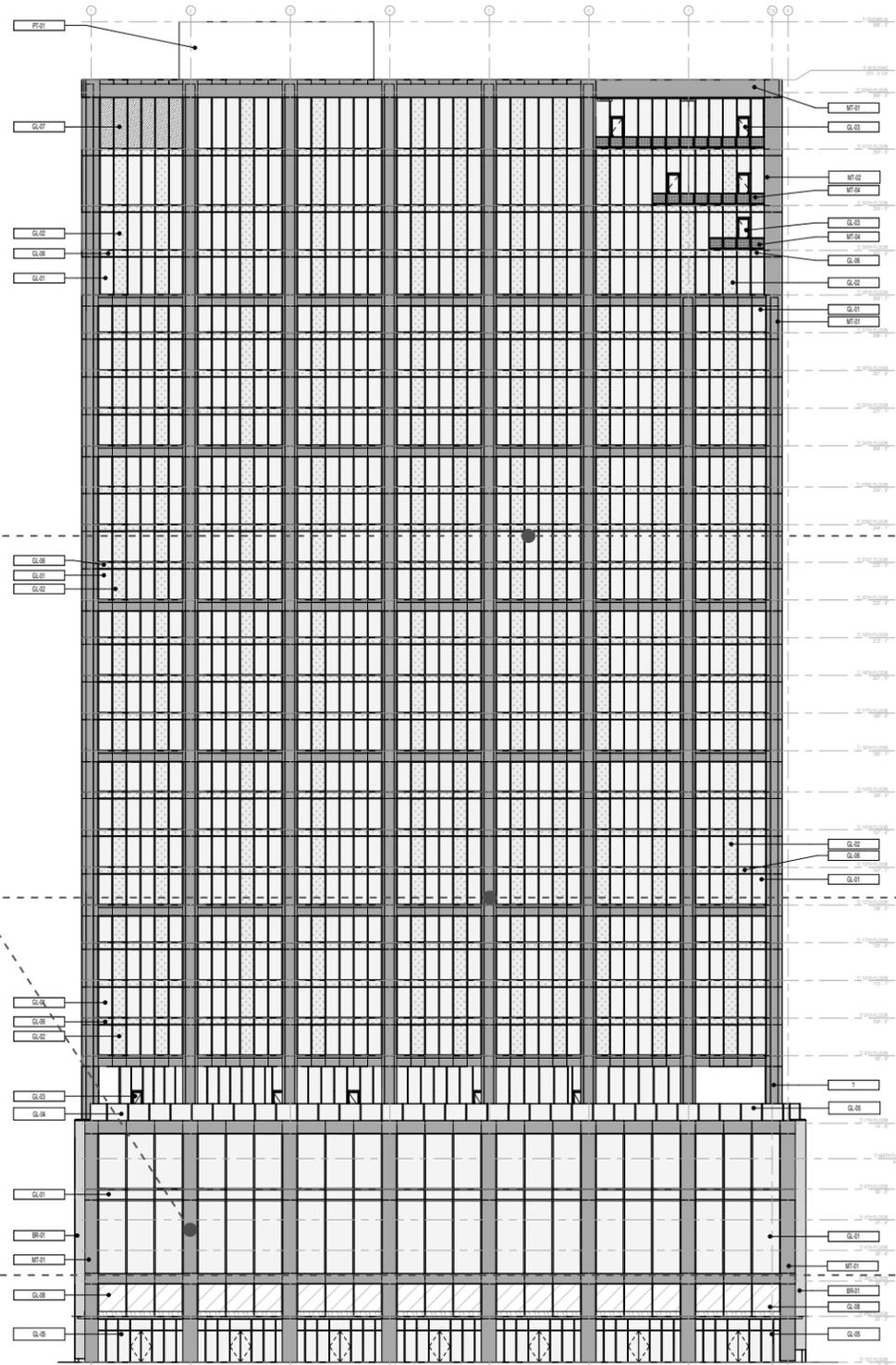
PROPOSED RIVERWALK | ELEVATION



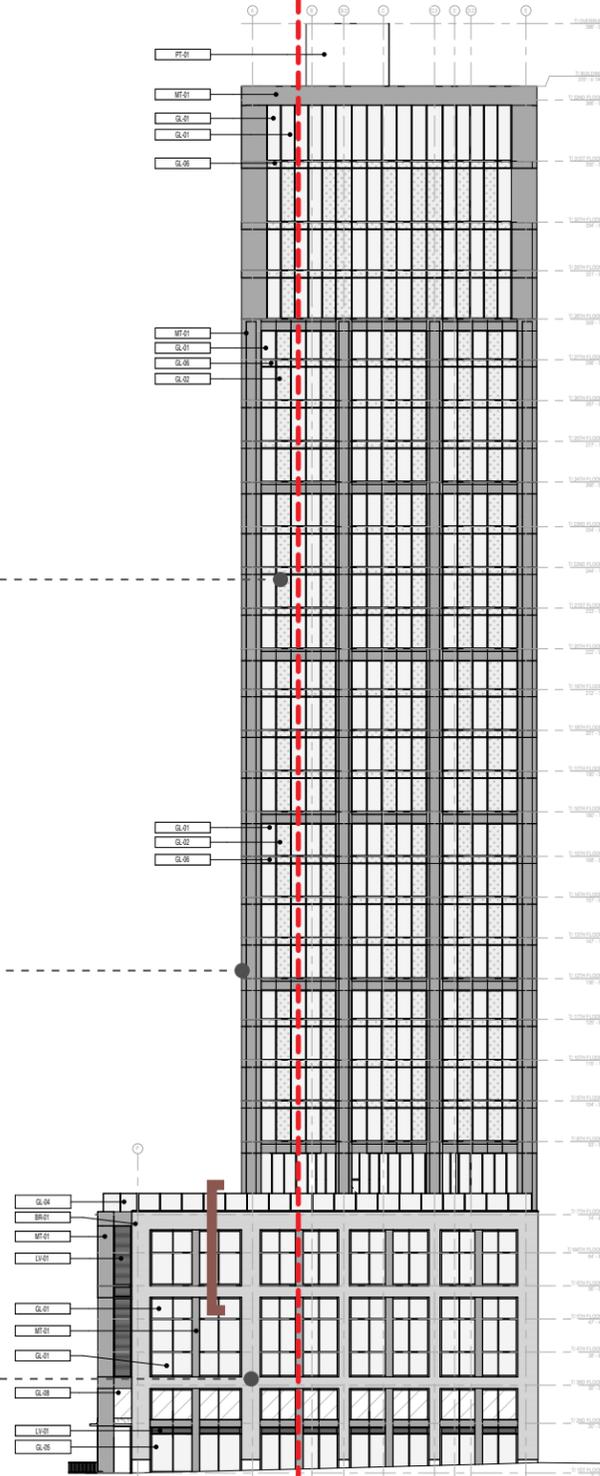
EXISTING RIVERWALK | ELEVATION

**Original railing must remain in place to the maximent extent possible.
Remove railing only from the tier that is being shortened.**

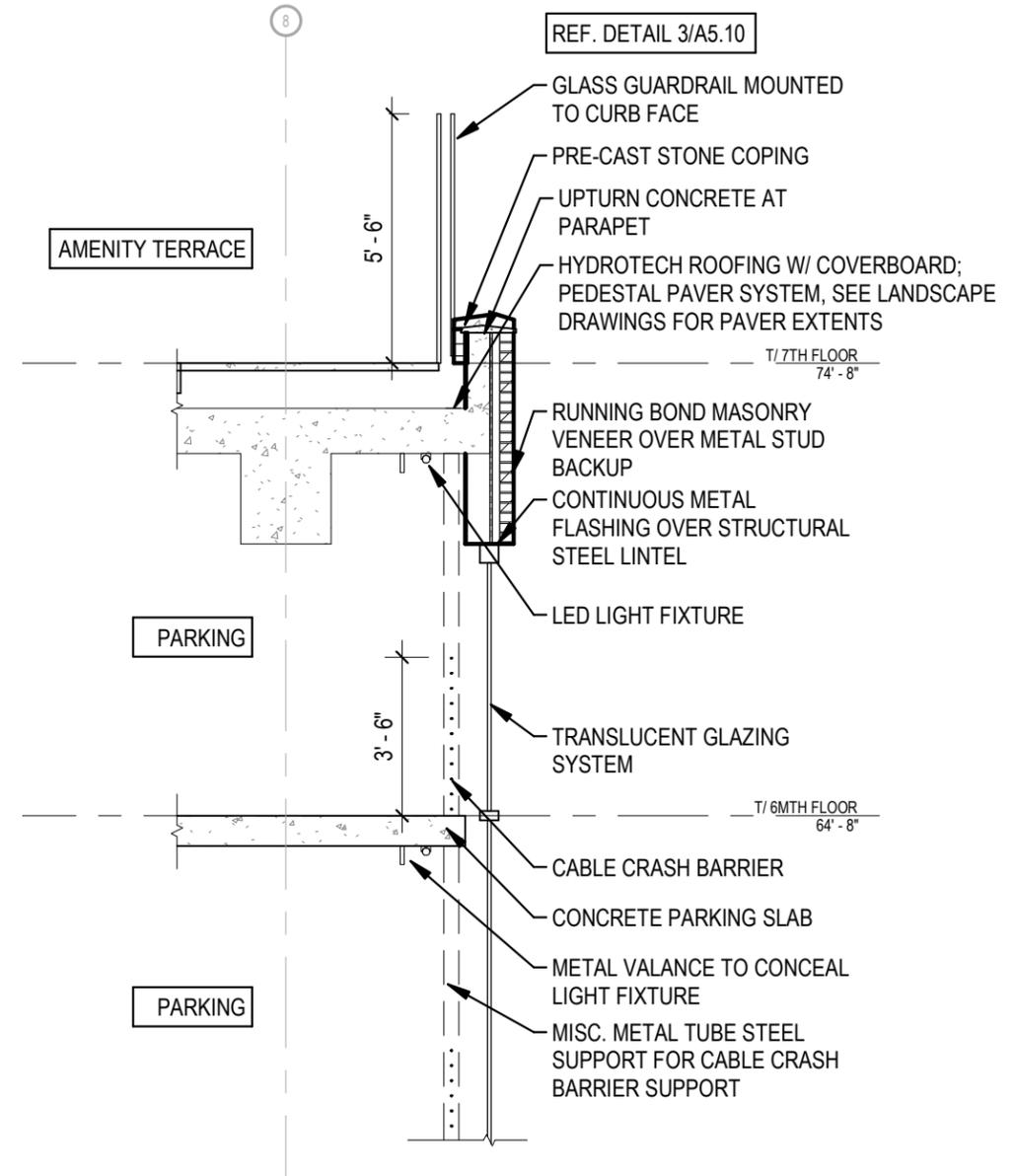
RIVER OVERLAY DISTRICT



WEST ELEVATION
RIVER OVERLAY APPLICABLE



SOUTH ELEVATION



DETAIL AT GARAGE GLAZING
RIVER OVERLAY APPLICABLE



Window Wall



Aluminum Panel



Opening within
Brick Masonry



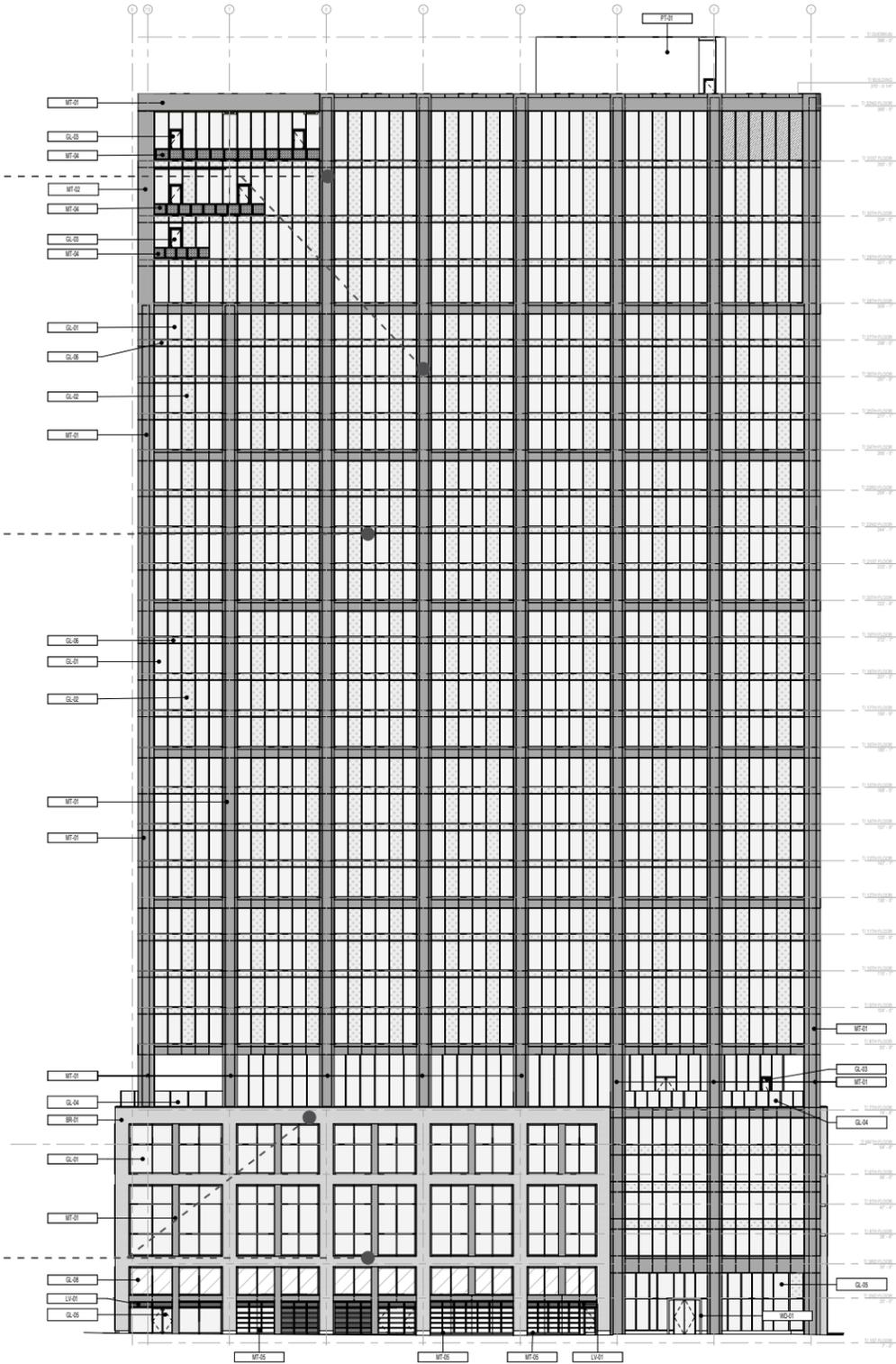
Aluminum Panel



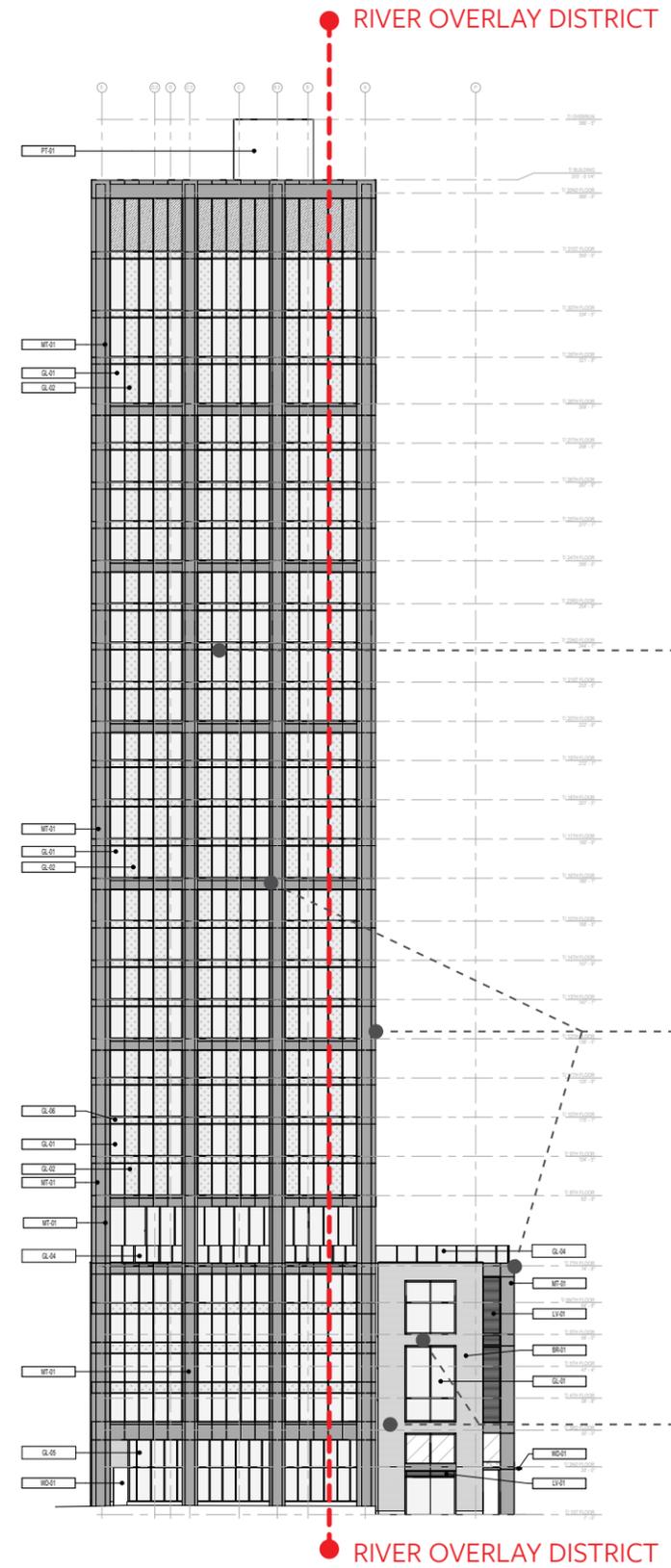
Window Wall



Opening within Brick Masonry



EAST ELEVATION
RIVER OVERLAY APPLICABLE



NORTH ELEVATION



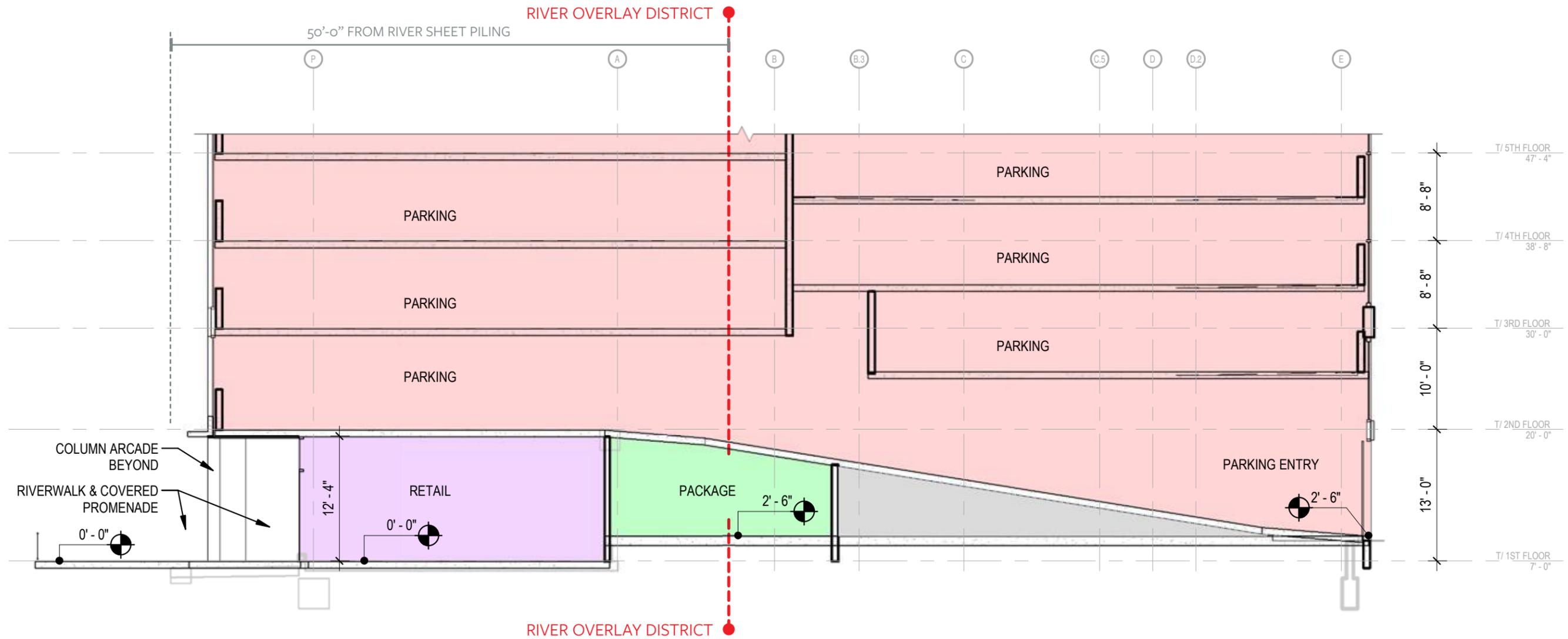
Window Wall



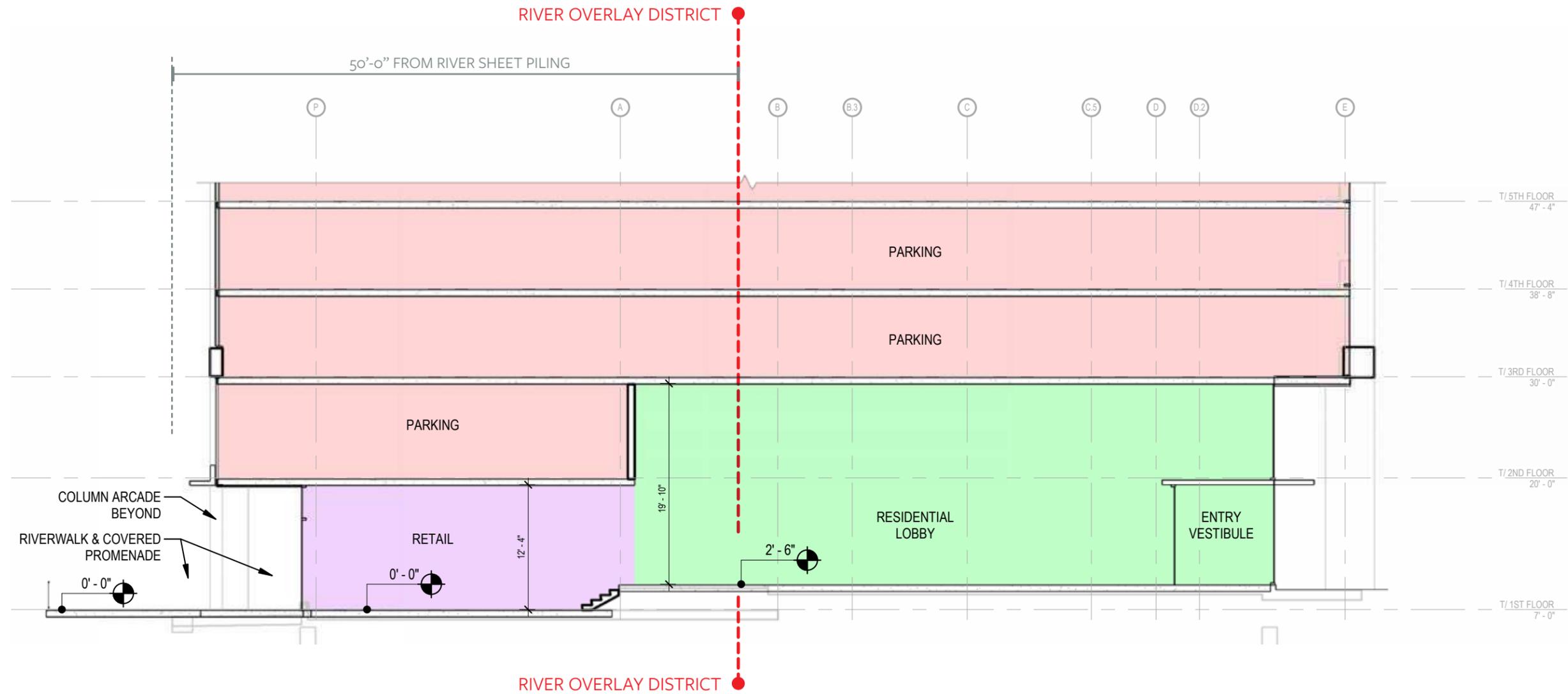
Aluminum Panel



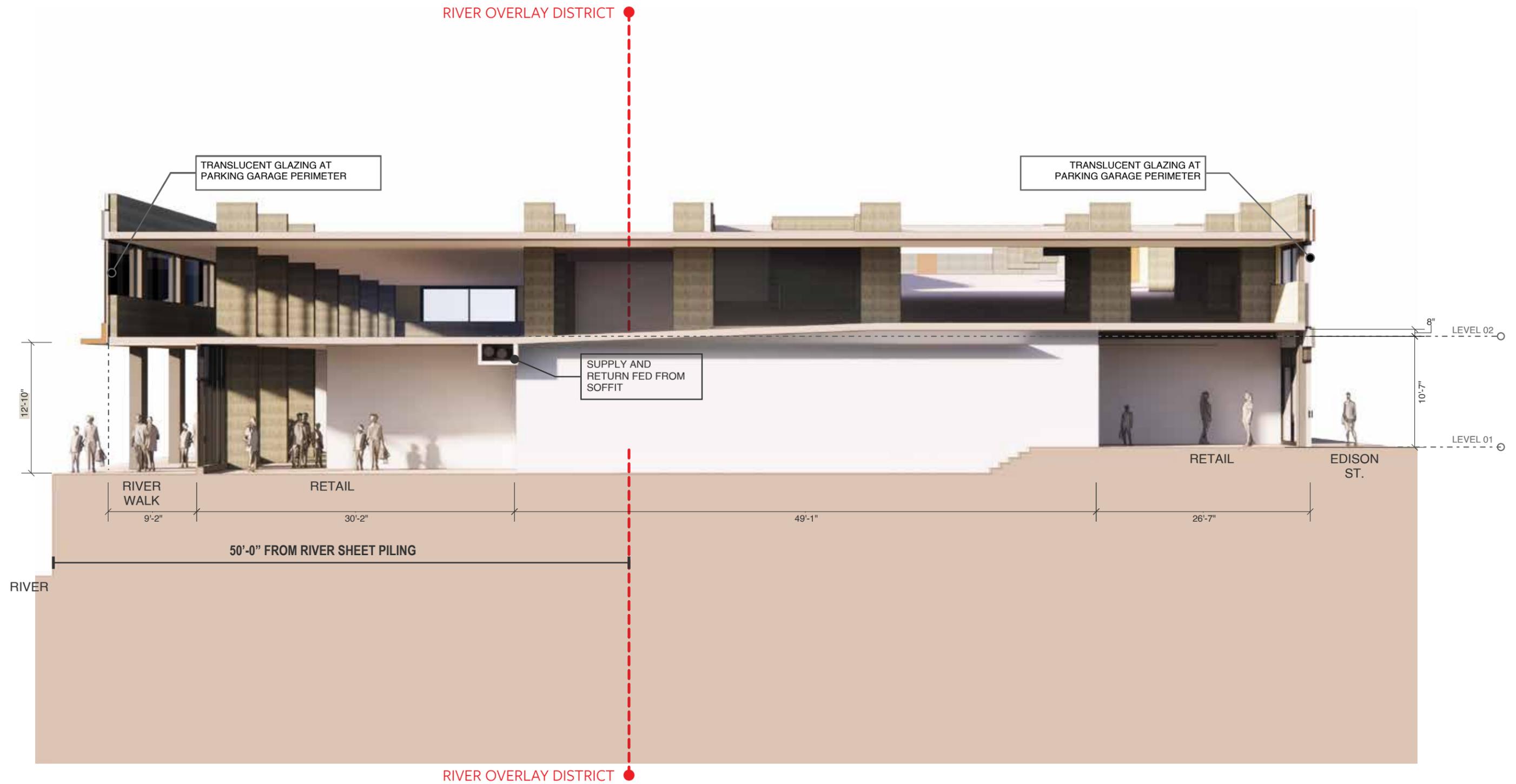
Opening within Brick Masonry



E/W SECTION THROUGH PARKING RAMP AND RETAIL LOOKING NORTH



E/W SCHEMATIC SECTION THROUGH LOBBY AND RETAIL LOOKING NORTH
 SCALE: 3/32" = 1'-0"



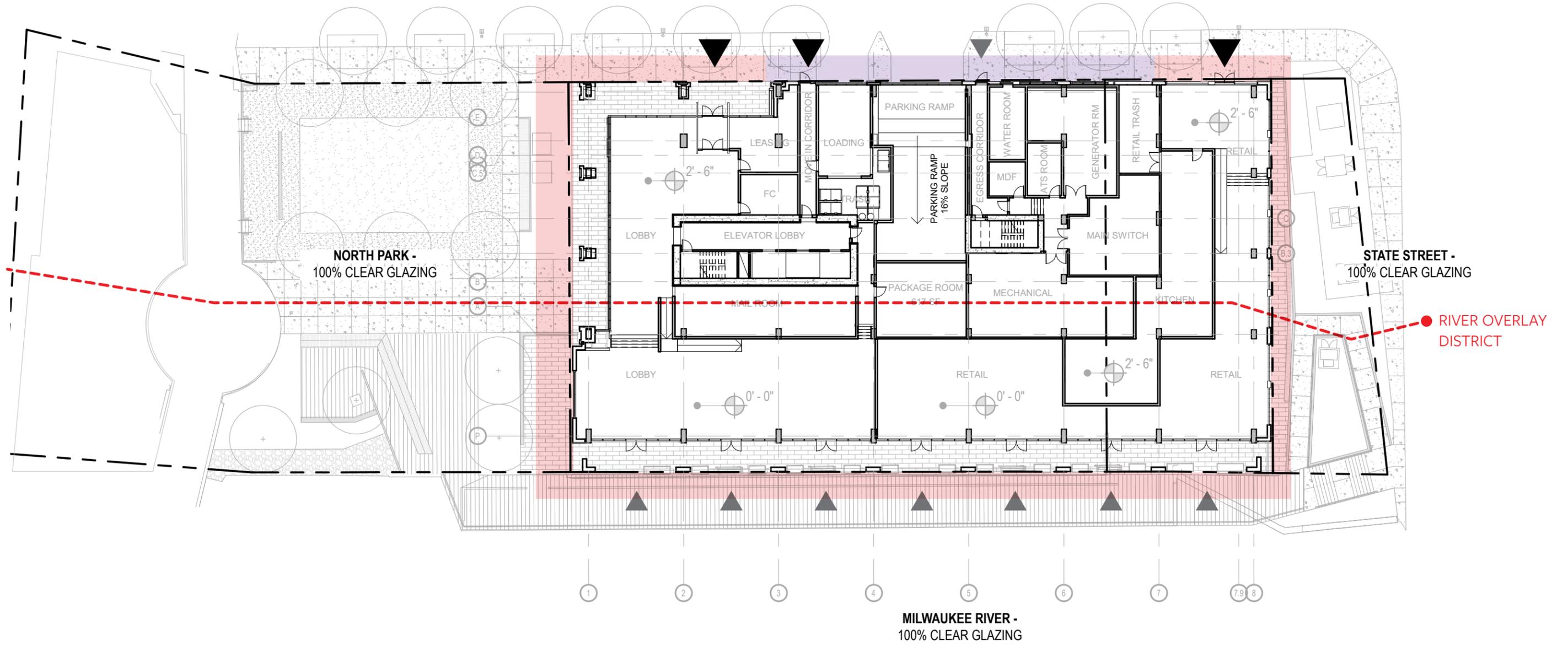
SECTION THROUGH RETAIL



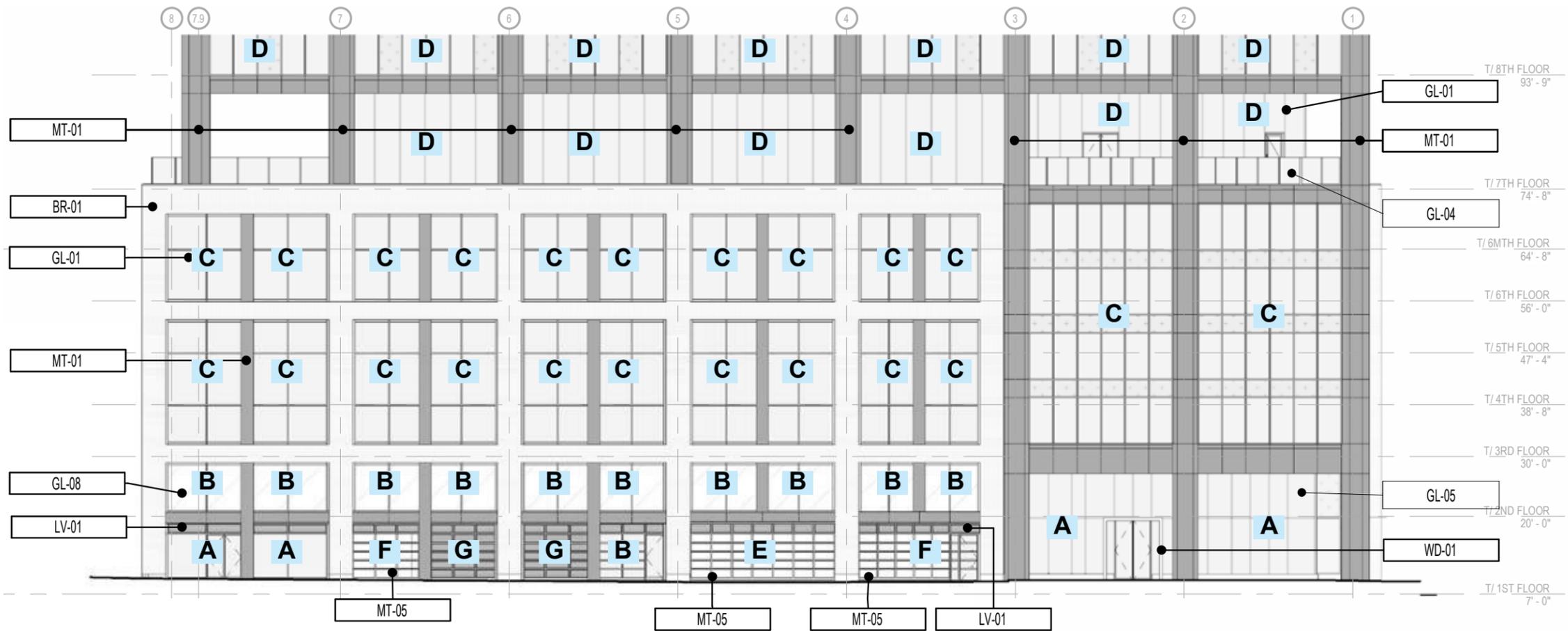
AERIAL VIEW FROM WEST - PROPOSED

- Exterior Open Glazing
- No Exterior Open Glazing
- Primary Entrance
- Secondary Entrance

NORTH EDISON ST. -
 60.8% TRANSLUCENT FROSTED GLAZING
 39.2% CLEAR GLAZING



GROUND FLOOR - GLAZING



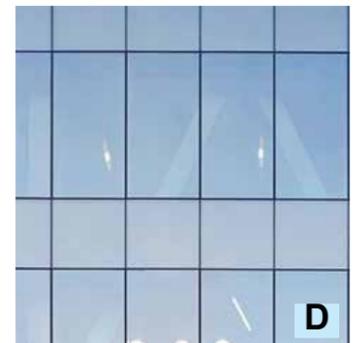
- A. Ground Floor Clear Glazing
- B. Ground Floor Translucent Frosted Glazing
- C. Plinth Level Translucent Frosted Glazing
- D. Residential Clear Glazing
- E. Overhead Garage Door with Clear Glazing
- F. Overhead Garage Door with Translucent Frosted Glazing
- G. Louver



Overhead Garage Door with Clear Glazing



Plinth Level Translucent Frosted Glazing



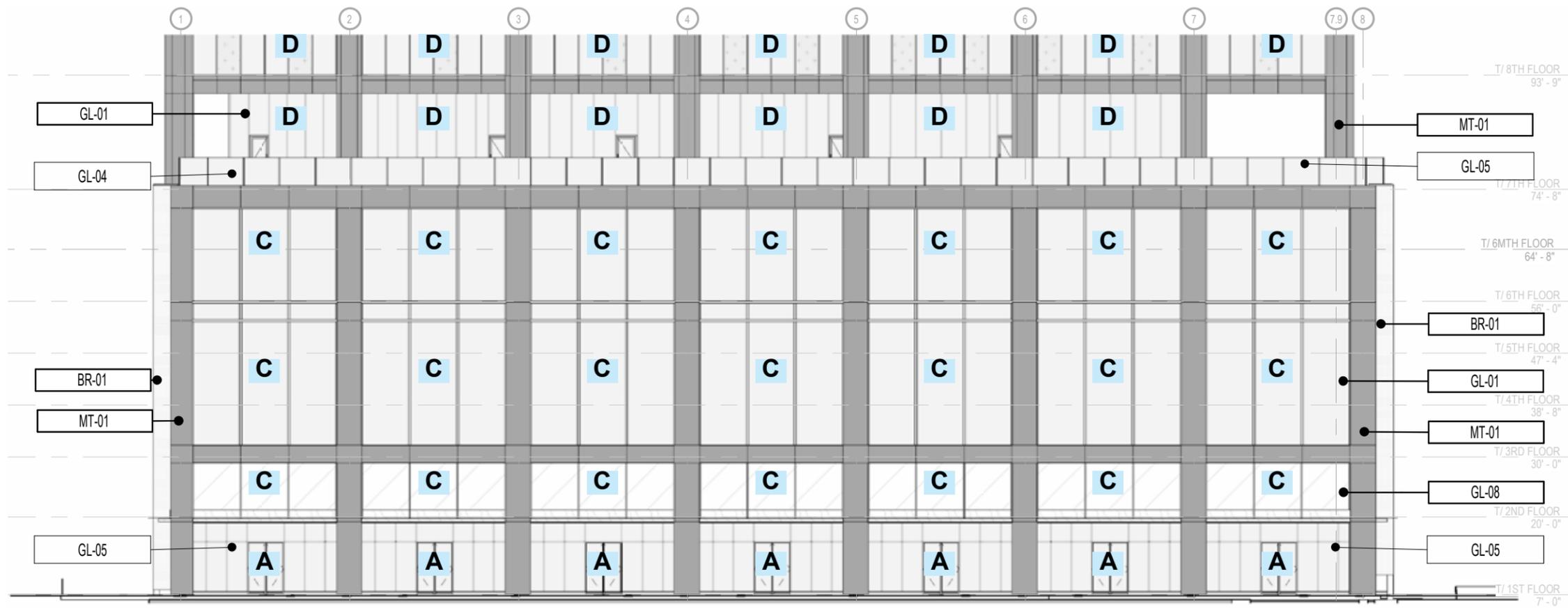
Residential Clear Glazing



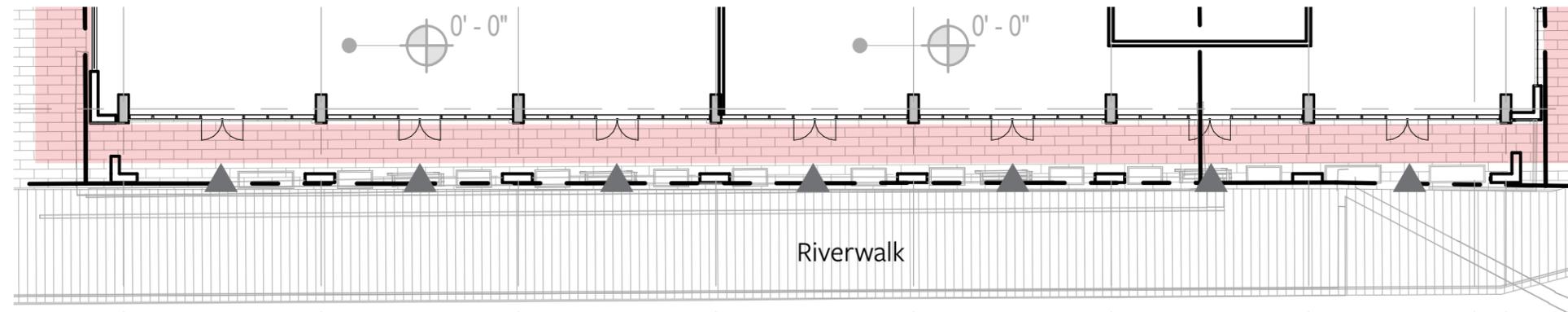
Metal Spandrel



GROUND FLOOR - GLAZING



- A. Ground Floor Clear Glazing
- B. Ground Floor Translucent Frosted Glazing
- C. Plinth Level Translucent Frosted Glazing
- D. Residential Clear Glazing
- E. Overhead Garage Door with Clear Glazing
- F. Overhead Garage Door with Translucent Frosted Glazing
- G. Louver



Wood Awning & Arcade Ceiling



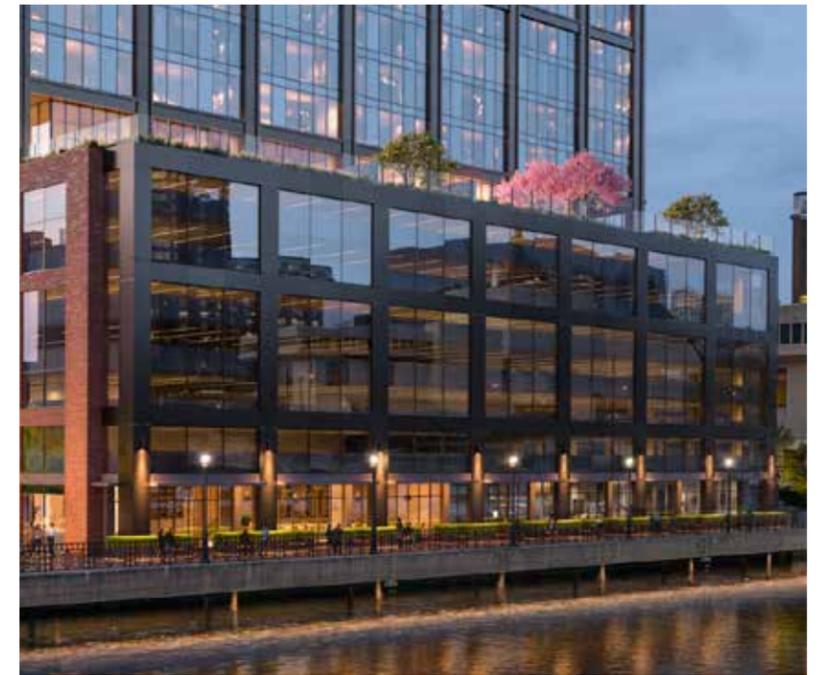
Plinth Level Translucent Frosted Glazing



Residential Clear Glazing



Metal Spandrel



GROUND FLOOR - GLAZING

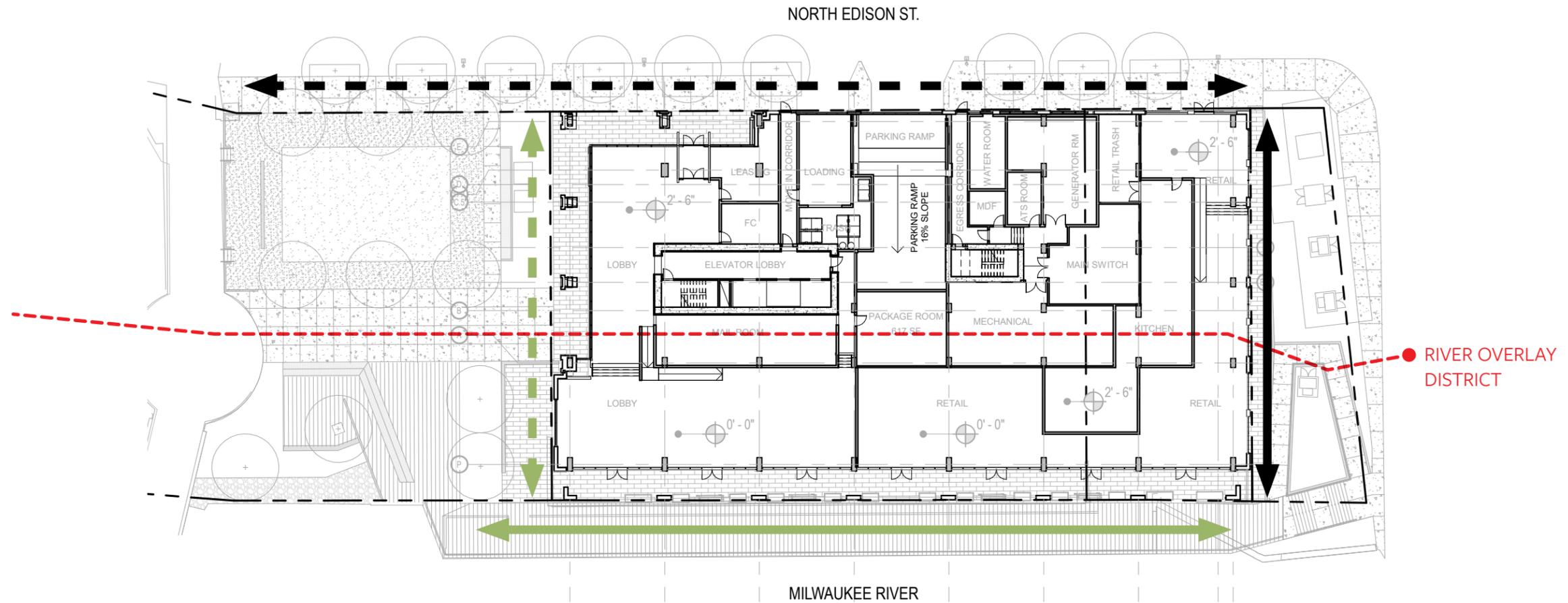
Passive Urban

residential
pedestrian
density



Active Urban

fast movement
commercial
engaging
visual connection
defined edges



Green Plaza

pause + leisure
meeting point
playground
smooth edge
small commercial

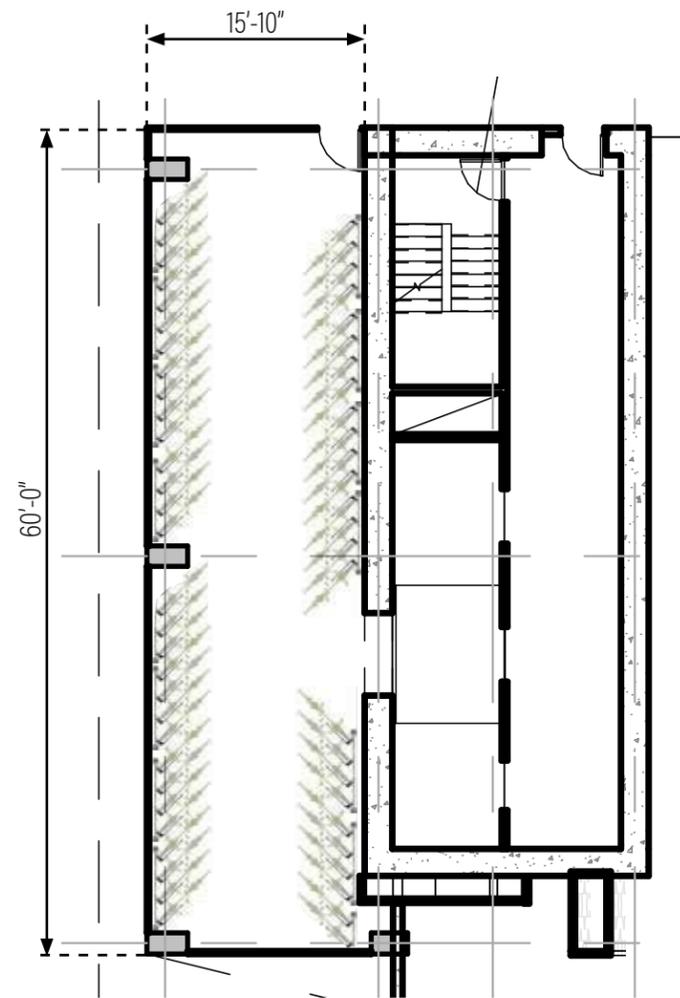


River Walk

slow movement
linkage
pedestrian
smooth edge

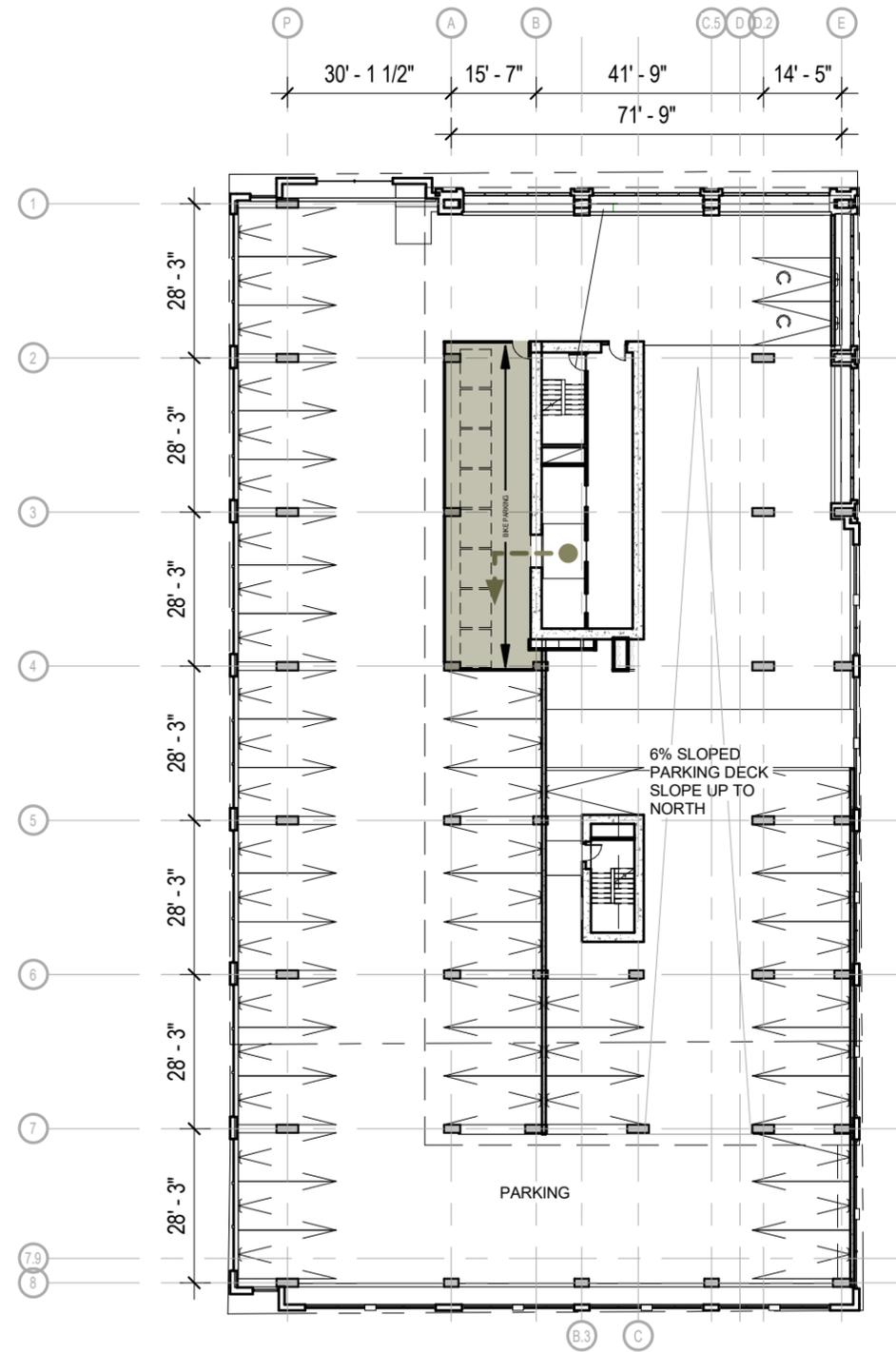


USE ADJACENCIES

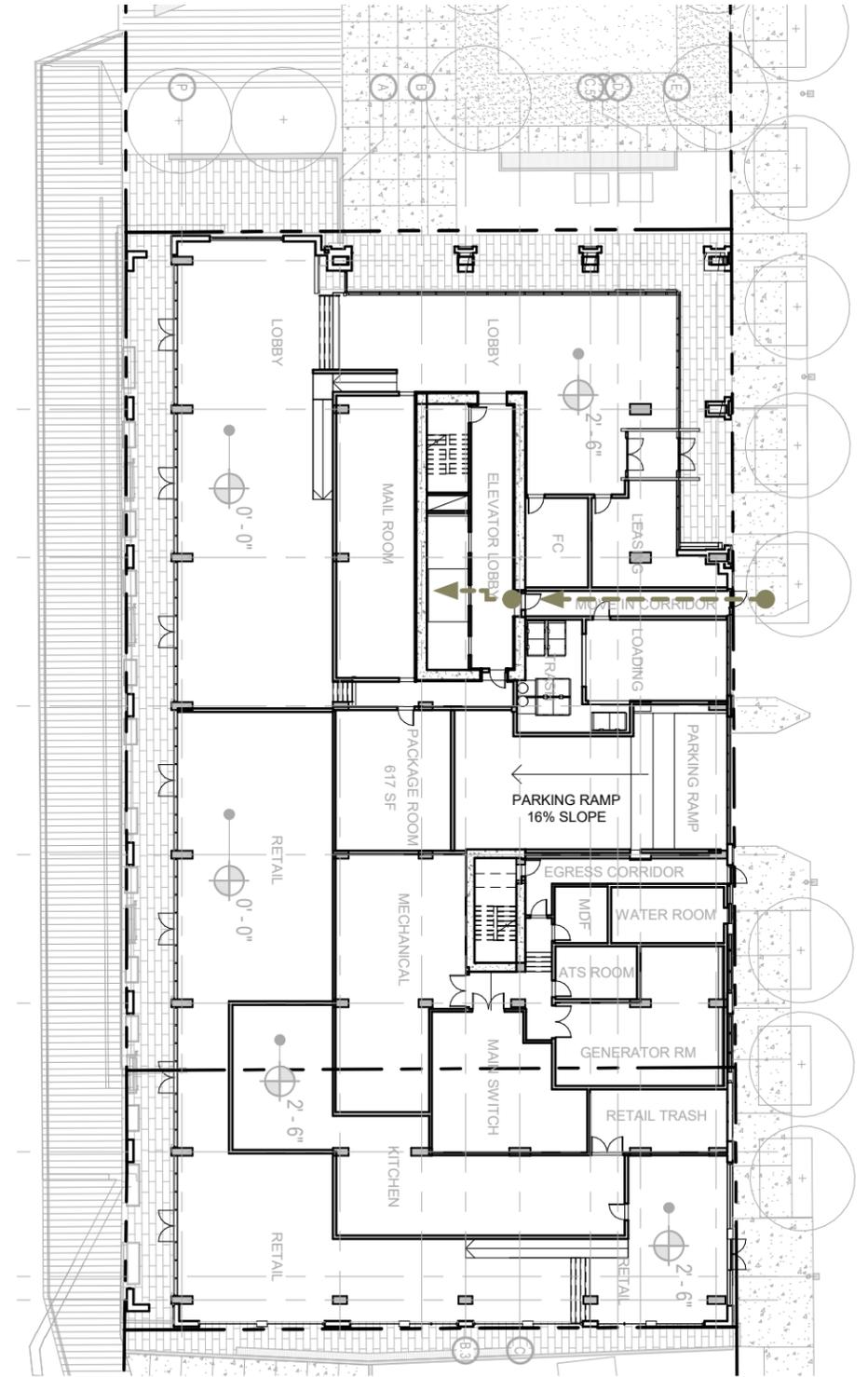


56 Bikes per Floor =
168 Spaces Total

4TH-6TH FLOOR - BIKE STORAGE ROOM

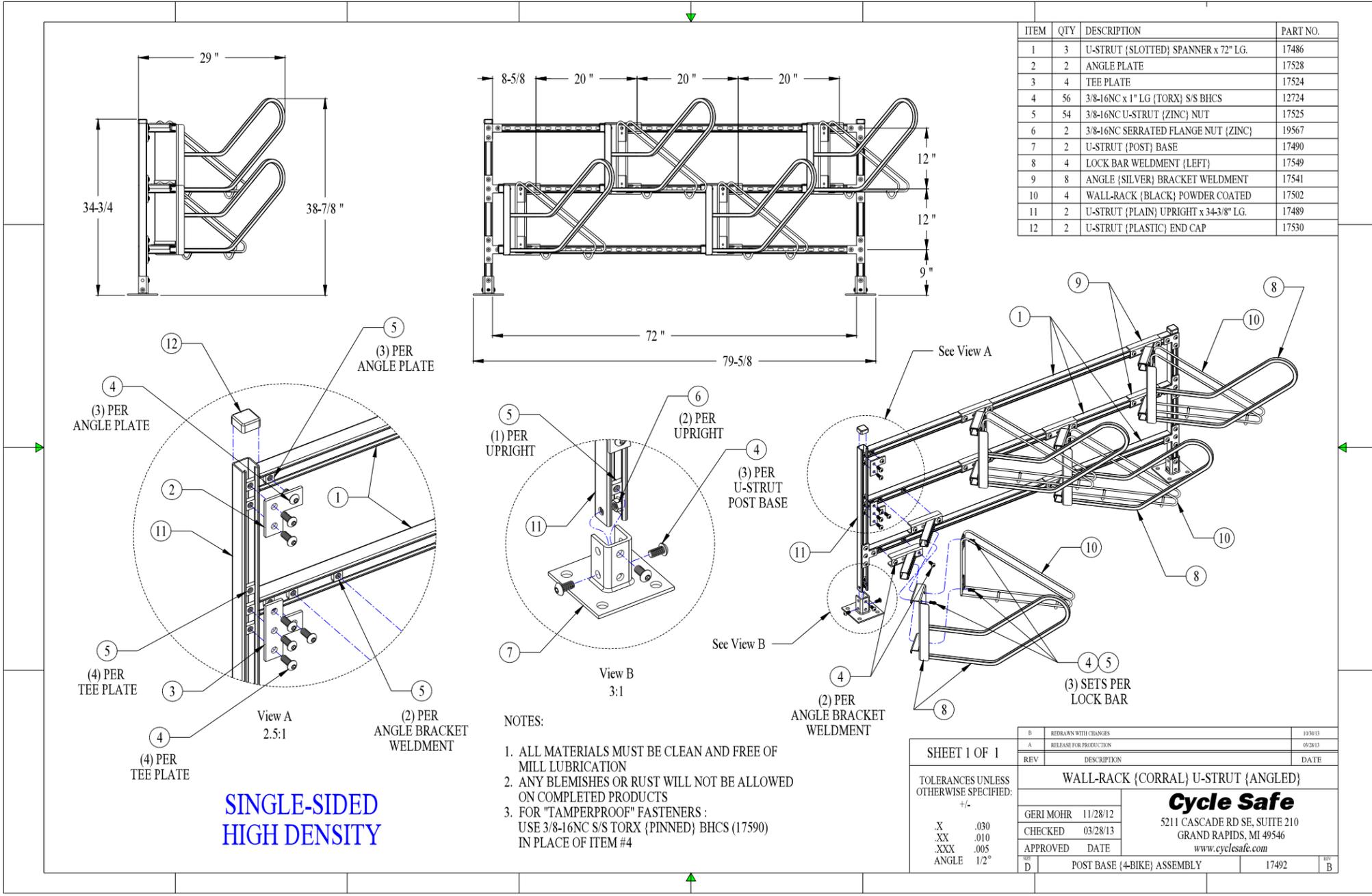


4TH-6TH FLOOR - PARKING LEVEL

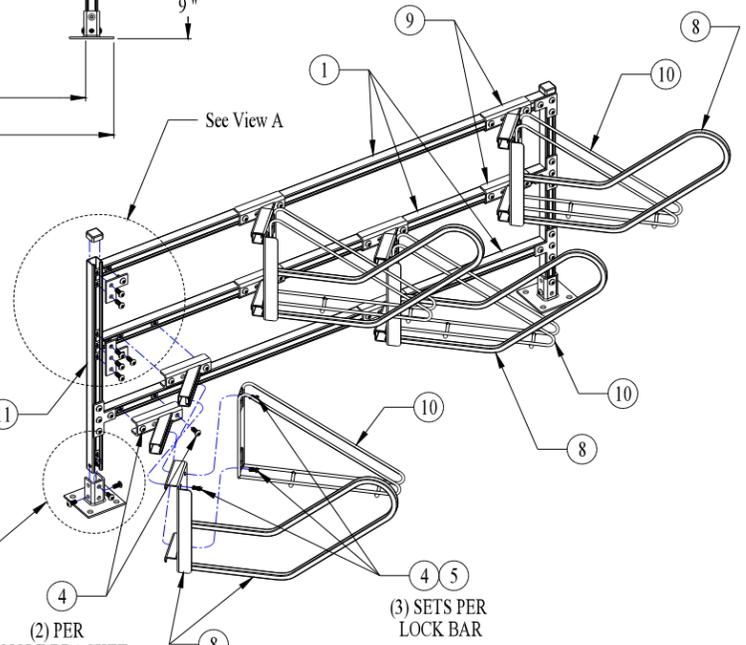
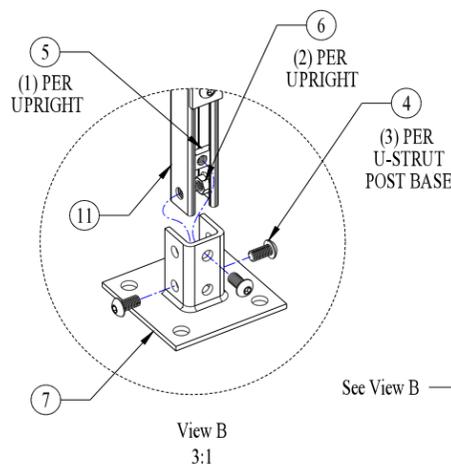
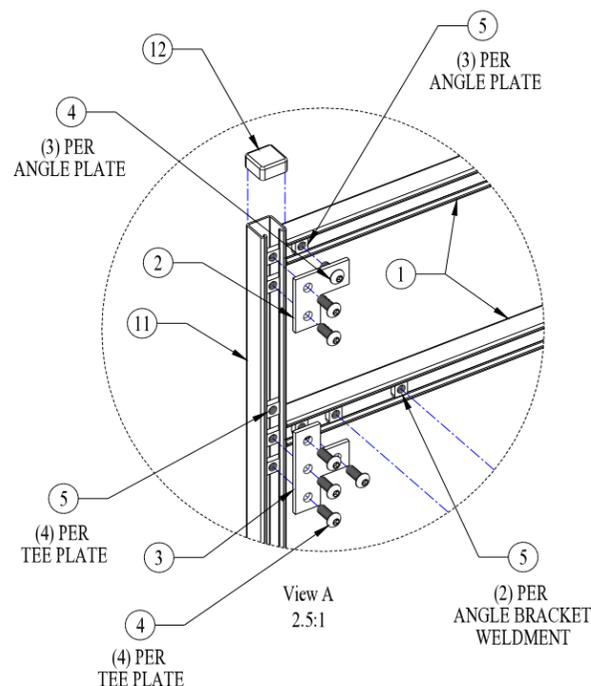


GROUND FLOOR

LONG TERM BIKE PARKING



ITEM	QTY	DESCRIPTION	PART NO.
1	3	U-STRUT (SLOTTED) SPANNER x 72" LG.	17486
2	2	ANGLE PLATE	17528
3	4	TEE PLATE	17524
4	56	3/8-16NC x 1" LG (TORX) S/S BHCS	12724
5	54	3/8-16NC U-STRUT (ZINC) NUT	17525
6	2	3/8-16NC SERRATED FLANGE NUT (ZINC)	19567
7	2	U-STRUT (POST) BASE	17490
8	4	LOCK BAR WELDMENT (LEFT)	17549
9	8	ANGLE (SILVER) BRACKET WELDMENT	17541
10	4	WALL-RACK (BLACK) POWDER COATED	17502
11	2	U-STRUT (PLAIN) UPRIGHT x 34-3/8" LG.	17489
12	2	U-STRUT (PLASTIC) END CAP	17530

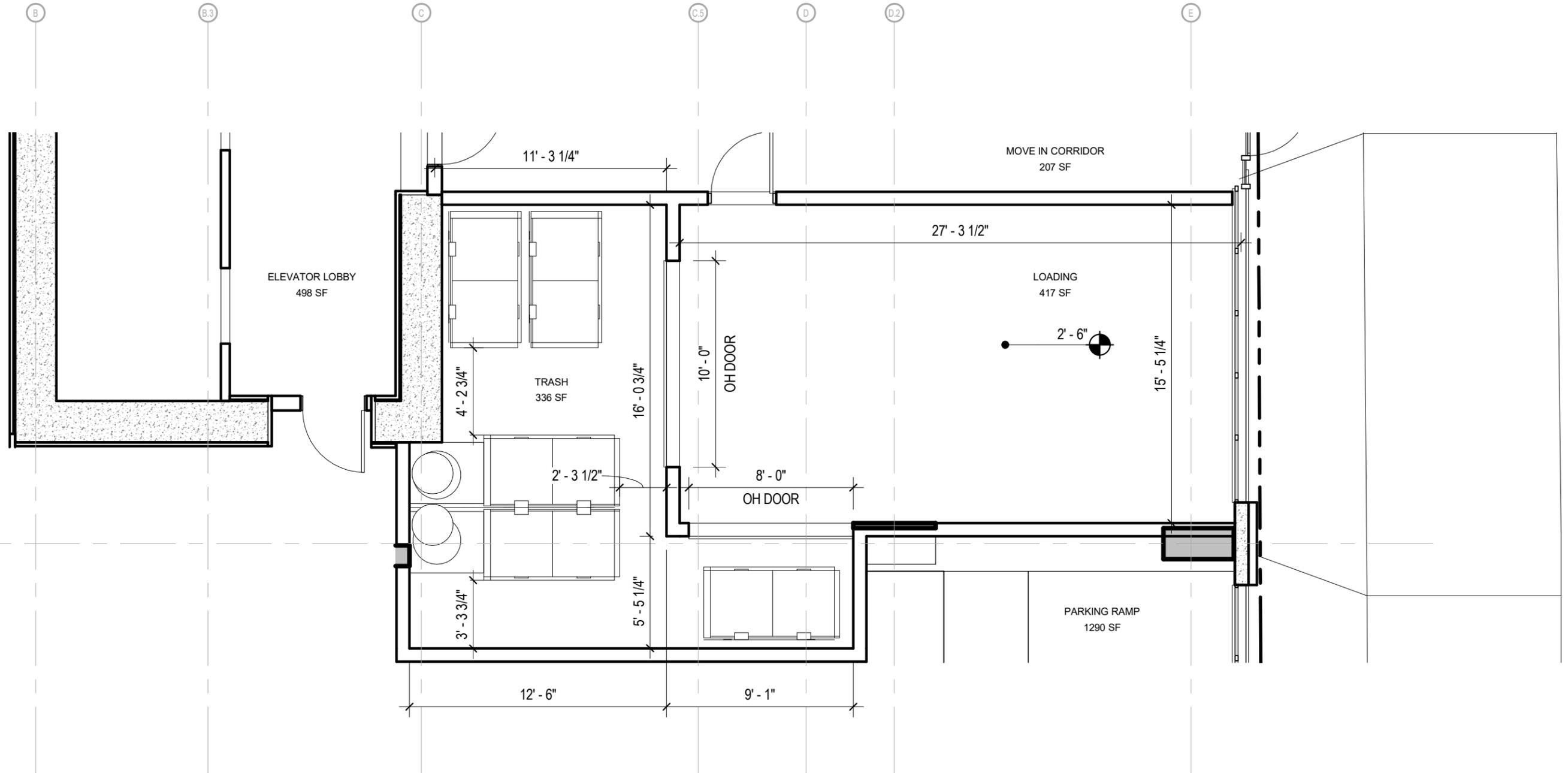


- NOTES:
1. ALL MATERIALS MUST BE CLEAN AND FREE OF MILL LUBRICATION
 2. ANY BLEMISHES OR RUST WILL NOT BE ALLOWED ON COMPLETED PRODUCTS
 3. FOR "TAMPERPROOF" FASTENERS: USE 3/8-16NC S/S TORX (PINNED) BHCS (17590) IN PLACE OF ITEM #4

SHEET 1 OF 1		WALL-RACK (CORRAL) U-STRUT (ANGLED)	
TOLERANCES UNLESS OTHERWISE SPECIFIED:		Cycle Safe 5211 CASCADE RD SE, SUITE 210 GRAND RAPIDS, MI 49546 www.cyclesafe.com	
.X	.030	GERI MOHR	11/28/12
.XX	.010	CHECKED	03/28/13
.XXX	.005	APPROVED	DATE
ANGLE	1/2°	POST BASE (4-BIKE) ASSEMBLY	17492

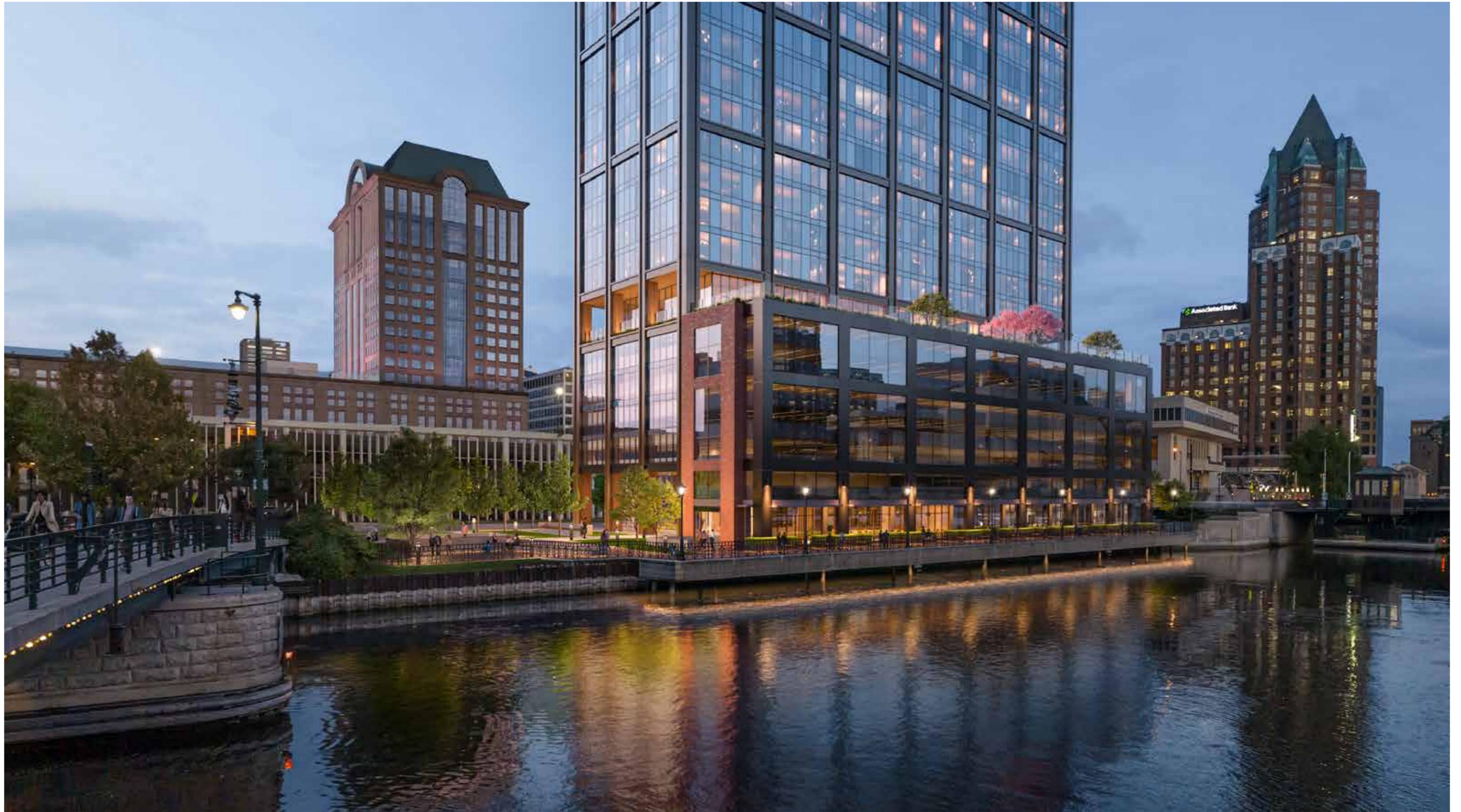
**SINGLE-SIDED
HIGH DENSITY**

LONG TERM BIKE PARKING - CUT SHEET



THE EDISON

Project North	SCALE	DRAWING	SK #
	3/16" = 1'-0"		
	DATE		
	02/29/24		



RIVERWALK - PROPOSED



LPA

NEUTRAL PROJECT | CD SMITH



EDISON STREET - PROPOSED



LPA

NEUTRAL PROJECT | CD SMITH

