

2130 S. KINNICKINNIC AVE.
Milwaukee, WI 53207
Detailed Plan Development Submittal
FILE # - 170164



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Owner's Statement of Intent & Planned Development Project Description

Owner's Statement of Intent

New Land Enterprises is proposing to construct a new building on the site of the former Hamburger Mary's on 2130 S. Kinnickinnic Ave. as well as 310-312 and 316-320 E. Archer Ave. and a portion of 353 E. Bay St. in Milwaukee's Bay View neighborhood. A partial vacation of the western portion of the east-west alley, dedication of a new alley leg, and city sale for the portion of 353 E. Bay St. will also be necessary.

The building, located at the gateway of Bay View at the intersection of S. Kinnickinnic Ave, E. Bay Street, and E. Becher Street, will be 6 stories and will consist of 144 market rate apartments and approximately 14,400 SF of retail space. The frontage onto S. Kinnickinnic contains the retail spaces behind a recessed arcade, while the sides facing E Bay Street and E Archer Ave contain lobby entrances and the entry into the parking garage from E. Bay Street. The building has a two-story parking structure on the 1st and 2nd floors with room for up to 183 cars, and bicycle parking.

Project Statistics:

Total lot square footage (including partially vacated alley land): 54,575 SF (1.25 Acres)

Maximum amount of land covered by principal structure: Approx. 46,556 SF 85%

Maximum amount of land devoted to parking, drives, and parking structure (Incl. in principal structure): Approx. 22,167 SF 40%

Maximum amount of land devoted to landscaped open space: Approx. 2,613 SF .05%

Proposed number of buildings: One

Number of dwelling units: Up to 144

Bedrooms per unit: One and Two - Total bedroom count: Up to 160

One Bedroom units - Approx. 128

Two Bedroom units - Approx. 32

Parking spaces provided for residents: Up to 183: Approx. 1.3 per dwelling unit

Parking spaces provided for commercial space: 0

Block density: 378.75 SF of lot area per dwelling unit.

Apartment Square Footages (Approx.)

One Bedroom units - 540 SF - 900 SF

Two Bedroom units - 1,050 SF - 1,200 SF

Building square footage:

First Floor: Approx. 44,605 SF

Second Floor: Approx. 47,315 SF

Third-Sixth Floors: Approx. 31,668 SF (ea)

Total square footage: Approx. 218,592 SF

Planned Development Project Description

Uses:

One multi-family dwelling building and all uses accessory and ancillary to this, with parking structure accessory use. This building will be comprised of up to 144 dwelling units with up to 183 parking spaces.

Additionally, uses accessory to the multi-family use may occupy the spaces; e.g. fitness room, club room, etc. As well as retail spaces provided on the first floor along S. Kinnickinnic Avenue. Uses permitted in the first floor commercial space shall follow the permitted uses in the Local Business (LB3) Zoning district, as outlined in City of Milwaukee Zoning Ordinance (295-601).

Setbacks (Approx.):

- Along S. Kinnickinnic Ave (west)
 - 4'-2" at the north end of the property line
 - 1'-11" at the south end of the property line
- Along E. Bay St (north)
 - 3'-8" at the north end of the upper portion of the E. Bay property line
 - 2'-3" at the center of the E. Bay property line
 - 4'-3" at the east end of the lower portion of the E. Bay property line
- East property line
 - 10'-4" at the north end of the property line
 - 29'-8" at the south end of the property line
- Along E. Archer Ave (south)
 - 0'-3" at the east end of the property line
 - 2'-2" at the west end of the property line

Open Spaces:

- The building shall include an amenity deck above the parking garage (roof of the second floor) for use by residents. A semi-private paved patio and garden space is included in the proposal on the east side of the site, adjacent to residential club room and for use by building residents.

Circulation, Parking and Loading:

- The building contains an enclosed parking garage accessed from E. Bay Street. The parking garage contains up to 183 parking stalls, including 18 spaces designated for compact car use. Of the 183, 6 are designated for ADA use - 1 of which is van accessible. The ADA stalls are located on both the first and second levels of parking, adjacent to the elevator. The ratio of parking stalls to dwelling units is 1.3. The parking garage is comprised of two floors, with 56 spaces on the first-floor and 127 on the second floor. There is no commercial parking included at this time.
- The main pedestrian entry of the apartment is located at the southeast corner (Kinnickinnic and Archer) of the site, recessed from E. Archer St behind an arcade and courtyard space. A secondary pedestrian entry for the apartments is located on E. Bay St. Entries for retail spaces are located off of S. Kinnickinnic Ave.
- There is one elevator and stair well located towards the front of the building at S. Kinnickinnic Ave and E. Bay St. Additionally there is one stair well and two elevators located at the other end of the building and adjacent to the interior parking garage. One last stair well is located at the car entry of the parking garage.
- 92 bicycle stalls will be provided (1 stall per 2,000 SF of total building SF) with 8 stalls located outside the building along S. Kinnickinnic Ave. for commercial visitor use, at least 6 stalls located outside the residential entry on E. Archer Ave for residential visitor and commercial employee use, and the remaining 78 stalls located inside of the parking garage for use by residents. Bicycle stalls to follow City of Milwaukee standards with respect to type and location.
 - Stalls for commercial visitors: - 8 (1 stall per 2,000 SF of commercial space) located along S. Kinnickinnic Ave.
 - Stalls for commercial tenant employees: - TBD when tenant(s) are determined. (Located along E. Archer Ave.)
 - Stalls for residents: - 36 (1 stall per 4 units) located in the parking garage
 - Stalls for visitors of residents: - 6 (1 stall per 25 units) located along E. Archer Ave.
 - Total Spaces: - 92 bicycle stalls to be provided; exceeding required 50+ stalls.
- Residential and commercial trash will be collected on the first floor of the parking structure to be carried out to E. Bay St. for collection. Commercial tenants will have access to the first floor parking garage for this purpose.
- Pick-ups, drop-offs, and deliveries for the commercial tenants will be encouraged as much as possible to be on E. Bay St.
- Residents moving into or out of the building will have access to the first floor of the parking garage for loading and unloading of standard sized U-Haul moving trucks. Elevator access for moving will be through the vestibule to the lobby in the south of the parking garage.

Building Enclosure:

The corner of S. Kinnickinnic Ave and E. Bay St. is composed entirely of a curved glass facade, punctuated with polychromatic vertical aluminum features, integrated into the window system with a factory applied Kyner finish. The main facade of the building is located along S. Kinnickinnic Ave and is comprised primarily of face-brick masonry and infilled with painted fiber cement panels and fiberglass composite windows with clear glazing. There are 8 recessed balcony bays along S. Kinnickinnic Ave, with clear glass railings. Additionally, there is a recessed commercial arcade along the first floor that is approx. 7'-4" deep and 213'-4" long. Retail entries are located along the S. Kinnickinnic Ave. facade, primarily within the commercial arcade. The E. Archer Ave facade is comprised primarily of face-brick masonry and infilled with painted fiber cement panels and fiberglass composite windows with clear glazing. There are 4 recessed balcony bays along E. Archer Ave, with clear glass railings. Additionally, there is a first floor commercial arcade on the East side of the E. Archer Ave facade. This arcade is 40'-4" long and between 10'-0" and 59'-8" deep, the primary residential entry is located within this arcade. There will be a recessed space between the S. Kinnickinnic Ave and E. Archer Ave portions of the building, this recess is approx. 17'-0" deep and holds 4 balconies with clear glass railings above two floors of glazing. The East facade will include 24 balconies made of pre-finished aluminum. The North and South ends of the East facade will also include a large bay, approx. 28'-4" wide and 20'-6" wide respectively. These bays will be clad in painted fiber cement panels and infilled with fiberglass window units with clear glazing. The first floor of the East facade includes a 59'-8" long commercial arcade, recessed by 10'-0" to 43'-0". The facades facing the central amenity deck will be composed entirely of painted fiber cement panels infilled with fiberglass window units with clear glazing. The facades along E. Bay St. are primarily composed of face-brick masonry infilled with painted fiber cement panels and fiberglass composite window units with clear glazing. The parking entry, a garage door made of metal with opaque glass pane lites and set in 48" from the face of the building, is located on the East side of the E. Bay St. facade while a secondary residential entry is located towards the West side of the facade. Additionally, there are two recessed balconies on the E. Bay St. facade, one on either side. Construction type permitting, every attempt will be made to create additional depth and shadow lines through the incorporation of bay windows, reveals, and recessed window jambs.

Landscaping:

- A raised planter bed is proposed along E. Bay Street as a buffer between the pedestrian path and the street, contingent on the issuance of special privilege. The East side of the site will have an outdoor, semi-private amenity space for residents. Lastly, there will be an amenity deck on top of the parking structure for use by residents.
- All landscaping and required site features shall be installed within a maximum of 30 days total of the City issuing a Certificate of Occupancy (excluding time between December 1 and March 1) for the subject DPD. The existing conditions will be maintained in an orderly fashion until development in accordance with this DPD occurs.

Lighting:

Adequate lighting shall be provided along the street elevations of the development. Canopies and entrances will include downlights and downward directed wall sconces. The amenity patios will include bollard and foot lighting with minimal overspill and no up-lighting. The lighting shall comply with requirements outlined in section 295-409-2 of the City of Milwaukee City Charter and Code of Ordinances.

Utilities:

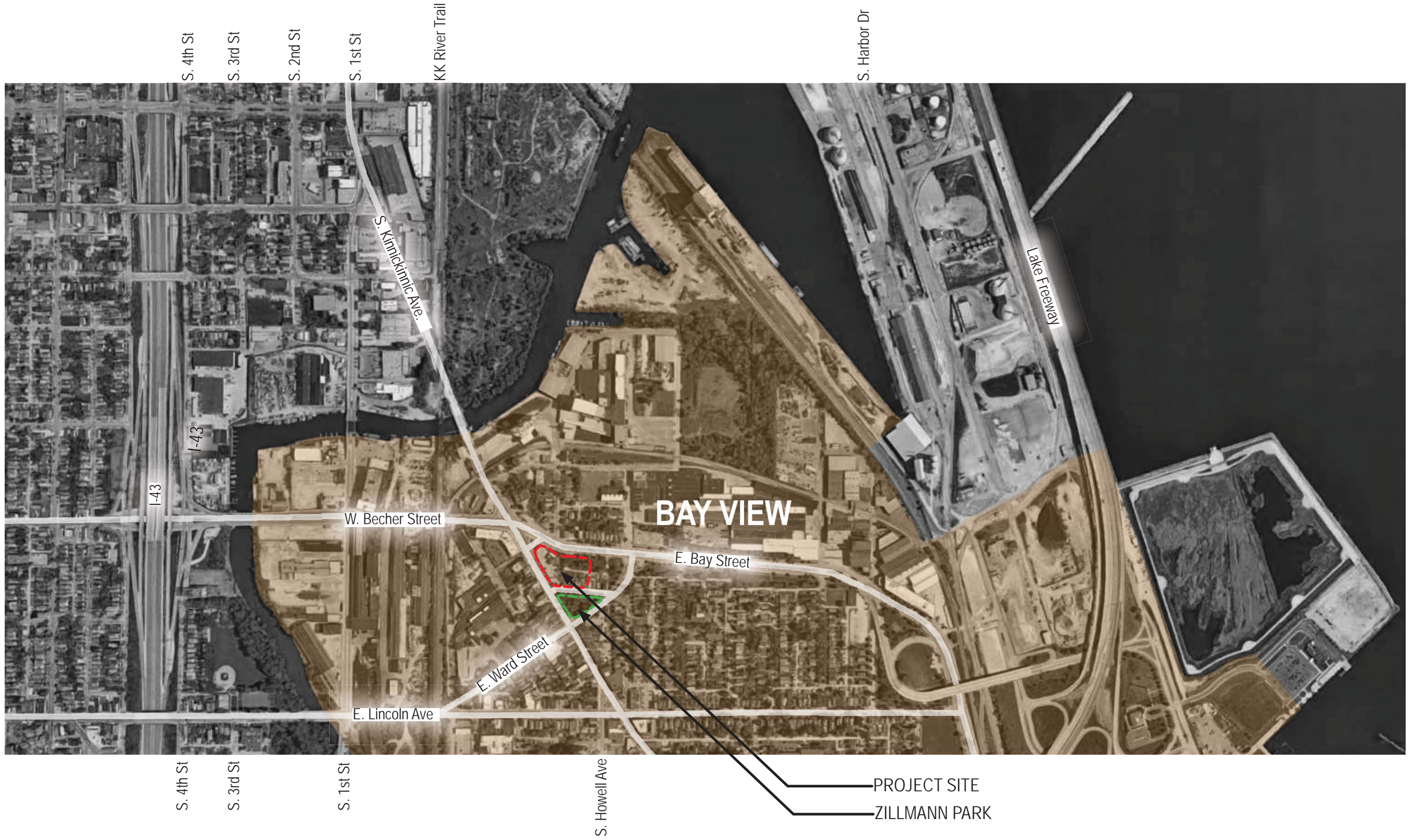
All utility lines shall be installed underground if possible, otherwise existing poles will remain in place. Transformers and substations will be installed within buildings or otherwise screened from view.

Screening:

All utility and HVAC equipment will not be visible from the street. They will be housed inside the building to the east of the parking garage entry. Additionally, small compressor units to be located on suspended balconies, on secondary facades and not visible from the street.

Signs:

- Building signage will include a wall mounted name and address sign located at the residential lobby entrances. The address sign will be back-lit pin mounted lettering on face of brick. Commercial signage will be located in sign band area noted in the architectural elevations on page 23 of this document. Design and quantity of commercial signage to be determined by future tenancy. Signs will be constructed of materials that match the building and will not exceed 2'-6" in height. Final signs will be reviewed and approved by DCD staff. Signs will be "Type A" and will comply with the restrictions for an LB2 District in the City of Milwaukee Code of Ordinances section 295-605-5.
- 9 fabric banners measuring 2'-4" x 8'-0" are located along the second floor of the S. Kinnickinnic facade. These banners are separated from one another by 25'-0". Banners are either for seasonal usage or for local Milwaukee or Bay View event, organization, or venue advertisement (please see rendering on page 28). Banners will be anchored or supported in a manner approved by the commissioner per the City of Milwaukee Code of Ordinances section 244-18-3.
- If used, window signage will not exceed 25% of glazing area.
- Temporary signage during construction and leasing will consist of up to two (2) 4 foot by 8 foot banners with a printed graphic of the project and contact information attached to the construction fence.



Vicinity Map: Looking North to Downtown Milwaukee





View South from S. Kinnickinnic and E. Bay Street



View Southwest on E. Bay Street



View Northeast from S. Kinnickinnic and E. Archer Ave.



View East down E. Archer Ave



View South on E. Archer Ave, looking at Zillman Park



View West on E. Bay Street



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KENOSHA APPLETON WAUSAU

MILWAUKEE REGIONAL OFFICE
N22 W2931 NANCY'S COURT SUITE 3
WAUKESHA, WISCONSIN 53188
P. 262.513.0666

CLIENT:
NEW LAND ENTERPRISES, LLC.

CLIENT ADDRESS:
**1818 N. FARWELL AVE.
MILWAUKEE, WI 53202**

PROJECT:
2130 SOUTH KINNICKINNIC APARTMENTS

PROJECT LOCATION:
**CITY OF MILWAUKEE
MILWAUKEE COUNTY, WI**

PLAN MODIFICATIONS	Date	Description
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Design/Drawn:

Approved:

SHEET TITLE:
EXISTING CONDITIONS SURVEY

SHEET NUMBER:

S1.0

JSD PROJECT NO:

17-7927



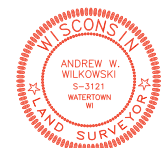
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD	CHORD BEARING
C1	35.39'	32.00'	19.75'	63°22'44"	33.62'	N0°22'07"W
C2	39.02'	25.00'	24.75'	89°25'17"	35.18'	N76°59'36"E

SURVEYOR'S CERTIFICATE

I, ANDREW W. WILKOWSKI, WISCONSIN PROFESSIONAL LAND SURVEYOR NO. S-3121, HEREBY CERTIFY THAT THIS EXISTING CONDITIONS SURVEY AND MAP IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF IN ACCORDANCE WITH THE INFORMATION PROVIDED.

ANDREW W. WILKOWSKI, S-3121
PROFESSIONAL LAND SURVEYOR

06/05/2017
DATE



- LEGEND**
- GOVERNMENT CORNER
 - 1" IRON PIPE FOUND
 - IRON PIPE FOUND (SIZE NOTED)
 - ⊕ BENCHMARK
 - ⊙ FINISHED FLOOR SHOT LOCATION
 - ⊙ SIGN
 - ⊙ SANITARY MANHOLE
 - ⊙ WATERMAN OR GASMAN VALVE
 - ⊙ HYDRANT
 - ⊙ WATER VALVE
 - ⊙ CURB STOP/SERVICE VALVE
 - ⊙ STORM MANHOLE
 - ⊙ ROUND CASTED INLET
 - ⊙ SQUARE CASTED INLET
 - ⊙ CURB INLET
 - ⊙ MANHOLE - UNVERIFIED TYPE
 - ⊙ ELECTRIC MANHOLE
 - ⊙ ELECTRIC PEDESTAL
 - ⊙ AIR CONDITION UNIT
 - ⊙ LIGHT POLE
 - ⊙ POWER POLE W/GUY
 - ⊙ TRAFFIC SIGNAL
 - ⊙ DECIDUOUS TREE
 - ⊙ CONIFEROUS TREE

- PLAT BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY LINE
- EDGE OF PAVEMENT
- CONCRETE CURB & GUTTER
- SANITARY SEWER
- WATER LINE
- STORM SEWER
- NATURAL GAS
- OVERHEAD LINE
- UNDERGROUND ELECTRIC
- FIBER OPTIC
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- SPOT ELEVATION

LEGAL DESCRIPTION

A PARCEL LOCATED WITHIN THE SOUTHWEST QUARTER OF SECTION 04, TOWNSHIP 6 SOUTH, RANGE 22 EAST, CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 04;
THENCE NORTH 00°32'33" WEST ALONG THE WEST LINE OF SAID SOUTHWEST QUARTER, 895.85 FEET;
THENCE NORTH 89°27'06" EAST, 806.18 FEET TO THE EASTERLY RIGHT OF WAY OF SOUTH KINNICKINNIC AVENUE AND THE POINT OF BEGINNING;
THENCE NORTH 32°03'29" WEST, 246.68 FEET ALONG SAID EASTERLY RIGHT OF WAY OF SOUTH KINNICKINNIC AVENUE TO A POINT OF CURVATURE;
THENCE 35.39 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, WITH A RADIUS OF 32.00 FEET, THROUGH A CENTRAL ANGLE OF 63°22'44", WITH A CHORD BEARING NORTH 00°22'07" WEST, 33.62 FEET;
THENCE NORTH 32°16'58" EAST, 27.33 FEET TO A POINT OF CURVATURE;
THENCE 39.02 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, WITH A RADIUS OF 25.00 FEET, THROUGH A CENTRAL ANGLE OF 89°25'17", WITH A CHORD BEARING NORTH 76°59'36" EAST, 35.18 FEET TO THE SOUTHERLY RIGHT OF WAY FOR EAST BAY STREET;
THENCE SOUTH 58°17'45" EAST, 144.64 FEET ALONG SAID SOUTHERLY RIGHT OF WAY FOR EAST BAY STREET;
THENCE SOUTH 85°59'03" EAST, 128.89 FEET CONTINUING ALONG SAID SOUTHERLY RIGHT OF WAY FOR EAST BAY STREET;
THENCE SOUTH 00°41'20" EAST, 200.65 FEET TO THE NORTHERLY RIGHT OF WAY FOR EAST ARCHER AVENUE;
THENCE NORTH 86°00'44" WEST, ALONG SAID NORTHERLY RIGHT OF WAY FOR EAST ARCHER AVENUE 172.18 FEET TO THE POINT OF BEGINNING.

CONTAINING IN ALL 54,604 SQUARE FEET (1.254 ACRES) OF LAND, MORE OR LESS.

NOTES

- THIS SURVEY WAS DONE WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON APRIL 17, 2017.
- BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN STATE PLANE COORDINATE SYSTEM (NAD-27), SOUTH ZONE.
- ELEVATIONS ARE BASED ON THE CITY OF MILWAUKEE VERTICAL DATUM. BENCHMARK IS A CITY MONUMENT IN A SPRINKLER BOX (D#73-03) AT THE SE CORNER OF S. KINNICKINNIC AV. AND E. BAY ST. IN BYPASS ISLAND, 19.9' EASTERLY OF WESTERLY CURB OF BYPASS ISLAND AND 9.3' NORTHERLY OF SOUTHERLY CURB OF BYPASS ISLAND, ELEVATION = 27.294'
- CONTOUR INTERVAL IS ONE FOOT.
- SPOT ELEVATIONS IN CURBED AREAS REFERENCE THE PAVEMENT EDGE ELEVATIONS.
- SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGER'S HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET NO. 20171509998, WITH A CLEAR DATE OF APRIL 17, 2017.
- UTILITY COMPANIES CONTACTED THRU DIGGER'S HOTLINE:
CITY OF MILWAUKEE
AT&T (TRANSMISSION & DISTRIBUTION)
TIME WARNER CABLE
WE ENERGIES
MILWAUKEE METROPOLITAN SEWAGE DISTRICT
- BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGER'S HOTLINE, AT 1.800.242.8511.
- THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.
- THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.





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MADISON MILWAUKEE
KENOSHA APPLETON WAUSAU

MILWAUKEE REGIONAL OFFICE
N22 W22931 NANCY'S COURT SUITE 3
WAUKESHA, WISCONSIN 53186
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CLIENT:
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**1818 N. FARWELL AVE.
MILWAUKEE, WI 53202**

PROJECT:
2130 SOUTH KINNICKINNIC APARTMENTS

PROJECT LOCATION:
**CITY OF MILWAUKEE
MILWAUKEE COUNTY, WI**

ISSUED FOR AGENCY REVIEW

#	Date	Description
1	06.05.17	CITY SUBMITTAL
2		
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15		

Design/Drawn: APM

Approved: J.L.

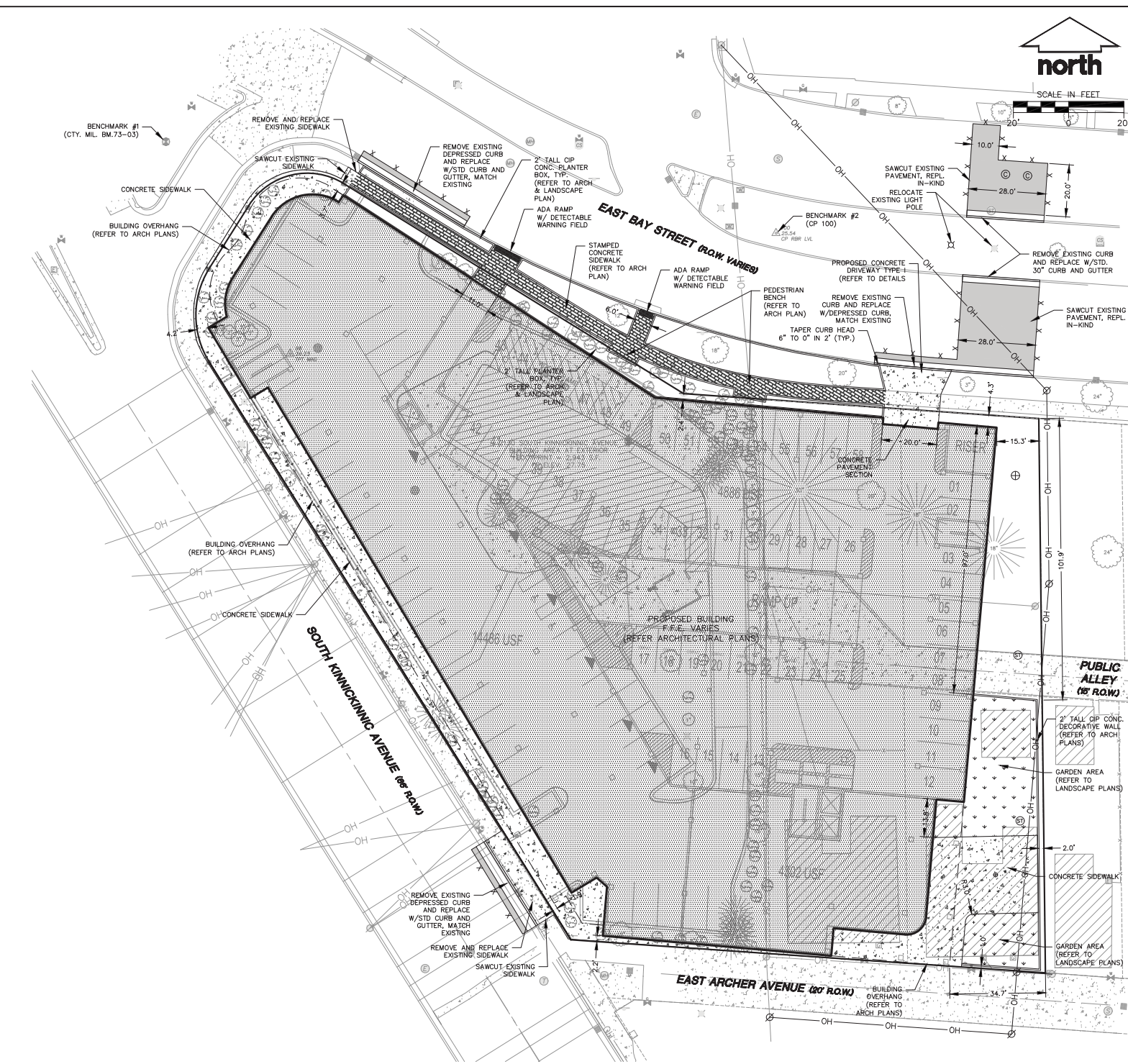
SHEET TITLE:
SITE PLAN

SHEET NUMBER:

C2.0

JSD PROJECT NO. 17-7927

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



PAVING NOTES

- THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING:
 - "STANDARD SPECIFICATIONS FOR SEWER AND WATER IN WISCONSIN", CURRENT EDITION, WITH ADDENDA.
 - THE CITY OF MILWAUKEE MUNICIPAL CODE, CURRENT EDITION.
- ALL MATERIALS SHALL BE APPROVED BY THE CITY OF MILWAUKEE ENGINEER PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION (CALL DIGGERS HOTLINE AT 800-242-8511).
- THE CITY OF MILWAUKEE SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
- JSD PROFESSIONAL SERVICES SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF PERFORMING ANY CONSTRUCTION.
- ALL ITEMS SHALL INCLUDE ALL THE NECESSARY MATERIALS AND LABOR TO CONSTRUCT THE FACILITIES IN ACCORDANCE WITH THE DESIGN DRAWINGS.
- EXISTING UTILITY INFORMATION IS BASED ON DIGGER'S HOTLINE UNDERGROUND UTILITY LOCATIONS, SURVEY WORK, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK.
- PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY AND SHALL REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- ALL WORK TO BE COMPLETED IN COMPLIANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES.
- REFER TO ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS AND DETAILS.
- ALL NON-HARD SURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND BE SEEDED, MULCHED AND WATERED UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED. REFER TO LANDSCAPE PLANS FOR FURTHER INFORMATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
- MINIMUM PAVEMENT STRUCTURE TO BE VERIFIED BY GEOTECHNICAL ENGINEER:
 - HOT MIX ASPHALT PAVEMENT PAVING SPECIFICATIONS
 - CODES AND STANDARDS - THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALT BINDER COURSE AND ASPHALT SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 450, 455 AND 460 OF THE STATE OF "WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION", CURRENT EDITION. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS "STATE HIGHWAY SPECIFICATIONS".
 - SURFACE PREPARATION - NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBGRADE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.
 - WEATHER LIMITATIONS - APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50°F (10°C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35°F (1°C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALT PAVEMENT SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40°F (4°C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30°F (-1°C).
 - GRADE CONTROL - ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
 - CRUSHED AGGREGATE BASE COURSE - THE TOP LAYER OF BASE COURSE SHALL CONFORM TO THE 1-1/4 INCH STONE DENSE GRADED BASE MATERIAL SPECIFICATION PER SECTION 305.2.2.1, STATE HIGHWAY SPECIFICATIONS.
 - BINDER COURSE (LOWER LAYER PAVEMENT) - THE BINDER COURSE SHALL CONFORM TO THE E-0.3 HMA MIXTURE DESIGN PER TABLE 460-2 MIXTURE REQUIREMENTS, SECTION 460.2.7, STATE HIGHWAY SPECIFICATIONS. THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO THE 19.0MM NOMINAL SIZE GRADATION AS SHOWN IN TABLE 460-1 AGGREGATE GRADATION MASTER RANGE AND VMA REQUIREMENTS, SECTION 460.2.2.3, STATE HIGHWAY SPECIFICATIONS.
 - SURFACE COURSE (UPPER LAYER PAVEMENT) - THE SURFACE COURSE SHALL CONFORM TO THE E-0.3 HMA MIXTURE DESIGN PER TABLE 460-2 MIXTURE REQUIREMENTS, SECTION 460.2.7, STATE HIGHWAY SPECIFICATIONS. THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO THE 12.5MM NOMINAL SIZE GRADATION AS SHOWN IN TABLE 460-1 AGGREGATE GRADATION MASTER RANGE AND VMA REQUIREMENTS, SECTION 460.2.2.3, STATE HIGHWAY SPECIFICATIONS.
- CONCRETE PAVEMENT PAVING SPECIFICATIONS
 - CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 415 AND 416 OF THE STATE HIGHWAY SPECIFICATIONS.
 - CONCRETE PAVEMENT SHALL REINFORCED WITH 6"x6" WELDED WIRE MESH REINFORCEMENT.
 - CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS.
- THE CONTRACTOR SHALL FIELD VERIFY THE FOLLOWING:
 - ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK.
 - THE LOCATION AND ELEVATION OF EXISTING:
 - PIPE INVERTS
 - FLOOR ELEVATIONS
 - CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK.
 - HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES
- NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING.
- ALL ANGLES FOR ROADWAY, PARKING LOT, AND BUILDING LOCATION ARE PERPENDICULAR TO PROPERTY LINES UNLESS NOTED OTHERWISE.
- DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE FACE OF BUILDING.
- SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION.
- ALL RADII ARE DIMENSIONED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL COORDINATES AND DIMENSIONS ARE REFERENCED TO THE EDGE OF PAVEMENT, UNLESS NOTED OTHERWISE.
- ALL CURB AND GUTTER SHALL BE THE MILWAUKEE DEPARTMENT OF PUBLIC WORKS REINFORCED VERTICAL FACE CONCRETE CURB AND GUTTER. (REFER TO CS.0)
- SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED PAVEMENT, CURB AND SIDEWALKS MEET EXISTING PAVEMENT, CURB AND SIDEWALKS. REVIEW ANY REQUIRED CHANGES WITH THE ENGINEER PRIOR TO CONSTRUCTION OF WORK.
- DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE FACE OF BUILDING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS FOR ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED TO COMPLETE PROPOSED ITEMS IN PLACE. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED AS SUCH.
- ALL COSTS SHALL BE INCLUDED IN THE BID.
- ALL PAVEMENT TO BE STANDARD DUTY PAVEMENT, UNLESS NOTED OTHERWISE.
- CONTRACTOR IS RESPONSIBLE FOR DESIGN AND PERMITTING OF ANY REQUIRED TRAFFIC CONTROL MEASURES, INCLUDING BUT NOT LIMITED TO: TRAFFIC LANE CLOSURES, SIDEWALK CLOSURES, ALLEY CLOSURES, ETC.

LEGEND

- HMA PAVEMENT
- CONCRETE PAVEMENT DRIVE APRON, SIDEWALK, PATIO
- STAMPED CONCRETE (REFER TO ARCH PLANS)
- GARDEN AREA
- PROPOSED CURB AND GUTTER

SITE PLAN DATA

- DEVELOPMENT NAME: 2130 KINNICKINNIC APARTMENTS
- LOCATION: 2130 SOUTH KINNICKINNIC MILWAUKEE, WISCONSIN
- OWNER/DEVELOPER: NEW LAND ENTERPRISES, LLC. 1818 N. FARWELL AVENUE MILWAUKEE, WI 53202
- ARCHITECT: KORB AND ASSOCIATES ARCHITECTS 648 N PLANKINTON AVENUE, SUITE 240 MILWAUKEE, WI 53203
- SITE SIZE: 54,585 S.F. (1.2531 NET AC)
- BUILDING SETBACKS:
 - NORTH SETBACK REFER TO DIMENSIONS ON PLAN
 - EAST SETBACK REFER TO DIMENSIONS ON PLAN
 - SOUTH SETBACK REFER TO DIMENSIONS ON PLAN
 - WEST SETBACK REFER TO DIMENSIONS ON PLAN
- BUILDING HEIGHT: REFER TO ARCHITECTURAL PLANS
- PARKING COUNT: 187 PROPOSED INTERIOR STALLS
- LSR: PROPOSED 9.8% / EXISTING 39.8%

SHEET INDEX

C1.0	DEMOLITION PLAN
C2.0	SITE PLAN
C3.0	GRADING & EROSION CONTROL PLAN
C4.0	UTILITY PLAN
C5.0	DETAILS
C5.1	DETAILS

BENCHMARKS

DESCRIPTION	ELEVATION
BENCHMARK #1: CITY OF MILWAUKEE BENCHMARK LOCATED IN THE INTERSECTION OF SOUTH KINNICKINNIC AVE. AND EAST BAY STREET (CITY BM 73-03)	27.29
BENCHMARK #2: REBAR LOCATE IN THE MEDIAN OF EAST BAY STREET 60' NORTH OF NORTHEAST PROPERTY CORNER (CP 100)	25.54



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KENOSHA APPLETON WAUSAU

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P. 262.513.0666

CLIENT:
NEW LAND ENTERPRISES, LLC.

CLIENT ADDRESS:
**1818 N. FARWELL AVE.
MILWAUKEE, WI 53202**

PROJECT:
2130 SOUTH KINNICKINNIC APARTMENTS

PROJECT LOCATION:
**CITY OF MILWAUKEE
MILWAUKEE COUNTY, WI**

ISSUED FOR AGENCY REVIEW

#	Date	Description
1	06.05.17	CITY SUBMITTAL
2	07.17.17	DCD RESUBMITTAL
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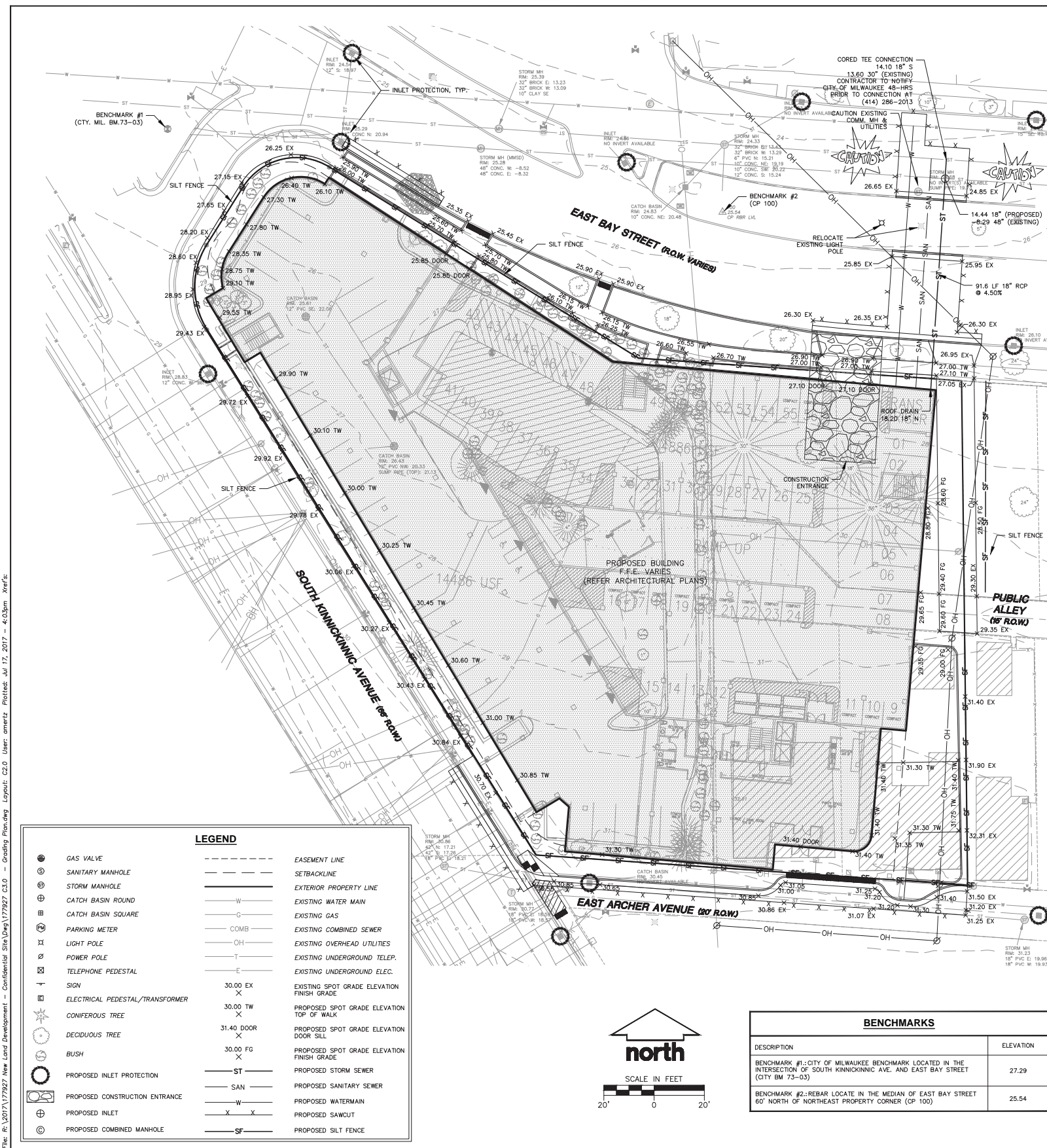
Design/Drawn: APM
Approved: J.L.

SHEET TITLE:
GRADING AND EROSION CONTROL PLAN

SHEET NUMBER:

C3.0

JSD PROJECT NO: 17-7927



GENERAL GRADING NOTES

- THE CONTRACTOR SHALL FIELD VERIFY THE FOLLOWING:
 - ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK.
 - LOCATION AND ELEVATION OF:
 - EXISTING PIPE INVERTS
 - FLOOR ELEVATIONS
 - CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK
 - HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES.
 NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- ALL SITE STORM SEWER PIPE SHALL BE HIGH DENSITY POLYETHYLENE SMOOTH-WALLED INTERIOR CORRUGATED PIPE UNLESS OTHERWISE NOTED.
- THIS GRADING PLAN IS BASED ON INFORMATION FROM MULTIPLE SOURCES. SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED GRADES MEET EXISTING. REVIEW ANY REQUIRED CHANGES WITH THE ENGINEER PRIOR TO CONSTRUCTION OF WORK.
- PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED. MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- PROPOSED CONTOURS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. ALL CONSTRUCTION SHALL BE BASED UPON PROPOSED SPOT ELEVATIONS, WHERE PROVIDED.
- PIPE - ALL STORM SEWER PIPE MATERIAL BENEATH STREET PAVEMENT SHALL BE REINFORCED CONCRETE PIPE. STORM SEWER OUTSIDE OF RIGHT-OF-WAY SHALL BE HIGH DENSITY POLYETHYLENE OR POLYVINYL CHLORIDE. REFER TO FOLLOWING SPECIFICATIONS:
 - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM C-76, CLASS II (MINIMUM) WITH RUBBER GASKET JOINTS PER ASTM C-443.
 - HIGH DENSITY POLYETHYLENE SMOOTH-WALLED INTERIOR CORRUGATED PIPE AS MANUFACTURED BY ADS OR EQUAL, WITH WATER TIGHT JOINTS, MANNING "N" VALUE OF 0.010 AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 TYPE S. MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM D3350, D2412, AND D2321 WITH ELASTOMERIC GASKETS CONFORMING TO ASTM F477.
 - POLYVINYL CHLORIDE PIPE (PVC) SHALL BE SDR-35 PVC MEETING THE REQUIREMENTS OF ASTM D-3034, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
- INLETS AND FRAMES
 - INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF WISCONSIN ADMINISTRATIVE CODE SPS 382.36(9)(b.3).
 - FRAMES AND GRATES SHALL BE GRAY IRON MATERIAL (PER ASTM A-48) OF STYLES / CATALOG NUMBERS AS INDICATED ON THESE CONSTRUCTION DRAWINGS.
- MANHOLES AND FRAMES
 - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF WISCONSIN ADMINISTRATIVE CODE SPS 382.35(8)(a,b).
 - FRAMES AND LIDS SHALL BE GRAY IRON MATERIAL (PER ASTM A-48) OF STYLES/CATALOG NUMBERS AS INDICATED ON THESE CONSTRUCTION DRAWINGS. INTERNAL CHIMNEY SEALS SHALL BE CRETEX SPECIALTY PRODUCTS, OR EQUAL.
- CLEANOUTS - CLEANOUTS SHALL BE EQUIPPED WITH FROST SLEEVES IN ACCORDANCE WITH SPS 382.35(5)(A)2. (REFER TO DETAIL.)
- BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH SLURRY BACKFILL AND CLASS B BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE SLURRY BACKFILL AND CLASS B BEDDING. LANDSCAPED AREAS MAY BE CLASS C BEDDING WITH COMPACTED SPOIL BACKFILL CONFORMING TO SECTION 643.5 OF THE "STANDARD SPECIFICATIONS".
- FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER AND SHALL BE INSPECTED BY THE CITY OF MILWAUKEE PRIOR TO BACKFILLING.
- THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF CARE, THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.
- WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE CITY OF MILWAUKEE OFFICIALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. ALL GRADING WITHIN THE RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS REQUIRED FOR WORK WITHIN PUBLIC RIGHT OF WAY.

EROSION CONTROL NOTES

- GENERAL
 - THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE EROSION, WATER POLLUTION AND SILTATION CAUSED BY CONSTRUCTION OF THIS PROJECT. EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH SUBSECTION 107.20. AND SECTION 628. OF THE "STATE SPECIFICATIONS" AND THE DETAILS SHOWN ON THE PLANS.
 - THE CONTRACTOR SHALL USE THE PROVISIONS OF THE WISCONSIN DNR "CONSTRUCTION SITE EROSION & SEDIMENT CONTROL" STANDARDS, CURRENT EDITION, PREPARED BY THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES, AND ALL APPLICABLE TECHNICAL STANDARDS, AS A REFERENCE AND GUIDE FOR EROSION CONTROL PRACTICES.
- EROSION CONTROL PLAN

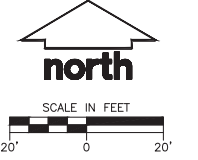
PRIOR TO BEGINNING WORK, THE CONTRACTOR MAY BE REQUIRED TO SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN, DETAILING SPECIFIC MEASURES THAT WILL BE EMPLOYED IN THE VARIOUS STAGES OF CONSTRUCTION FOR APPROVAL BY THE ENGINEER.
- IMPLEMENTATION

THE CONTRACTOR SHALL NOT BEGIN WORK UNTIL AFTER INITIAL EROSION AND SEDIMENT CONTROL DEVICES ARE IN PLACE AND APPROVED BY THE ENGINEER.
- EROSION CONTROL MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 - DIVERT UPSTREAM RUNOFF FROM FLOWING THROUGH THE CONSTRUCTION SITE.
 - DELAY DISTURBING SITE AREAS UNTIL REQUIRED FOR CONSTRUCTION.
 - PROTECT STORM SEWER INLETS WITH APPROPRIATE INLET PROTECTION DEVICES.
 - PROMPT REMOVAL OF EXCAVATED MATERIAL.
 - PROPER STORAGE OF BACKFILL AND BEDDING MATERIALS INCLUDING PLACING SILT FENCE OR EROSION CONTROL BALES ON THE DOWNSLOPE SIDES OF SPOIL PILES.
 - CONSTRUCTION OF GRAVEL ACCESS ROADS TO CONSTRUCTION SITES TO PREVENT SEDIMENT FROM BEING TRACKED ONTO ROADWAYS.
 - PROMPT (SAME DAY) CLEANUP OF MATERIAL TRACKED ONTO ADJACENT STREETS.
 - TIMELY RESTORATION OF DAMAGED SURFACE AREAS.
 - TEMPORARY SEEDING. ALL AREAS THAT WILL REMAIN DISTURBED AFTER SEPTEMBER 15, MUST BE TEMPORARY SEED AS OF THAT DATE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EROSION CONTROL PERMITS PRIOR TO COMMENCING WITH WORK.
- TEMPORARY EROSION CONTROL MEASURES
 - THE CONTRACTOR SHALL CONSTRUCT TEMPORARY EROSION CONTROL MEASURES, WHERE EROSION IS LIKELY TO BE A PROBLEM, PRIOR TO BEGINNING WORK ON THOSE SECTION(S) OF THE PROJECT. TEMPORARY EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL AFTER PERMANENT EROSION CONTROL, SUCH AS SEEDING OR SODDING, HAS BEEN ESTABLISHED.
 - IN THE EVENT THE PERMANENT EROSION CONTROL MEASURES ARE NOT FULLY IMPLEMENTED IN CURRENT CONSTRUCTION SEASON, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY TEMPORARY EROSION CONTROL MEASURES UNTIL AFTER PERMANENT MEASURES HAVE BEEN COMPLETED IN THE FOLLOWING YEAR.
- CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL PLAN. ENGINEER OF RECORD AND APPROPRIATE CITY OF MILWAUKEE OFFICIALS MUST APPROVE ANY CHANGES PRIOR TO DEVIATION FROM THE APPROVED PLANS.

CONSTRUCTION SITE SEQUENCE NOTES

- INSTALL INLET PROTECTION AND TRACKING PAD AT ENTRANCE TO SITE.
- INSTALL SILT PERIMETER CONTROL AS SHOWN ON THE APPROVED CONSTRUCTION PLANS.
- CONDUCT DEMOLITION OF EXISTING SITE FEATURES.
- CONSTRUCT BUILDING FOOTING/FOUNDATIONS.
- INSTALL UTILITY PIPING AND STRUCTURES, IMMEDIATELY INSTALL INLET PROTECTION.
- COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF PAVEMENT, WALKS, ETC.
- THE CONTRACTOR SHALL TOPSOIL AND SEED DISTURBED PORTIONS OF THE SITE AS THEY ARE COMPLETED AS IS PRACTICAL.
- ALL OF THE EROSION CONTROL MEASURES FOR THE ENTIRE SITE MUST BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT IN ACCORDANCE WITH WISCONSIN DNR REQUIREMENTS AND AS REQUIRED BY THE CITY OF MILWAUKEE.

BENCHMARKS	
DESCRIPTION	ELEVATION
BENCHMARK #1: CITY OF MILWAUKEE BENCHMARK LOCATED IN THE INTERSECTION OF SOUTH KINNICKINNIC AVE. AND EAST BAY STREET (CITY BM 73-03)	27.29
BENCHMARK #2: REBAR LOCATE IN THE MEDIAN OF EAST BAY STREET 60' NORTH OF NORTHEAST PROPERTY CORNER (CP 100)	25.54



LEGEND	
	GAS VALVE
	SANITARY MANHOLE
	STORM MANHOLE
	CATCH BASIN ROUND
	CATCH BASIN SQUARE
	PARKING METER
	LIGHT POLE
	POWER POLE
	TELEPHONE PEDESTAL
	SIGN
	ELECTRICAL PEDESTAL/TRANSFORMER
	DECIDUOUS TREE
	BUSH
	PROPOSED INLET PROTECTION
	PROPOSED CONSTRUCTION ENTRANCE
	PROPOSED INLET
	PROPOSED COMBINED MANHOLE
	EASEMENT LINE
	SETBACK LINE
	EXTERIOR PROPERTY LINE
	EXISTING WATER MAIN
	EXISTING GAS
	EXISTING COMBINED SEWER
	EXISTING OVERHEAD UTILITIES
	EXISTING UNDERGROUND TELEP.
	EXISTING UNDERGROUND ELEC.
	EXISTING SPOT GRADE ELEVATION FINISH GRADE
	PROPOSED SPOT GRADE ELEVATION TOP OF WALK
	PROPOSED SPOT GRADE ELEVATION DOOR SILL
	PROPOSED SPOT GRADE ELEVATION FINISH GRADE
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED WATERMAIN
	PROPOSED SAWCUT
	PROPOSED SILT FENCE

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CLIENT:
NEW LAND ENTERPRISES, LLC.

CLIENT ADDRESS:
**1818 N. FARWELL AVE.
MILWAUKEE, WI 53202**

PROJECT:
2130 SOUTH KINNICKINNIC APARTMENTS

PROJECT LOCATION:
**CITY OF MILWAUKEE
MILWAUKEE COUNTY, WI**

ISSUED FOR AGENCY REVIEW

#	Date	Description
1	06.05.17	CITY SUBMITTAL
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Design/Drawn: APM
Approved: JLI

SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:

C4.0

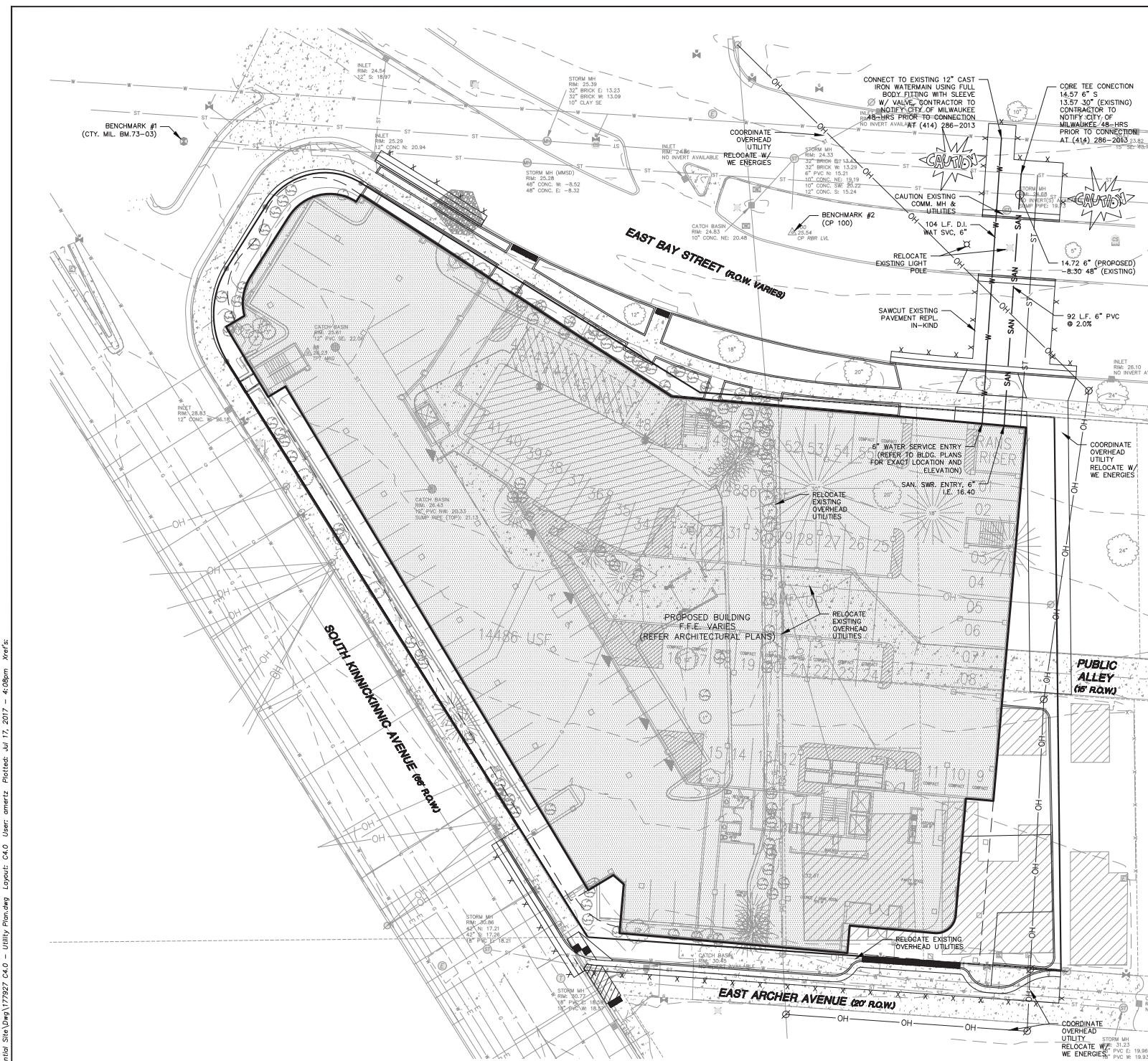
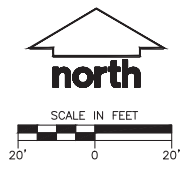
JSD PROJECT NO: 17-7927

GENERAL UTILITY NOTES

- SANITARY SEWER AND WATERMAIN CONSTRUCTION SHALL CONFORM TO THE "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN", CURRENT EDITION, HEREINAFTER REFERRED TO AS THE "STANDARD SPECIFICATIONS".
- EXISTING UTILITY INFORMATION IS BASED ON DIGGERS HOTLINE UNDERGROUND UTILITY LOCATIONS, FIELD SURVEY, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS, AND AS-BUILT DRAWINGS. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES.
- CONTACT DIGGERS HOTLINE PRIOR TO ANY EXCAVATION. COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- THE CONTRACTOR SHALL FIELD VERIFY THE FOLLOWING:
 - ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK.
 - ELEVATION AND SIZE OF EXISTING UTILITIES.
 - FLOOR ELEVATIONS.
 - CURE OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK.
 - HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES.
 NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
- BACKFLOW PREVENTION DEVICES AND THE DOMESTIC WATER METER(S) ARE LOCATED WITHIN THE BUILDING(S). REFER TO BUILDING PLANS.
- REFER TO BUILDING PLANS FOR EXACT LOCATIONS OF NEW UTILITY ENTRIES.
- ALL PROPOSED UTILITY INSTALLATIONS SHALL BE IN ACCORDANCE WITH CITY OF MILWAUKEE SPECIFICATIONS.
- ALL NON-METALIC PIPE SHALL HAVE 18 GAUGE TRACER WIRE ATTACHED PER SPS 382.
- WATER SERVICE SPECIFICATIONS
 - PIPE - WATER SERVICE SHALL BE CLASS D.I. PIPE MEETING THE REQUIREMENTS OF ANWA C104, ANWA C111, AND ANWA C151. MATERIALS FURNISHED SHALL COMPLY WITH THE PROVISIONS OF THE CITY OF MILWAUKEE ORDINANCE 310-18.9 AND THE AMERICAN IRON AND STEEL REQUIREMENTS.
 - BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.43.2 OF THE "STANDARD SPECIFICATIONS".
 - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". SLURRY BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE SLURRY BACKFILL.
- SANITARY SEWER SPECIFICATIONS
 - PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE SDR-26 POLYVINYL CHLORIDE (PVC) MEETING REQUIREMENTS OF ASTM D-3034, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
 - BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATION" WITH THE FOLLOWING MODIFICATION:
 - COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 6.43.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTION OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRING LINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT.
 - BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". SLURRY BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE SLURRY BACKFILL.
 - CLEANOUTS - CLEANOUTS SHALL BE EQUIPPED WITH FROST SLEEVES PER SPS 382.35 (5)(A)2. (REFER TO DETAIL).
- FOR LOCATIONS WHERE THERE IS LESS THAN 4 FEET OF COVER OVER THE TOP OF THE SANITARY SEWER PIPE, THE SANITARY SEWER SHALL BE INSULATED IN ACCORDANCE WITH SPS 382.30(1)C.3. THIS WORK SHALL BE INCLUDED IN THE UNIT COST FOR SANITARY SEWERS.
- ALL SANITARY SEWER SHALL BE TESTED FOR EXFILTRATION OF AIR UNDER PRESSURE, INFILTRATION OF WATER, EXFILTRATION OF WATER, AND DEFLECTION FOR FLEXIBLE THERMOPLASTIC PIPE PER THE STANDARD SPECIFICATIONS.
- ALL UTILITY SERVICE CLEANOUTS ARE LOCATED WITHIN THE BUILDING. REFER TO BUILDING PLUMBING PLANS.
- UTILITY SERVICE SIZES SHALL BE VERIFIED BY BUILDING PLUMBING DESIGNER PRIOR TO INSTALLATION OF NEW EXTERIOR UTILITIES.

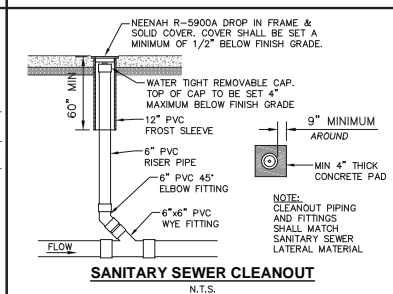
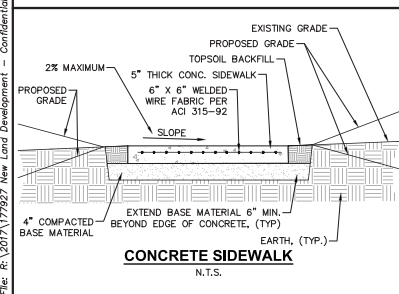
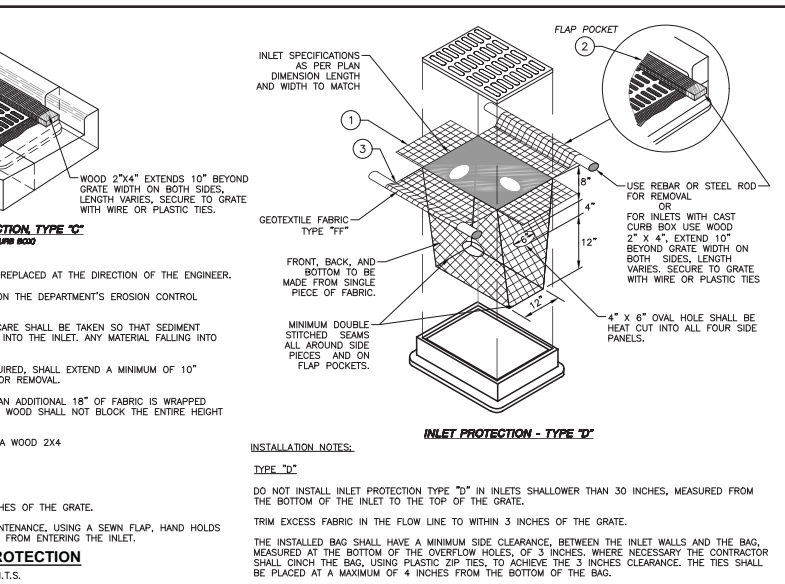
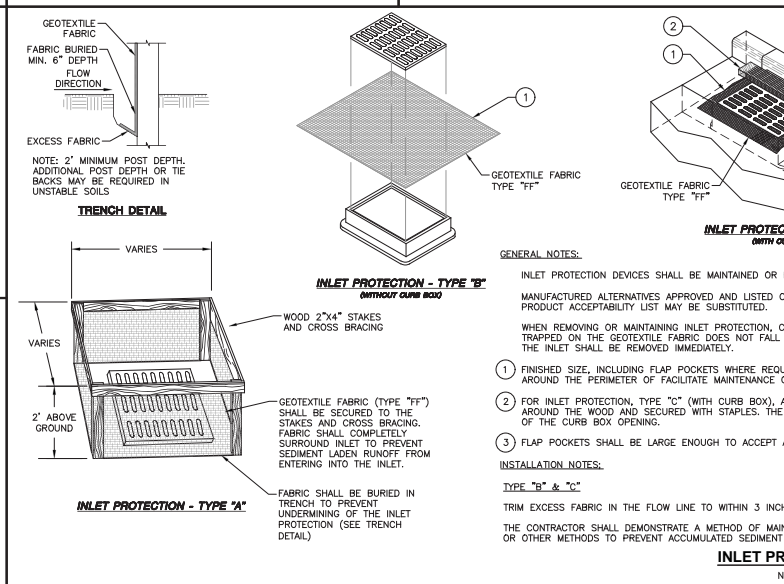
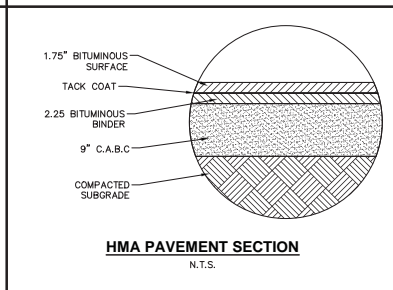
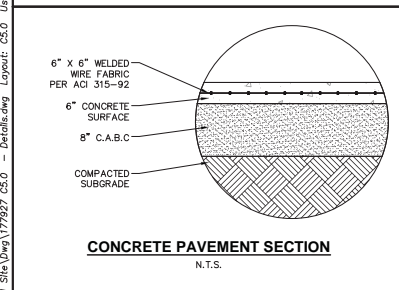
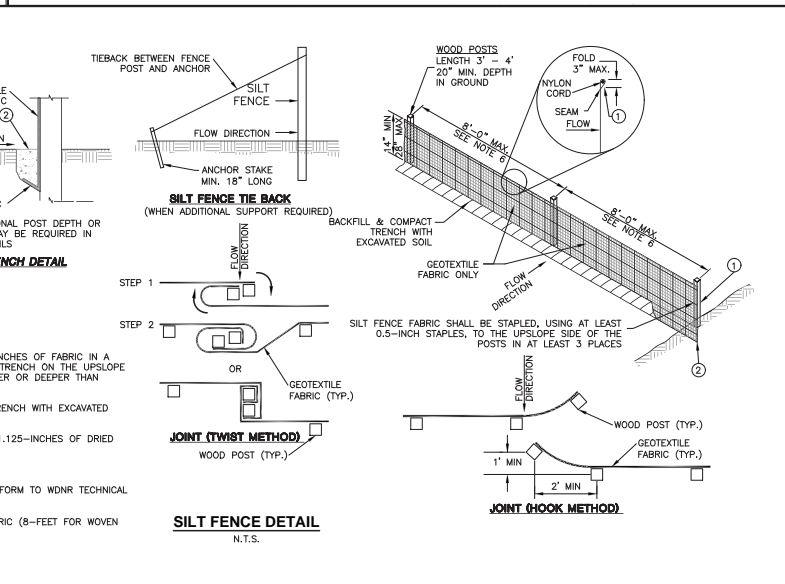
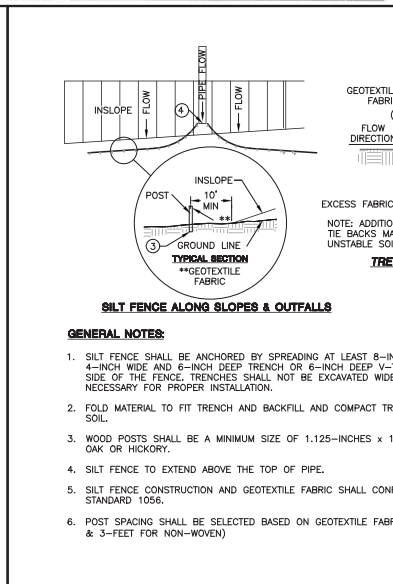
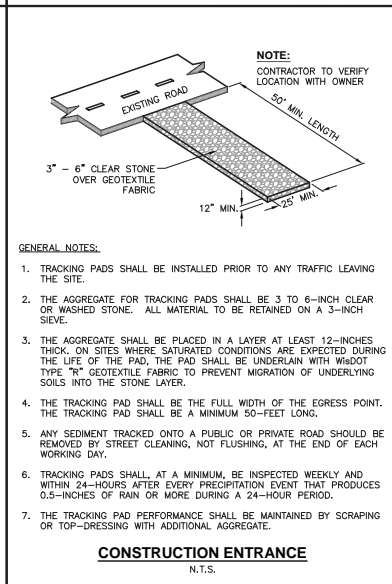
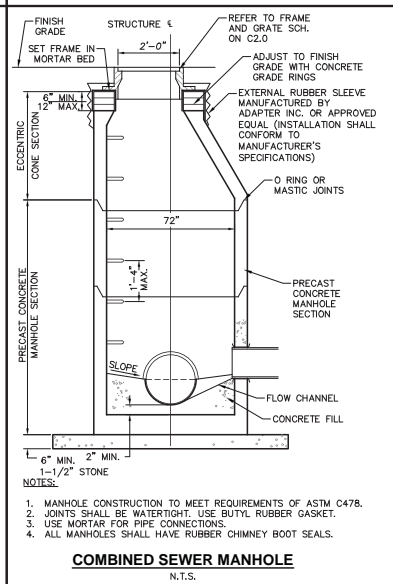
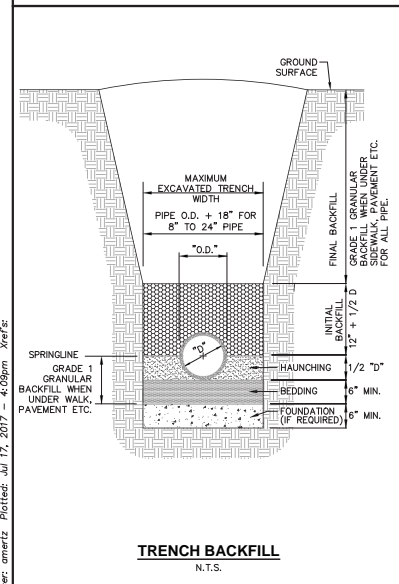
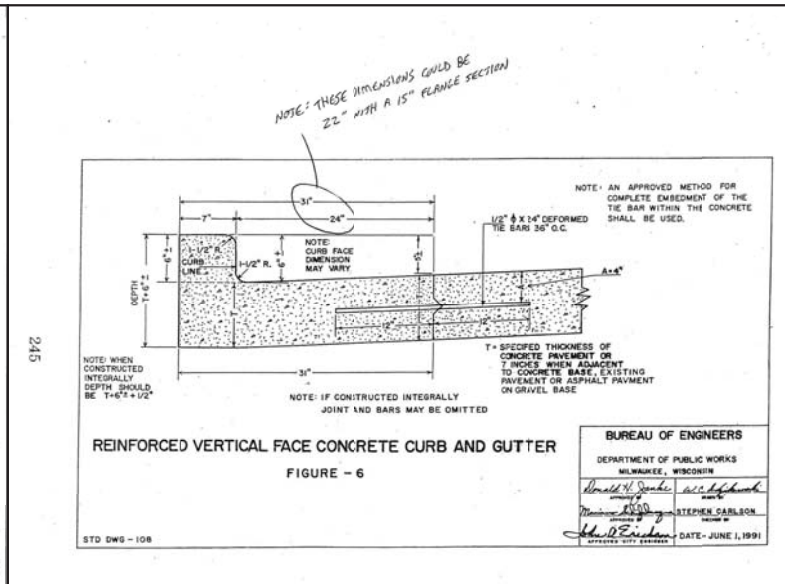
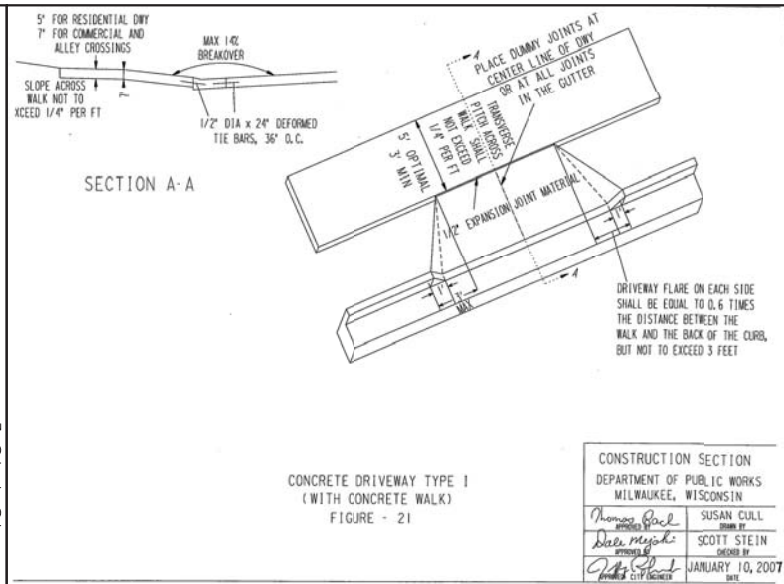
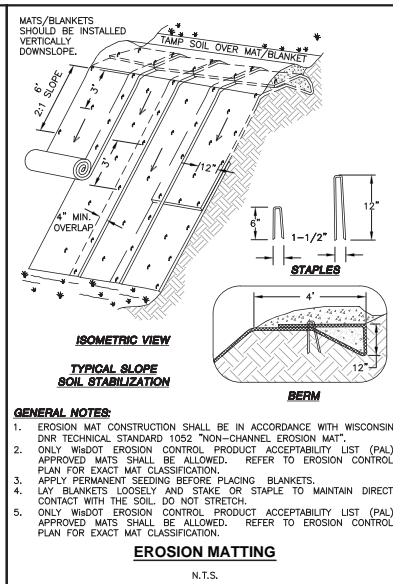
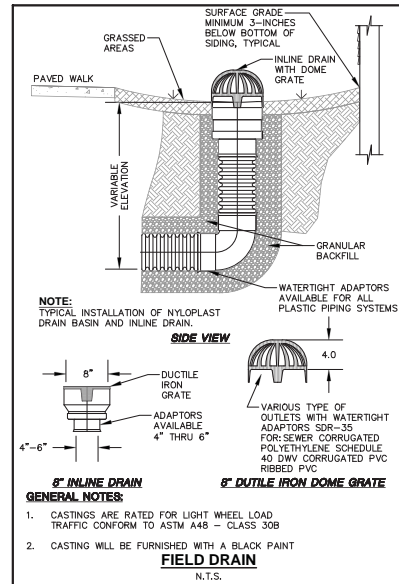
LEGEND			
⊕	GAS VALVE	-----	EASEMENT LINE
⊙	SANITARY MANHOLE	-----	SETBACKLINE
⊕	STORM MANHOLE	-----	EXTERIOR PROPERTY LINE
⊕	CATCH BASIN ROUND	-----	ADJACENT LOT LINE
⊕	CATCH BASIN SQUARE	-----	EXISTING WATERMAIN
⊕	PARKING METER	-----	EXISTING GAS
⊕	LIGHT POLE	-----	EXISTING COMBINED SEWER
⊕	POWER POLE	-----	EXISTING OVERHEAD UTILITIES
⊕	TELEPHONE PEDESTAL	-----	EXISTING UNDERGROUND TELEP.
⊕	SIGN	-----	EXISTING UNDERGROUND ELEC.
⊕	ELECTRICAL PEDESTAL/TRANSFORMER	-----	PROPOSED WATER SERVICE
⊕	CONIFEROUS TREE	-----	PROPOSED STORM SEWER
⊕	DECIDUOUS TREE	-----	PROPOSED SANITARY SEWER
⊕	BUSH	-----	SAWCUT
⊕	PROPOSED COMBINED SEWER MANHOLE	-----	

BENCHMARKS	
DESCRIPTION	ELEVATION
BENCHMARK #1: CITY OF MILWAUKEE BENCHMARK LOCATED IN THE INTERSECTION OF SOUTH KINNICKINNIC AVE. AND EAST BAY STREET (CITY BM 73-03)	27.29
BENCHMARK #2: REBAR LOCATE IN THE MEDIAN OF EAST BAY STREET 60' NORTH OF NORTHEAST PROPERTY CORNER (CP 100)	25.54



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KENOSHA APPLETON WAUSAU

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CLIENT:
NEW LAND ENTERPRISES, LLC.

CLIENT ADDRESS:
1818 N. FARWELL AVE.
MILWAUKEE, WI 53202

PROJECT:
2130 SOUTH KINNICKINNIC APARTMENTS

PROJECT LOCATION:
CITY OF MILWAUKEE
MILWAUKEE COUNTY, WI

ISSUED FOR AGENCY REVIEW

#	Date	Description
1	06.05.17	CITY SUBMITTAL
2	07.17.17	DCD RESUBMITTAL
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Design/Drawn: APM
Approved: J.L.

SHEET TITLE:
DETAILS

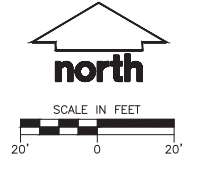
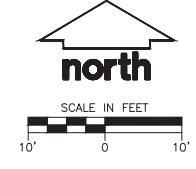
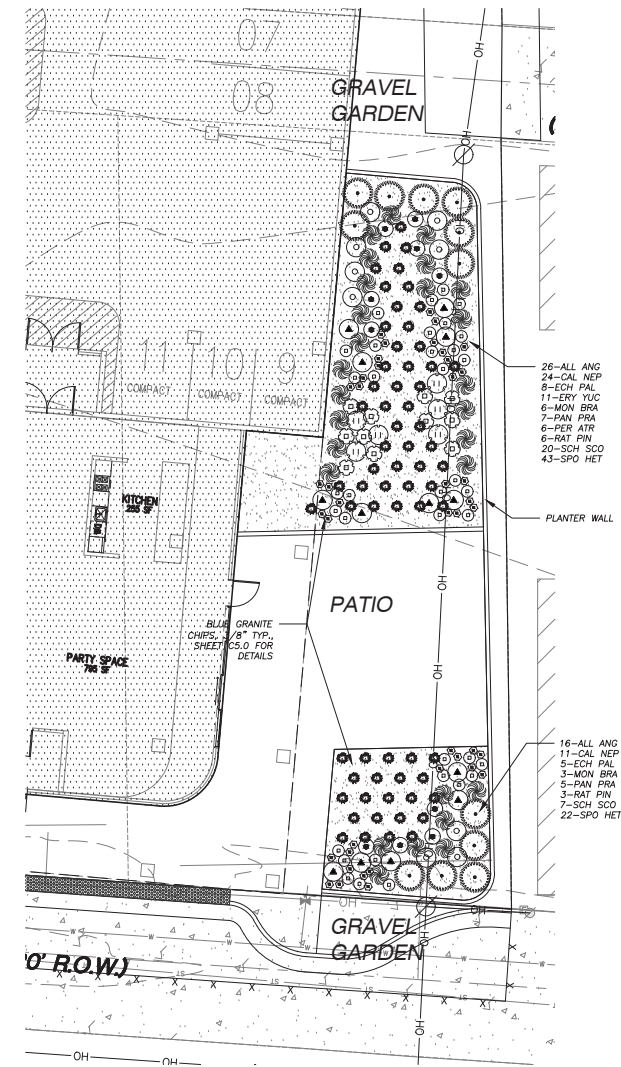
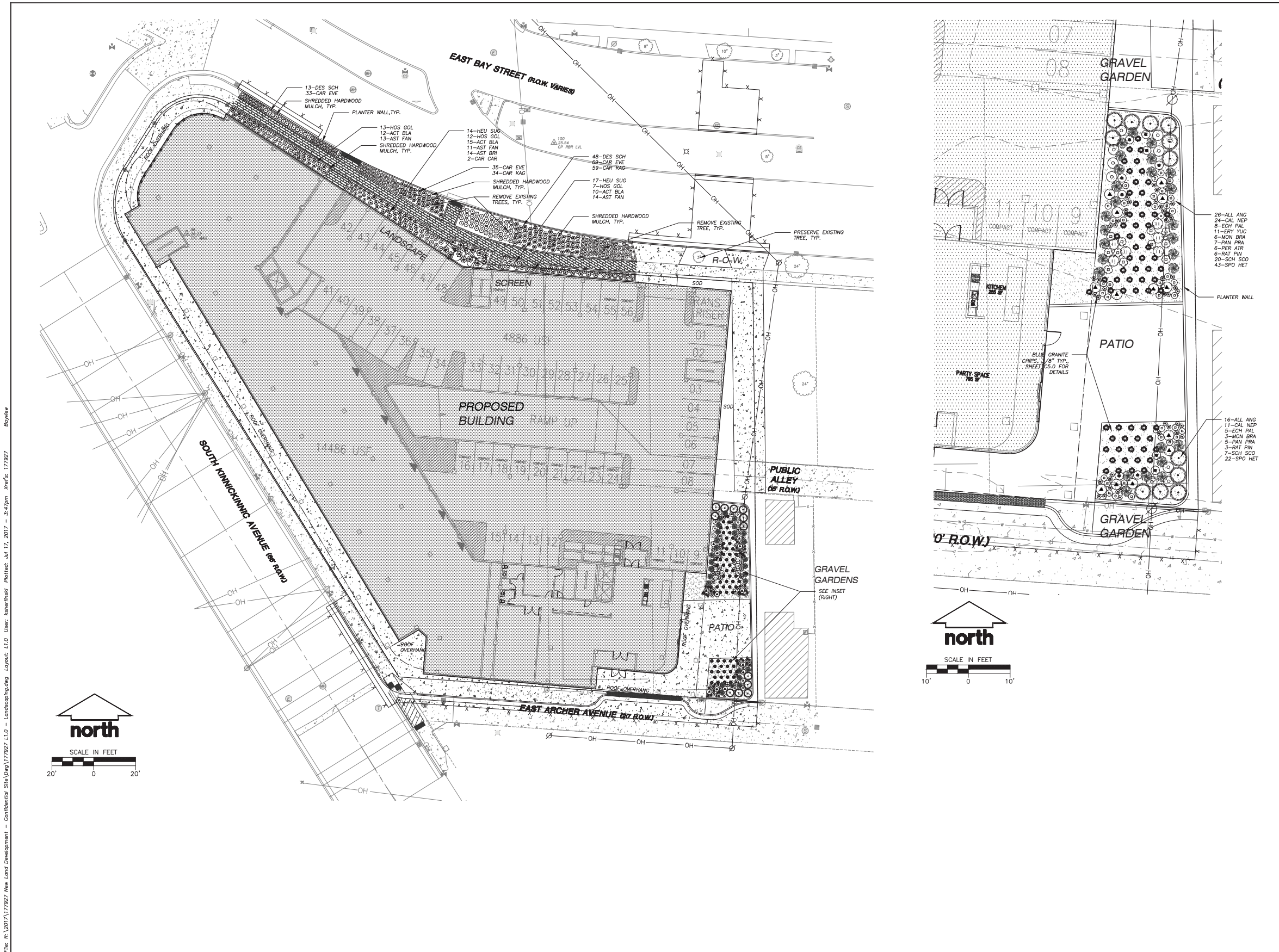
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JSD PROJECT NO.: 17-7927

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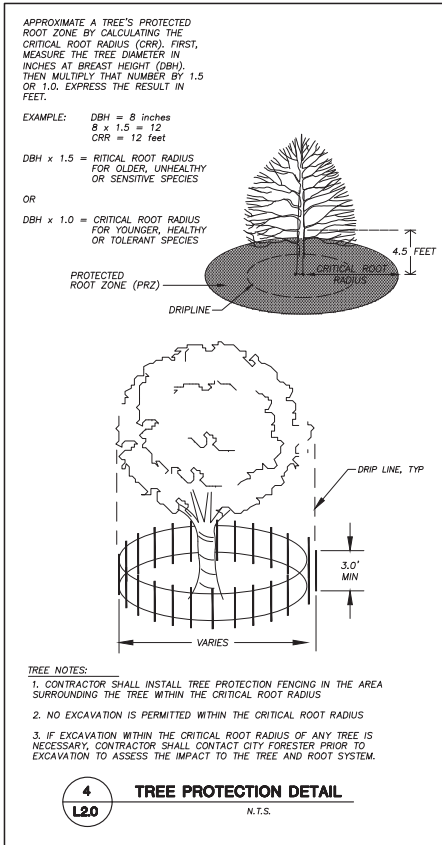
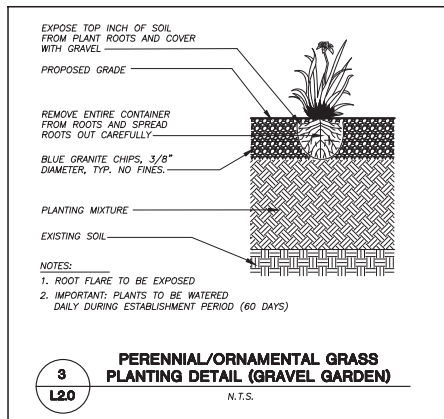
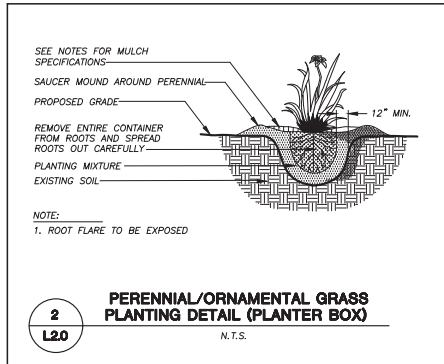
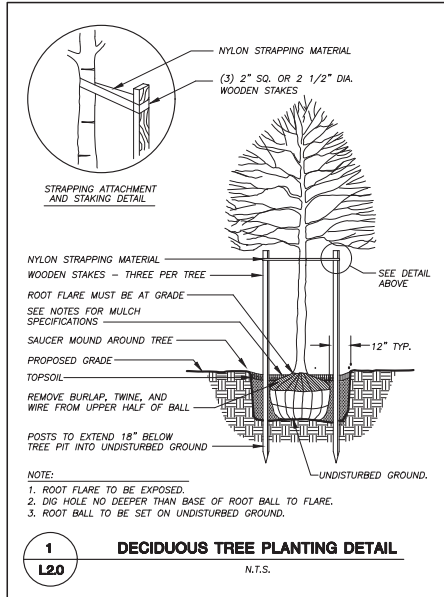
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Approved: JLI

SHEET TITLE:
LANDSCAPING PLAN

SHEET NUMBER:
L1.0

JSD PROJECT NO. 17-7927

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CONTRACTOR AND OWNER RESPONSIBILITY NOTES

- GUARANTEE:** THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PLANTS SHALL BE ALIVE AND IN HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE (AT NO COST TO OWNER) ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPLACE PLANTS DAMAGED AT TIME OF PLANTING. REPAIR AREAS DISTURBED IN ANY WAY DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- MAINTENANCE:** (CONTRACTOR) FOR ALL PLANTINGS, SEEDING AREAS AND SOODED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR A MINIMUM TIME PERIOD OF 60 DAYS, UNTIL FINAL ACCEPTANCE BY OWNER'S REPRESENTATIVE. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OR SUPPLEMENT OF DEFICIENT SHREDDED HARDWOOD BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION UNTIL THE TIME WHEN THE OWNER'S ACCEPTANCE IS GIVEN.
- MAINTENANCE:** (CONTRACTOR) FOR ALL PLANTINGS IN THE GRAVEL GARDEN, TEMPORARY IRRIGATION SHALL BE SET UP TO ENSURE ADEQUATE WATERING FOR ESTABLISHMENT. GRAVEL GARDEN SHALL BE WATERED EVERY ONE (1) DAYS FOR A PERIOD OF 60 DAYS OR UNTIL PLANTS BECOME ESTABLISHED (I.E. THEIR ROOTS PENETRATE TO THE SOIL LAYER BELOW). WATERING SHALL CONTINUE WEEKLY FOR THE REMAINDER OF THE GROWING SEASON OR MORE DURING DROUGHT CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING DEAD PLANTS DUE TO UNDERWATERING.
- MAINTENANCE:** (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD. GRAVEL GARDEN SHALL REQUIRE VERY LITTLE WATERING AFTER FIRST YEAR. ALL ABOVE-GROUND PLANT MATERIAL SHOULD BE CUT/REMOVED FROM GRAVEL GARDEN EVERY SPRING TO PREVENT WEEDS FROM BECOMING ESTABLISHED IN ORGANIC MATERIAL.

GENERAL NOTES

- GENERAL:** ALL WORK IN THE P-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT AND SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING:** DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY, UNLESS ADEQUATE, APPROPRIATE AND SECURE STORAGE IS PROVIDED AND APPROVED BY OWNER'S REPRESENTATIVE. AT ALL TIMES, PROTECT ALL PLANT MATERIALS FROM WIND AND DIRECT SUN. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THE PLANT MATERIALS NOT PLANTED BY STORING THEM IN A SHADED, SECURE AREA, PROTECTING THE ROOT MASS WITH WET SOIL, MULCH, HAY OR OTHER SUITABLE MEDIUM. CONTRACTOR SHALL ADEQUATELY WATERED TO PREVENT ROOT DESICCATION. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINER OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE CONTAINER OR BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED BEST HORTICULTURAL PRACTICES.
- MATERIALS - PLANTS:** ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE). THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, POSSESS TYPICAL GROWTH HABITS AND FORM FOR THEIR SPECIES AND BE FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- PRUNING:** THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE. SMOOTH AND SHAPE WOUNDS SO AS NOT TO RETAIN WATER. TREAT THE AREA WITH AN APPROVED INCONSPICUOUS LATEX BASED ANTISEPTIC TREE PAINT, IF PRUNING OCCURS "IN SEASON". DO NOT PRUNE ANY OAK TREES DURING THE MONTHS FROM APRIL TO OCTOBER.
- CLEANUP:** DISPOSAL OF EXCESS SOIL, REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BRINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES. UNDER NO CIRCUMSTANCES SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY IN SUCH A MANNER AS TO RESULT IN A PUBLIC SAFETY HAZARD. LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.

LANDSCAPE MATERIAL NOTES

- MATERIALS - SOIL:** PLANTING SOIL SHALL MEET THESE REQUIREMENTS:
 - PLANTING AREAS = 24"
 - TREE PITS = SEE DETAILS
- PLANTING SOIL:** TO BE A MINIMUM 24" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS (SEE SHEET C.S.O. DETAILS). TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM A LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. PROVIDE TEST RESULTS TO OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE AREAS PER SOIL TEST.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH:** ALL PLANTING AREAS LABELED ON PLAN SHALL RECEIVE CERTIFIED WEED FREE SHREDDED HARDWOOD BARK MULCH OVER ALL PLANTING AREAS. SHREDDED HARDWOOD BARK MULCH SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS. SHREDDED HARDWOOD BARK MULCH AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - BLUE CHIP GRANITE:** ALL PLANTING AREAS LABELED ON PLAN AS "GRAVEL GARDEN" SHALL RECEIVE 3/8" DECORATIVE BLUE CHIP GRANITE SPREAD TO A CONSISTENT DEPTH OF FIVE INCHES OVER ENTIRE PLANTING AREA. BLUE CHIP GRANITE SHALL NOT CONTAIN FINES. STONE AREAS SHALL NOT RECEIVE WOVEN WEED BARRIER FABRIC.
- MATERIALS - SOIL:** ALL AREAS SPECIFIED ON PLAN PER THESE NOTES: TURFGRASS SOD; CLASS OF TURFGRASS SOD SHALL BE PREMIUM GRADE APPROVED TURFGRASS SOD. ONLY IMPROVED TYPES OF SOD (ELITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .60 INCH, PLUS OR MINUS .25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36 INCHES) AND LENGTH. BROKEN ROLLS AND TOPS OR UNDEEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT THEY CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT IS EXCESSIVELY DRY OR WET, AS THIS MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE BY THE OWNER. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPLANTED WITH A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO .5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.
- MATERIALS - CONCRETE PLANTERS:** MAKE SURE THAT PLANTERS CONTAIN WEED HOLES TO PROVIDE ADEQUATE DRAINAGE FOR GOOD PLANT HEALTH. REFER TO ARCHITECTURAL PLANS FOR DETAIL.

PLANT SCHEDULE									
TREES	CODE	BOTANICAL NAME	COMMON NAME	ROOT CONDITION	SIZE AT PLANTING	MATURE HT	MATURE SP	QTY	
	CAR CAR	<i>Carpinus caroliniana 'Firespire' TM</i>	American Hornbeam	B & B	1.5" Cal	20'	10'	2	
ANNUALS/PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	CONT	SIZE AT PLANTING	MATURE HT	MATURE SP	QTY	
	ACT BLA	<i>Actaea simplex 'Black Negligee'</i>	Black Negligee Snakeroot	1 Quart	CONT	2'	2'	37	
	ALL ANG	<i>Allium angulosum 'Summer Beauty'</i>	Summer Beauty Onion	1 Quart	CONT	1.5'	1'	42	
	AST BRI	<i>Astilbe x arendsii 'Bridal Veil'</i>	Bridal Veil Astilbe	1 Quart	CONT	2'	3'	14	
	AST FAN	<i>Astilbe x arendsii 'Fanal'</i>	Fanal Astilbe	1 Quart	CONT	2'	2'	38	
	CAL NEP	<i>Calamintha nepeta 'Mortrose White'</i>	White Catmint	1 Quart	CONT	1.5'	1.5'	36	
	ECH PAL	<i>Echinacea pallida</i>	Pale Purple Coneflower	1 Quart	CONT	4'	2.5'	11	
	ERY YUC	<i>Eryngium yuccifolium</i>	Rattlesnake Master	1 Quart	CONT	3.5'	2'	11	
	HEU SUG	<i>Heuchera x 'Sugar Plum'</i>	Sugar Plum Coral Bells	1 Quart	CONT	1.5'	1.5'	31	
	HOS GOL	<i>Hosta x 'Golden Prayers'</i>	Golden Prayers Plantain Lily	1 Quart	CONT	1'	2'	32	
	MON BRA	<i>Monarda bradburiana</i>	Eastern Bee Balm	1 Quart	CONT	2'	2'	10	
	PER ATR	<i>Perovskia atriplicifolia</i>	Russian Sage	1 Quart	CONT	3.5'	3'	6	
	RAT PIN	<i>Ratibida pinnata</i>	Yellow Coneflower	1 Quart	CONT	4'	2.5'	9	
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	CONT	SIZE AT PLANTING	MATURE HT	MATURE SP	QTY	
	CAR KAG	<i>Carex dolichostachya 'Kaga-nishiki'</i>	Kaga-nishiki Gold Fountains Sedge	1 Quart	CONT	1'	2'	83	
	CAR EVE	<i>Carex oshimensis 'Everest'</i>	EverColor Everest Japanese Sedge	1 Quart	CONT	1.5'	1.5'	137	
	DES SCH	<i>Deschampsia cespitosa 'Schottland'</i>	Schottland Hair Grass	1 Quart	CONT	3'	2'	61	
	PAN VIR	<i>Panicum virgatum 'North Wind'</i>	Northwind Switch Grass	1 Quart	CONT	5.5'		12	
	SCH SCO	<i>Schizachyrium scoparium 'Miniblu A'</i>	Blue Heaven Little Bluestem	1 Quart	CONT	4'	2.5'	27	
	SPD HET	<i>Sporobolus heterolepis</i>	Prairie Dropseed	1 Quart	CONT	2'	1.5'	66	

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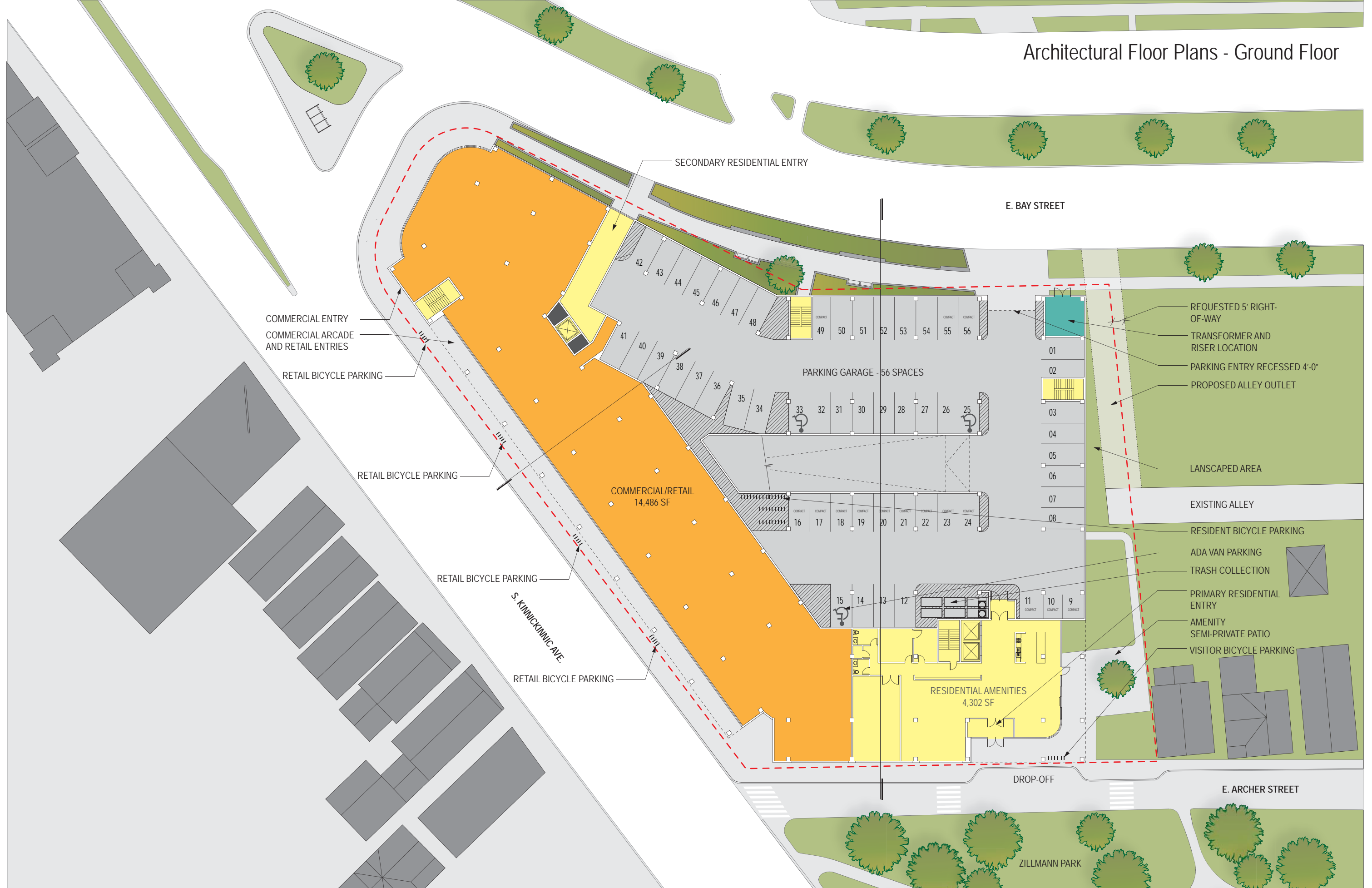
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**LANDSCAPING NOTES,
DETAILS, AND
SPECIFICATIONS**

SHEET NUMBER:
L2.0

JSD PROJECT NO. 17-7927

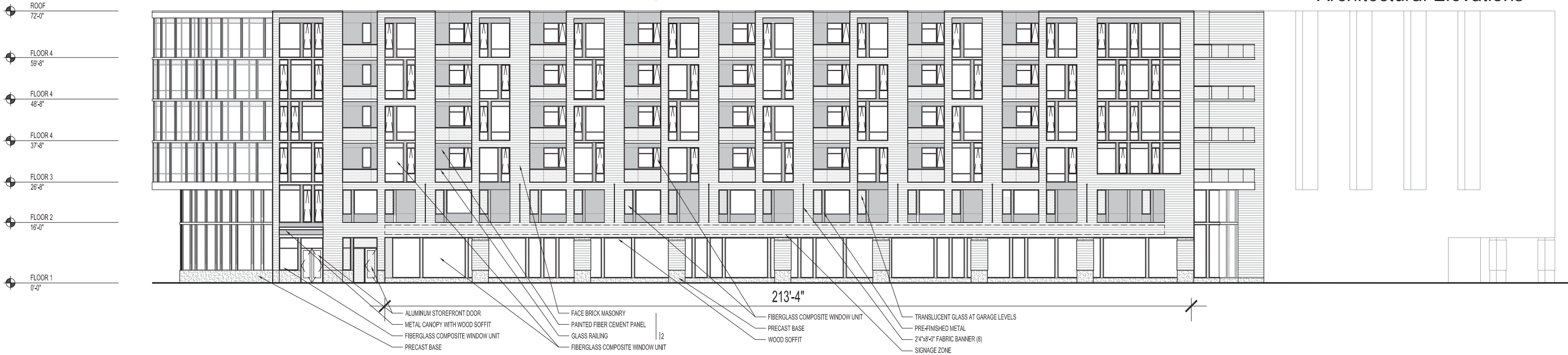
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Architectural Floor Plans - Ground Floor







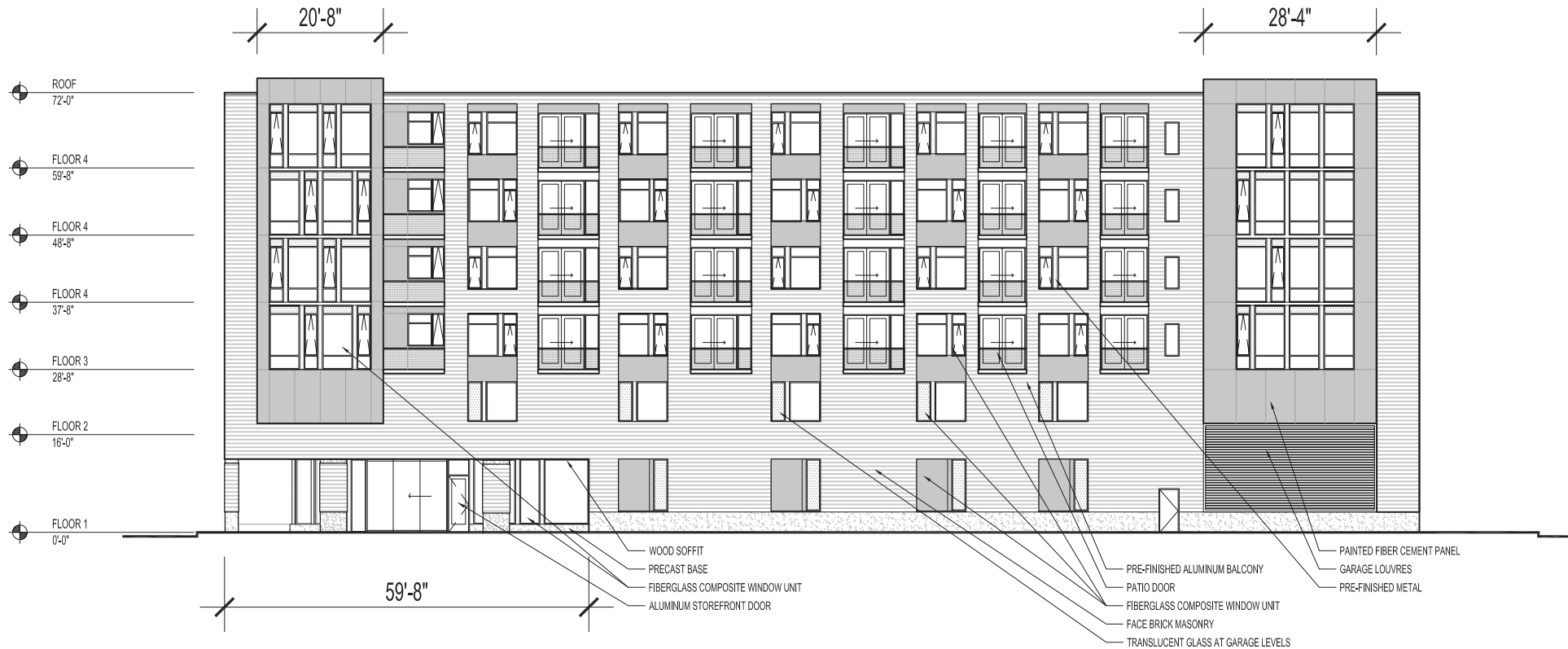


S. KINNICKINNIC AVE FACADE - WEST

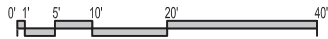


E. ARCHER AVE FACADE - SOUTH

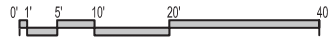




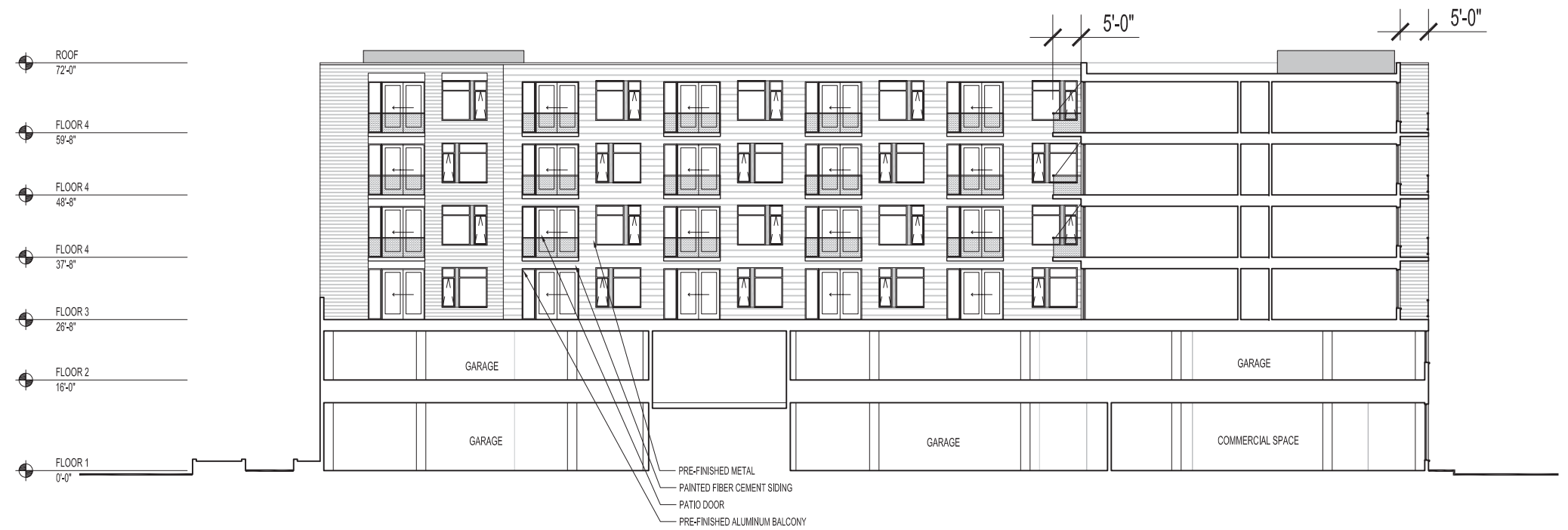
EAST FACADE



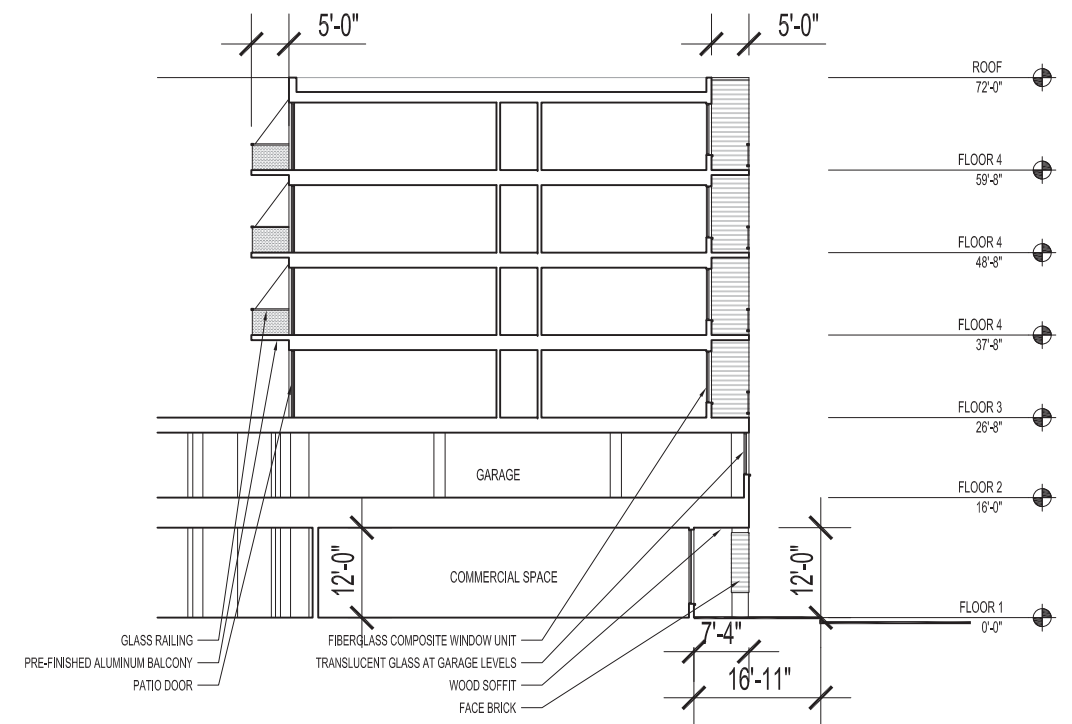
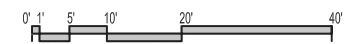
E. BAY ST FACADE - NORTH



Architectural Section



1 - SECTION CUT THROUGH AMENITY DECK - LOOKING EAST



2 - SECTION CUT THROUGH COMMERCIAL ARCADE - LOOKING SOUTH/EAST

