

Approved Conditionally by CPC on 7/15/2019



KOMATSU

SOUTH HARBOR CAMPUS

MILWAUKEE

OFFICE BUILDING
401 EAST GREENFIELD AVE

MANUFACTURING BUILDING
311 EAST GREENFIELD AVE

AL2-01 AL2-0 ALTANSPS SURVEY
AL2-02 AL2-0 ALTANSPS SURVEY
AL2-03 AL2-0 ALTANSPS SURVEY
AL2-04 AL2-0 ALTANSPS SURVEY
AL-3-1 ALTANSPS SURVEY

SITE
C200 OVERALL SITE LAYOUT
C201 SITE LAYOUT PLAN
C202 SITE LAYOUT PLAN
C203 SITE LAYOUT PLAN
C300 SITE GRADING PLAN
C301 SITE GRADING PLAN
C302 SITE GRADING PLAN
C400 SITE UTILITY PLAN
C401 SITE UTILITY PLAN
C402 SITE UTILITY PLAN
L100 DETAILED LANDSCAPE PLAN
L101 DETAILED LANDSCAPE PLAN
L102 OFFICE BUILDING PLANTING PLAN
L900 LANDSCAPE DETAILS, NOTES & PLANT LIST



CITY DEVELOPMENT - SPROZ

SUBMITTAL

06/28/19

PROJECT NUMBER: 218154-00



(NOT TO SCALE)

MISCELLANEOUS NOTES

- 1. THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF WISCONSIN.
2. THE PROPERTY DESCRIBED HEREON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. NCS-783248-NMS, WITH A COMMITMENT DATE OF MAY 15, 2017 AT 10:45 AM AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
3. THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
4. NO ZONING INFORMATION PROVIDED BY INSURER AT THE TIME OF SURVEY.
5. THE ABOVE DESCRIBED PROPERTY AS SHOWN HEREON CONTAINS: 1,993,132 SQUARE FEET OR 45.7560 ACRES.
6. THE ADDRESS OF THE ABOVE DESCRIBED PROPERTY, 311 & 301 EAST GREENFIELD AVENUE, AS SHOWN, WAS OBSERVED IN THE FIELD AT THE TIME OF SURVEY.
7. ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
8. SUBJECT PROPERTY HAS DIRECT ACCESS TO EAST GREENFIELD AVENUE, DEDICATED PUBLIC STREETS OR HIGHWAYS.
9. THE TOTAL NUMBER OF STRIPED PARKING SPACES ON THE PROPERTY IS 0, OF WHICH 0 ARE REGULAR PARKING SPACES AND 0 ARE DESIGNATED DISABLED SPACES, AND TO THE EXTENT POSSIBLE, ARE GRAPHICALLY SHOWN HEREON.
10. SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "R"; AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) & DESIGNATION AE, FLOODWAY, BOTH DESIGNATIONS ON FLOOD INSURANCE RATE MAP NO. 5507900903E, WITH A DATE OF IDENTIFICATION OF 9/26/2008, IN COMMUNITY NO. 550278, THE CITY OF MILWAUKEE, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
11. THERE IS OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE PROPERTY AT TIME OF SURVEY.
12. THERE IS NO INFORMATION AVAILABLE FROM THE CITY OF MILWAUKEE REGARDING PROPOSED CHANGES IN STREET RIGHT OF WAY LINES ADJOINING THE PROPERTY AT THE TIME OF SURVEY.
13. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OCCURRING ON OR ADJOINING THE PROPERTY AT TIME OF SURVEY.
14. THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL AT TIME OF SURVEY.
15. THERE IS NO OBSERVED EVIDENCE OF DELINEATED WETLANDS EXISTING ON SUBJECT PROPERTY AT TIME OF SURVEY.
16. ALL FIELD MEASUREMENTS MATCHED RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/NSPS SPECIFICATIONS UNLESS OTHERWISE SHOWN.
17. ALL BEARINGS ARE REFERENCED TO THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 4-6-22 WHICH BEARS N 89°57'37" E.
18. HORIZONTAL DATUM IS BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM MILWAUKEE ZONE NAD 83 (1986).
19. THERE IS NO EVIDENCE OF CEMETERIES, GRAVESITES, OR BURIAL GROUNDS EXISTING ON SUBJECT PROPERTY AS DISCLOSED IN THE RECORD DOCUMENTS OR OBSERVED IN THE PROCESS OF CONDUCTING THIS SURVEY.

SIGNIFICANT OBSERVATIONS:

- THERE ARE NO SIGNIFICANT OBSERVATIONS AFFECTING SUBJECT PROPERTY EXCEPT AS FOLLOWS.
A. CONCRETE RETAINING WALL CROSSES WESTERLY PROPERTY LINE AT A POINT 9.4' NORTHERLY OF SOUTHWEST CORNER AS SHOWN HEREON.
B. CONCRETE RETAINING WALL EXTENDS EAST OVER WESTERLY PROPERTY LINE A DISTANCE OF 0.15' AS SHOWN HEREON.
C. METAL FENCE CORNER EXTENDS EAST OVER WESTERLY PROPERTY LINE A DISTANCE OF 1.0' AS SHOWN HEREON.
D. CONCRETE RETAINING WALL EXTENDS SOUTHWESTERLY OVER NORTHEASTERLY LINE A DISTANCE OF 0.75' AS SHOWN HEREON.
E. CONCRETE RETAINING WALL EXTENDS SOUTHWESTERLY OVER NORTHEASTERLY LINE A DISTANCE OF 0.7' AS SHOWN HEREON.
F. METAL FENCE CORNER EXTENDS EAST OVER EAST LINE A DISTANCE OF 1.0' AS SHOWN HEREON.
G. UTILITY POLES AND GUY WIRES APPEAR TO EXIST OUTSIDE OF EASEMENTS OF RECORD.

PARCEL 1:

THAT PART OF THE NORTHWEST 1/4 AND THE SOUTHWEST 1/4 OF SECTION 4 IN TOWN 6 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, COUNTY OF MILWAUKEE, STATE OF WISCONSIN, BEING BOUND AND DESCRIBED AS FOLLOWS: COMMENCING AT A POINT IN THE SOUTH LINE OF THE NORTHWEST 1/4 OF SAID SECTION 40.00 FEET SOUTH 89°47' 45" EAST OF THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF SAID SECTION, RUNNING THENCE NORTH 00°46'58" EAST ON A LINE WHICH IS 40.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHWEST 1/4 OF SAID SECTION 333.35 FEET TO THE NORTHEAST CORNER OF SAID LOT 14; THENCE SOUTH 89°47' 45" EAST ALONG THE SOUTH LINE OF LOT 7N SAID SUBDIVISION 26.00 FEET TO A POINT; THENCE NORTH 00°46' 58" EAST ALONG A LINE WHICH IS 116.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHWEST 1/4 OF SAID SECTION 455.75 FEET TO A POINT WHICH LIES 200.00 FEET NORTH 00°46' 58" EAST OF THE SOUTH LINE OF LOT 5 IN SAID SUBDIVISION; THENCE SOUTH 56°39'10" EAST 365.79 FEET TO A POINT IN THE SOUTH LINE OF SAID LOT 5; THENCE SOUTH 74°58' 58" EAST 464.11 FEET TO A POINT IN THE DOCK LINE OF THE KINNICKINNIC RIVER; THENCE SOUTH 20°59' 55" WEST ALONG THE DOCK LINE OF THE KINNICKINNIC RIVER 3.93 FEET TO A POINT; THENCE SOUTH 16°11' 31" WEST ALONG THE DOCK LINE OF THE KINNICKINNIC RIVER 296.93 FEET TO A POINT; THENCE SOUTH 20°45' 27" WEST ALONG THE DOCK LINE OF THE KINNICKINNIC RIVER 354.07 FEET TO A POINT IN THE NORTH LINE OF THE NORTHWEST 1/4 OF SAID SECTION, SAID POINT BEING 672.66 FEET SOUTH 89°47' 45" EAST OF THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF SAID SECTION; THENCE SOUTH 17°29' 34" WEST ALONG THE DOCK LINE OF THE KINNICKINNIC RIVER 343.01 FEET TO A POINT; THENCE SOUTH 60°49' 28" WEST ALONG THE DOCK LINE OF THE KINNICKINNIC RIVER 42.78 FEET TO A POINT IN THE NORTH LINE OF THE SOUTH 50.00 FEET OF LOT 1 IN THE SUBDIVISION OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 4, IN TOWN 6 NORTH, RANGE 22 EAST, COUNTY OF MILWAUKEE, STATE OF WISCONSIN; THENCE SOUTH 89°47' 45" EAST ALONG THE DOCK LINE OF THE KINNICKINNIC RIVER 44.40 FEET TO A POINT IN THE NORTHEASTERLY LINE OF SOUTH KINNICKINNIC AVENUE; THENCE NORTH 21°28' 30" WEST ALONG THE NORTHEASTERLY LINE OF SOUTH KINNICKINNIC AVENUE 232.30 FEET TO A POINT IN THE NORTH LINE OF THE SOUTH 50.00 FEET OF LOT 1 IN THE SUBDIVISION OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 4; THENCE SOUTH 89°47' 45" EAST ALONG THE NORTH LINE OF THE SOUTH 50.00 FEET OF LOT 1 AFORESAID 47.35 FEET TO A POINT; THENCE NORTH 17°29' 34" WEST ALONG A LINE WHICH IS 44.00 FEET NORTHEASTERLY OF AND PARALLEL TO THE NORTHEASTERLY LINE OF SOUTH KINNICKINNIC AVENUE 198.62 FEET TO A POINT; THENCE SOUTH 55°44' 25" WEST ALONG THE OLD ESTABLISHED DOCK LINE OF THE KINNICKINNIC RIVER 30.75 FEET TO A POINT IN THE OLD ESTABLISHED DOCK LINE OF THE KINNICKINNIC RIVER; THENCE SOUTH 17°29' 34" WEST ALONG THE OLD ESTABLISHED DOCK LINE OF THE KINNICKINNIC RIVER 44.40 FEET TO A POINT IN THE NORTHEASTERLY LINE OF SOUTH KINNICKINNIC AVENUE; THENCE NORTH 21°28' 30" WEST ALONG THE NORTHEASTERLY LINE OF SOUTH KINNICKINNIC AVENUE 232.30 FEET TO A POINT IN THE NORTH LINE OF THE SOUTH 50.00 FEET OF LOT 1 IN THE SUBDIVISION OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 4; THENCE SOUTH 89°47' 45" EAST ALONG THE NORTH LINE OF THE SOUTH 50.00 FEET OF LOT 1 AFORESAID 47.35 FEET TO A POINT; THENCE NORTH 17°29' 34" WEST ALONG A LINE WHICH IS 44.00 FEET NORTHEASTERLY OF AND PARALLEL TO THE NORTHEASTERLY LINE OF SOUTH KINNICKINNIC AVENUE 198.62 FEET TO A POINT; THENCE SOUTH 55°44' 25" WEST ALONG A LINE WHICH IS 44.00 FEET NORTHEASTERLY OF AND PARALLEL TO THE NORTHEASTERLY LINE OF SOUTH KINNICKINNIC AVENUE 57.58 FEET TO A POINT IN THE DOCK LINE OF THE KINNICKINNIC RIVER; THENCE SOUTH 49° 25' WEST ALONG THE DOCK LINE OF THE KINNICKINNIC RIVER 44.40 FEET TO A POINT IN THE NORTHEASTERLY LINE OF SOUTH KINNICKINNIC AVENUE; THENCE NORTH 21°28' 30" WEST ALONG THE NORTHEASTERLY LINE OF SOUTH KINNICKINNIC AVENUE 232.30 FEET TO A POINT IN THE NORTH LINE OF THE SOUTH 50.00 FEET OF LOT 1 IN THE SUBDIVISION OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 4; THENCE SOUTH 89°47' 45" EAST ALONG THE NORTH LINE OF THE SOUTH 50.00 FEET OF LOT 1 AFORESAID 47.35 FEET TO A POINT; THENCE NORTH 17°29' 34" WEST ALONG A LINE WHICH IS 44.00 FEET NORTHEASTERLY OF AND PARALLEL TO THE NORTHEASTERLY LINE OF SOUTH KINNICKINNIC AVENUE 198.62 FEET TO A POINT; THENCE SOUTH 55°44' 25" WEST ALONG A LINE WHICH IS 40 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE SOUTHWEST 1/4 OF SAID SECTION, THENCE NORTH 00°33' 55" EAST ALONG A LINE WHICH IS 40 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE NORTHWEST 1/4 OF SAID SECTION 163.01 FEET TO THE POINT OF COMMENCEMENT.

PARCEL 2:

THE FOLLOWING DESCRIBED PARCELS SITUATED IN THE COUNTY OF MILWAUKEE AND THE STATE OF WISCONSIN, TO WIT: THAT PART OF THE SOUTHWEST 1/4 OF SECTION 33, TOWNSHIP 7 NORTH, RANGE 22 EAST AND THE SOUTHWEST 1/4 OF SECTION 32, TOWNSHIP 7 NORTH, RANGE 22 EAST, IN THE CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN, WHICH IS BOUND AND DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH SECTION CORNER BETWEEN SECTIONS 32 AND 33 AFORESAID, RUNNING THENCE NORTH 00°16' 36" EAST ALONG THE SECTION LINE BETWEEN SECTIONS 32 AND 33 AFORESAID 388.00 FT. TO A POINT, SAID POINT LYING IN THE CENTER LINE EXTENDED EAST OF EAST MADISON STREET, THENCE SOUTH 89°56'29" WEST ALONG THE CENTER LINE EXTENDED EAST OF EAST MADISON STREET 49.70 FT. TO A POINT, THEN NORTH 03°31' 36" EAST AND PARALLEL TO THE EAST LINE OF THE CHICAGO, MILWAUKEE AND NORTHWESTERN RAILROAD COMPANY RIGHT OF WAY 310.00 FT., MORE OR LESS, TO A POINT IN THE WESTERLY LINE OF THE CHICAGO AND NORTHWESTERN RAILROAD COMPANY RIGHT OF WAY, SAID POINT BEING 125.2 FT. WESTERLY, AS MEASURED RADIIALLY FROM THE EASTERLY LINE OF THE CHICAGO AND NORTHWESTERN RAILROAD COMPANY RIGHT OF WAY, THENCE SOUTHERLY ALONG THE WESTERLY LINE OF THE CHICAGO AND NORTHWESTERN RAILROAD COMPANY RIGHT OF WAY 310.00 FT. ON THE ARC OF A CURVE WHOSE CENTER LIES TO THE EAST, WHOSE RADIUS IS 2684.29 FT. AND WHOSE CHORD BEARS SOUTH 11°52' 26" EAST 602.80 FT. TO A POINT, SAID POINT BEING 155.15 FT. NORTH OF THE NORTH LINE OF EAST GREENFIELD AVENUE; THENCE NORTH 89°56' 29" EAST AND PARALLEL TO THE NORTH LINE OF EAST GREENFIELD AVENUE 26.39 FT. TO A POINT ON THE WESTERLY LINE OF THE CHICAGO AND NORTHWESTERN RAILROAD COMPANY RIGHT OF WAY, SAID POINT BEING 100.00 FT. WESTERLY AS MEASURED RADIIALLY FROM THE EASTERLY LINE OF THE CHICAGO AND NORTHWESTERN RAILROAD COMPANY RIGHT OF WAY 217.91 FT. ON THE ARC OF A CURVE WHOSE CENTER LIES TO THE EAST, WHOSE RADIUS IS 2689.09 FT. AND WHOSE CHORD BEARS SOUTH 19°44' 06" EAST 217.85 FT. TO A POINT IN THE SOUTH LINE OF SAID SECTION 33; THENCE SOUTH 89°56' 29" WEST ALONG THE SOUTH LINE OF SECTION 33 AFORESAID 174.87 FT. TO THE POINT OF COMMENCEMENT, EXCEPTING THEREFROM THE SOUTH 50.00 FT. AS TAKEN FOR EAST GREENFIELD AVENUE.

APN: 430-9997-100-3 and 463-9995-200-X

SCHEDULE B-II EXCEPTIONS:

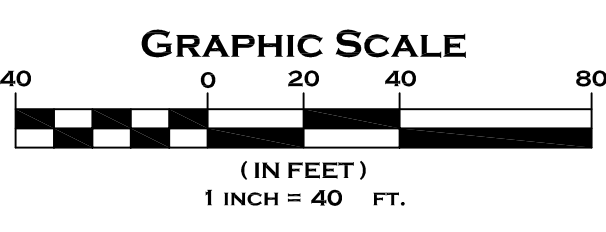
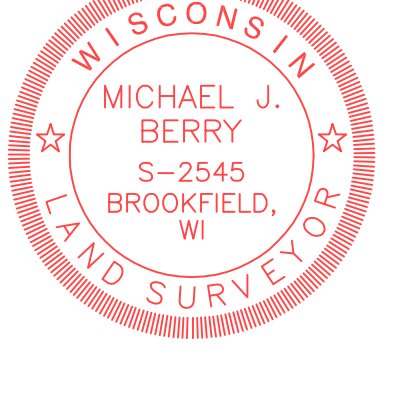
- 13. RIGHTS OF THE CHICAGO, MILWAUKEE, ST. PAUL AND PACIFIC RAILROAD COMPANY DISCLOSED BY AND RESERVATION CONTAINED IN WARRANTY DEED EXECUTED BY THE MILWAUKEE ELECTRIC RAILWAY AND LIGHT COMPANY TO PERE MARQUETTE RAILWAY COMPANY, RECORDED ON OCTOBER 26, 1936 IN VOLUME 1461 OF DEEDS AT PAGE 118, AS DOCUMENT NO. 2105952, (PARCELS 1 AND 2) SHOWN HEREON.
14. RESTRICTION FOR EASEMENT GRANTED TO PERE MARQUETTE RAILWAY COMPANY RECORDED AS DOCUMENT NO. 2105952, (PARCELS 1 AND 2) SHOWN HEREON.
15. RIGHTS, EASEMENTS AND GRANTS TO THIRD PARTIES TO USE OR TO ENJOY PORTIONS OF THE PREMISES DESCRIBED IN SCHEDULE A HEREOF AS RIGHTS OF WAY FOR THE LOCATION OR MAINTENANCE OF FACILITIES OR FOR APURTANCES TO OTHER PREMISES, OR FOR OTHER PURPOSES THEREIN GRANTED, EXISTING AS OF JUNE 1, 1962 AND ARISING PURSUANT TO INSTRUMENTS OF RECORD, OR REFERRED TO BY RECORD, OR UNDER INSTRUMENTS DISCLOSED IN A WARRANTY DEED EXECUTED BY MILWAUKEE SOLVAY COKE COMPANY TO WISCONSIN COKE COMPANY, DATED JUNE 1, 1962 AND RECORDED ON JUNE 1, 1962, IN VOLUME 425 OF DEEDS AT PAGE 263, AS DOCUMENT NO. 395224. (THIS EXCEPTION DOES NOT PERTAIN TO INSTRUMENTS OF RECORD IN THE OFFICE OF THE REGISTER OF DEEDS FOR MILWAUKEE COUNTY, WISCONSIN.) (PARCELS 1 AND 2) BLANKET EASEMENT, NOT SHOWN HEREON.
16. PUBLIC RIGHTS OF THE UNITED STATES, THE STATE OF WISCONSIN OR THE CITY OR COUNTY OR ANY OF THEIR AGENCIES IN RESPECT TO THAT PORTION OF THE SUBJECT PREMISES CONSTITUTING THE BED OR THE WATERS OF KINNICKINNIC RIVER AND CAR FERRY SLIP OR THE BANKS, SHORES OR DOCK STRUCTURES PERTAINING THERETO. (PARCEL 1)
17. UTILITY EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY AND WISCONSIN TELEPHONE COMPANY AS DOCUMENT NO. 4443928, (PARCELS 1 AND 2) SHOWN HEREON.
18. RIGHTS, IF ANY, WITH RESPECT TO THE MAINTENANCE AND USE OF SEWERS, UTILITY PIPES, CABLES OR CONDUITS WHICH MAY BE INSTALLED UNDER THE SURFACE OF THE LAND AS SET FORTH IN THE NOTATION ON ALTA/NSPS LAND TITLE SURVEY DATED APRIL 11, 2017, PREPARED BY KAPUR & ASSOCIATES, INC. AS PROJECT NO. 17.02224.00. (PARCELS 1 AND 2) BLANKET EASEMENT, NOT SHOWN HEREON.
19. EASEMENT GRANTED TO CHICAGO, MILWAUKEE AND ST. PAUL RAILWAY COMPANY RECORDED AS DOCUMENT NO. 852883, (PARCELS 1 AND 2) SHOWN HEREON.
20. EASEMENT RECORDED AS DOCUMENT NO. 7058302, (PARCELS 1 AND 2) SHOWN HEREON.
21. SOLVAY COKE REDEVELOPMENT PROJECT AREA DATED MARCH 26, 2003 AND RECORDED MAY 20, 2003, ON RAC 5586 MAGE 467, AS DOCUMENT NO. 8532382, (PARCELS 1 AND 2) BLANKET EASEMENT NOT SHOWN HEREON.
22. REDEVELOPMENT PLAN FOR THE PORT OF MILWAUKEE REDEVELOPMENT PROJECT AREA RECORDED NOVEMBER 26, 2010 AS DOCUMENT NO. 9943225 MADE AMENDMENT NO. 1 TO PORT OF MILWAUKEE REDEVELOPMENT PLAN RECORDED AUGUST 10, 2011 AS DOCUMENT NO. 10021746, (PARCELS 1 AND 2) BLANKET EASEMENT, NOT SHOWN HEREON.
23. THIS ITEM HAS BEEN INTENTIONALLY DELETED.
24. THIS ITEM HAS BEEN INTENTIONALLY DELETED.
25. THIS ITEM HAS BEEN INTENTIONALLY DELETED.
26. THIS ITEM HAS BEEN INTENTIONALLY DELETED.
27. STEAM EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY RECORDED SEPTEMBER 19, 2013 AS DOCUMENT NO. 10295248, (PARCELS 1 AND 2) SHOWN HEREON.
28. THIS ITEM HAS BEEN INTENTIONALLY DELETED.
29. THIS ITEM HAS BEEN INTENTIONALLY DELETED.
30. THIS ITEM HAS BEEN INTENTIONALLY DELETED.
31. THIS ITEM HAS BEEN INTENTIONALLY DELETED.
32. THIS ITEM HAS BEEN INTENTIONALLY DELETED.
33. EASEMENT DEED BY COURT ORDER RECORDED APRIL 16, 2014 AS DOCUMENT NO. 10351439, (PARCELS 1 AND 2) BLANKET EASEMENT, NOT SHOWN HEREON.
34. THIS ITEM HAS BEEN INTENTIONALLY DELETED.
35. THIS ITEM HAS BEEN INTENTIONALLY DELETED.
36. THIS ITEM HAS BEEN INTENTIONALLY DELETED.
37. FUTURE OBLIGATIONS ARISING FROM THE INCLUSION OF THE LAND IN BUSINESSIMPROVEMENT DISTRICT NO. 51 (HARBOR DISTRICT), NONE NOW DUE AND/OR PAYABLE, BLANKET EASEMENT, NOT SHOWN HEREON.
38. THIS ITEM HAS BEEN INTENTIONALLY DELETED.
39. THIS ITEM HAS BEEN INTENTIONALLY DELETED.
40. THIS ITEM HAS BEEN INTENTIONALLY DELETED.
41. THIS ITEM HAS BEEN INTENTIONALLY DELETED.
42. THIS ITEM HAS BEEN INTENTIONALLY DELETED.
43. ANY FACTS, RIGHTS, INTERESTS OR CLAIMS THAT MAY EXIST OR ARISE BY REASON OF THE FOLLOWING MATTERS DISCLOSED BY AN ALTA/NSPS SURVEY MADE BY KAPUR & ASSOCIATES, INC. ON MAY 8, 2017, DESIGNATED JOB NUMBER 17.02224.00:
A. ENCROACHMENT OF STONE WALL, CONCRETE WALL AND FENCE ONTO PROPERTY ADJOINING ON THE WEST.
B. ENCROACHMENT OF CONCRETE WALL AND FENCE ONTO PROPERTY ADJOINING ON THE EAST.
C. GUY WIRES LOCATED IN AN AREA WITHOUT A RECORDED EASEMENT.

TO: CITY OF MILWAUKEE, WISCONSIN GAS LLC, A WISCONSIN LIMITED LIABILITY COMPANY, D/B/A WE ENERGIES, AND FIRST AMERICAN TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2016, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 7a, 7b, 7c, 8, 9, 11, 13, 14, 16, 17, AND 18 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNLESS OTHERWISE FURTHER CERTIFIED THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF WISCONSIN, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

FEBRUARY 22, 2019 DATE

MICHAEL J. BERRY, REGISTERED LAND SURVEYOR S-2545



Diggers Hotline logo with phone number (800) 242-8511

LEGEND table listing symbols for SAN, ST, BURIED GAS LINE, BURIED ELECTRIC LINE, BURIED FIBER OPTIC LINE, BURIED CABLE TELEVISION LINES, COMBINATION SEWER, WOOD FENCE, METAL FENCE, PROPOSED PROPERTY LINE, EDGE OF TREES AND BRUSH, W-20 50, SANITARY SEWER, WATER SEWER, BURIED GAS LINE, BURIED ELECTRIC LINE, BURIED FIBER OPTIC LINE, BURIED CABLE TELEVISION LINES, COMBINATION SEWER, WOOD FENCE, METAL FENCE, PROPOSED PROPERTY LINE, EDGE OF TREES AND BRUSH, W-20 50, ELECTRIC TRANSFORMER, ELECTRIC METER, ELECTRIC PEDESTAL, ELECTRIC BOX AT GRADE, TELEPHONE PEDESTAL, TELEPHONE BOX, AIR CONDITIONER, UTILITY POLE, WOOD SIGN, FLAG POLE, BOLLARD LIGHT, HARD LIGHT, FIRE DEPARTMENT CONNECTION, HYDRANT, WATER VALVE, GAS VALVE, TELEPHONE BOX AT GRADE, MANHOLE, STORM MANHOLE, CATCH BASIN, CURB INLET, METAL LIGHT POLE, CONCRETE LIGHT POLE, WOOD LIGHT POLE, METAL BOX, BURIED OPTIC MARKER, GUY WIRE, GUY POLE.

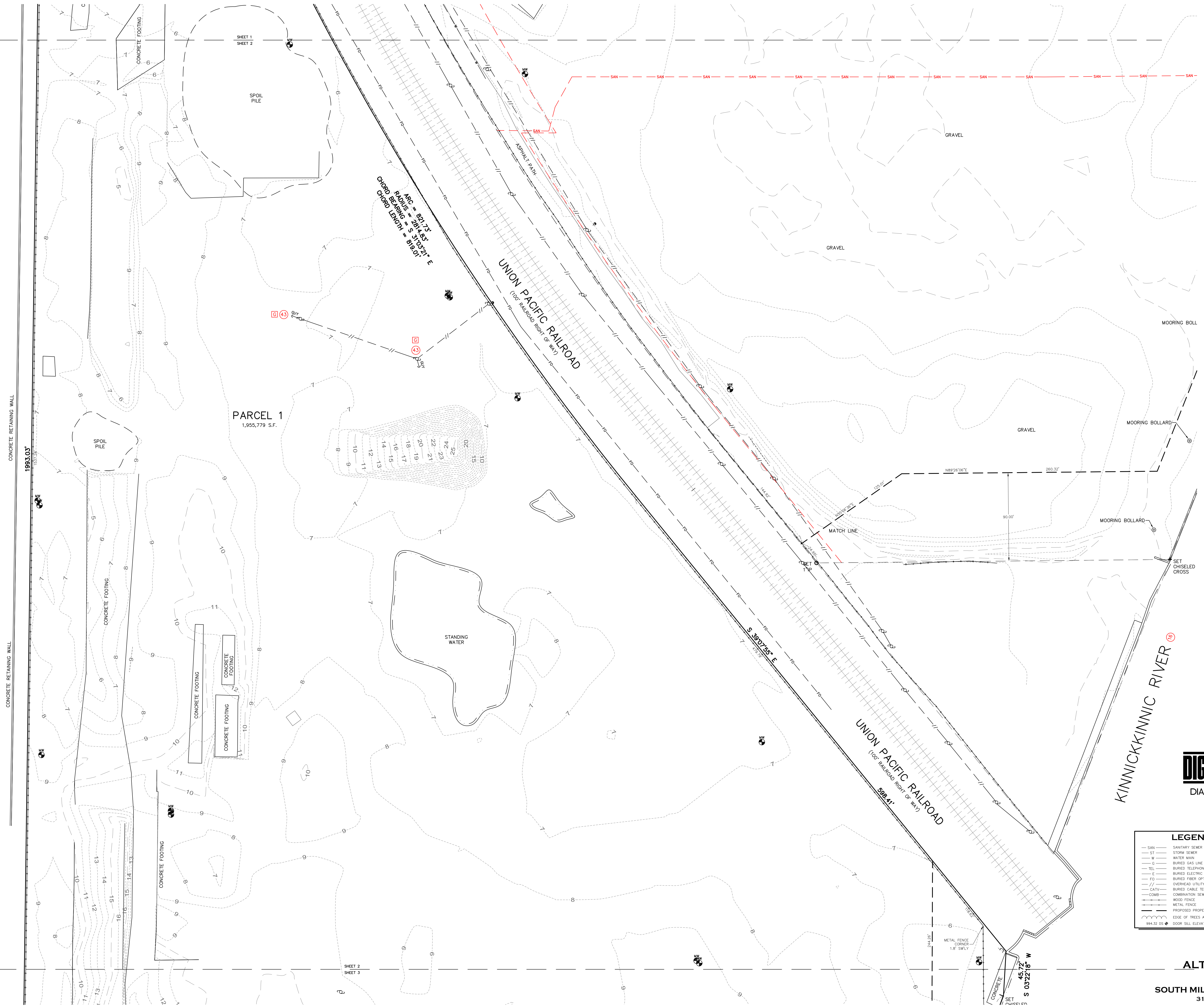
ALTA/NSPS SURVEY FOR SOUTH MILWAUKEE REDEVELOPMENT 311, 302 E. GREENFIELD AVE MILWAUKEE, WI 53204

Table with columns: DRAWN BY: NJF, DATE: 2/22/2019, CHECKED BY: MJB, DRAWING NO: AL2-0, CSE JOB NO.: 18-078, SHEET 1 OF 4.



SOO LINE RAILROAD COMPANY
 (RAILROAD RIGHT OF WAY WIDTH VARIES)

SOO LINE RAILROAD COMPANY
 (RAILROAD RIGHT OF WAY WIDTH VARIES)



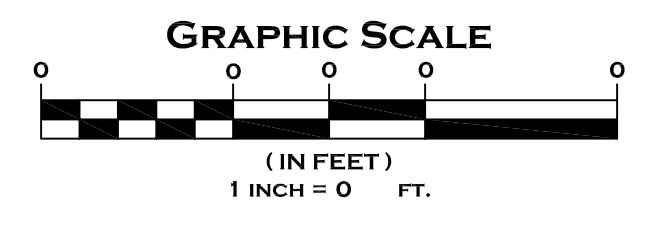
www.DiggersHotline.com
DIGGERS HOTLINE
 DIAL 811 OR (800) 242-8511

LEGEND

| | | | | | |
|----------|-------------------------------|---|------------------------|---|-------------------|
| — SAN — | SANITARY SEWER | ⊠ | ELECTRIC TRANSFORMER | ⊠ | HYDRANT |
| — ST — | STORM SEWER | ⊠ | ELECTRIC METER | ⊠ | WATER VALVE |
| — WM — | WATER MAIN | ⊠ | ELECTRIC FEDESTAL | ⊠ | GAS VALVE |
| — G — | BURIED GAS LINE | ⊠ | TELEPHONE BOX AT GRADE | ⊠ | MANHOLE |
| — TEL — | BURIED TELEPHONE LINE | ⊠ | TELEPHONE FEDESTAL | ⊠ | STORM MANHOLE |
| — E — | BURIED ELECTRIC LINE | ⊠ | TV FEDESTAL | ⊠ | CATCH BASIN |
| — FO — | BURIED FIBER OPTIC LINE | ⊠ | ⊠ | ⊠ | CURB INLET |
| — UT — | OVERHEAD UTILITY LINES | ⊠ | ⊠ | ⊠ | METAL LIGHT POLE |
| — CATV — | BURIED CABLE TELEVISION LINES | ⊠ | ⊠ | ⊠ | WOOD LIGHT POLE |
| — COMB — | COMBINATION SEWER | ⊠ | ⊠ | ⊠ | MAIL BOX |
| — W — | WOOD FENCE | ⊠ | ⊠ | ⊠ | FREE OPTIC MARKER |
| — M — | METAL FENCE | ⊠ | ⊠ | ⊠ | GUY WIRE |
| — P — | PROPOSED PROPERTY LINE | ⊠ | ⊠ | ⊠ | GUY POLE |
| — T — | EDGE OF TREES AND BRUSH | ⊠ | ⊠ | ⊠ | |
| — D — | DOOR SILL ELEVATION | ⊠ | ⊠ | ⊠ | |

ALTA/NSPS SURVEY
 FOR
SOUTH MILWAUKEE REDEVELOPMENT
 311, 302 E. GREENFIELD AVE
 MILWAUKEE, WI 53204

| | | | |
|--------------|--------|--------------|-----------|
| DRAWN BY: | NJF | DATE: | 2/22/2019 |
| CHECKED BY: | MJB | DRAWING NO.: | AL2-0 |
| CSE JOB NO.: | 18-078 | SHEET | 2 OF 4 |





SOO LINE RAILROAD COMPANY
 (RAILROAD RIGHT OF WAY WIDTH VARIES)

PARCEL 1
 1,955,779 S.F.

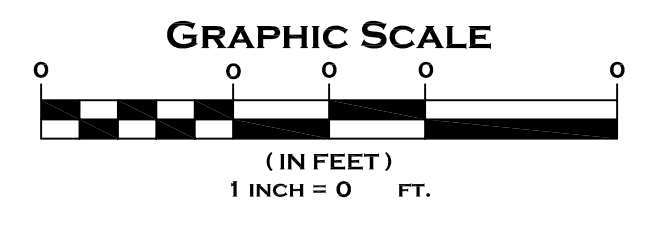
KINNICKINNIC RIVER

LEGEND

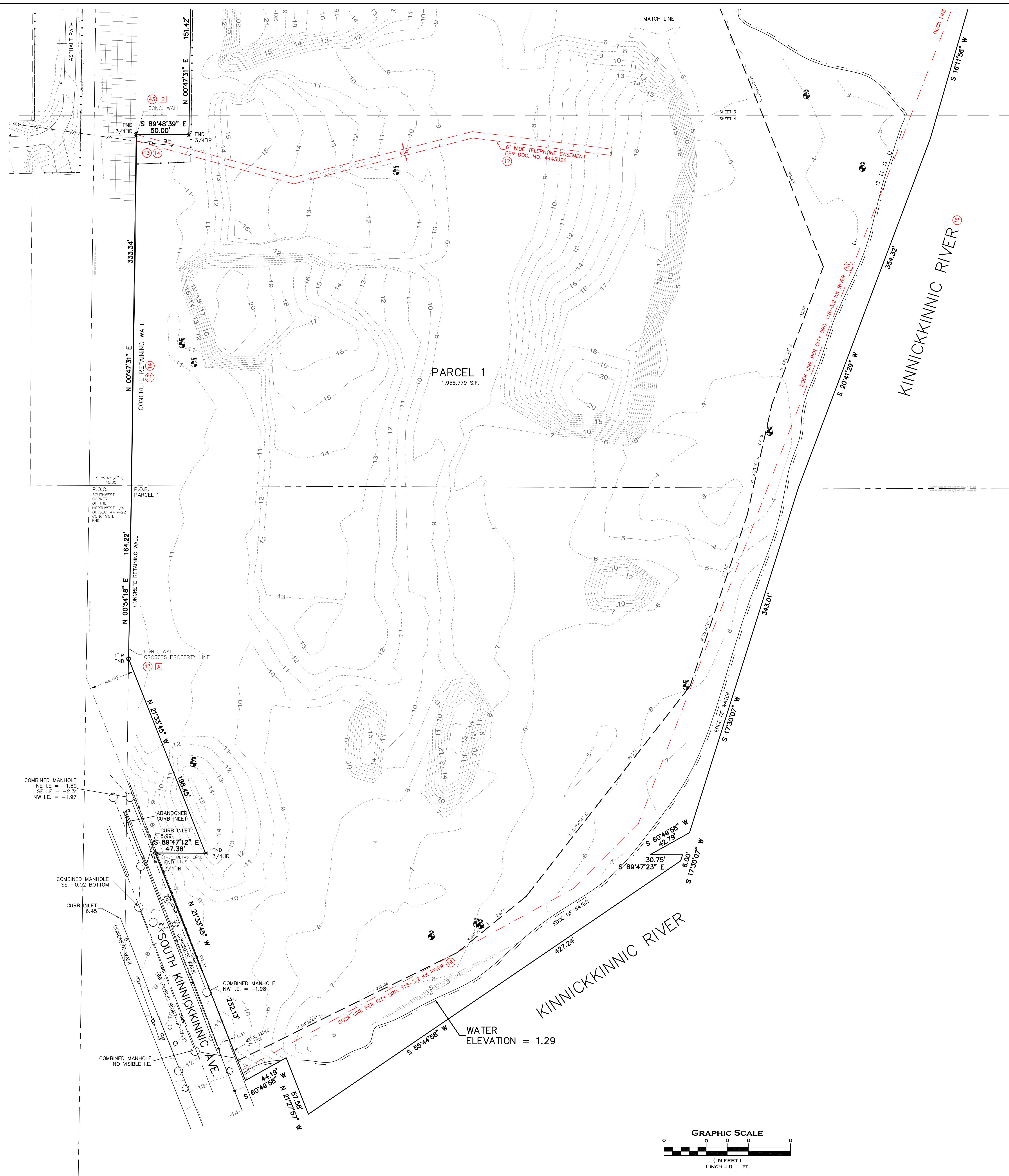
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|--------------|-------------------------------|---|----------------------------|---|---------------------|
| — SAN — | SANITARY SEWER | □ | ELECTRIC METER | ⊕ | HYDRANT |
| — ST — | STORM SEWER | □ | ELECTRIC FEDESTAL | ⊕ | WATER VALVE |
| — W — | WATER MAIN | □ | ELECTRIC BOX AT GRADE | ⊕ | GAS VALVE |
| — G — | BURIED GAS LINE | □ | TELEPHONE BOX AT GRADE | ⊕ | MANHOLE |
| — TEL — | BURIED TELEPHONE LINE | □ | TELEPHONE FEDESTAL | ⊕ | STORM MANHOLE |
| — E — | BURIED ELECTRIC LINE | □ | TV FEDESTAL | ⊕ | CATCH BASIN |
| — FO — | BURIED FIBER OPTIC LINE | □ | GAS METER | ⊕ | CURB INLET |
| — CATV — | BURIED CABLE TELEVISION LINES | □ | AIR CONDITIONER | ⊕ | METAL LIGHT POLE |
| — COMB — | COMBINATION SEWER | □ | UTILITY POLE | ⊕ | CONCRETE LIGHT POLE |
| — WOOD — | WOOD FENCE | □ | WOOD SIGN | ⊕ | WOOD LIGHT POLE |
| — METAL — | METAL FENCE | □ | METAL SIGN | ⊕ | WOOD LIGHT POLE |
| — PROPOSED — | PROPOSED PROPERTY LINE | □ | FLAG POLE | ⊕ | WOOD LIGHT POLE |
| — | EDGE OF TREES AND BRUSH | □ | BOLLARD LIGHT | ⊕ | WOOD LIGHT POLE |
| — | DOOR SILL ELEVATION | □ | YARD LIGHT | ⊕ | WOOD LIGHT POLE |
| | | □ | FIRE DEPARTMENT CONNECTION | ⊕ | WOOD LIGHT POLE |

ALTA/NSPS SURVEY
 FOR
SOUTH MILWAUKEE REDEVELOPMENT
 311, 302 E. GREENFIELD AVE
 MILWAUKEE, WI 53204

| | | | |
|--------------|--------|--------------|-----------|
| DRAWN BY: | NJF | DATE: | 2/22/2019 |
| CHECKED BY: | MJB | DRAWING NO.: | AL2-0 |
| CSE JOB NO.: | 18-078 | SHEET | 3 OF 4 |



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DIGGERS HOTLINE
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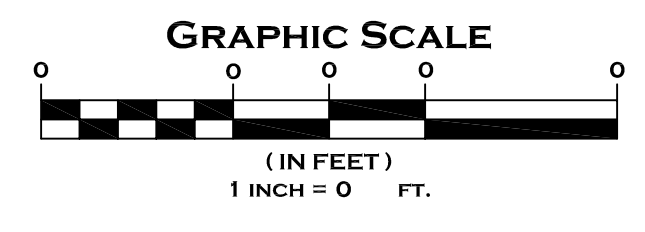


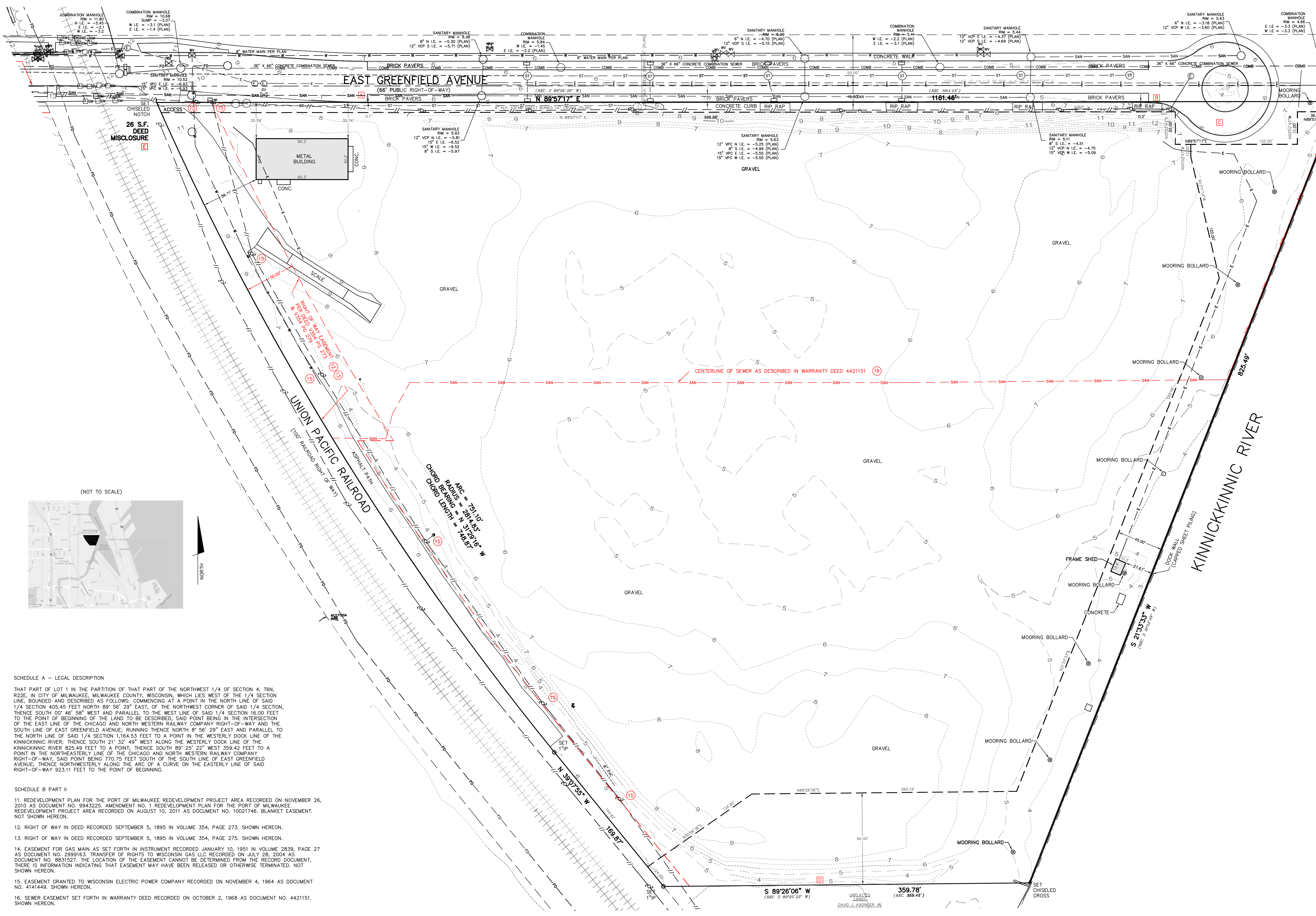
www.DiggersHotline.com
DIGGERS HOTLINE
 DIAL 811 OR (800) 242-8511

| LEGEND | | |
|----------------|-------------------------------|------------------------------|
| — SAN — | SANITARY SEWER | ☐ ELECTRIC FEDESTAL |
| — ST — | STORM SEWER | ☐ ELECTRIC BOX AT GRADE |
| — WM — | WATER MAIN | ☐ TELEPHONE BOX AT GRADE |
| — G — | BURIED GAS LINE | ☐ TELEPHONE FEDESTAL |
| — TEL — | BURIED TELEPHONE LINE | ☐ TV FEDESTAL |
| — E — | BURIED ELECTRIC LINE | ☐ GAS METER |
| — FO — | BURIED FIBER OPTIC LINE | ☐ AIR CONDITIONER |
| — CATV — | BURIED CABLE TELEVISION LINES | ☐ UTILITY POLE |
| — COMB — | COMBINATION SEWER | ☐ WOOD SIGN |
| — WOOD FENCE — | WOOD FENCE | ☐ METAL SIGN |
| — PROPOSED — | PROPOSED PROPERTY LINE | ☐ FLAG POLE |
| — | EDGE OF TREES AND BRUSH | ☐ ISLAND LIGHT |
| — | EDGE OF WATER | ☐ FIRE DEPARTMENT CONNECTION |
| — | DOOR SILL ELEVATION | ☐ HYDRANT |
| — | — | ☐ WATER VALVE |
| — | — | ☐ GAS VALVE |
| — | — | ☐ MANHOLE |
| — | — | ☐ STORM MANHOLE |
| — | — | ☐ CATCH BASIN |
| — | — | ☐ CURB INLET |
| — | — | ☐ METAL LIGHT POLE |
| — | — | ☐ CONCRETE LIGHT POLE |
| — | — | ☐ WOOD LIGHT POLE |
| — | — | ☐ MAIL BOX |
| — | — | ☐ FREE OPTIC MARKER |
| — | — | ☐ CUT WIRE |
| — | — | ☐ SPLIT POLE |

ALTA/NSPS SURVEY
 FOR
SOUTH MILWAUKEE REDEVELOPMENT
 311, 302 E. GREENFIELD AVE
 MILWAUKEE, WI 53204

| | | | |
|--------------|--------|--------------|-----------|
| DRAWN BY: | NJF | DATE: | 2/22/2019 |
| CHECKED BY: | MJB | DRAWING NO.: | AL2-0 |
| CSE JOB NO.: | 18-078 | SHEET: | 4 OF 4 |





- MISCELLANEOUS NOTES
- THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF WISCONSIN.
 - THE PROPERTY DESCRIBED HEREON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. NCS-908108-MKE, WITH A COMMITMENT DATE: MAY 07, 2018 AT 7:30 A.M. AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
 - THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
 - NO ZONING INFORMATION PROVIDED BY INSURER AT THE TIME OF SURVEY.
 - THE ABOVE DESCRIBED PROPERTY AS SHOWN HEREON CONTAINS: 606,129 SQUARE FEET OR 13.9149 ACRES.
 - THE ADDRESS OF THE ABOVE DESCRIBED PROPERTY, 401 EAST GREENFIELD AVENUE, AS SHOWN, WAS OBSERVED IN THE FIELD AT THE TIME OF THE SURVEY.
 - ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
 - SUBJECT PROPERTY HAS DIRECT ACCESS TO EAST GREENFIELD AVENUE, DEDICATED PUBLIC STREETS OR HIGHWAYS.
 - THE TOTAL NUMBER OF STRIPED PARKING SPACES AND D ARE DESIGNATED DISABLED SPACES, AND TO THE EXTENT POSSIBLE, ARE GRAPHICALLY SHOWN HEREON.
 - SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) & DESIGNATION AE: FLOODWAY, BOTH DESIGNATIONS ON FLOOD INSURANCE RATE MAP NO. 55075C0006, WITH A DATE OF IDENTIFICATION OF 9/26/2008, IN COMMUNITY NO. 550278, THE CITY OF MILWAUKEE, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
 - THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR REPAIRS OCCURRING ON OR ADJOINING THE PROPERTY AT TIME OF SURVEY.
 - THERE IS NO INFORMATION AVAILABLE FROM THE CITY OF MILWAUKEE REGARDING PROPOSED CHANGES IN STREET RIGHT OF WAY LINES ADJOINING THE PROPERTY AT THE TIME OF SURVEY.
 - THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OCCURRING ON OR ADJOINING THE PROPERTY AT TIME OF SURVEY.
 - THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL AT TIME OF SURVEY.
 - THERE IS NO OBSERVED EVIDENCE OF DELINEATED WETLANDS EXISTING ON SUBJECT PROPERTY AT TIME OF SURVEY.
 - ALL FIELD MEASUREMENTS MATCHED RECORD DIMENSIONS WITHIN THE PRECISION REQUIREMENTS OF ALTA/NSPS SPECIFICATIONS UNLESS OTHERWISE SHOWN.
 - ALL BEARINGS ARE REFERENCED TO THE NORTH LINE OF THE NORTHWEST 1/4 OF SECTION 4-6-22 WHICH BEARS N 89°57'37" E.
 - HORIZONTAL DATUM IS BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM MILWAUKEE ZONE NAD 83 (1986).
 - THERE IS NO EVIDENCE OF CEMETERIES, GRAVESTONES OR BURIAL GROUNDS EXISTING ON SUBJECT PROPERTY AS DISCLOSED IN THE RECORD DOCUMENTS OR OBSERVED IN THE PROCESS OF CONDUCTING THIS SURVEY.

- SIGNIFICANT OBSERVATIONS:
- THERE ARE NO SIGNIFICANT OBSERVATIONS AFFECTING SUBJECT PROPERTY EXCEPT AS FOLLOWS:
- A CONCRETE CURB EXTENDS SOUTH OF NORTH PROPERTY LINE A DISTANCE OF 0.1' AS SHOWN HEREON.
 - B CONCRETE CURB EXTENDS SOUTH OF NORTH PROPERTY LINE A DISTANCE OF 0.2' AS SHOWN HEREON.
 - C TRAVELED CUL DU SAC EXTENDS SOUTH OF NORTH PROPERTY LINE A DISTANCE OF 45.7' AS SHOWN HEREON.
 - D METAL FENCE EXTENDS NORTH OF SOUTH PROPERTY LINE A DISTANCE OF 0.5' AS SHOWN HEREON.
 - E THERE APPEARS TO BE A 26 SQUARE FOOT DEED MISCLASURE BETWEEN MONUMENTED PROPERTY AND THE RAILROAD RIGHT OF WAY AT THE NORTHWEST CORNER OF SUBJECT PROPERTY AS SHOWN HEREON.

SCHEDULE A - LEGAL DESCRIPTION

THAT PART OF LOT 1 IN THE PARTITION OF THAT PART OF THE NORTHWEST 1/4 OF SECTION 4, T8N, R22E, IN CITY OF MILWAUKEE, MILWAUKEE COUNTY, WISCONSIN, WHICH LIES WEST OF THE 1/4 SECTION LINE, BOUNDED AND DESCRIBED AS FOLLOWS: COMMENCING AT A POINT IN THE NORTH LINE OF SAID 1/4 SECTION 405.45 FEET NORTH 89° 56' 29" EAST, OF THE NORTHWEST CORNER OF SAID 1/4 SECTION, THENCE SOUTH 00° 46' 58" WEST AND PARALLEL TO THE WEST LINE OF SAID 1/4 SECTION 16.00 FEET TO THE POINT OF BEGINNING OF THE LAND TO BE DESCRIBED, SAID POINT BEING IN THE INTERSECTION OF THE EAST LINE OF THE CHICAGO AND NORTH WESTERN RAILWAY COMPANY RIGHT-OF-WAY AND THE SOUTH LINE OF EAST GREENFIELD AVENUE, RUNNING THENCE NORTH BY 66° 23' EAST AND PARALLEL TO THE NORTH LINE OF SAID 1/4 SECTION 1,164.53 FEET TO A POINT IN THE WESTERLY DOCK LINE OF THE KINNICKINNIC RIVER, THENCE SOUTH 21° 32' 49" WEST ALONG THE WESTERLY DOCK LINE OF THE KINNICKINNIC RIVER 825.49 FEET TO A POINT, THENCE SOUTH 89° 25' 22" WEST 359.47 FEET TO A POINT IN THE NORTHEASTLY LINE OF THE CHICAGO AND NORTH WESTERN RAILWAY COMPANY RIGHT-OF-WAY, SAID POINT BEING 770.75 FEET SOUTH OF THE SOUTH LINE OF EAST GREENFIELD AVENUE; THENCE NORTHWESTERLY ALONG THE ARC OF A CURVE ON THE EASTERLY LINE OF SAID RIGHT-OF-WAY 923.11 FEET TO THE POINT OF BEGINNING.

SCHEDULE B PART II

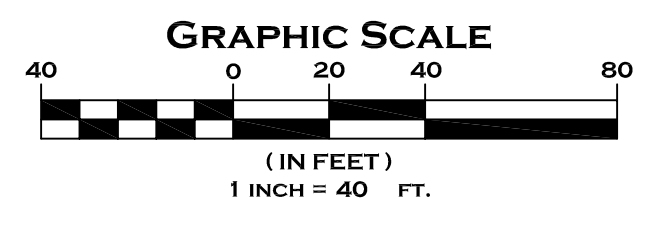
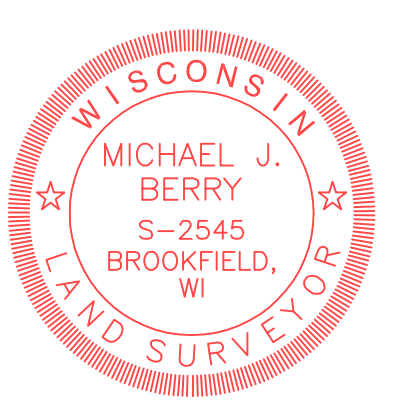
- REDEVELOPMENT PLAN FOR THE PORT OF MILWAUKEE REDEVELOPMENT PROJECT AREA RECORDED ON NOVEMBER 26, 2010 AS DOCUMENT NO. 8943225. AMENDMENT NO. 1 REDEVELOPMENT PLAN FOR THE PORT OF MILWAUKEE REDEVELOPMENT PROJECT AREA RECORDED ON AUGUST 10, 2011 AS DOCUMENT NO. 10021746. BLANKET EASEMENT, NOT SHOWN HEREON.
- RIGHT OF WAY IN DEED RECORDED SEPTEMBER 5, 1895 IN VOLUME 354, PAGE 273. SHOWN HEREON.
- RIGHT OF WAY IN DEED RECORDED SEPTEMBER 5, 1895 IN VOLUME 354, PAGE 275. SHOWN HEREON.
- EASEMENT FOR GAS MAIN AS SET FORTH IN INSTRUMENT RECORDED JANUARY 10, 1951 IN VOLUME 2839, PAGE 27 AS DOCUMENT NO. 2999163. TRANSFER OF RIGHTS TO WISCONSIN GAS LLC RECORDED ON JULY 28, 2004 AS DOCUMENT NO. 885157. THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM THE RECORD DOCUMENT, THERE IS INFORMATION INDICATING THAT EASEMENT MAY HAVE BEEN RELEASED OR OTHERWISE TERMINATED. NOT SHOWN HEREON.
- EASEMENT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY RECORDED ON NOVEMBER 4, 1964 AS DOCUMENT NO. 4141469. SHOWN HEREON.
- SEWER EASEMENT SET FORTH IN WARRANTY DEED RECORDED ON OCTOBER 2, 1968 AS DOCUMENT NO. 4421151. SHOWN HEREON.

TO: CITY OF MILWAUKEE, 401 EAST GREENFIELD AVE ITS SUCCESSORS AND/OR ASSIGNS, AND FIRST AMERICAN TITLE INSURANCE COMPANY;

DATHEIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN THEIR ITEMS 1, 2, 3, 4, 5, 6, 7a, 7b1, 7c, 8, 9, 11, 13, 14, 16, 17, AND 18 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSTOOD FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF WISCONSIN, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

SEPTEMBER 25, 2018

MICHAEL J. BERRY (L.S.)
 REGISTERED LAND SURVEYOR S-2545



LEGEND

| | | | | | |
|-----------------------------|-------------------------------|---|----------------------------|---|---------------------|
| — SAN — | SANITARY SEWER | ⊗ | ELECTRIC TRANSFORMER | ⊗ | HYDRANT |
| — ST — | STORM SEWER | ⊗ | ELECTRIC FEDESTAL | ⊗ | WATER VALVE |
| — W — | WATER MAIN | ⊗ | ELECTRIC BOX AT GRADE | ⊗ | GAS VALVE |
| — G — | BURIED GAS LINE | ⊗ | TELEPHONE BOX AT GRADE | ⊗ | MANHOLE |
| — TEL — | BURIED TELEPHONE LINE | ⊗ | TELEPHONE FEDESTAL | ⊗ | STORM MANHOLE |
| — E — | BURIED ELECTRIC LINE | ⊗ | TV FEDESTAL | ⊗ | CATCH BASIN |
| — FO — | BURIED FIBER OPTIC LINE | ⊗ | TV CONDENSER | ⊗ | CURB INLET |
| — UT — | OVERHEAD UTILITY LINES | ⊗ | TV METER | ⊗ | METAL LIGHT POLE |
| — CATV — | BURIED CABLE TELEVISION LINES | ⊗ | WOOD SIGN | ⊗ | CONCRETE LIGHT POLE |
| — COMB — | COMBINATION SEWER | ⊗ | METAL SIGN | ⊗ | WOOD LIGHT POLE |
| — WOOD FENCE — | WOOD FENCE | ⊗ | FLAG POLE | ⊗ | MAL BOX |
| — METAL FENCE — | METAL FENCE | ⊗ | BOLLARD | ⊗ | FIBER OPTIC MANHOLE |
| — PROPOSED PROPERTY LINE — | PROPOSED PROPERTY LINE | ⊗ | BOLLARD LIGHT | ⊗ | YARD LIGHT |
| — EDGE OF TREES AND BRUSH — | EDGE OF TREES AND BRUSH | ⊗ | TIME DEPARTMENT CONNECTION | ⊗ | GUY WIRE |
| — DOOR SILL ELEVATION — | DOOR SILL ELEVATION | ⊗ | | ⊗ | GUY POLE |

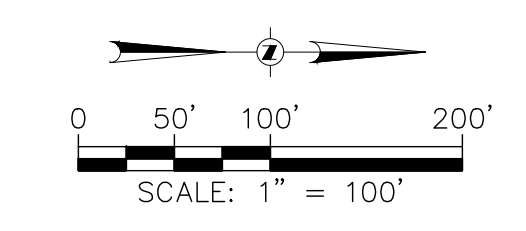
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ALTA/NSPS SURVEY
 FOR
SOUTH MILWAUKEE REDEVELOPMENT
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 MILWAUKEE, WI 53204

| | | | |
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| DRAWN BY: | NJF | DATE: | 2/22/2019 |
| CHECKED BY: | MJB | DRAWING NO.: | AL-3 |
| CSE JOB NO.: | 18-078 | SHEET: | 1 OF 1 |

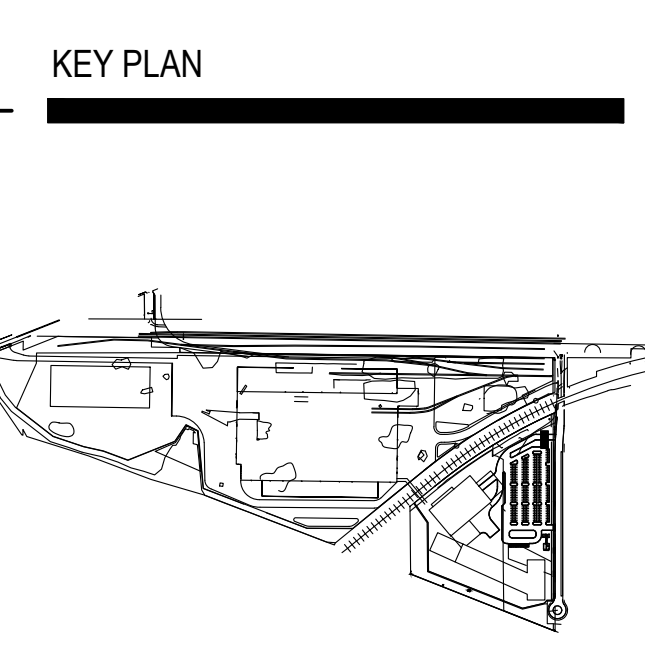


PROJECT INFORMATION
KOMATSU
 SOUTH HARBOR
 CAMPUS
 MILWAUKEE

**MANUFACTURING
 BUILDING**

ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|---------|--------------------|
| 6/17/19 | CITY DIZ SUBMITTAL |
| 6/28/19 | SPROZ SUBMITTAL |



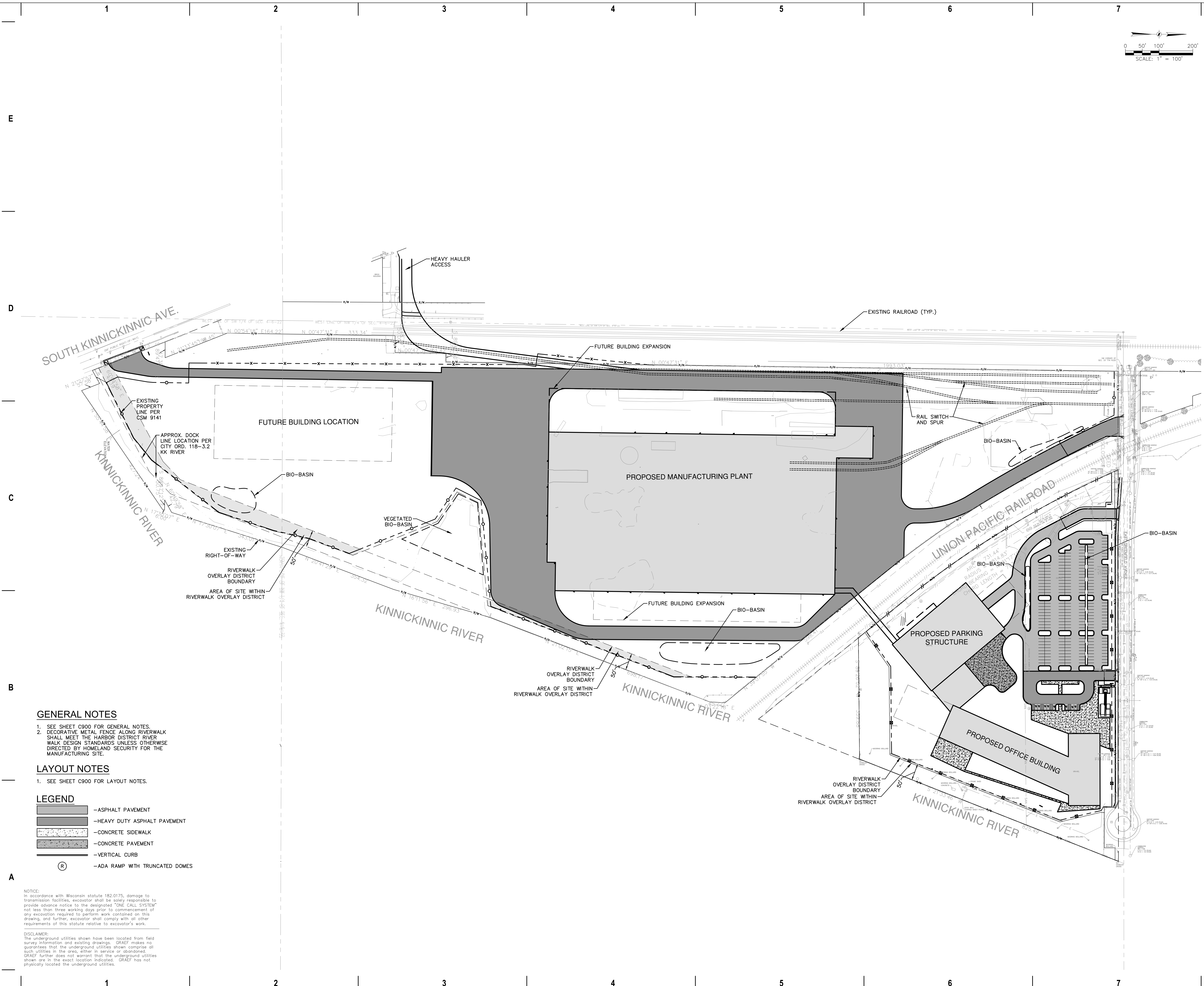
SHEET INFORMATION

**PROGRESS DOCUMENTS
 NOT FOR CONSTRUCTION**

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

PROJECT MANAGER SJF
 PROJECT NUMBER 2019-0800.00

OVERALL SITE
 LAYOUT
C200
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- GENERAL NOTES**
- SEE SHEET C900 FOR GENERAL NOTES.
 - DECORATIVE METAL FENCE ALONG RIVERWALK SHALL MEET THE HARBOR DISTRICT RIVERWALK DESIGN STANDARDS UNLESS OTHERWISE DIRECTED BY HOMELAND SECURITY FOR THE MANUFACTURING SITE.

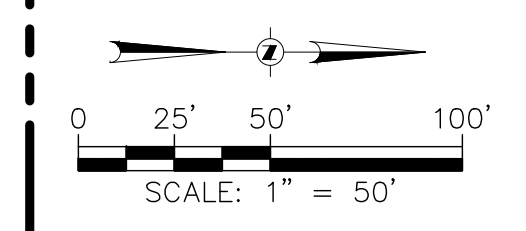
- LAYOUT NOTES**
- SEE SHEET C900 FOR LAYOUT NOTES.

- LEGEND**
- ASPHALT PAVEMENT
 - HEAVY DUTY ASPHALT PAVEMENT
 - CONCRETE SIDEWALK
 - CONCRETE PAVEMENT
 - VERTICAL CURB
 - ADA RAMP WITH TRUNCATED DOMES

NOTICE:
 In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER:
 The underground utilities shown have been located from field survey information and existing drawings. GRAEF makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. GRAEF further does not warrant that the underground utilities shown are in the exact location indicated. GRAEF has not physically located the underground utilities.

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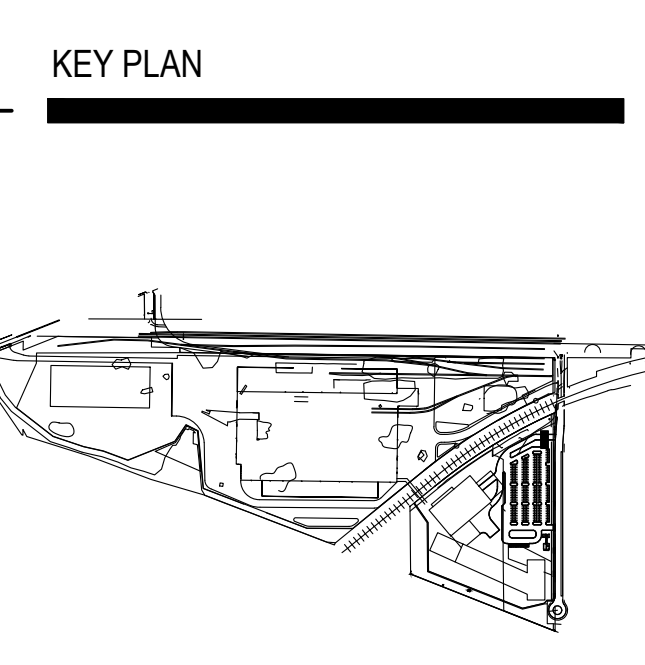


PROJECT INFORMATION
KOMATSU
 SOUTH HARBOR
 CAMPUS
 MILWAUKEE

MANUFACTURING
 BUILDING

ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|---------|--------------------|
| 6/17/19 | CITY DIZ SUBMITTAL |
| 6/28/19 | SPROZ SUBMITTAL |



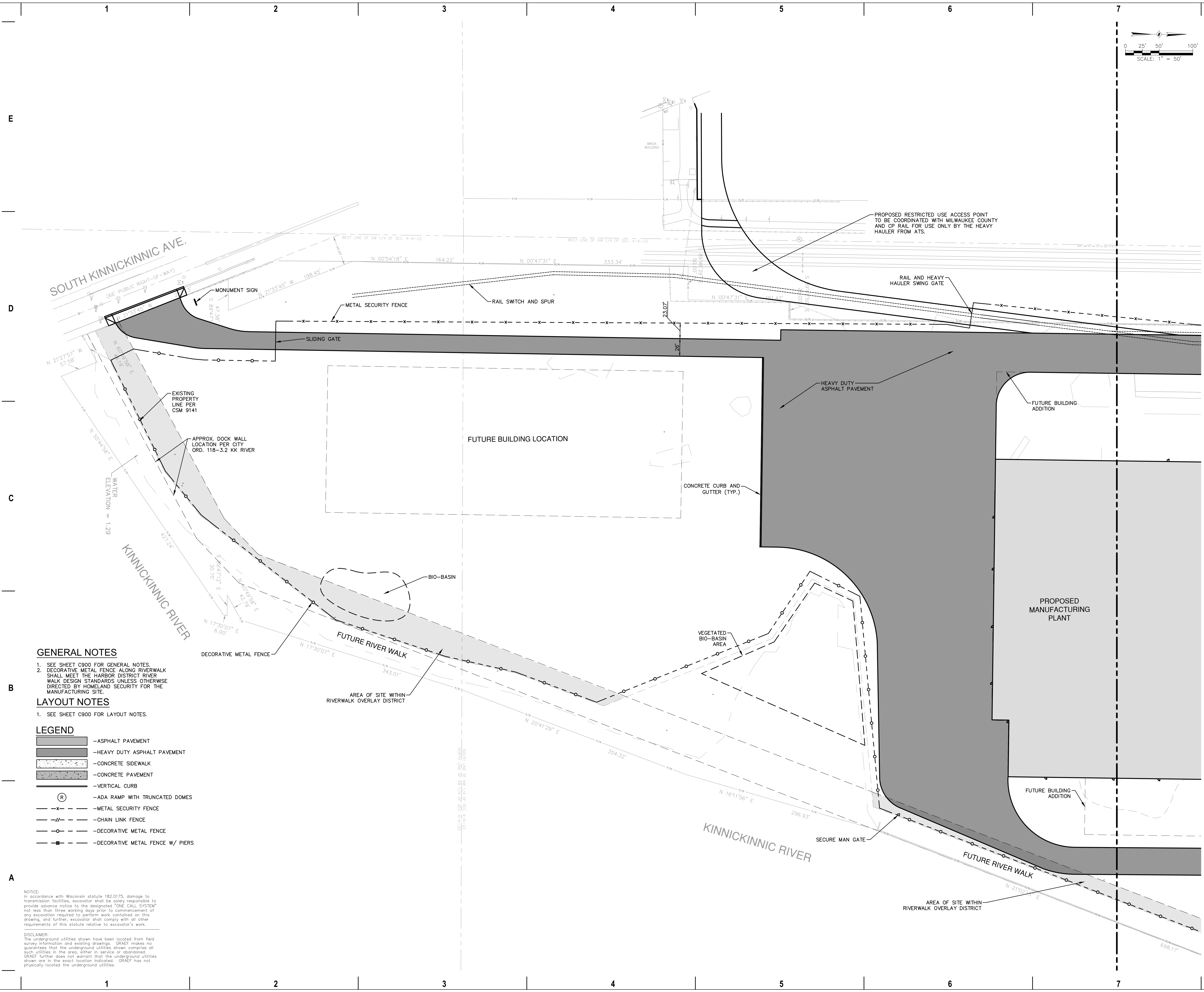
SHEET INFORMATION

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PROJECT MANAGER SJF
 PROJECT NUMBER 2019-0800.00

SITE LAYOUT PLAN
C201
 © Epstein Uhen Architects, Inc.



GENERAL NOTES

- SEE SHEET C900 FOR GENERAL NOTES.
- DECORATIVE METAL FENCE ALONG RIVERWALK SHALL MEET THE HARBOR DISTRICT RIVER WALK DESIGN STANDARDS UNLESS OTHERWISE DIRECTED BY HOMELAND SECURITY FOR THE MANUFACTURING SITE.

LAYOUT NOTES

- SEE SHEET C900 FOR LAYOUT NOTES.

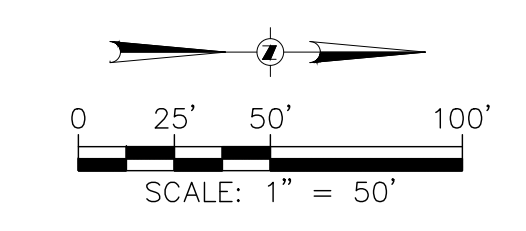
LEGEND

- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- VERTICAL CURB
- ADA RAMP WITH TRUNCATED DOMES
- METAL SECURITY FENCE
- CHAIN LINK FENCE
- DECORATIVE METAL FENCE
- DECORATIVE METAL FENCE W/ PIERS

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milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
414.271.5350



milwaukee 175 South 84th Street, Suite 401
Milwaukee, WI 53214
414.259.1500

PROJECT INFORMATION



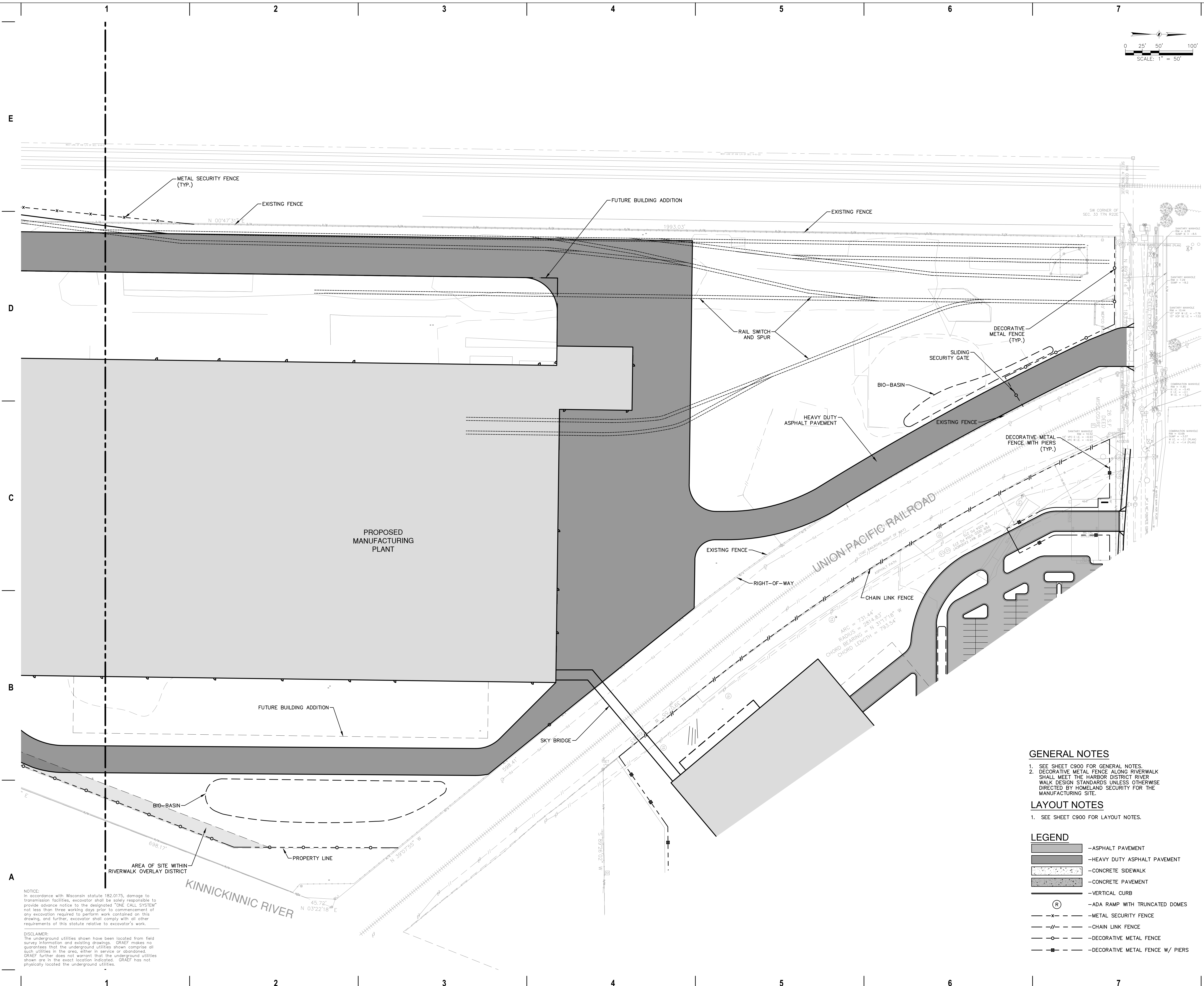
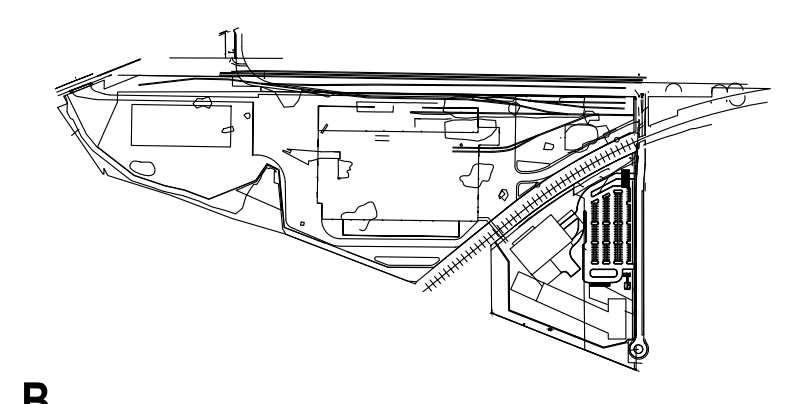
**SOUTH HARBOR
CAMPUS
MILWAUKEE**

**MANUFACTURING
BUILDING**

ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|---------|--------------------|
| 6/17/19 | CITY DIZ SUBMITTAL |
| 6/28/19 | SPROZ SUBMITTAL |

KEY PLAN



GENERAL NOTES

- SEE SHEET C900 FOR GENERAL NOTES.
- DECORATIVE METAL FENCE ALONG RIVERWALK SHALL MEET THE HARBOR DISTRICT RIVER WALK DESIGN STANDARDS UNLESS OTHERWISE DIRECTED BY HOMELAND SECURITY FOR THE MANUFACTURING SITE.

LAYOUT NOTES

- SEE SHEET C900 FOR LAYOUT NOTES.

LEGEND

- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- VERTICAL CURB
- ADA RAMP WITH TRUNCATED DOMES
- METAL SECURITY FENCE
- CHAIN LINK FENCE
- DECORATIVE METAL FENCE
- DECORATIVE METAL FENCE W/ PIERS

SHEET INFORMATION

**PROGRESS DOCUMENTS
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PROJECT MANAGER SJF
PROJECT NUMBER 2019-0800.00

SITE LAYOUT PLAN

C202

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NOTICE:
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milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
414.271.5330



milwaukee 175 South 84th Street, Suite 401
Milwaukee, WI 53214
414.259.1500

PROJECT INFORMATION



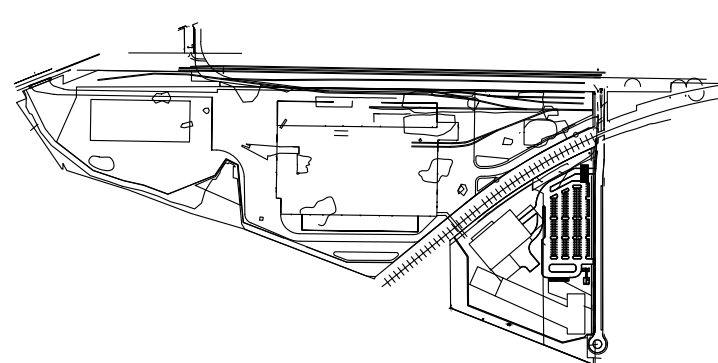
**SOUTH HARBOR
CAMPUS
MILWAUKEE**

OFFICE BUILDING

ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|---------|--------------------|
| 6/17/19 | CITY DIZ SUBMITTAL |
| 6/28/19 | SPROZ SUBMITTAL |

KEY PLAN



SHEET INFORMATION

**PROGRESS DOCUMENTS
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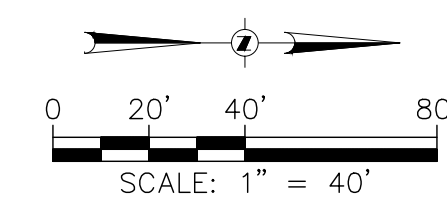
PROJECT MANAGER SJF

PROJECT NUMBER 2019-0800.00

SITE LAYOUT PLAN

C203

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GENERAL NOTES

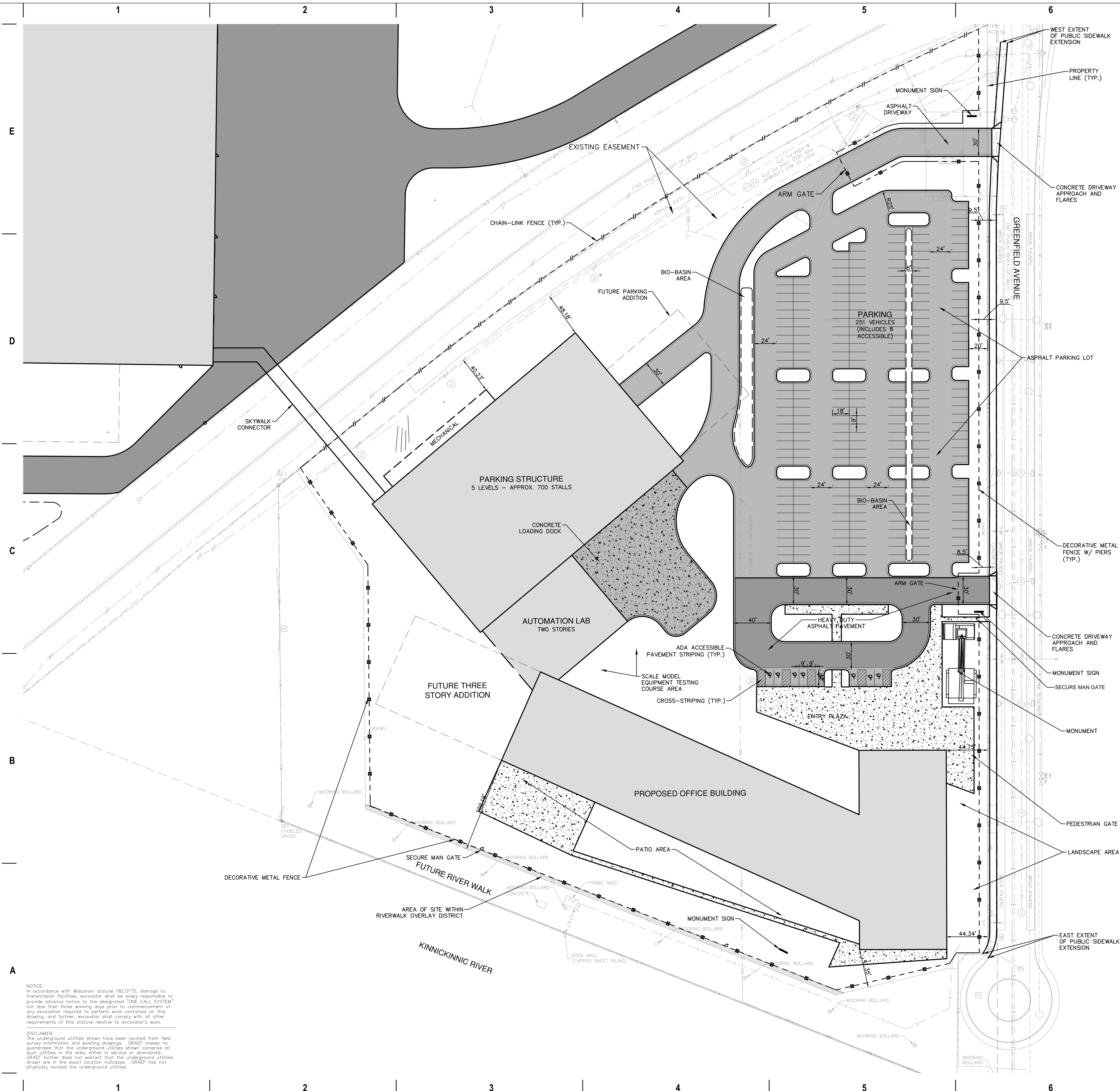
- SEE SHEET C900 FOR GENERAL NOTES.
- DECORATIVE METAL FENCE ALONG RIVERWALK SHALL MEET THE HARBOR DISTRICT RIVERWALK DESIGN STANDARDS UNLESS OTHERWISE DIRECTED BY HOMELAND SECURITY FOR THE MANUFACTURING SITE.

LAYOUT NOTES

- SEE SHEET C900 FOR LAYOUT NOTES.

LEGEND

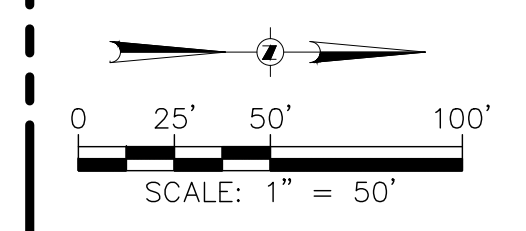
- ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- VERTICAL CURB
- ADA RAMP WITH TRUNCATED DOMES
- METAL SECURITY FENCE
- CHAIN LINK FENCE
- DECORATIVE METAL FENCE
- DECORATIVE METAL FENCE W/ PIERS



NOTICE:
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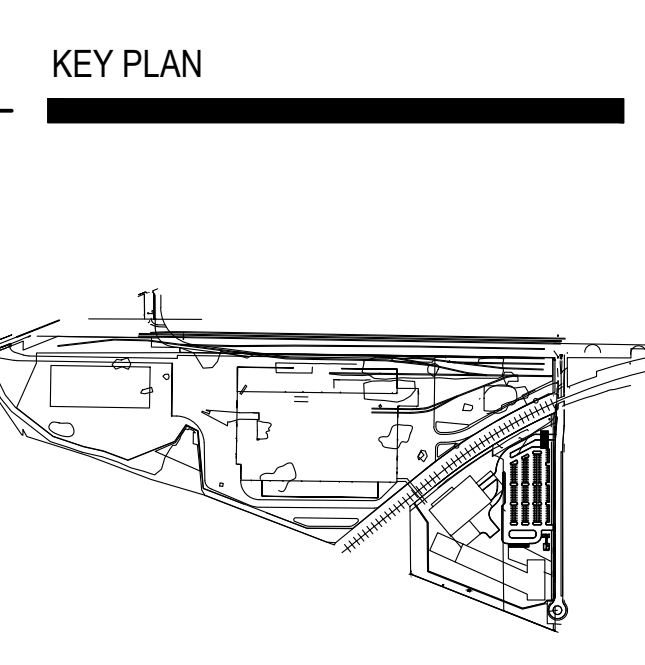


PROJECT INFORMATION
KOMATSU
 SOUTH HARBOR
 CAMPUS
 MILWAUKEE

MANUFACTURING
 BUILDING

ISSUANCE AND REVISIONS

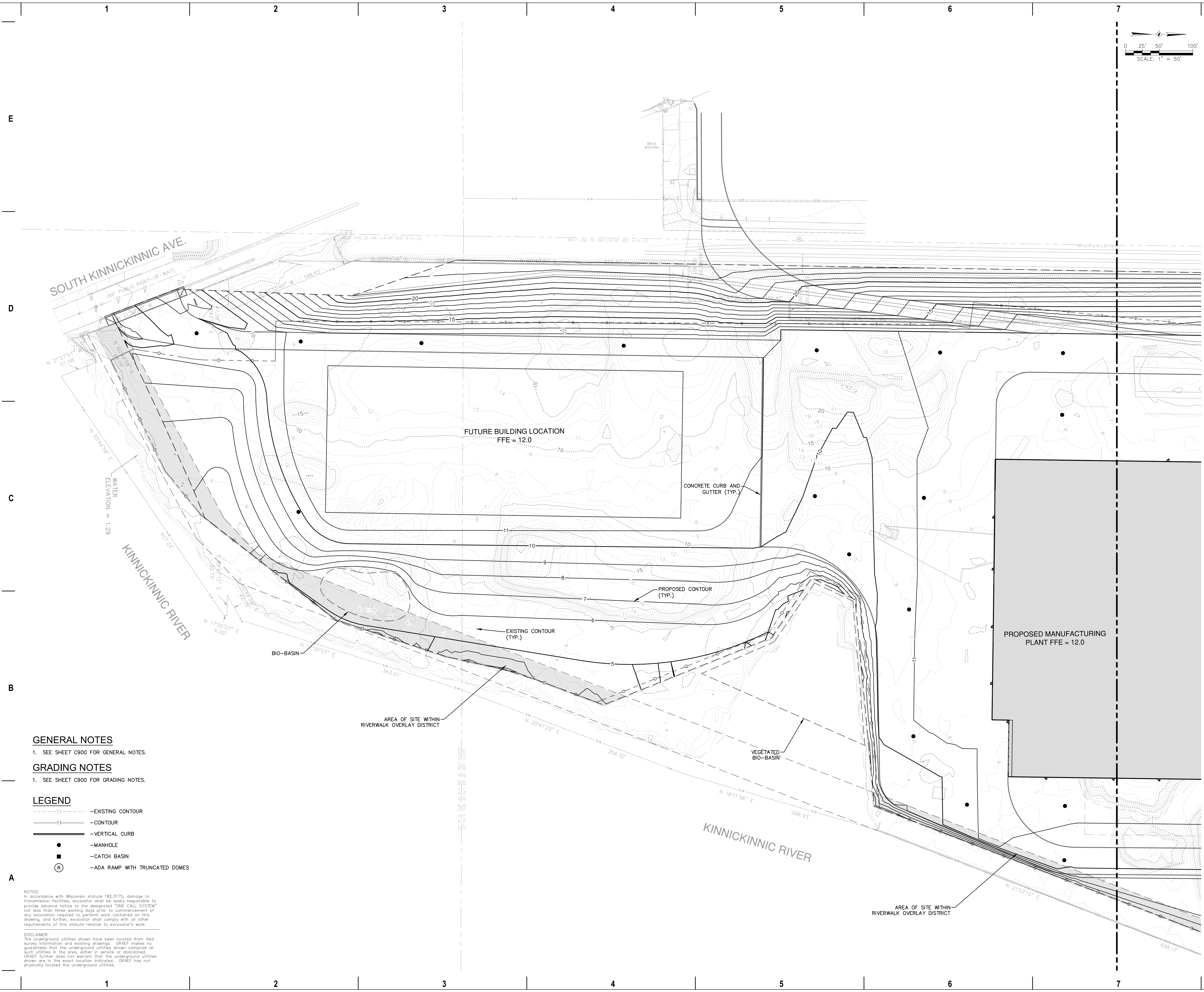
| DATE | DESCRIPTION |
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| 6/17/19 | CITY DIZ SUBMITTAL |
| 6/28/19 | SPROZ SUBMITTAL |



SHEET INFORMATION
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PROJECT MANAGER SJF
 PROJECT NUMBER 2019-0800.00

SITE GRADING PLAN
C300
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GENERAL NOTES

1. SEE SHEET C900 FOR GENERAL NOTES.

GRADING NOTES

1. SEE SHEET C900 FOR GRADING NOTES.

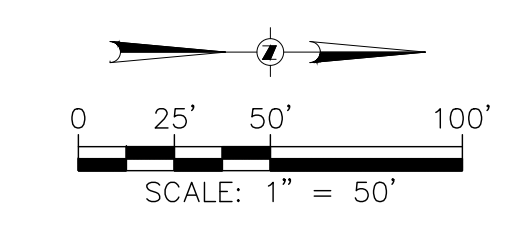
LEGEND

- -- EXISTING CONTOUR
- — CONTOUR
- — VERTICAL CURB
- — MANHOLE
- — CATCH BASIN
- Ⓡ — ADA RAMP WITH TRUNCATED DOMES

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milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
414.271.5350



milwaukee 125 South 84th Street, Suite 401
Milwaukee, WI 53214
414.259.1500

PROJECT INFORMATION



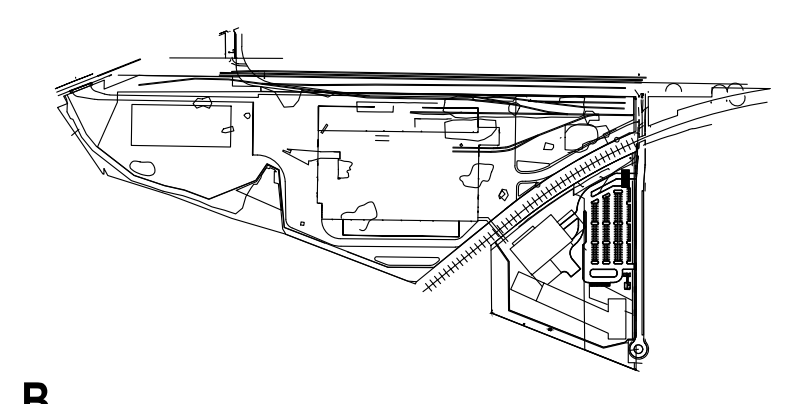
**SOUTH HARBOR
CAMPUS
MILWAUKEE**

**MANUFACTURING
BUILDING**

ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|---------|--------------------|
| 6/17/19 | CITY DIZ SUBMITTAL |
| 6/28/19 | SPROZ SUBMITTAL |

KEY PLAN



SHEET INFORMATION

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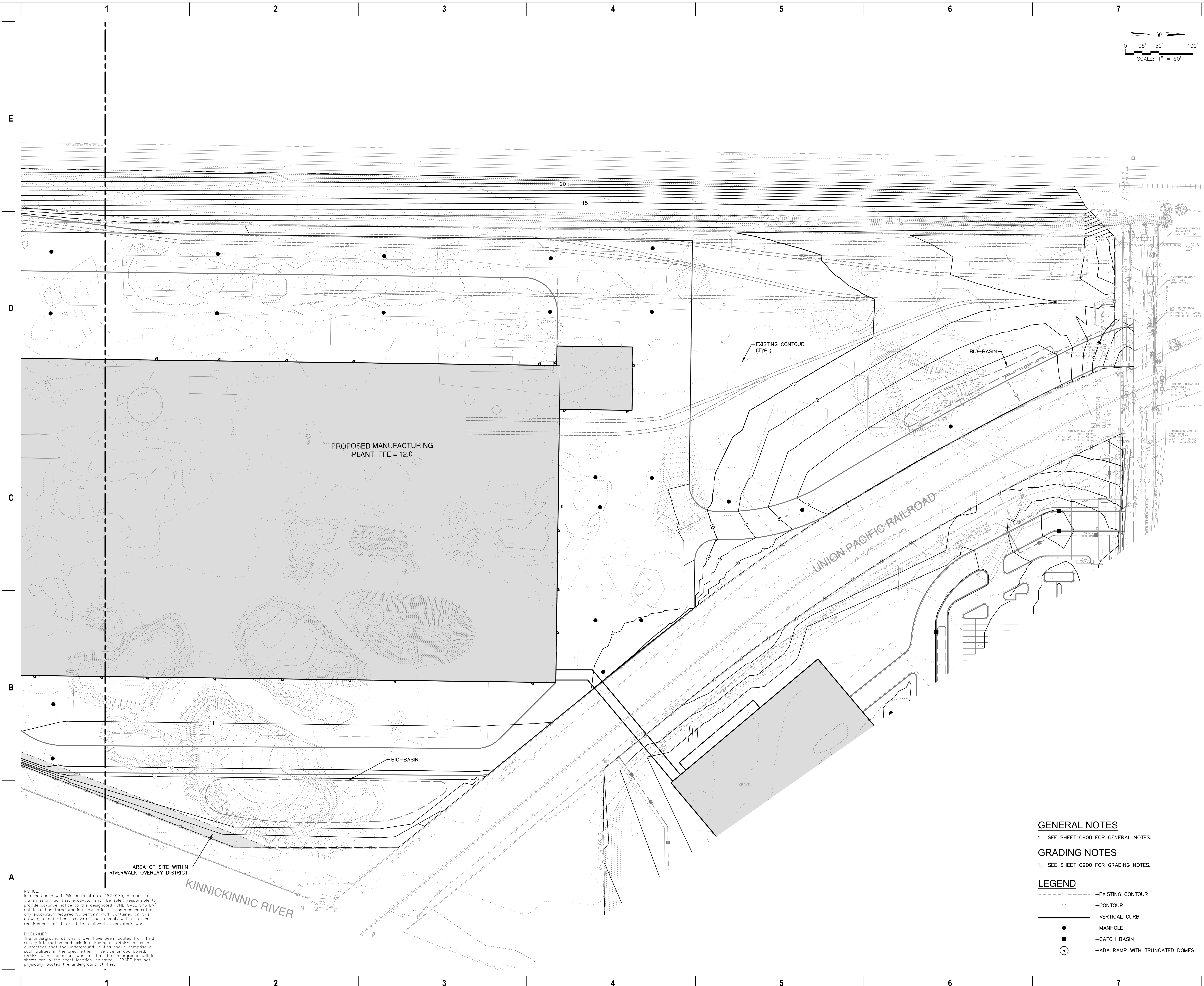
PROJECT MANAGER SJF

PROJECT NUMBER 2019-0800.00

SITE GRADING PLAN

C301

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GENERAL NOTES

1. SEE SHEET C900 FOR GENERAL NOTES.

GRADING NOTES

1. SEE SHEET C900 FOR GRADING NOTES.

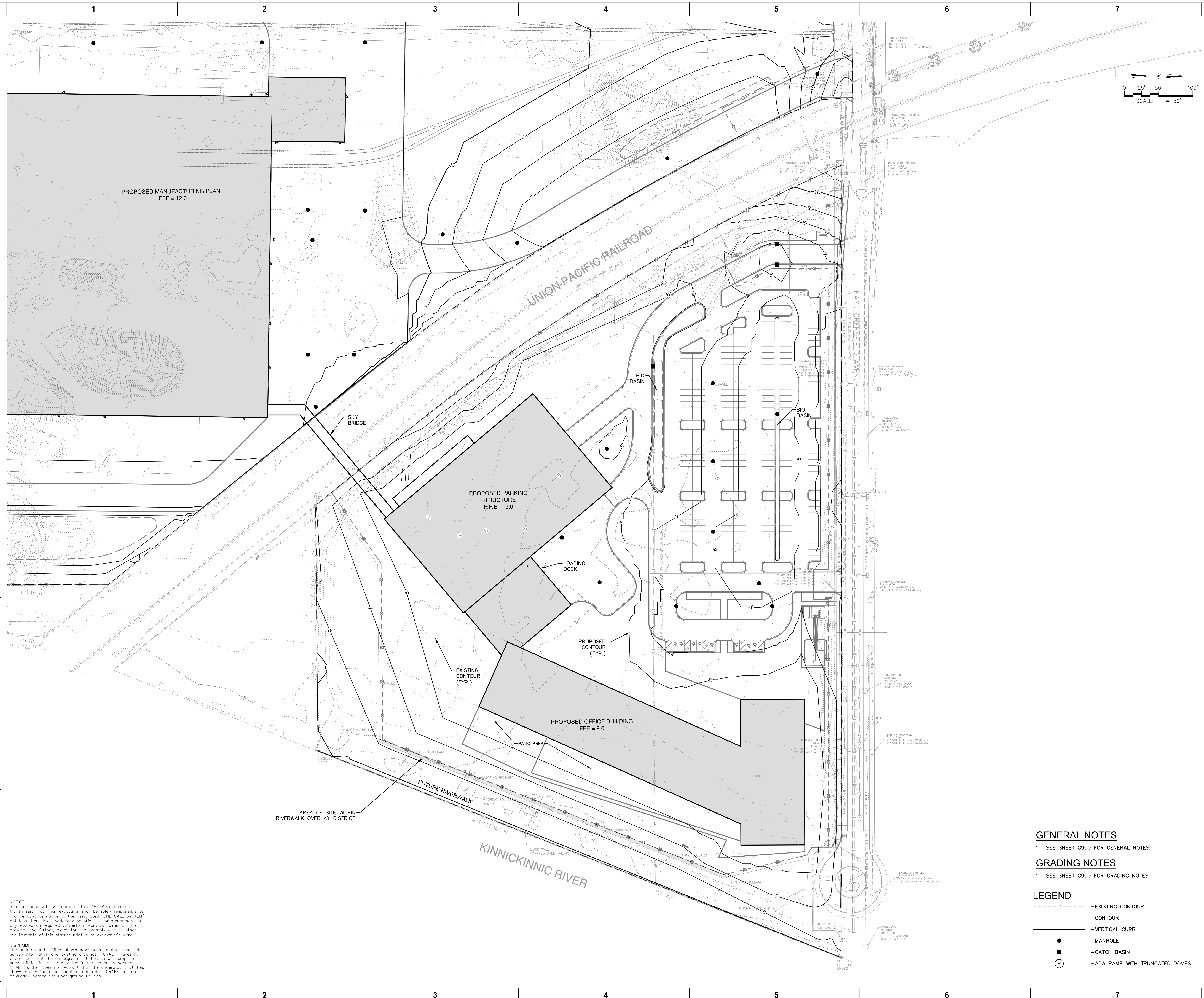
LEGEND

- -- -EXISTING CONTOUR
- -- -CONTOUR
- — — -VERTICAL CURB
- — — -MANHOLE
- — — -CATCH BASIN
- Ⓜ — — -ADA RAMP WITH TRUNCATED DOMES

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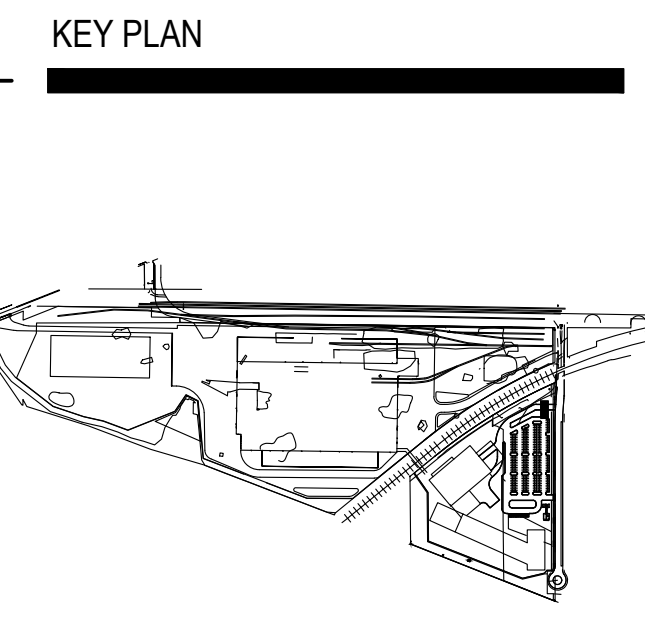


PROJECT INFORMATION
KOMATSU
 SOUTH HARBOR
 CAMPUS
 MILWAUKEE

OFFICE BUILDING

ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|---------|--------------------|
| 6/17/19 | CITY DIZ SUBMITTAL |
| 6/28/19 | SPROZ SUBMITTAL |



SHEET INFORMATION

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PROJECT MANAGER SJF
 PROJECT NUMBER 2019-0800.0

SITE GRADING PLAN
C302
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GENERAL NOTES
 1. SEE SHEET C900 FOR GENERAL NOTES.

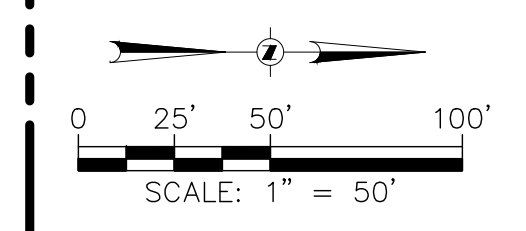
GRADING NOTES
 1. SEE SHEET C900 FOR GRADING NOTES.

- LEGEND**
- EXISTING CONTOUR
 - CONTOUR
 - VERTICAL CURB
 - MANHOLE
 - CATCH BASIN
 - ⊙ ADA RAMP WITH TRUNCATED DOMES

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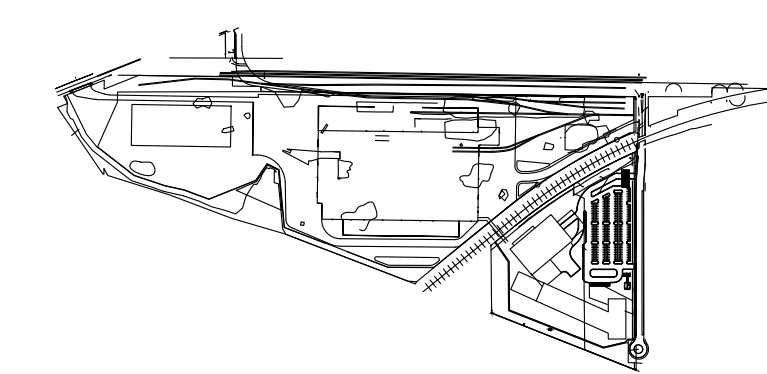
PROJECT INFORMATION
KOMATSU
 SOUTH HARBOR
 CAMPUS
 MILWAUKEE

MANUFACTURING
 BUILDING

ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|---------|--------------------|
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| 6/28/19 | SPROZ SUBMITTAL |

KEY PLAN

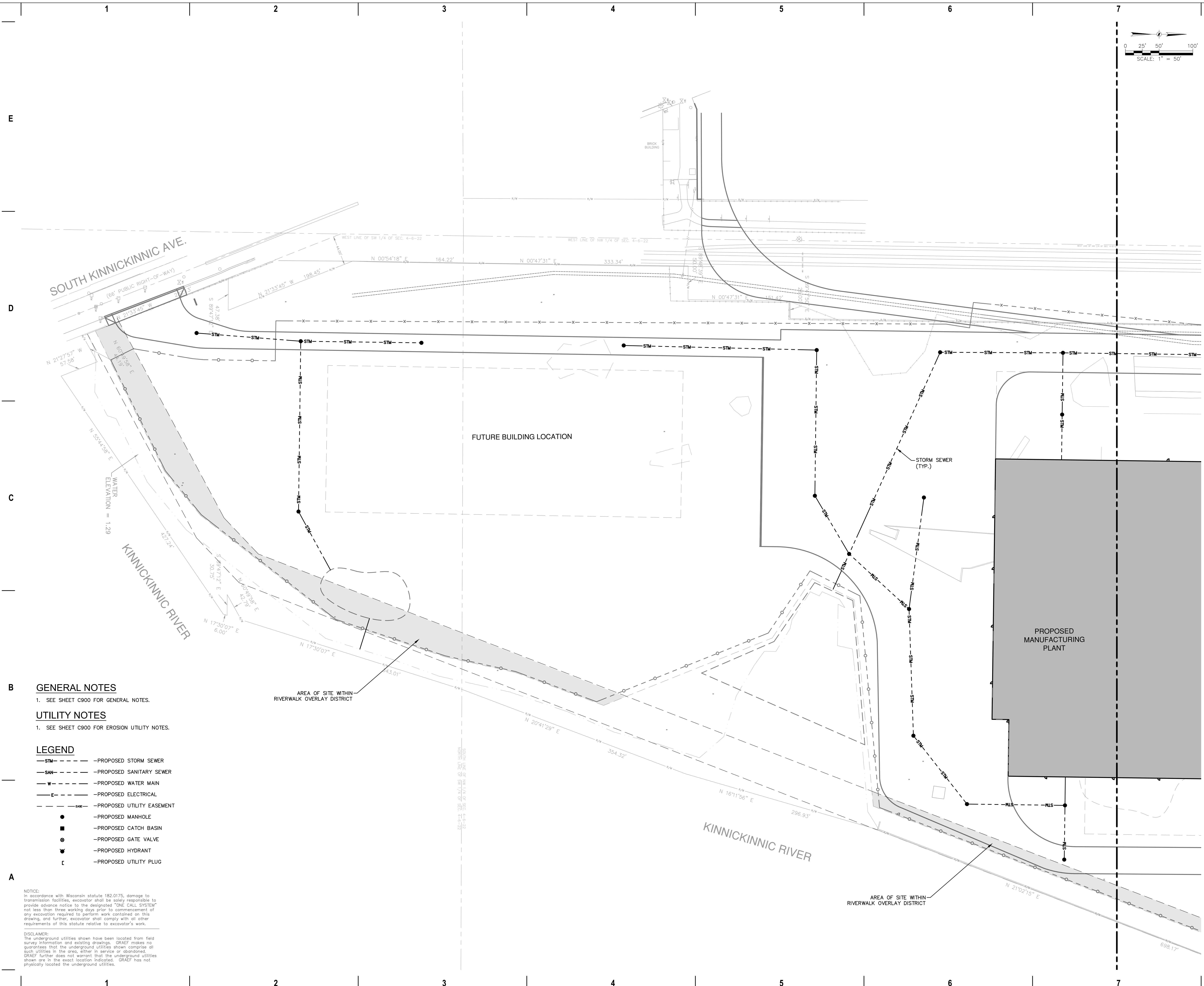


SHEET INFORMATION

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PROJECT MANAGER SJF
 PROJECT NUMBER 2019-0800.00

SITE UTILITY PLAN
C400
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GENERAL NOTES

1. SEE SHEET C900 FOR GENERAL NOTES.

UTILITY NOTES

1. SEE SHEET C900 FOR EROSION UTILITY NOTES.

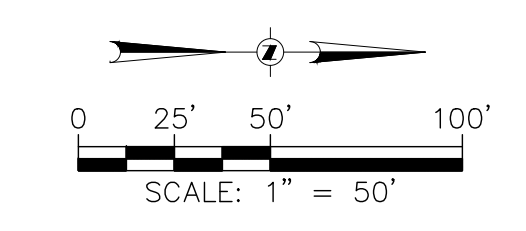
LEGEND

- STM— —PROPOSED STORM SEWER
- SAN— —PROPOSED SANITARY SEWER
- W— —PROPOSED WATER MAIN
- E— —PROPOSED ELECTRICAL
- EAS— —PROPOSED UTILITY EASEMENT
- —PROPOSED MANHOLE
- —PROPOSED CATCH BASIN
- —PROPOSED GATE VALVE
- ⊕ —PROPOSED HYDRANT
- ⌊ —PROPOSED UTILITY PLUG

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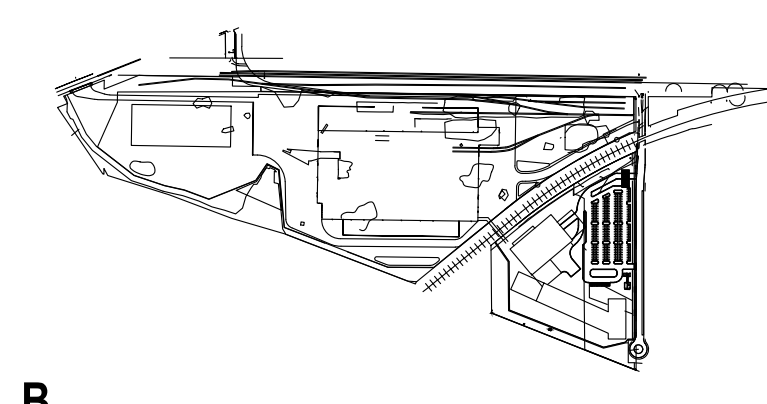
PROJECT INFORMATION
KOMATSU
 SOUTH HARBOR
 CAMPUS
 MILWAUKEE

MANUFACTURING
 BUILDING

ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
|---------|--------------------|
| 6/17/19 | CITY DIZ SUBMITTAL |
| 6/28/19 | SPROZ SUBMITTAL |

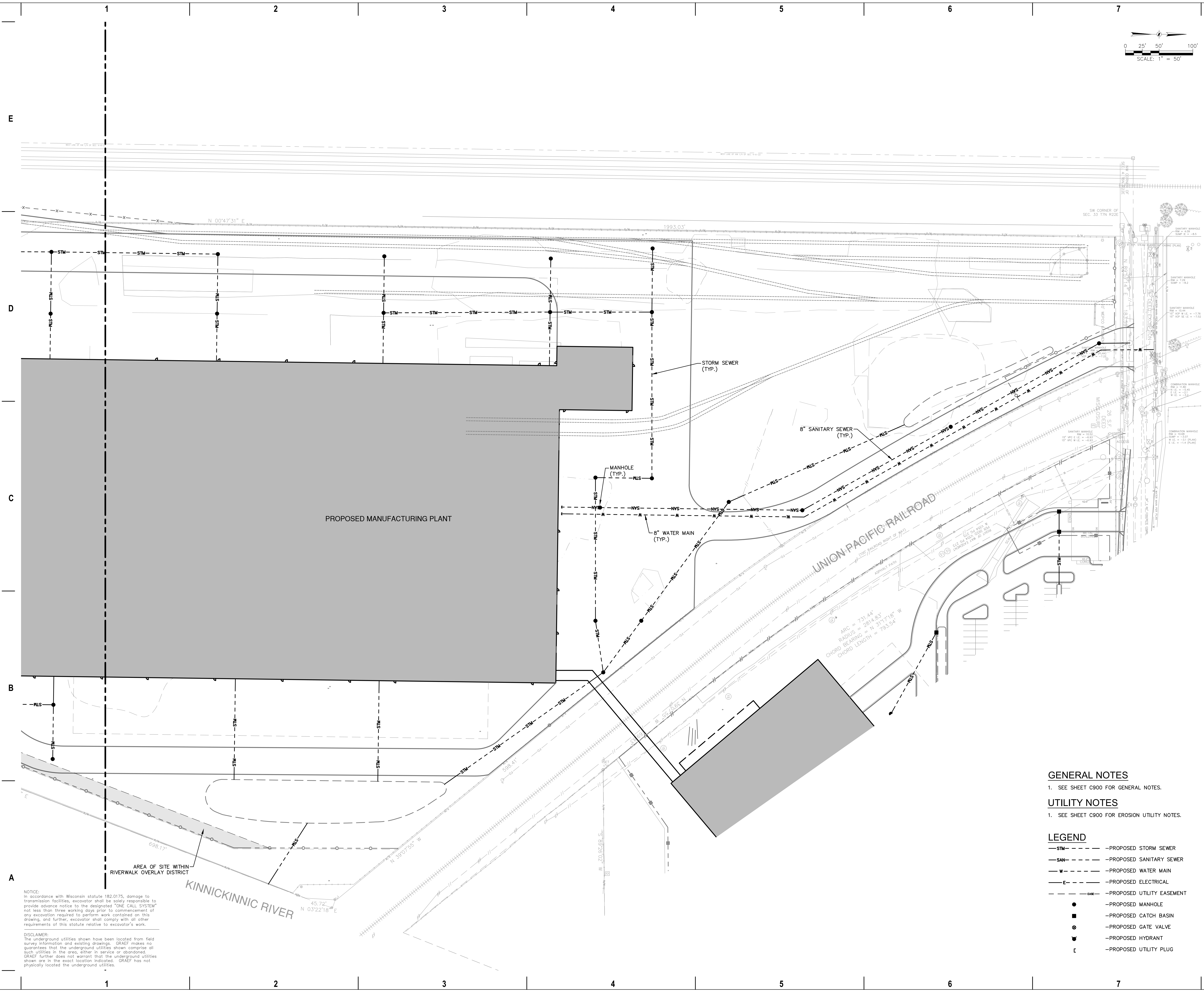
KEY PLAN



SHEET INFORMATION
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PROJECT MANAGER SJF
 PROJECT NUMBER 2019-0800.00

SITE UTILITY PLAN
C401
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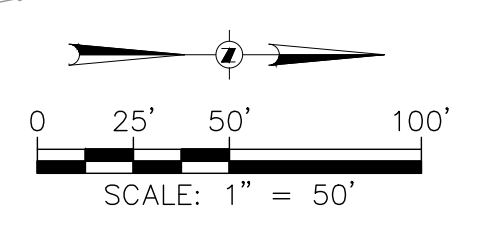
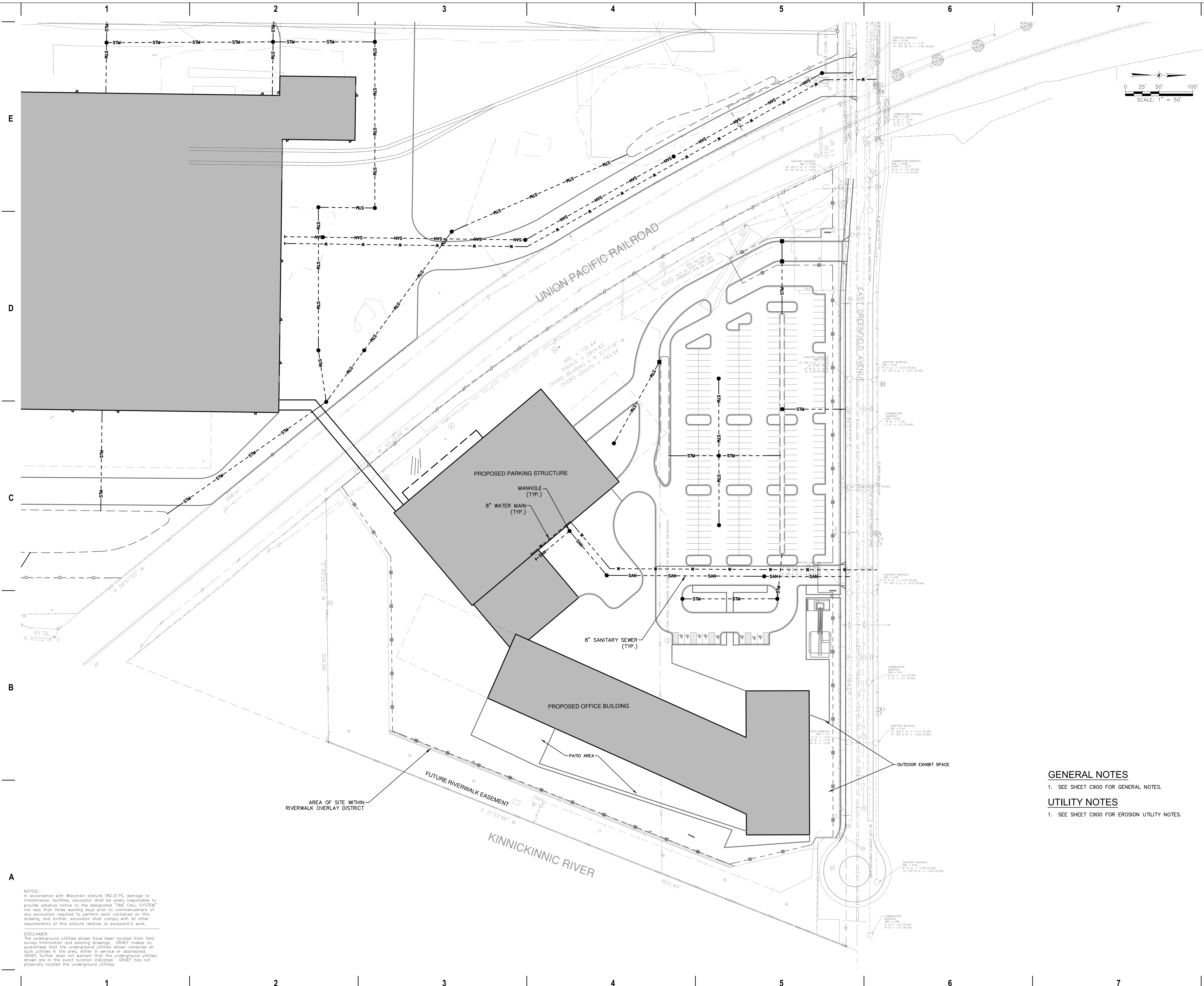


- GENERAL NOTES**
 1. SEE SHEET C900 FOR GENERAL NOTES.
- UTILITY NOTES**
 1. SEE SHEET C900 FOR EROSION UTILITY NOTES.
- LEGEND**
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 - SAN— —PROPOSED SANITARY SEWER
 - W— —PROPOSED WATER MAIN
 - E— —PROPOSED ELECTRICAL
 - EASE— —PROPOSED UTILITY EASEMENT
 - —PROPOSED MANHOLE
 - —PROPOSED CATCH BASIN
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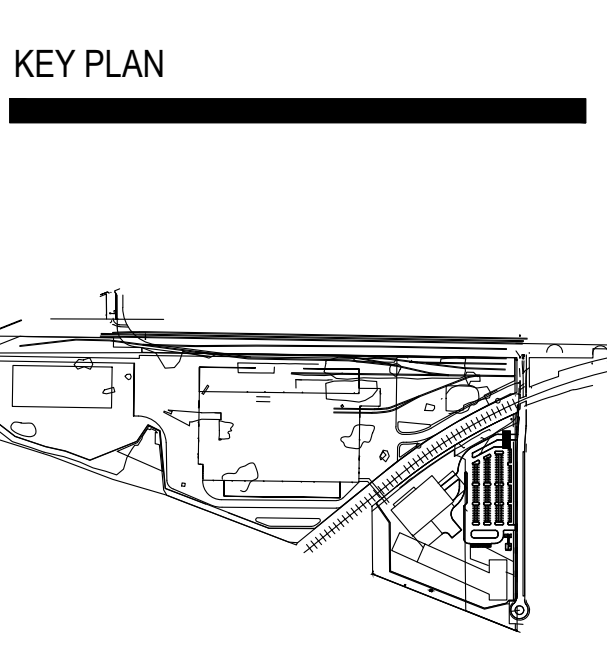


PROJECT INFORMATION
KOMATSU
 SOUTH HARBOR
 CAMPUS
 MILWAUKEE

OFFICE BUILDING

ISSUANCE AND REVISIONS

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| 6/17/19 | CITY DIZ SUBMITTAL |
| 6/28/19 | SPROZ SUBMITTAL |



GENERAL NOTES
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UTILITY NOTES
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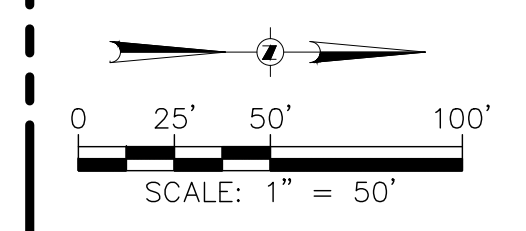
PROJECT MANAGER SJF
 PROJECT NUMBER 2019-0800.00

SITE UTILITY PLAN
C402
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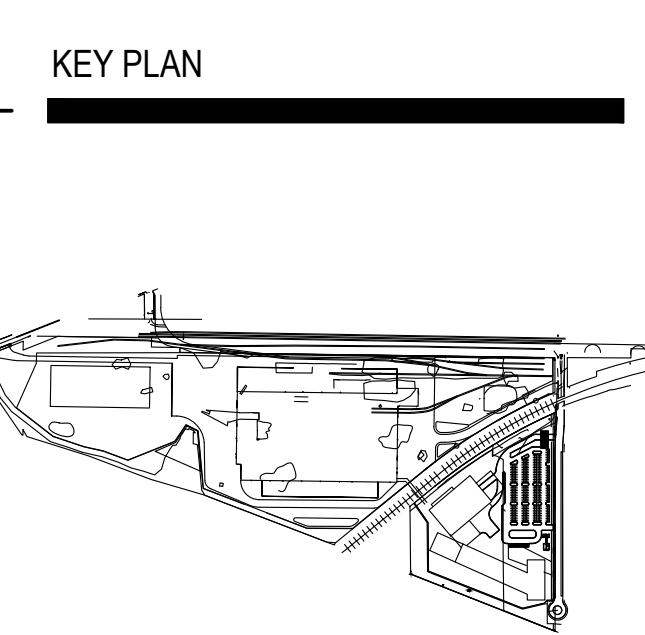
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 414.259.1500

PROJECT INFORMATION
KOMATSU
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 CAMPUS
 MILWAUKEE

MANUFACTURING
 BUILDING

ISSUANCE AND REVISIONS

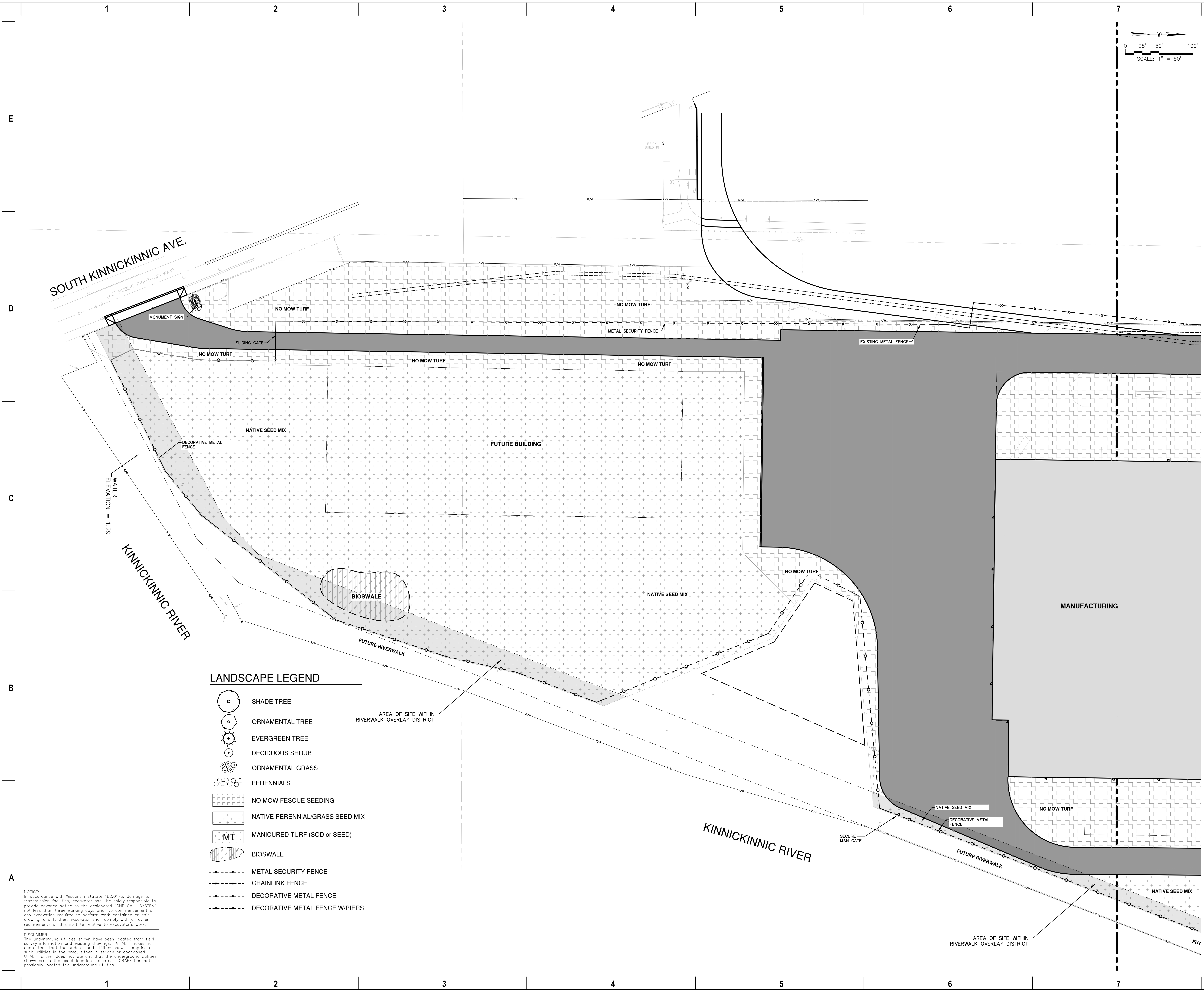
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| 6/28/19 | SPROZ SUBMITTAL |



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PROJECT MANAGER SJF
 PROJECT NUMBER 2019-0800.00

DETAILED
 LANDSCAPE PLAN
L100
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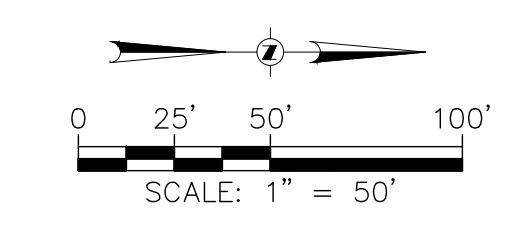


- LANDSCAPE LEGEND**
- SHADE TREE
 - ORNAMENTAL TREE
 - EVERGREEN TREE
 - DECIDUOUS SHRUB
 - ORNAMENTAL GRASS
 - PERENNIALS
 - NO MOW FESCUE SEEDING
 - NATIVE PERENNIAL/GRASS SEED MIX
 - MANICURED TURF (SOD or SEED)
 - BIOSWALE
 - METAL SECURITY FENCE
 - CHAINLINK FENCE
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414.259.1500

PROJECT INFORMATION



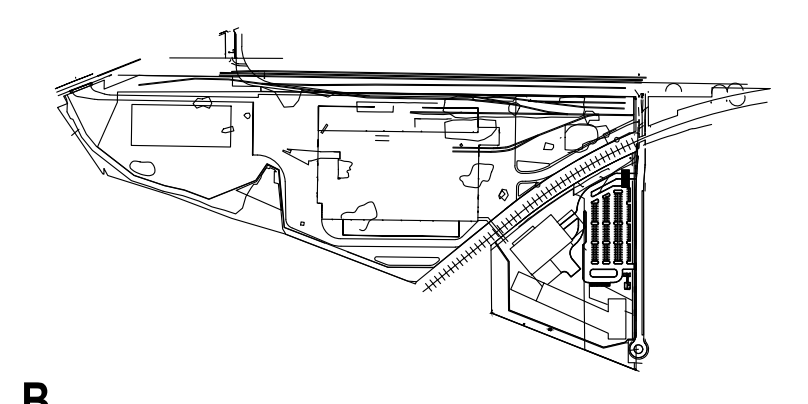
**SOUTH HARBOR
CAMPUS
MILWAUKEE**

MANUFACTURING
BUILDING

ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
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| 6/28/19 | SPROZ SUBMITTAL |

KEY PLAN



LANDSCAPE LEGEND

- SHADE TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- ORNAMENTAL GRASS
- PERENNIALS
- NO MOW FESCUE SEEDING
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SHEET INFORMATION

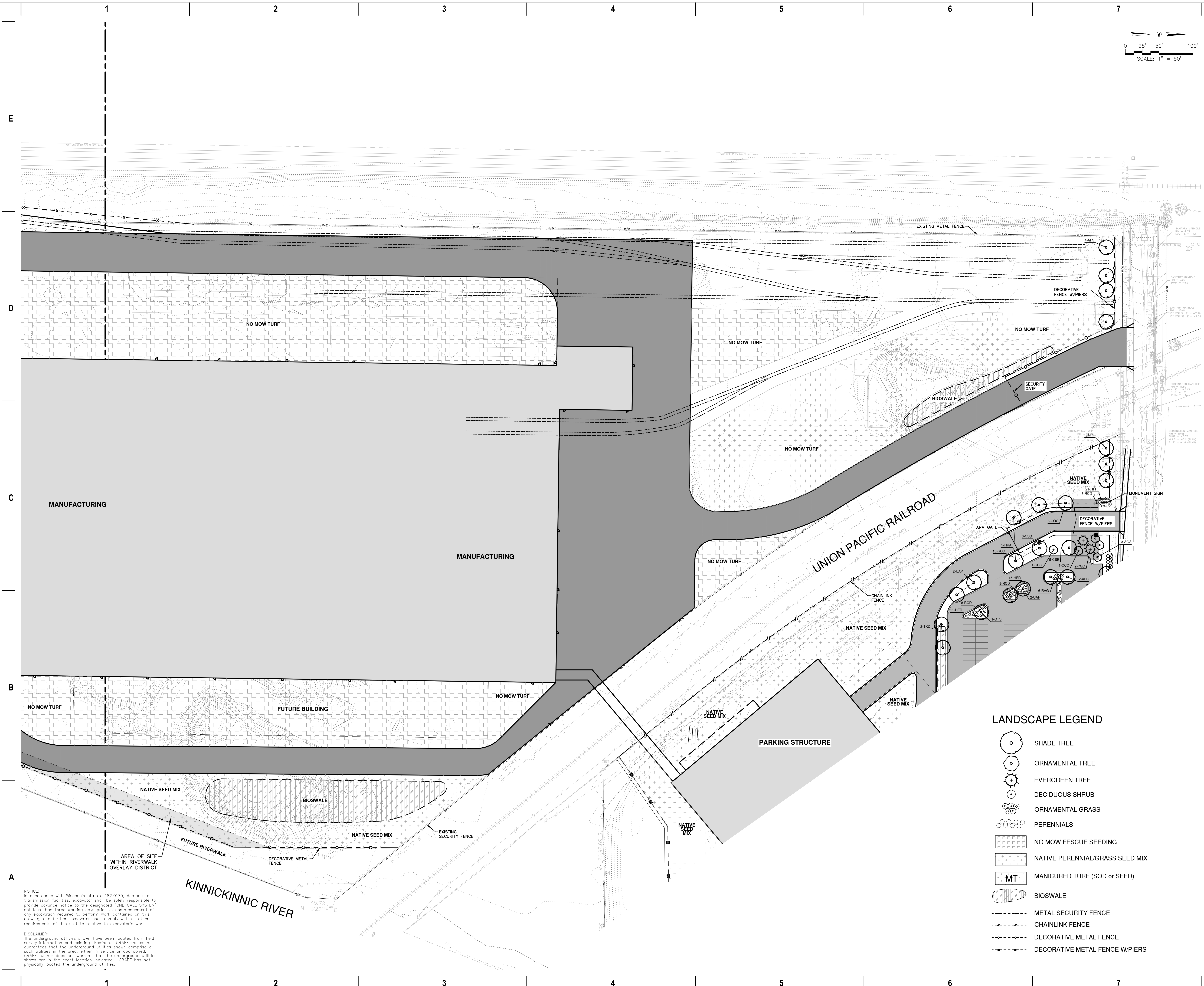
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PROJECT MANAGER SJF
PROJECT NUMBER 2019-0800.00

DETAILED
LANDSCAPE PLAN

L101

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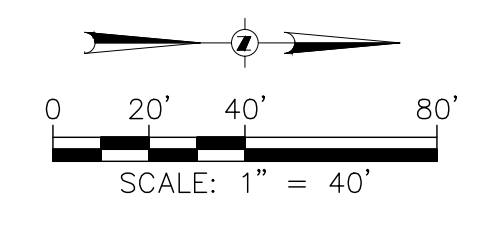
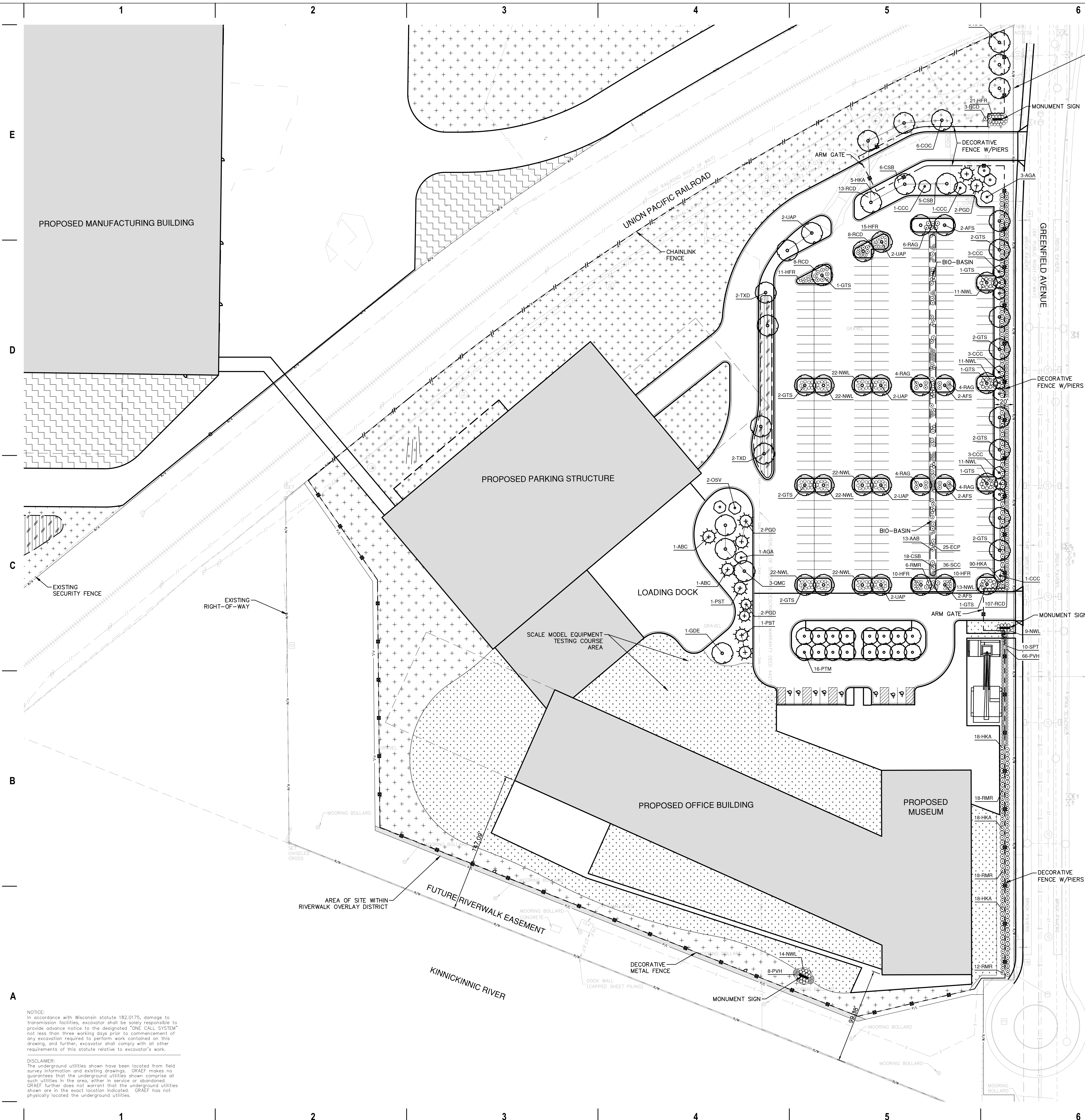


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LANDSCAPE CALCULATIONS

STREET FRONTAGE:
 LANDSCAPE REQUIREMENTS:
 (1) CANOPY TREE PER 25'
 TWO ROWS OF SHRUBS, 4' O.C. MAX EACH ROW
 PROVIDED STREET FRONTAGE LANDSCAPE:
 (18) CANOPY TREES (2.5" CAL.)
 TWO ROWS OF SHRUBS, 4' O.C. EACH ROW

PARKING LOT:
 205 PARKING SPACES
 LANDSCAPE REQUIREMENTS:
 (2) TREES & (2) SHRUBS PER 8 PARKING SPACES
 REQUIRED PARKING LOT LANDSCAPE:
 (52) CANOPY TREES
 (52) SHRUBS
 PROVIDED PARKING LOT LANDSCAPE:
 (53) CANOPY TREES
 (75) SHRUBS

LANDSCAPE LEGEND

- SHADE TREE
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- EVERGREEN TREE
- DECIDUOUS SHRUB
- ORNAMENTAL GRASS
- PERENNIALS
- NO MOW FESCUE SEEDING
- NATIVE PERENNIAL/GRASS SEED MIX
- MT MANICURED TURF (SOD or SEED)
- BIOSWALE
- METAL SECURITY FENCE
- CHAINLINK FENCE
- DECORATIVE METAL FENCE
- DECORATIVE METAL FENCE W/PIERS



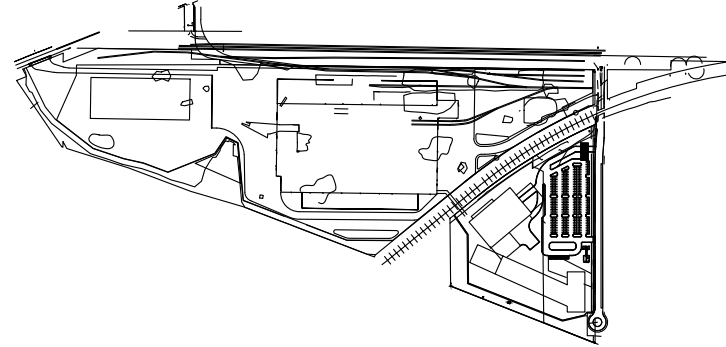
PROJECT INFORMATION
KOMATSU
 SOUTH HARBOR
 CAMPUS
 MILWAUKEE

OFFICE BUILDING

ISSUANCE AND REVISIONS

| DATE | DESCRIPTION |
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KEY PLAN



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PROJECT MANAGER SJF
 PROJECT NUMBER 2019-0800.00

**OFFICE BUILDING
 PLANTING PLAN**

L102

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 In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER:
 The underground utilities shown have been located from field survey information and existing drawings. GRAEF makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. GRAEF further does not warrant that the underground utilities shown are in the exact location indicated. GRAEF has not physically located the underground utilities.



milwaukee 333 East Chicago Street Milwaukee, Wisconsin 53202 414.271.5330



milwaukee 125 South 84th Street, Suite 401 Milwaukee, WI 53214 414.259.1500

PROJECT INFORMATION



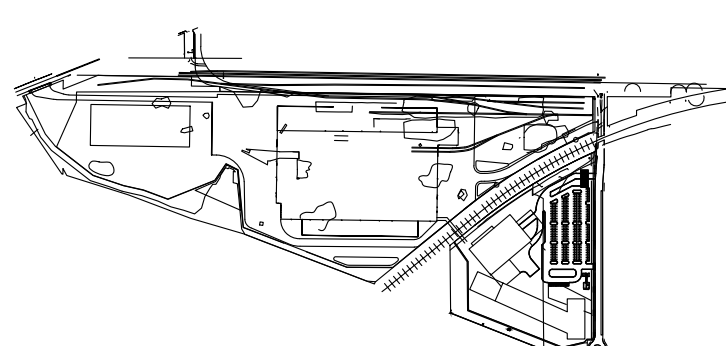
SOUTH HARBOR CAMPUS MILWAUKEE

MANUFACTURING BUILDING

ISSUANCE AND REVISIONS

Table with 2 columns: DATE, DESCRIPTION. Rows: 6/17/19 CITY DIZ SUBMITTAL, 6/28/19 SPROZ SUBMITTAL

KEY PLAN



SHEET INFORMATION

PROGRESS DOCUMENTS NOT FOR CONSTRUCTION

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and shall not be used for final bidding or construction-related purposes.

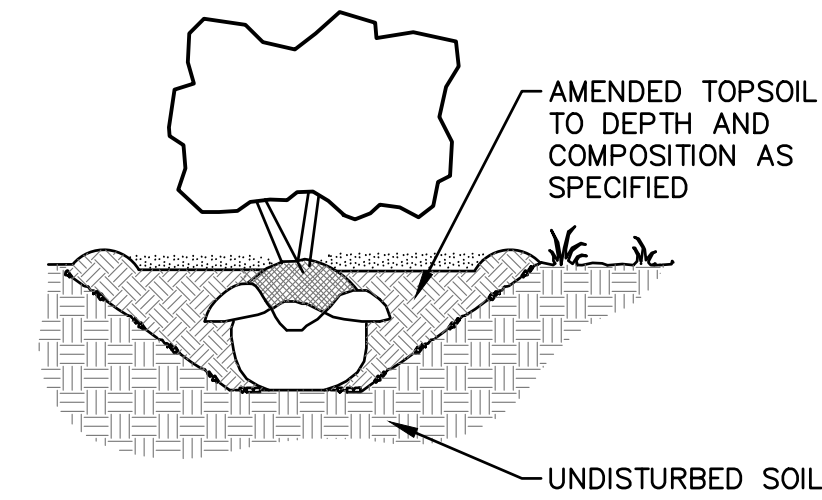
PROJECT MANAGER SJF

PROJECT NUMBER 2019-0800.00

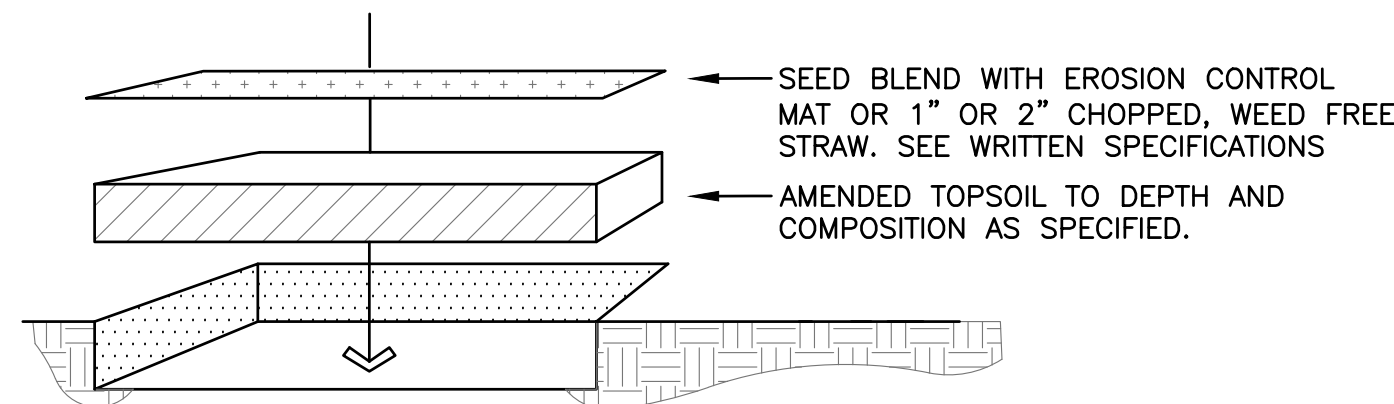
LANDSCAPE DETAILS, NOTES & PLANT LIST

L900

- EXCAVATE PLANTING PIT TWICE THE DIAMETER OF BALL & EQUAL IN DEPTH
-LOOSEN SUBSOIL W/PICK TO ENSURE POROSITY
-PLACE PLANTING STOCK IN PLANTING PIT & FOOT TAMP
-SELECT BEST VIEWING ANGLE, LIFT STOCK BY BALL & PLACE IN PLANTING PIT
-UNWRAP TOP HALF OF ROOT BALL
-BACKFILL TO FINISHED GRADE WITH AMENDED TOPSOIL & TAMP
-FORM 3" SAUCER TO ENCIRCLE STOCK & FILL WITH 3" SHREDDED BARK MULCH
-WATER IMMEDIATELY & FREQUENTLY.
-PLANT SIZES SPECIFIED ARE MINIMUM ACCEPTABLE

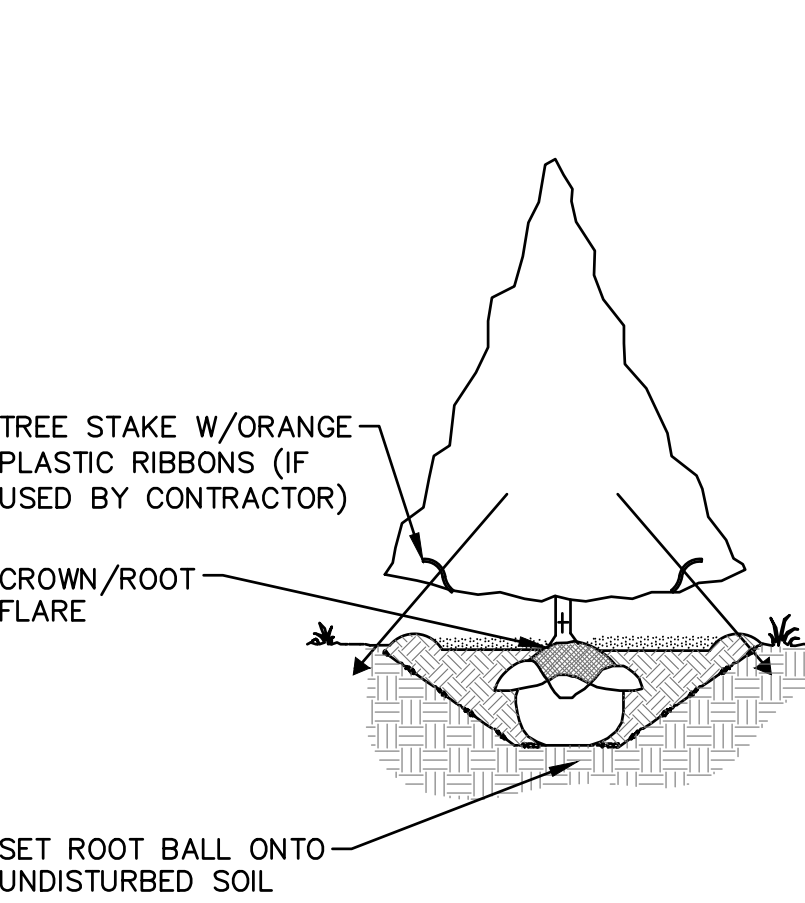


3 SHRUB PLANTING DETAIL



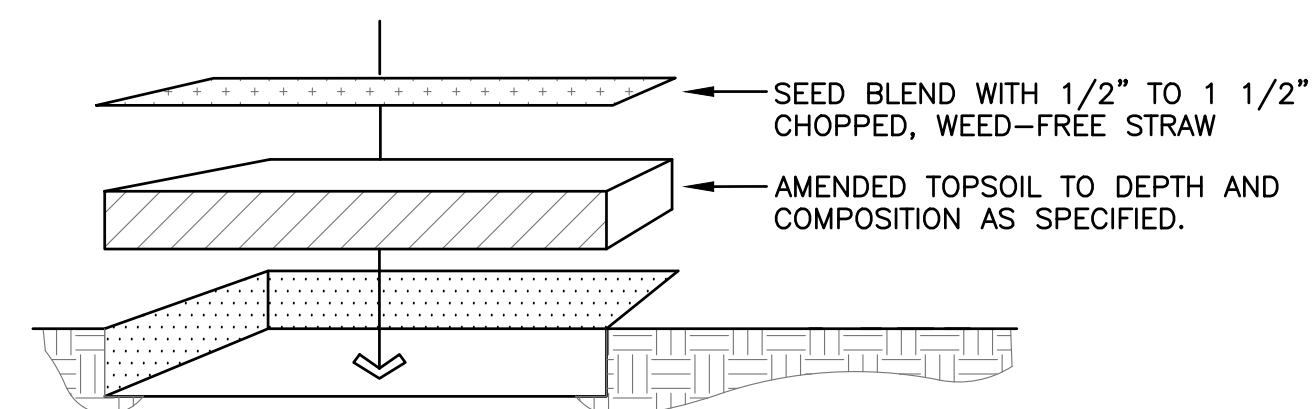
- TOPSOIL SHALL CONFORM TO PROPERTIES AS DESCRIBED IN WRITTEN SPECIFICATION.
-CONTRACTOR TO PROVIDE FINISHED TURF GRADE PER DRAWINGS WITH UNIFORM, NATURAL SLOPES PRIOR TO THE SOWING OF SEED.
-SEED BLEND & APPLICATION PROCEDURES ARE DESCRIBED IN WRITTEN SPECIFICATION.
-SEE LANDSCAPE PLAN FOR LOCATION OF VARIOUS SEED MIXES.
-CONTRACTOR SHALL PROVIDE SEED GERMINATION AND ESTABLISH VIGOROUS PLANT GROWTH AS DESCRIBED IN WRITTEN SPECIFICATION.
-CONTRACTOR SHALL PERFORM MAINTENANCE SERVICES IN ORDER TO PROVIDE ADEQUATE WEED CONTROL. SEE WRITTEN SPECIFICATION FOR DETAILED MAINTENANCE SERVICES AND DURATION.

6 PRAIRIE / WILDFLOWER SEEDING



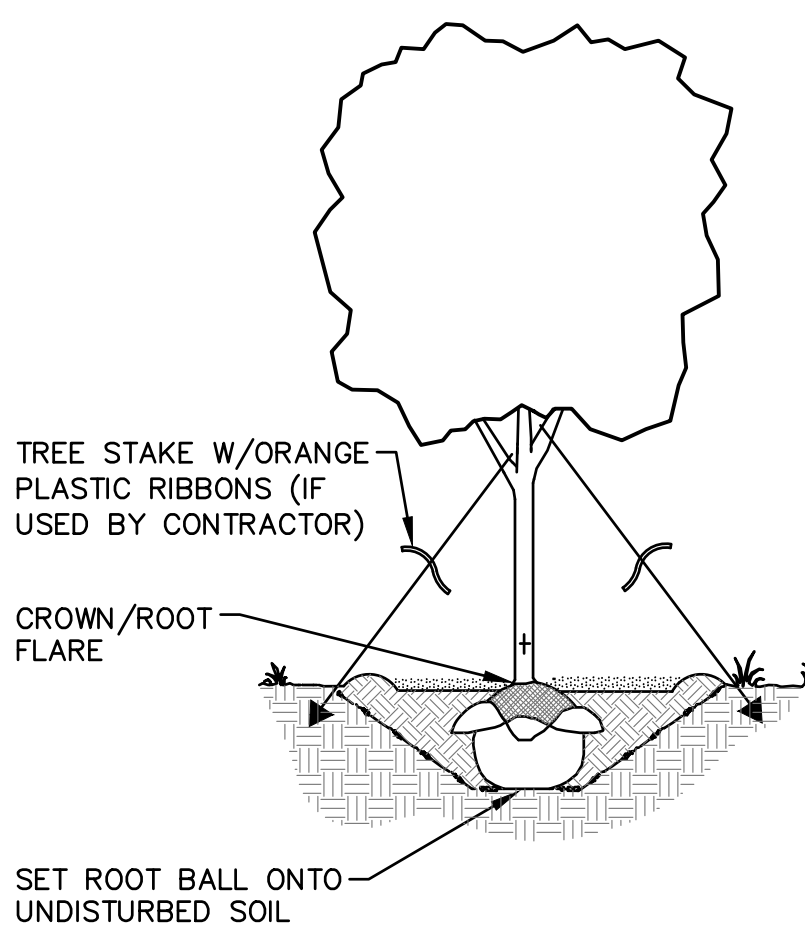
- PRIOR TO DIGGING TREE, MARK NORTH SIDE OF TRUNK. INSTALL TREE IN SAME ORIENTATION.
- EXCAVATE PLANTING PIT 3-TIMES THE DIA. & APPROXIMATELY THE HEIGHT OF ROOT BALL DEPTH. ROOT FLARE SHALL BE AT OR SLIGHTLY HIGHER THAN ADJACENT F.G.
- LOOSEN SUBSOIL W/PICK TO ENSURE POROSITY.
- SELECT BEST VIEWING ANGLE, LIFT STOCK BY BALL AND PLACE IN PLANTING PIT.
- CUT AND REMOVE ALL STRING AND WIRE AND UNWRAP TOP HALF OF ROOT BALL. BACKFILL PLANTING PIT WITH EXISTING SOIL UP TO BASE OF ROOT FLARE.
- PACK BACKFILL AROUND BASE OF ROOT BALL TO STABILIZE IT.
- BACKFILL REMAINDER OF PLANTING HOLE USING WATER PERIODICALLY TO REDUCE AIR POCKETS.
- FORM 3" HT. SAUCER IN 6"-0" DIAMETER AROUND TREE & FILL WITH 3" SHREDDED HARDWOOD BARK MULCH.
- KEEP MULCH 1-2 INCHES AWAY FROM TRUNK.
- WATER IMMEDIATELY & FREQUENTLY.
- PLANT SIZES SPECIFIED ARE MINIMUM ACCEPTABLE.

2 EVERGREEN PLANTING DETAIL



- TOPSOIL SHALL CONFORM TO PROPERTIES AS SPECIFIED.
-CONTRACTOR TO PROVIDE FINISHED TURF GRADE PER DRAWINGS WITH UNIFORM, NATURAL SLOPES PRIOR TO THE SOWING OF SEED. SEED BLEND & APPLICATION PROCEDURES ARE DESCRIBED IN WRITTEN SPECIFICATION.
-LANDSCAPE CONTRACTOR SHALL ESTABLISH VIGOROUS GROWTH AND MOW & MAINTAIN AS SPECIFIED.

5 MANICURED TURF SEEDING

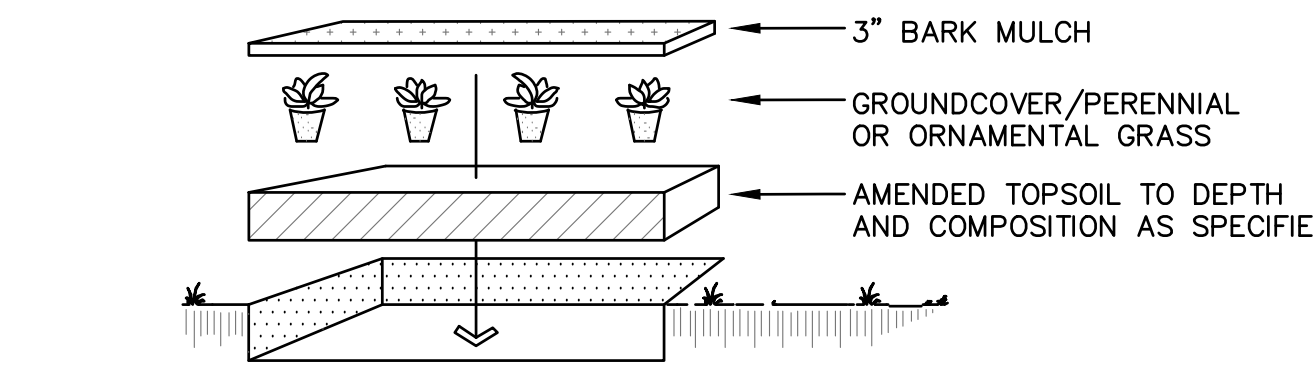


- PRIOR TO DIGGING TREE, MARK NORTH SIDE OF TRUNK. INSTALL TREE IN SAME ORIENTATION.
- EXCAVATE PLANTING PIT 3-TIMES THE DIA. & APPROXIMATELY THE HEIGHT OF ROOT BALL DEPTH. ROOT FLARE SHALL BE AT OR SLIGHTLY HIGHER THAN ADJACENT F.G.
- LOOSEN SUBSOIL W/PICK TO ENSURE POROSITY.
- SELECT BEST VIEWING ANGLE, LIFT STOCK BY BALL AND PLACE IN PLANTING PIT.
- CUT AND REMOVE ALL STRING AND WIRE AND UNWRAP TOP HALF OF ROOT BALL. BACKFILL PLANTING PIT WITH EXISTING SOIL UP TO BASE OF ROOT FLARE.
- PACK BACKFILL AROUND BASE OF ROOT BALL TO STABILIZE IT.
- BACKFILL REMAINDER OF PLANTING HOLE USING WATER PERIODICALLY TO REDUCE AIR POCKETS.
- FORM 3" HT. SAUCER IN 6"-0" DIAMETER AROUND TREE & FILL WITH 3" SHREDDED HARDWOOD BARK MULCH.
- KEEP MULCH 1-2 INCHES AWAY FROM TRUNK.
- WATER IMMEDIATELY & FREQUENTLY.
- PLANT SIZES SPECIFIED ARE MINIMUM ACCEPTABLE.

1 TREE PLANTING DETAIL

LANDSCAPING NOTES:

- 1. PLANT NAMES ARE ABBREVIATED ON THE DRAWINGS. SEE PLANT LIST FOR SYMBOLS, ABBREVIATIONS, BOTANICAL/Common NAMES, SIZES, ESTIMATED QUANTITIES (IF GIVEN) AND OTHER REMARKS.
2. PLANT MATERIALS ARE TO BE FURNISHED FREE OF PESTS OR PLANT DISEASES. PLANTS ARE SUBJECT TO OWNER'S ACCEPTANCE PRIOR TO INSTALLATION.
3. PLANT BEDS AND TREE PLANTING PITS ARE TO RECEIVE 3" DEEP LAYER OF SHREDDED HARDWOOD BARK MULCH.
4. FORM 72-INCH, OR AS OTHERWISE INDICATED, WATERING BASIN AROUND ALL TREES NOT INSTALLED IN PAVED AREAS.
5. MAINTAIN 72-INCH DIAMETER MINIMUM CLEAR SOIL AREA AROUND TREES IN MANICURED TURF AREAS. MULCH TREE RING WITH SPECIFIED DEPTH OF HARDWOOD BARK MULCH. SEE PLANTING DETAILS.
6. UNLESS OTHERWISE INDICATED, PLACE SHRUBS, PERENNIALS AND ORNAMENTAL GRASSES IN STRAIGHT ROWS, EQUALLY SPACED.
7. FOLLOWING TESTING & ANALYSIS OF TOPSOIL, INCORPORATION OF RECOMMENDED AMENDMENTS, AND TOPSOIL PLACEMENT, ALL PLANT BED AREAS SHALL RECEIVE AMENDED PLANTING SOIL FOR A TOTAL OF 18" NON-COMPACTED PLANTING SOIL.
8. SEPARATE PLANTING BEDS FROM ADJACENT TURF AREAS WITH ALUMINUM EDGING.
9. PLANT SUBSTITUTIONS WILL NOT BE PERMITTED UNLESS THE LANDSCAPE CONTRACTOR CAN DEMONSTRATE THE PLANTS ARE NOT AVAILABLE FROM NURSERY SOURCES LOCATED WITHIN 100 MILES FROM THE PROJECT SITE. ANY PROPOSED PLANT SUBSTITUTION WILL REQUIRE PRIOR REVIEW AND WRITTEN ACCEPTANCE BY THE LANDSCAPE ARCHITECT.



- LAYOUT PLANT MATERIAL AT SPACING AS SHOWN PER PLANT MATERIALS SCHEDULE
-HAND BROADCAST UNIFORM 3" HARDWOOD MULCH THROUGHOUT GROUNDCOVER / PERENNIAL / ORNAMENTAL GRASS BED.
-FLOOD IMMEDIATELY & WATER FREQUENTLY PER WRITTEN SPECIFICATIONS
-PLANT SIZES SPECIFIED ARE MINIMUM ACCEPTABLE

4 GROUND COVER / ORNAMENTAL GRASS / PERENNIAL PLANTING DETAIL

PLANT LIST

Table with columns: SHADE TREES, EVERGREEN TREES, ORNAMENTAL TREES, DECIDUOUS SHRUBS, PERENNIALS, ORNAMENTAL GRASSES & SEDGES. Each section includes Symbol, Botanical Name, Common Name, Size, Spacing, and Mature Size.