

11 pages total



# Certificate of Appropriateness

Milwaukee Historic Preservation Commission/200 E. Wells Street/Milwaukee, WI 53202/phone 414-286-5712/fax 414-286-3004

**Property** 135 W. WELLS ST. Germania Building  
**Description of work** Cornice repair and light roofing per conditions below and attached drawings.  
**Date issued** 1/13/2022 PTS ID 115233 COA: Cornice repairs

In accordance with the provisions of Section 320-21 (11) and (12) of the Milwaukee Code of Ordinances, the Milwaukee Historic Preservation Commission has issued a certificate of appropriateness for the work listed above. The work was found to be consistent with preservation guidelines. The following conditions apply to this certificate of appropriateness:

## **Masonry**

New mortar must match the original mortar in terms of color, texture, grain size, joint width, and joint finish/profile. The compressive strength of the repointing mortar shall be equal or less than the compressive strength of the original mortar and surrounding brick or stone. The replacement mortar shall contain approximately the same ingredient proportions of the original mortar. Mortar that is too hard is subject to premature failure and could damage the masonry. See the city's books *As Good As New* or *Good for Business*, Masonry Chapters, for more information. In most cases, this means a lime mortar with natural hydraulic cement rather than Portland cement. No joint of a width less than 3/8" may be cleaned of damaged/decomposed mortar with power disc grinders. No over-cutting of the joints is permitted. Remove decomposed mortar back into the wall 2.5 times the height of the joint before repointing. When installing new flashing at a masonry feature, the flashing must be stepped or cut into the mortar joints. The bricks may not be cut to install flashing at an angle.

New brick/stone/terra cotta must match as closely as possible the color texture, size, and finish of the original.

A sample panel of the masonry materials and their mortar must be reviewed and approved by HPC staff prior to general installation of the material. UNDER NO CIRCUMSTANCES SHALL UNPAINTED MASONRY BE PAINTED, BE GIVEN A WATERPROOFING TREATMENT, OR CLEANED BY ABRASIVE MEANS; THIS STATEMENT SUPERSEDES ANY OTHER WORDING IN THIS DOCUMENT INDICATING THE CONTRARY.

## **Masonry Cleaning**

Abrasive cleaning methods are prohibited on historic buildings by Wisconsin state law. Exceptions can only be granted in writing by the Wisconsin Historical Society. Chemical and power-washing are acceptable methods of cleaning that the city can approve. Pressure washing is to be conducted ONLY with fan tips with a spread of 15-50 degrees, maximum 800psi at the tip, flow rate less than 8gpm, and from a distance from the surface of a minimum of 12" inches. PSI of 400-600 is typically adequate, though it may take more time and more passes than higher pressures.

All work must be done in a craftsman-like manner, and must be completed within one year of the date this certificate was issued. Staff must approve any changes or additions to this certificate before work begins. Work that is not completed in accordance with this certificate may be subject to correction orders or citations. If you require technical assistance, please contact [hpc@milwaukee.gov](mailto:hpc@milwaukee.gov).

If permits are required, you are responsible for obtaining them from the Milwaukee Development Center. If you have questions about permit requirements, please consult the Development Center's web site, [www.milwaukee.gov/build](http://www.milwaukee.gov/build), or call (414) 286-8210.



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City of Milwaukee Historic Preservation Staff

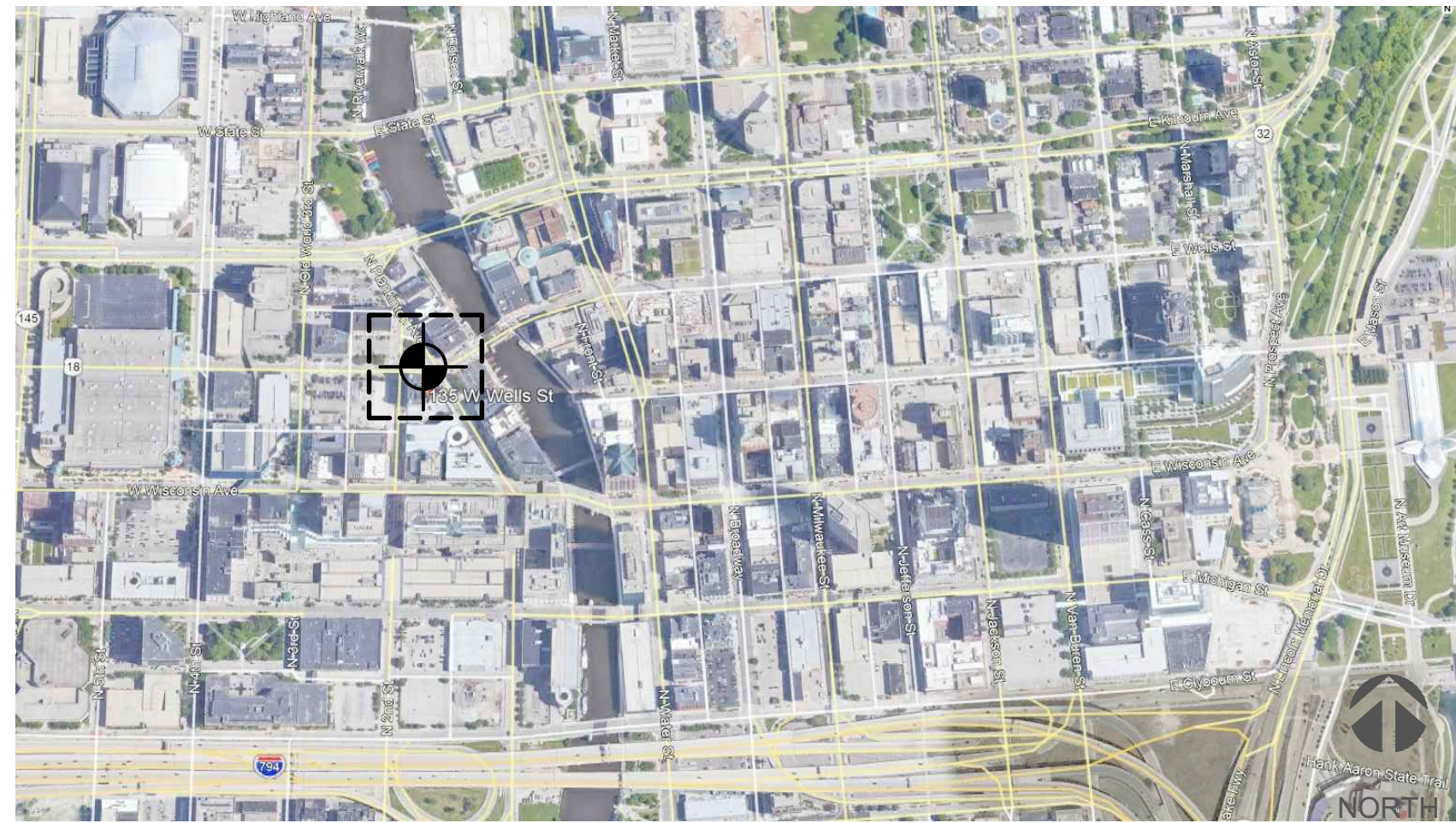
Copies to: Development Center, Ald. Robert Bauman, Contractor

# CORNICE REPAIRS

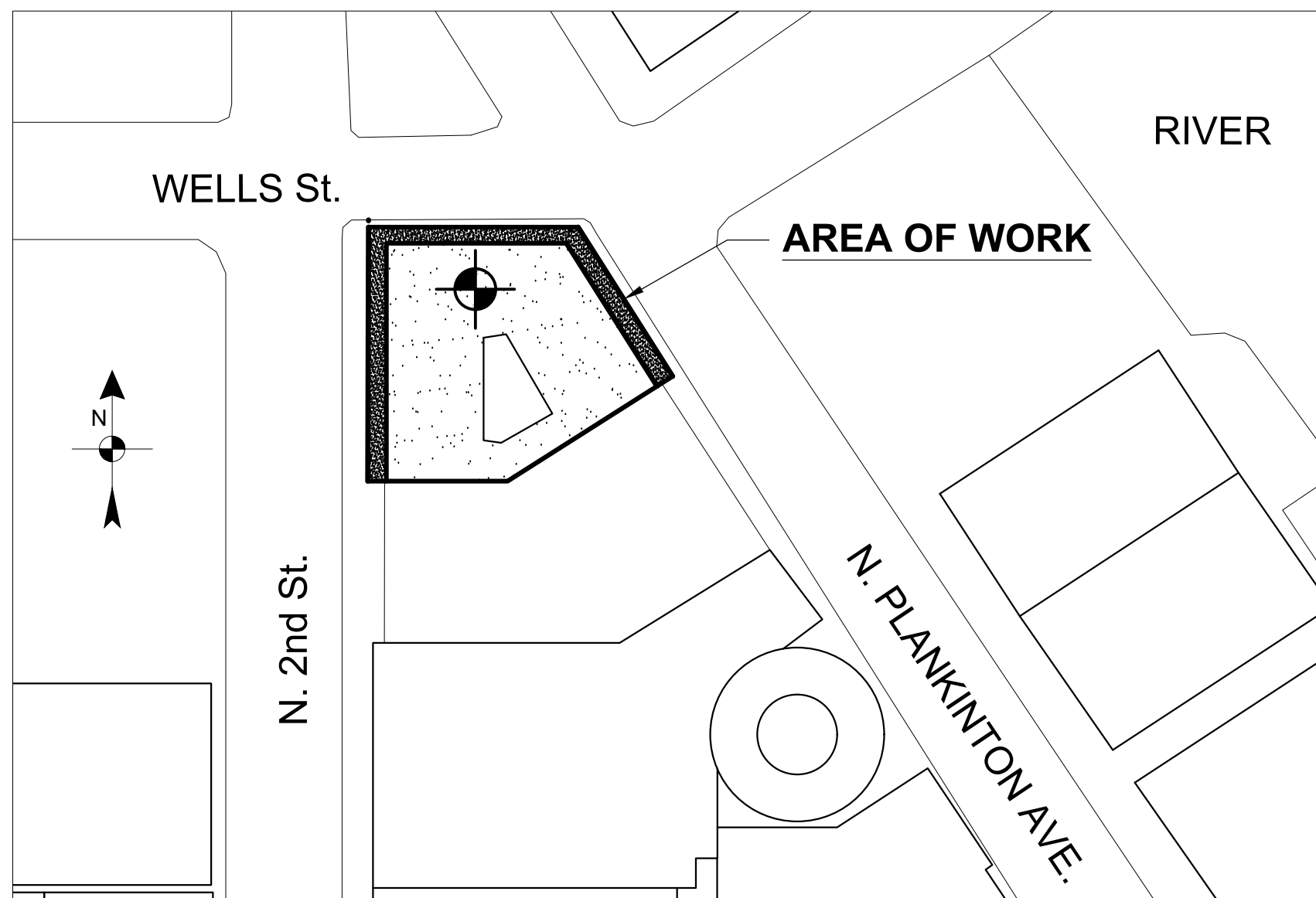
## GERMANIA BUILDING

### 135 W. WELLS STREET - MILWAUKEE, WI 53202

#### PROJECT LOCATION



#### SITE MAP



#### PROJECT INFO

##### PLANS PREPARED FOR:

CARDINAL CAPITAL MANAGEMENT  
901 S 70th St.  
WEST ALLIS, WI 53214

#### DRAWING INDEX

SHT	SHEET TITLE	PHASE	BY
T-1	TITLE SHEET		
S-000	GENERAL NOTES		
S-001	SITE PLAN		
S-100	SAMPLE ELEVATION		
S-101	ROOF PLAN - DEMOLITION		
S-200	ROOF PLAN - NEW CONSTRUCTION		
S-300	NUMBER RETAINED FOR FUTURE USE		
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S-401	DETAILS		
S-402	DETAILS		

#### PROJECT DATA

ALL REPAIRS ARE TO BE PERFORMED ACCORDING TO THESE PLANS AND AS REQUIRED BY WISCONSIN BUILDING CODE

APPLICABLE CODES: 2015 INTERNATIONAL EXISTING BUILDING CODE WITH WISCONSIN MODIFICATIONS

DATE OF CONSTRUCTION: 1896

HISTORIC STATUS: NATIONAL REGISTER OF HISTORIC PLACES, LISTED 1983

BUILDING USE: MIXED - RESIDENTIAL / COMMERCIAL

#### SCOPE OF WORK\*

- REMOVE AND REPLACE ROOF AND TERRA COTTA BOOK TILE SUBSTRATE ON ALL THREE SECTIONS OF 8TH LEVEL CORNICE AND ROOF SCOPE.
- REMOVE AND REPLACE / RESTORE STEEL STRAPS WITHIN ACCESSIBLE PORTIONS OF TERRA COTTA CONSTRUCTION OF CORNICE.
- MISCELLANEOUS TERRA COTTA REPAIRS / SECUREMENT AS DIRECTED BY A/E.
- MISCELLANEOUS TUCKPOINTING IN CAULKED, ERODED MORTAR JOINTS
- SURFACE CLEAN ALL STAINED PORTIONS OF CORNICE AND IMMEDIATELY ADJACENT ACCESSIBLE PORTIONS OF FAÇADE.
- SEE GENERAL NOTES FOR INSTALLATION PROCEDURES AND SAMPLE TRIALS, MOCK-UPS, AND TESTING REQUIRED.
- IF INTERNAL CORNICE MATERIALS ARE FOUND TO BE WET, ADDITIONAL TIME / PROCESSES FOR DRYING MAY BE REQUIRED. PROJECT WORK DURING FALL / WINTER MONTHS MAY COMPLICATE THIS PROCESS.

UNIT PRICES - FOR POTENTIAL ADDITIONAL WORK NOT ALREADY ILLUSTRATED ON THESE DRAWINGS. (SEE EXAMPLE DETAILS AT END OF THIS SET):

- |   |         |
|---|---------|
| 1. INSTALLATION OF 16" HELICAL TIES         | EA.     |
| 2. TERRA COTTA PATCH                        | SQ. FT. |
| 3. TERRA COTTA CRACK REPAIR                 | LN. FT. |
| 4. ISOLATED BRICK REBUILDING                | SQ. FT. |
| 5. ROUT OUT AND TUCK POINTING MORTAR JOINTS | LN. FT. |

-SCOPE OF WORK FOCUSED ON CORNICE AND ADJACENT AREAS ONLY. WORK ON PEDIMENT AND PARAPET WALLS ACCESSIBLE FROM ROOF NOT INCLUDED IN THIS SET OF DRAWINGS.  
-IF INTERNAL CORNICE MATERIALS ARE FOUND TO BE WET, ADDITIONAL TIME / PROCESSES FOR DRYING MAY BE REQUIRED. PROJECT WORK DURING FALL/WINTER MONTHS MAY COMPLICATE THIS PROCESS.

#### GENERAL NOTES

- ILLUSTRATED DIMENSIONS ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS AND CONDITIONS TO BE VERIFIED BY CONTRACTOR
- ANY OTHER WORK NOT NOTED IN THESE PLANS IS TO BE DESIGNED BY OTHERS.
- ANY DISCREPANCIES / UNFORESEEN CONDITIONS TO BE BROUGHT TO ATTENTION OF OWNER/ENGINEER PRIOR TO EXECUTION OF WORK.
- THE DESIGNER MAINTAINS NO RESPONSIBILITY FOR THE GENERAL CONTRACTOR, SUBCONTRACTORS, OR THOSE WORKING IN SUCH CAPACITIES, FOR THE METHODS USED, OR LACK THEREOF, IN THE EXECUTION OF THE WORK AND SAFETY PROCEDURES AND PRECAUTIONS TAKEN AT THE PROJECT SITE.
- CONTRACTORS SHALL ASSUME FULL RESPONSIBILITY - UNRELIEVED BY REVIEW OF SHOP DRAWINGS NOR BY SUPERVISION OR PERIODIC OBSERVATION OF CONSTRUCTION FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS - FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE AND BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS FOR FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING AND SCAFFOLDING OF THE CARIOUS TRADES, FOR SAFE CONDITIONS ON THE JOB SITE, AND FOR THE PROTECTION OF THE PEOPLE AND PROPERTY AT THE JOB SITE.
- THE INFORMATION CONTAINED ON THE DRAWINGS IS IN ITSELF INCOMPLETE, AND VOID UNLESS USED IN CONJUNCTION WITH ALL THE SPECIFICATIONS, TRADE PRACTICES, OR APPLICABLE STANDARDS, CODES, ETC., INCORPORATE THEREIN BY REFERENCE, OF WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE BY SIGNING THE CONTRACT.
- ALL STATE, LOCAL AND OSHA SAFETY CODES SHALL BE A PART OF THESE PLANS, AND IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO SEE THAT ALL PARTIES THAT WORK AT OR VISIT THE JOB SITE COMPLY WITH SAME.
- IN NO CASE SHALL STRUCTURAL ALTERATIONS OR WORK AFFECTING A STRUCTURAL MEMBER BE MADE, UNLESS APPROVED BY ENGINEER.
- PROVIDE TEMPORARY BRACING AS REQUIRED BY OSHA, THE AISC "CODE OF STANDARD PRACTICE", AND ANY CORRESPONDING GOVERNING MATERIAL CODE REQUIREMENTS.
- HVAC, ELECTRICAL, AND OTHER EQUIPMENT & ACCESSORIES RELOCATIONS AND DESIGNS BY OTHERS.
- RETRIEVAL OF REQUIRED PERMITS TO BE COMPLETED BY OTHERS.

#### TYPICAL HATCH PATTERNS

	UNDISTURBED SOIL / COMPACTED FILL		CONCRETE		ALUMINUM
	GRAVEL		LOAD BEARING WOOD FRAMED WALL		BRASS OR BRONZE
	SAND		CONCRETE MASONRY UNIT		WOOD FRAMING
	CLAY		BRICK		WOOD BLOCKING
	BAR GRATING		GROUT / MORTAR		RIGID INSULATION
	STEEL		BATT INSULATION		

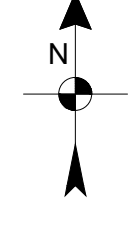
#### ABBREVIATIONS

&	AND	E.F.	EACH FACE	O.C.	ON CENTER
A.B.	ANCHOR BOLT	E.W.	EACH WAY	O.H.	OPPOSITE HAND
ALT.	ALTERNATE	EX.	EXISTING	OPNG.	OPENING
ARCH.	ARCHITECT	FDN.	FOUNDATION	PL	PLATE
@	AT	F.F.	FINISHED FLOOR	P.S.F.	POUNDS PER SQUARE FOOT
BLDG.	BUILDING	FLR.	FLOOR	P.T.	PRESSURE TREATED
BM.	BEAM	FTG.	FOOTING	REINF.	REINFORCING
BOT.	BOTTOM	GA.	GAUGE	R.O.	ROUGH OPENING
BRG.	BEARING	GALV.	GALVANIZED	SCH.	SCHEDULE
BRDG.	BRIDGING	HDR.	HEADER	SIM.	SIMILAR
BYD.	BEYOND	HGR.	HANGER	S.L.	STEEL LINE
C.J.	CONSTRUCTION JOINT	HORIZ.	HORIZONTAL	STAGG.	STAGGERED
CL.	(t) CENTERLINE	HT.	HEIGHT	STD.	STANDARD
CLR.	CLEAR	I.D.	INSIDE DIAMETER	STIFF.	STIFFENER
CMU	CONCRETE MASONRY UNIT	JST.	JOIST	THK.	THICK
COL.	COLUMN	LG.	LONG	THRU.	THROUGH
CONC.	CONCRETE	L.L.	LIVE LOAD	T.B.R.	TO BE REMOVED
CTR.	CENTER	LLH	LONG LEG HORIZONTAL	T.O.S.	TOP OF STEEL
DBL.	DOUBLE	LLV	LONG LEG VERTICAL	T.O.W.	TOP OF WALL
DIA (Ø)	DIAMETER	L.W.C.	LIGHT WEIGHT CONCRETE	TYP.	TYPICAL
DIAPH.	DIAPHRAGM	MAX.	MAXIMUM	U.N.O.	UNLESS NOTED OTHERWISE
D.L.	DEAD LOAD	MECH.	MECHANICAL	VERT.	VERTICAL
DWLS.	DOWELS	MIN.	MINIMUM	V.I.F.	VERIFY IN FIELD
EA.	EACH	NO (#)	NUMBER	W/	WITH
EL.	ELEVATION	N.T.S.	NOT TO SCALE	W.W.F.	WELDED WIRE FABRIC

#### SCOPE OF DRAWINGS

THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF ARCHITECTURAL DESIGN INTENT, THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL SYSTEMS. THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR FULL PERFORMANCE AND COMPLETION OF THE REQUIREMENTS OF THE CONTRACT. ON THE BASIS OF GENERAL SCOPE INDICATED OR DESCRIBED, THE TRADE CONTRACTORS SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK INTENDED.





W. WELLS St.

E. WELLS St.

N. 2nd St.

N. PLANKINTON AVE.

PARKING LOT UNDER  
DIFFERENT OWNERSHIP

1  
S100

AREA OF WORK - 3 SIDES TYPICAL  
8th LEVEL CORNICE AND SURROUNDING FACADE  
  
NOTE: HOLLOW SIDEWALK BELOW  
BUILDING TO REMAIN OCCUPIED DURING PROJECT.  
CONTRACTOR TO COORDINATE ACCESS PROTECTION WITH OWNERSHIP.  
CONTRACTOR RESPONSIBLE TO ACCOMMODATE SITE CONDITIONS INCLUDING  
BUT NOT LIMITED TO HOLLOW SIDE WALKS AND POWER LINES.

1  
S-001 SITE PLAN  
SCALE: N.T.S.



REVISION	BY	CHK	DATE	DESCRIPTION

STAMP/STATUS:

BID SET

SITE PLAN

CORNICE REPAIRS  
GERMANIA BUILDING

135 W. WELLS STREET - MILWAUKEE, WI 53201

PROJECT NUMBER:  
21EP10152  
SHT SIZE: 24X36 (D)  
DRN BY: EV  
CHK BY: AG  
DATE: 11/16/21

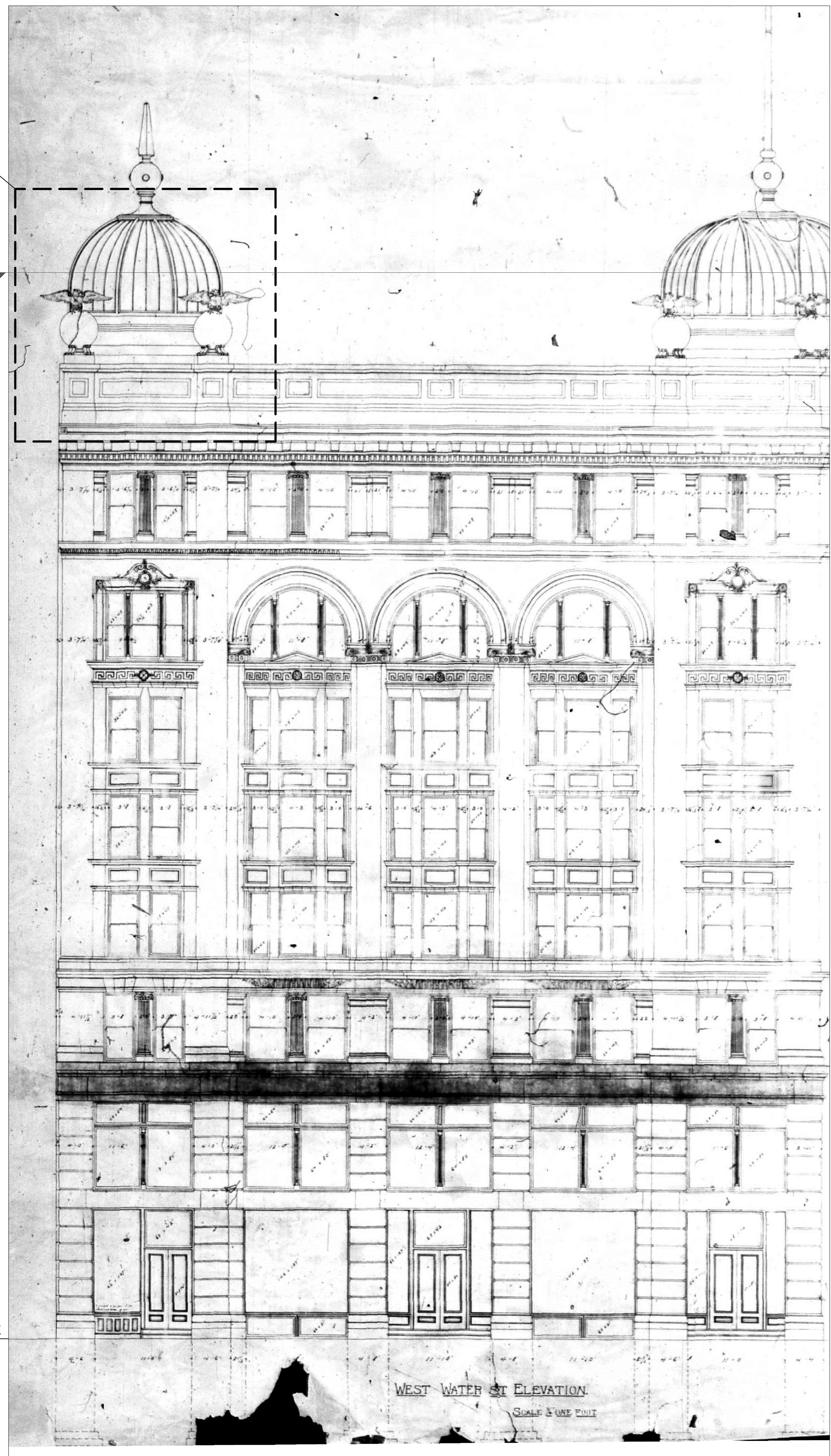
SHEET  
S-001

DISCLAIMER: THIS DRAWING CONTAINS INFORMATION WHICH IS CONFIDENTIAL AND PROPRIETARY, AND MUST BE KEPT CONFIDENTIAL AND NOT BE DISCLOSED, IN WHOLE OR IN PART, TO ANYONE WITHOUT PRIOR WRITTEN AUTHORIZATION OF RCL ENGINEERING GROUP. BY ACCESSING THIS DOCUMENT YOU AGREE TO KEEP CONFIDENTIAL ALL THE INFORMATION DISCLOSED IN THE FILE AND RELATED MATERIALS.

2  
S-100

1  
S-101

1  
S-200



1  
S-100

**EXISTING PARTIAL EAST ELEVATION**  
SCALE: N.T.S.

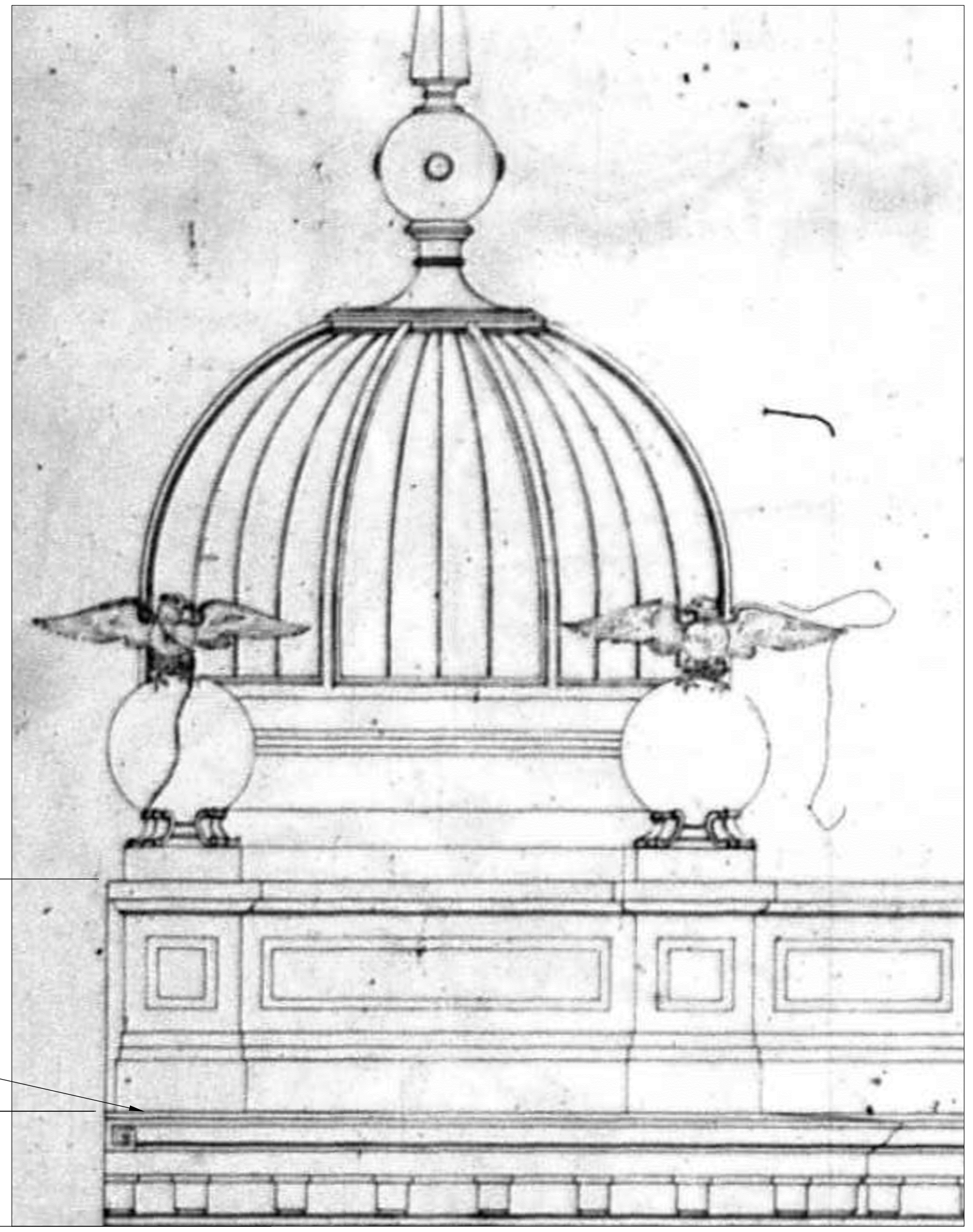
FOCUS AREA OF WORK - WEST/NORTH / EAST SIDES OF BUILDING

3  
S401

CORNICE ROOF REINFORCE

1+2  
S400

MISCELLANEOUS TUCKPOINT CORNICE JOINT - SEE GENERAL NOTES FOR SURFACE WASHING AS DIRECTED BY A/E



2  
S-100

**EXISTING ELEVATION DETAIL**  
SCALE: N.T.S.

REVISION	BY	CHK	DATE	DESCRIPTION

STAMP/STATUS:

**BID SET**

**SAMPLE ELEVATION**  
**CORNICE REPAIRS**  
GERMANIA BUILDING  
135 W. WELLS STREET - MILWAUKEE, WI 53201

PROJECT NUMBER:  
**21EP10152**

SHT SIZE: 24X36 (D)

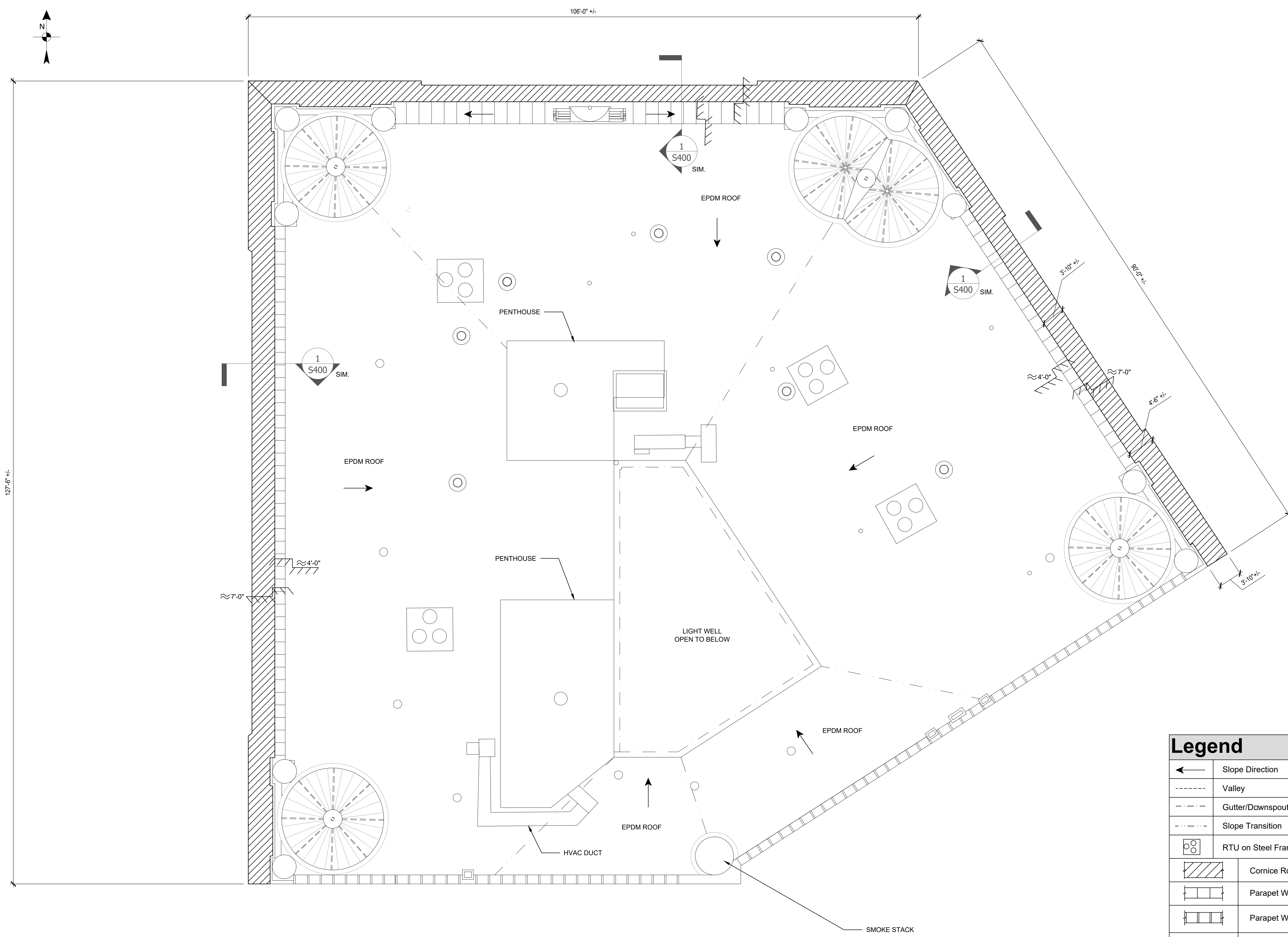
DRN BY: EV

CHK BY: AG

DATE: 11/16/21

SHEET  
**S-100**

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Legend			
←	Slope Direction	○	Soil Vent
- - - -	Valley	⊗	Stack Vent
- · - · -	Gutter/Downspout	⊙	Power Vent
- · - · -	Slope Transition	⚡	Height Varies
⊠	RTU on Steel Frame Typ.		
▨	Cornice Roof + Book Tile Substrate To Be Removed		
▤	Parapet W/ Terra Cotta Block Coping - Not In Scope		
▥	Parapet W/ Bell Coping Tile - Not In Scope		
▧	Terra Cotta Decoration at Peak of Pediment - Not In Scope		
⊙	Copper Clad Dome Typ. - Not in Scope		

1 DEMOLITION ROOF PLAN  
 S-101 SCALE: 1/8" = 1'-0"

REVISION	BY	CHK	DATE	DESCRIPTION

STAMP/STATUS:

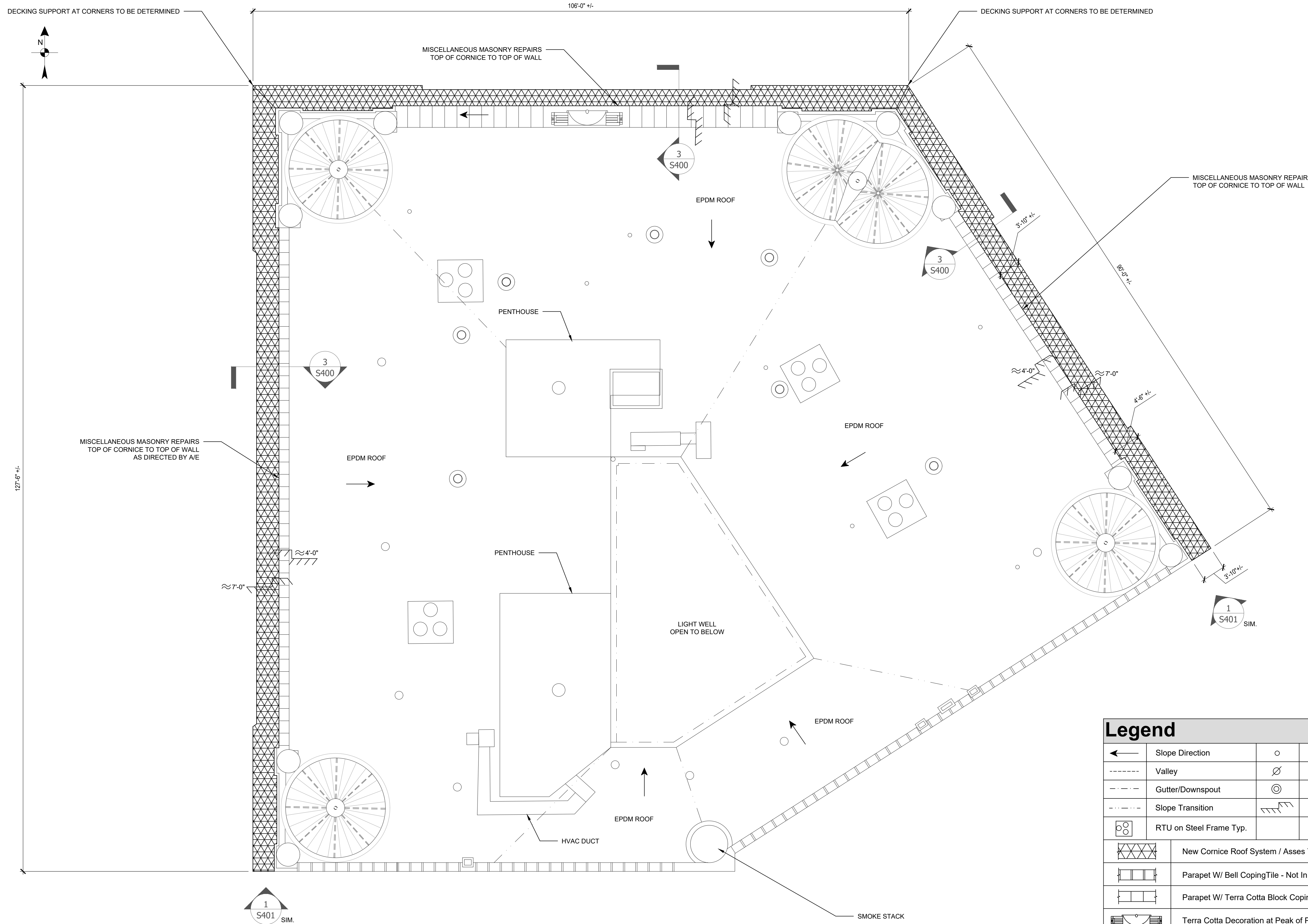
**BID SET**

**ROOF PLAN - DEMOLITION**  
**CORNICE REPAIRS**  
 GERMANIA BUILDING  
 135 W. WELLS STREET - MILWAUKEE, WI 53201

PROJECT NUMBER:  
**21EP10152**  
 SHT SIZE: 24X36 (D)  
 DRN BY: EV  
 CHK BY: AG  
 DATE: 11/16/21

SHEET  
**S-101**

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Legend			
←	Slope Direction	○	Soil Vent
---	Valley	⊗	Stack Vent
- - -	Gutter/Downspout	⊙	Power Vent
- · - · -	Slope Transition	⌞	Height Varies
⊠	RTU on Steel Frame Typ.		
	New Cornice Roof System / Asses Terra Cotta Cornice	(S-400)	
	Parapet W/ Bell Coping Tile - Not In Scope		
	Parapet W/ Terra Cotta Block Coping - Not In Scope		
	Terra Cotta Decoration at Peak of Pediment - Not in Scope		
	Copper Clad Dome - Not in Scope		

\* EPDM ROOF TO BE PROTECTED BY CONTRACTOR DURING CONSTRUCTION

1  
S-200 NEW ROOF PLAN  
SCALE: 1/8" = 1'-0"

REVISION	BY	CHK	DATE	DESCRIPTION

STAMP/STATUS:

**BID SET**

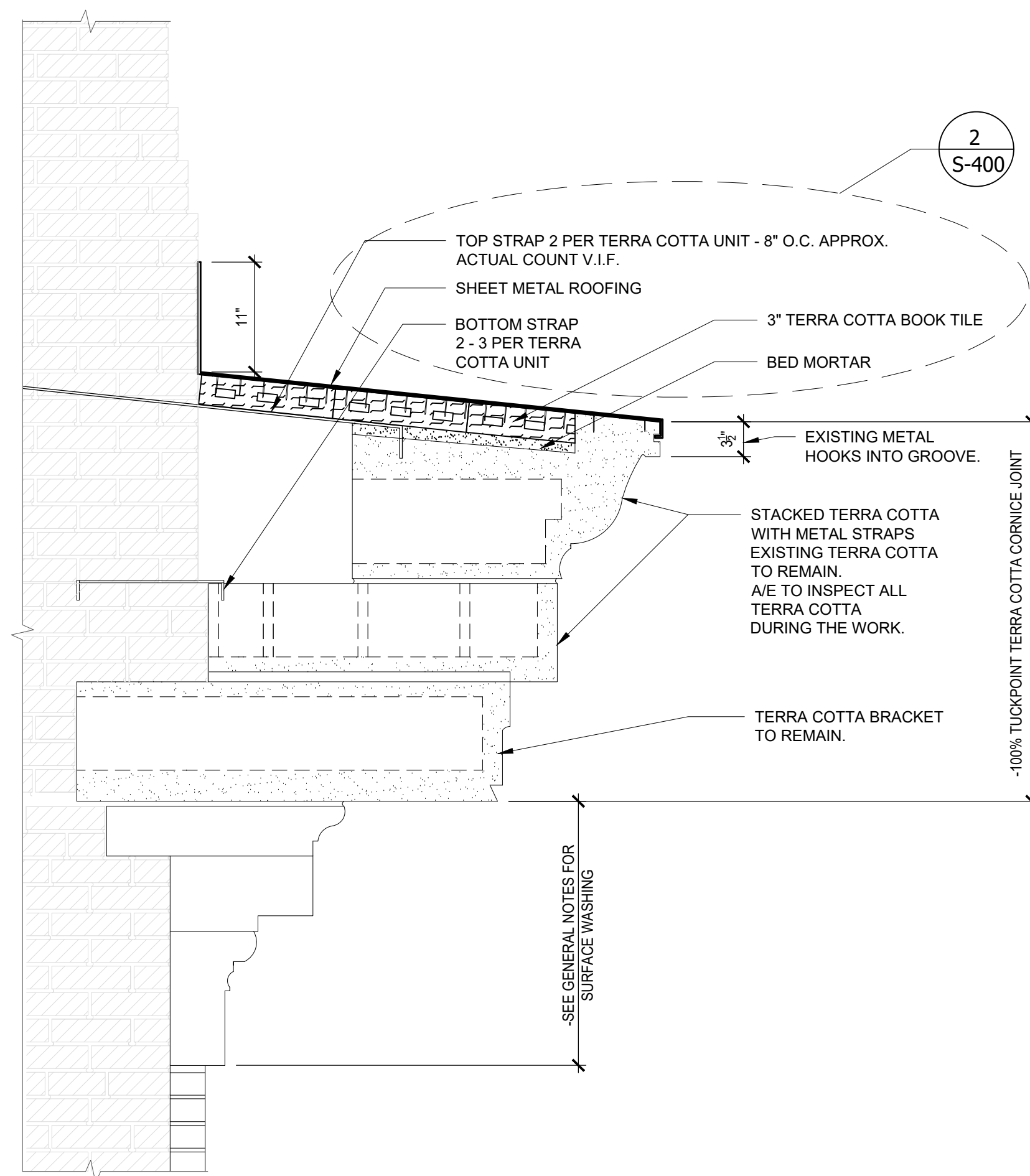
**ROOF PLAN - NEW CONSTRUCTION**  
**CORNICE REPAIRS**  
 GERMANIA BUILDING  
 135 W. WELLS STREET - MILWAUKEE, WI 53201

PROJECT NUMBER:  
21EP10152  
 SHT SIZE: 24X36 (D)  
 DRN BY: EV  
 CHK BY: AG  
 DATE: 11/16/21

SHEET  
**S-200**

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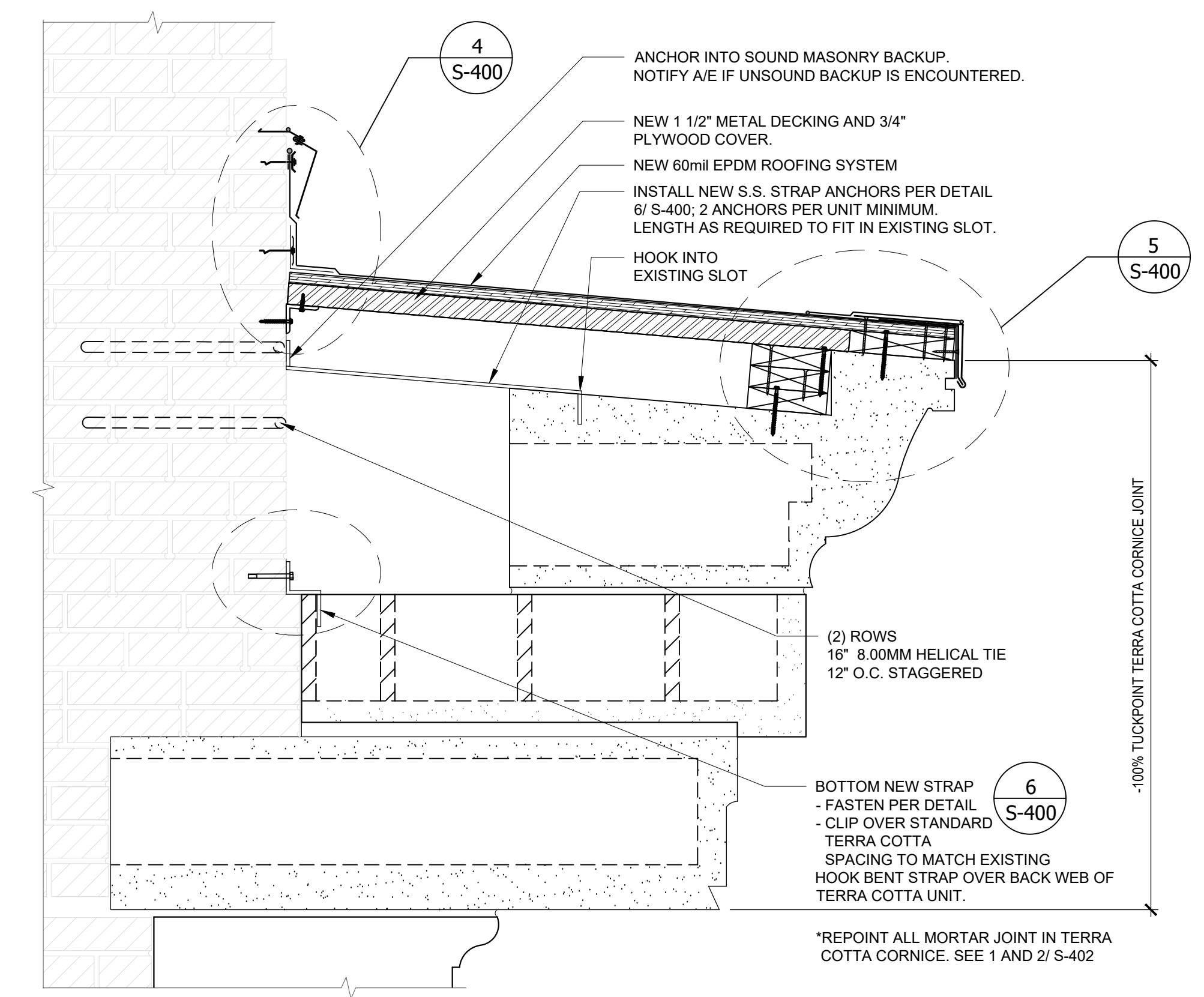




**IN-PLACE MOCK-UP , ANCHOR PULL-OUT TESTING**

INSTALLATION PROCEDURES ARE BASED ON VISUAL OBSERVATION AND ASSUMPTIONS OF STABILITY AND SOUNDNESS OF EXISTING MATERIALS TO BE FASTENED INTO. CONTRACTOR TO INCLUDE AN INITIAL IN-PLACE MOCK-UP OF 8' SECTION OF CORNICE REPAIRS, ROOF INSTALLATION, TUCK POINTING, AND SURFACE CLEANING. CONTRACTOR TO PROVIDE 3RD PARTY PULL-OUT TESTING OF SCREW FASTENERS INTO MASONRY AND TERRA COTTA AND STITCH ANCHORS INTO MASONRY IN CORNICE CAVITY. CONTRACTOR TO COORDINATE SCHEDULE WITH ARCHITECT / ENGINEER TO ALLOW FOR IN-PROGRESS OBSERVATIONS TO BE MADE. ALL OBSERVATIONS AND TEST RESULTS OF MOCK UP ASSEMBLY TO BE REVIEWED AND APPROVED BY ARCHITECT / ENGINEER PRIOR TO AUTHORIZING FULL SCALE PRODUCTION WORK OF REPAIRS OUTLINED IN THESE DRAWINGS.

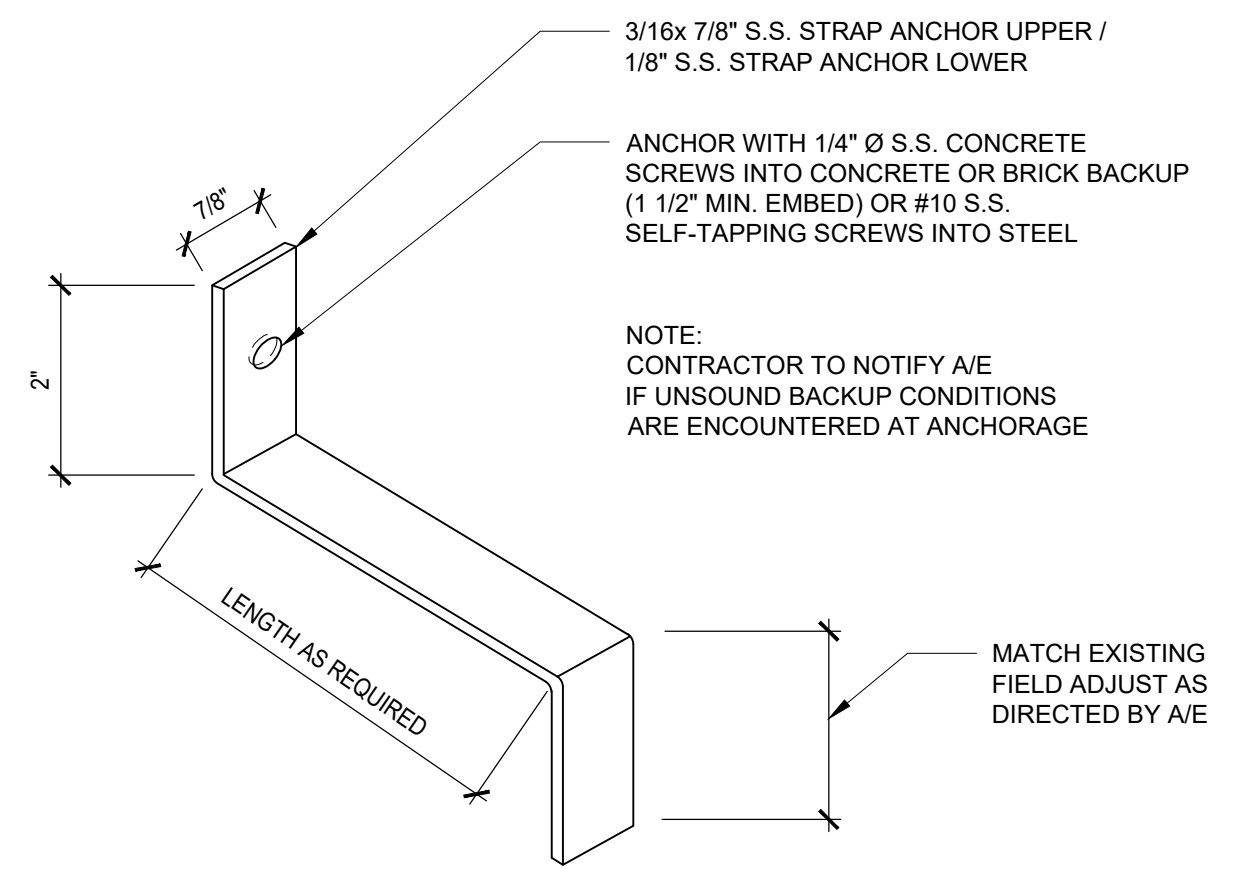
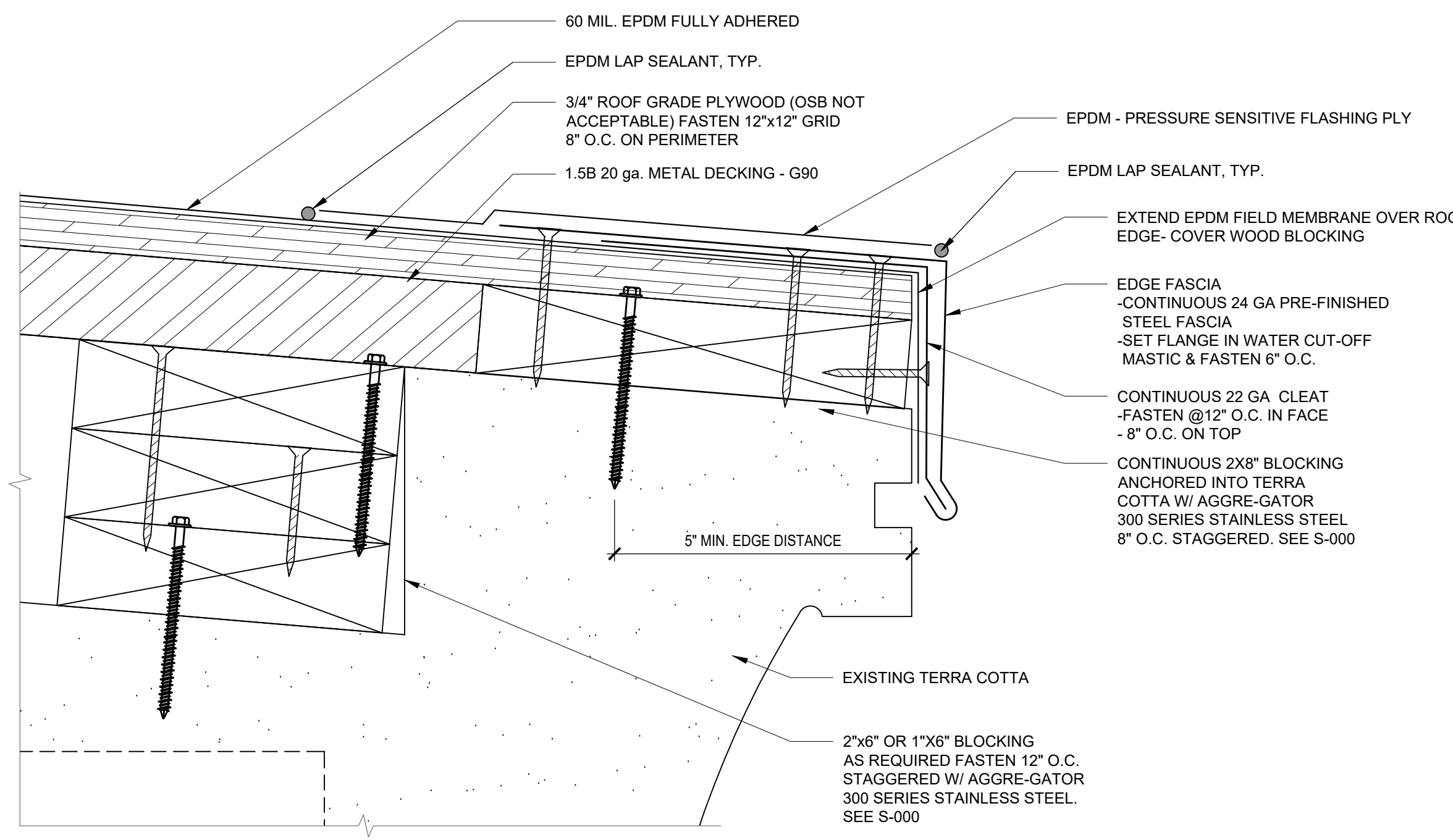
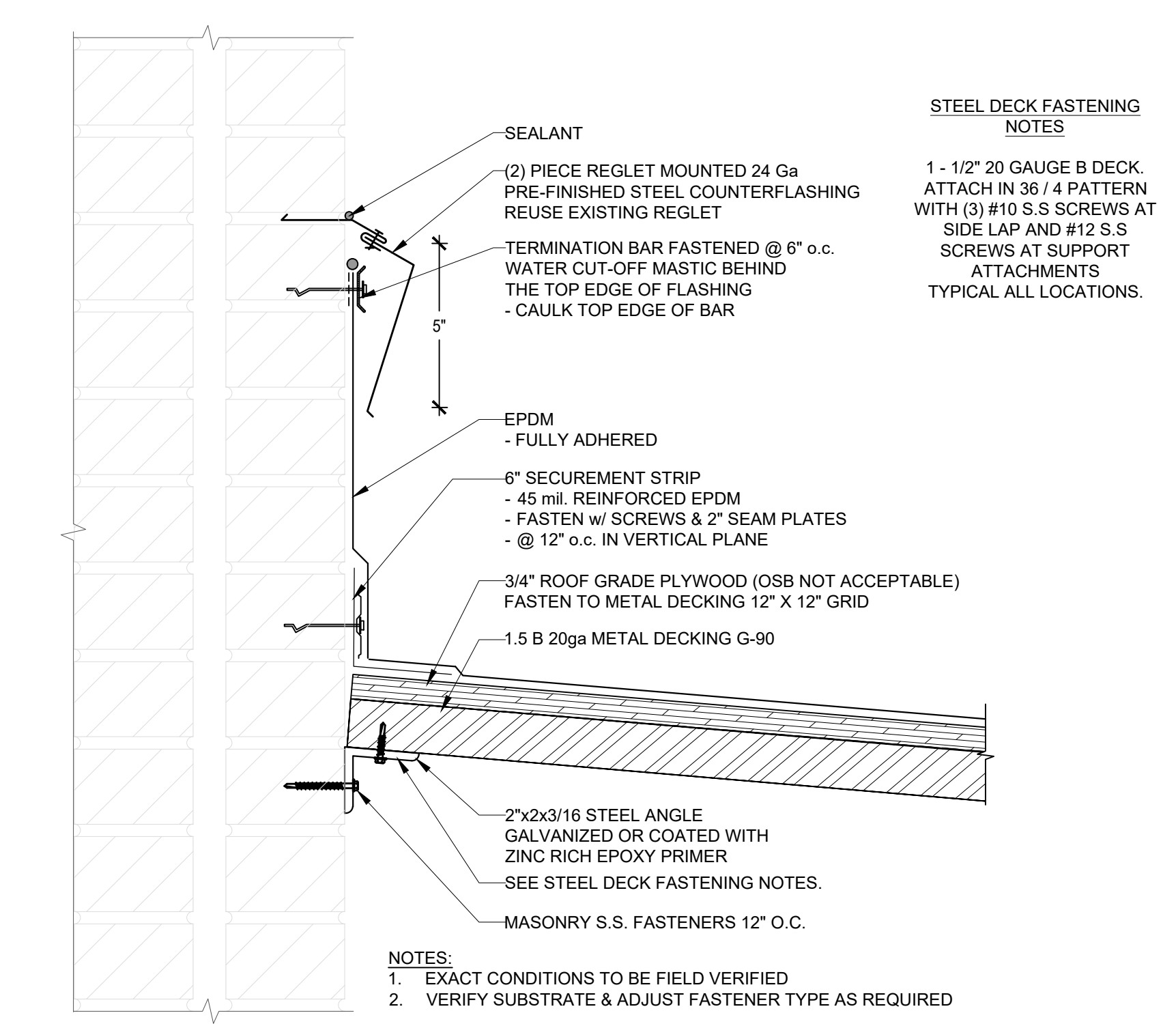
1. CORNICE DEMOLITION, INSPECTION, REINFORCE
  - NOTE: TO MAINTAIN STABILITY OF CORNICE, SEQUENCE STEPS a - e TO BE COMPLETED IN SECTIONS NOT LONGER THAN 10 FEET.
  - a. REMOVE
    - 1) METAL ROOFING
    - 2) 3" TERRA COTTA BOOK TILE
    - 3) BED MORTAR
  - b. REMOVE ALL DEMOLITION DEBRIS FROM CORES OF STACKED TERRA COTTA.
    - 1) LARGE PIECES BY HAND
    - 2) SMALL PIECES WITH SHOP VAC
  - c. ENGINEER TO PERFORM THOROUGH INSPECTION OF TERRA COTTA TO INCLUDE VISUAL OBSERVATION AND SOUNDING WITH PLASTIC HAMMER.
  - d. IF INTERNAL CORNICE MATERIALS ARE FOUND TO BE WET, ADDITIONAL TIME / PROCESSES FOR DRYING MAY BE REQUIRED. PROJECT WORK DURING FALL / WINTER MONTHS MAY COMPLICATE THE PROCESS.
  - e. AT DIRECTION OF ENGINEER, PERFORM ISOLATED REPAIRS TO TERRA COTTA TO INCLUDE CRACK REPAIRS, SPALL REPAIRS, PINNING AND PATCHING AS NECESSARY
  - f. INSTALL TWO ROWS OF STITCH ANCHORS IN CORNICE CAVITY AS CALLED OUT ON DETAIL
  - g. THESE STEPS MUST BE PERFORMED ON A "ONE STRAP AT A TIME" BASIS
    - 1) TOP METAL STRAP (CUT OFF FROM WALL, PULL OUT OF SLOT IN TERRA COTTA)
    - 2) INSPECT BOTTOM METAL STRAP FOR SOUNDNESS
    - 3) IF BOTTOM STRAP NOT SOUND, INSTALL NEW PER DETAIL PRIOR TO REMOVING EXISTING
    - 4) IF BOTTOM STRAP IS SOUND, CLEAN TO BRIGHT METAL FINISH AND INSTALL ZINC ENRICHED PRIMER PAINT COVERED WITH A HIGH QUALITY ZINC RICH EPOXY PAINT OR INSTALL TWO COATS OF TNEMCHEM BUILD 135
    - 5) INSTALL TOP STAINLESS STEEL METAL STRAPS PER DETAIL.



1  
S-400 DEMOLITION CORNICE SECTION DETAILS SCALE: 1" = 1'-0"

2  
S-400 DEMOLITION, INSPECTION, REINFORCE SCOPE OF WORK SCALE: N.T.S.

3  
S-400 CORNICE SECTION REPAIR DETAILS SCALE: 1" 1/2" = 1'-0"



4  
S-400 REGLET MOUNTED COUNTER FLASHING SCALE: 3" = 1'-0"

5  
S-400 CORNICE DETAIL SCALE: 6" = 1'-0"

6  
S-400 HORIZONTAL STRAP ANCHOR SCALE: N.T.S.

REVISION	BY	CHK	DATE	DESCRIPTION

STAMP/STATUS:

**BID SET**

**DETAILS**

**CORNICE REPAIRS**

GERMANIA BUILDING

135 W. WELLS STREET - MILWAUKEE, WI 53201

PROJECT NUMBER:  
**21EP10152**

SHT SIZE: 24X36 (D)

DRN BY: EV

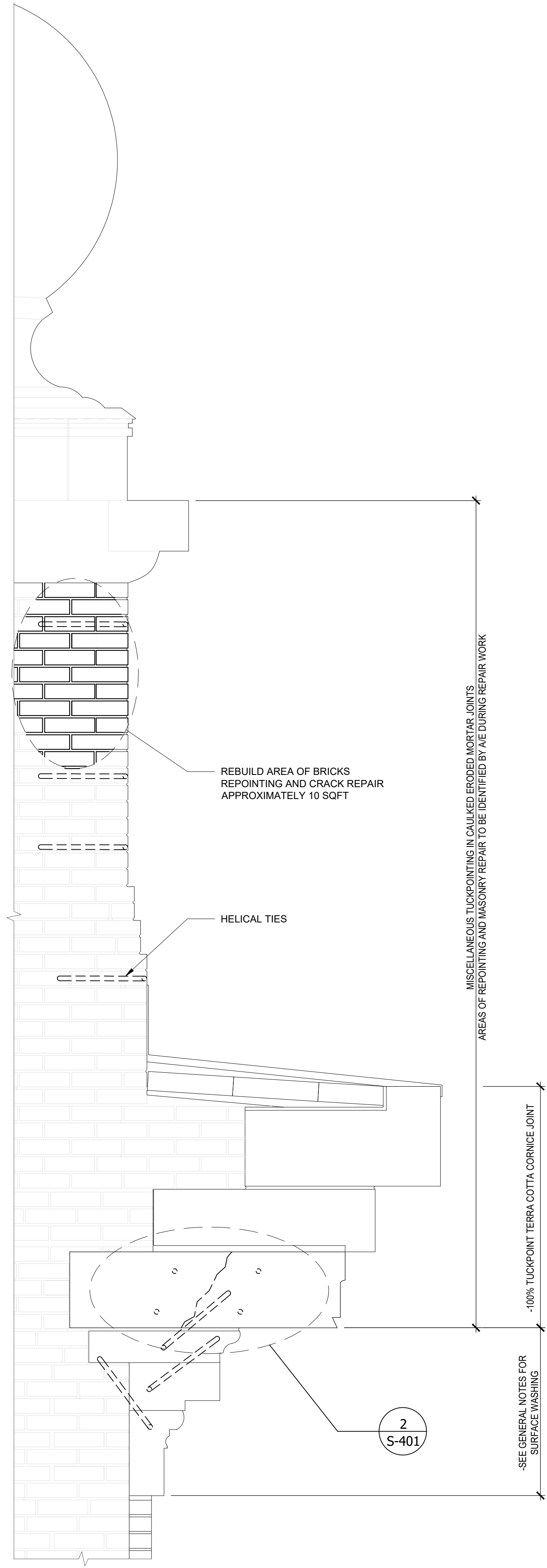
CHK BY: AG

DATE: 11/16/21

SHEET  
**S-400**

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**1**  
S-401 **CORNICE SIDE ELEVATION**

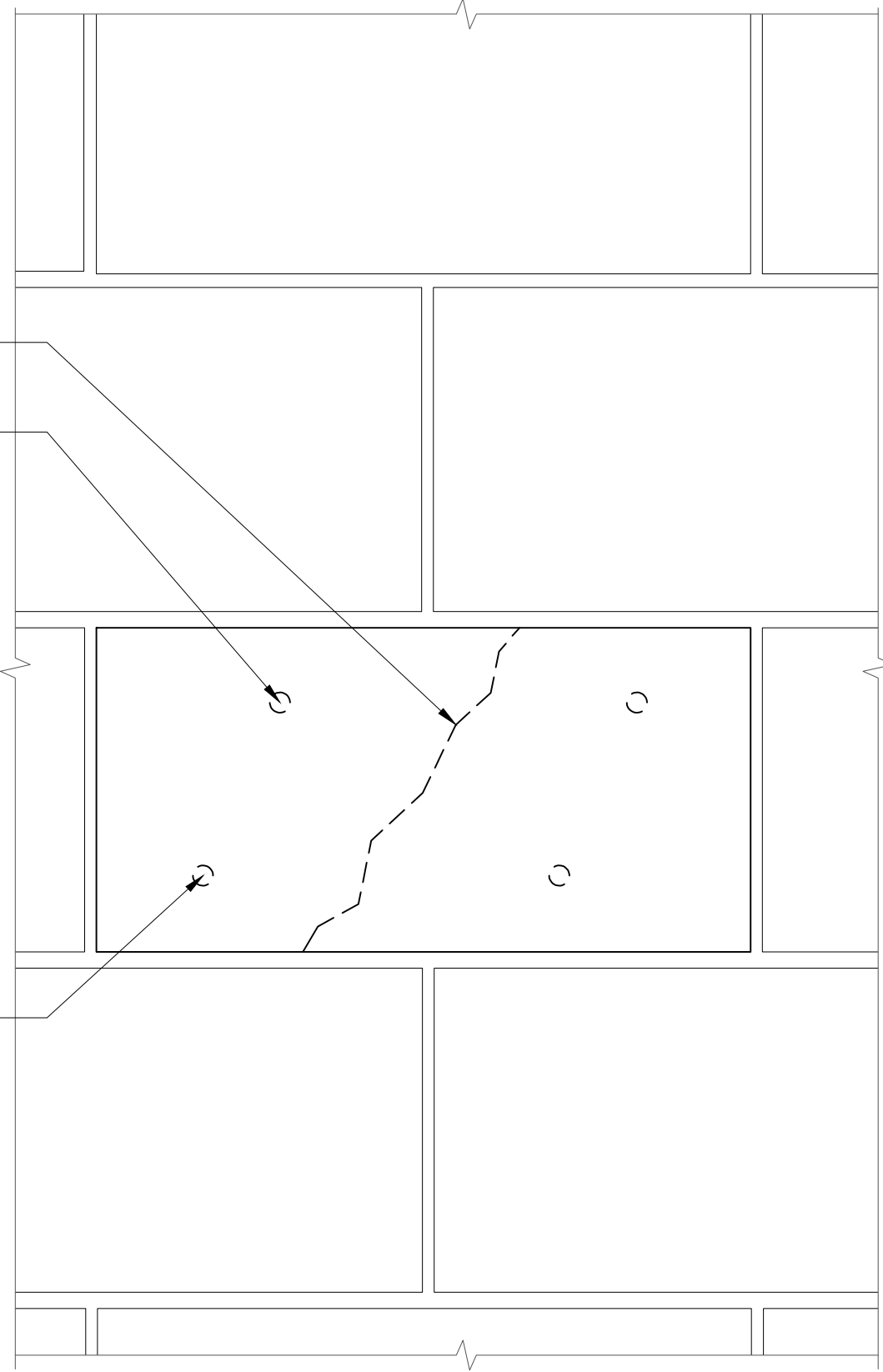


SCALE: 1" = 1'-0"

CRACKED  
TERRA COTTA  
HELICAL TIES

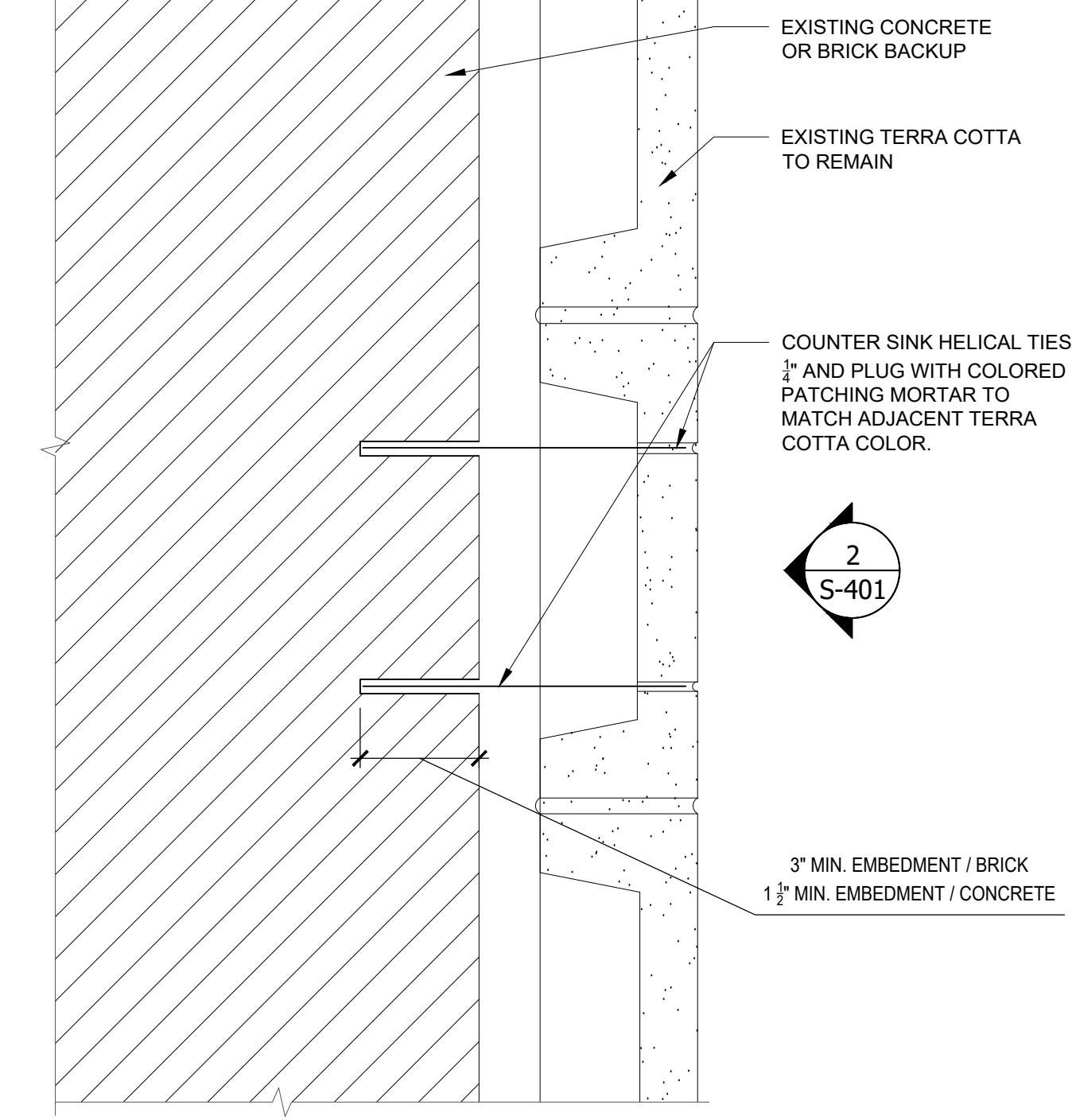
INSTALL STAINLESS  
STEEL HELICAL TIES THROUGH  
FACE OF TERRA COTTA UNIT.

**3**  
S-401



**2**  
S-401 **ANCHOR REPAIR DETAIL**

SCALE: N.T.S.



**3**  
S-401 **TYP. HELICAL ANCHOR REPAIR**

SCALE: N.T.S.

REVISION	BY	CHK	DATE	DESCRIPTION

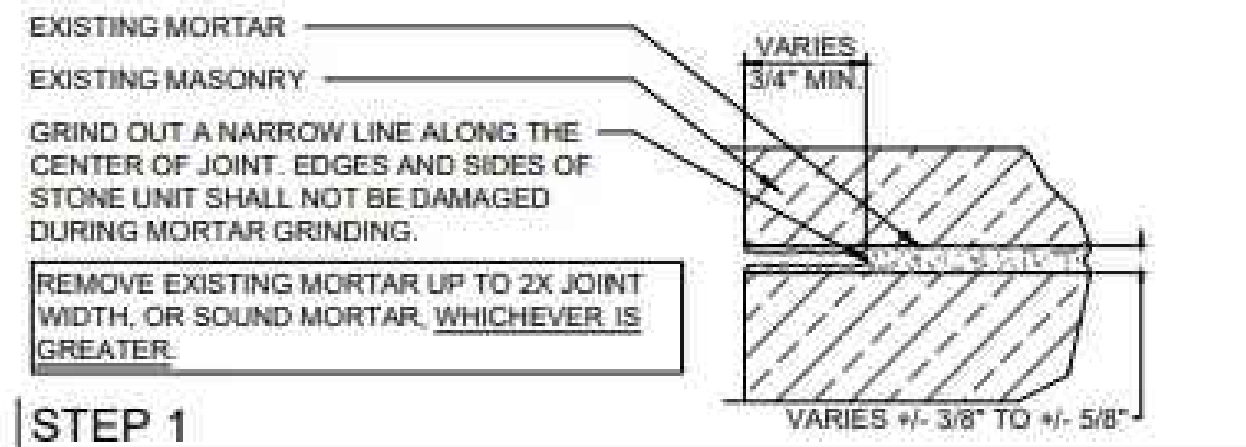
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**BID SET**

**DETAILS**  
**CORNICE REPAIRS**  
GERMANIA BUILDING  
135 W. WELLS STREET - MILWAUKEE, WI 53201

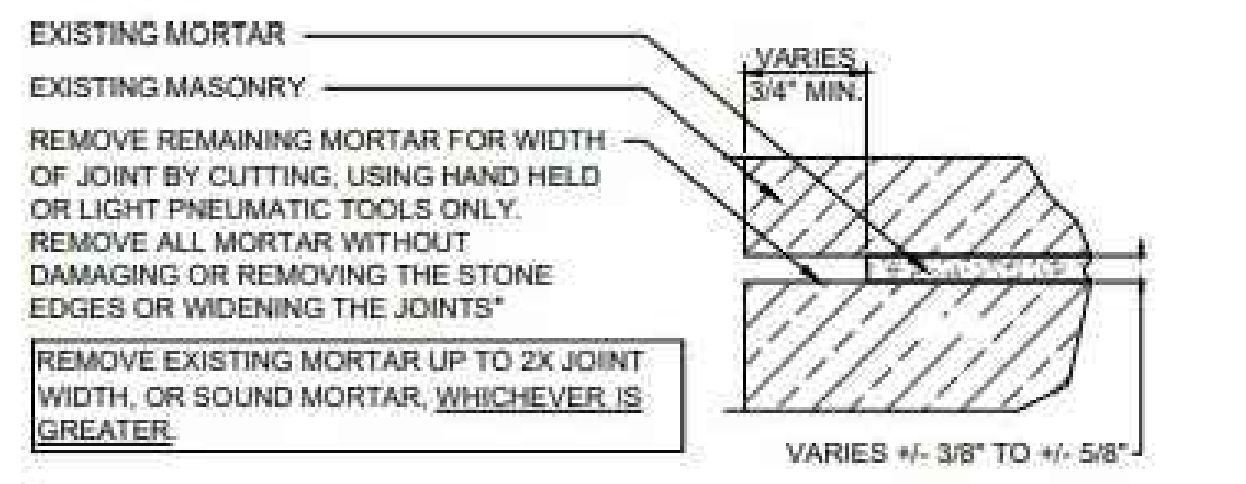
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SHT SIZE: 24X36 (D)  
DRN BY: EV  
CHK BY: AG  
DATE: 11/16/21

SHEET  
**S-401**

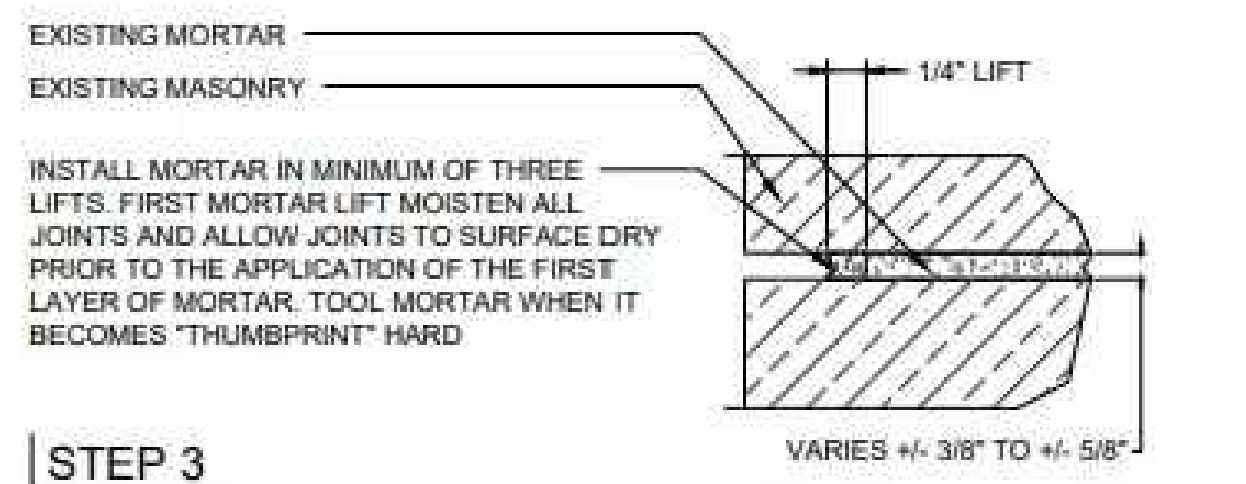
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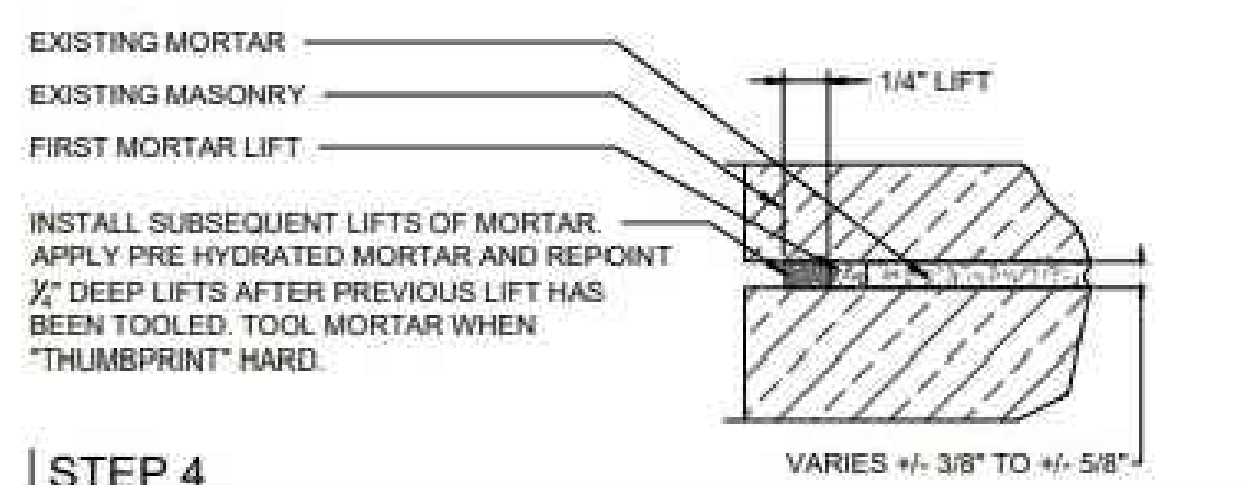
**STEP 1**



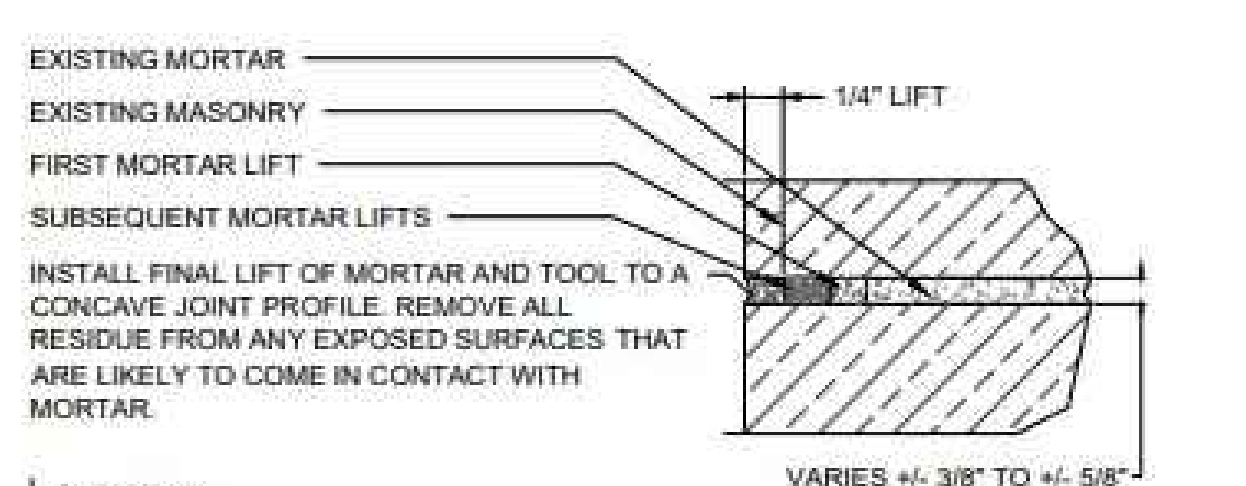
**STEP 2**



**STEP 3**

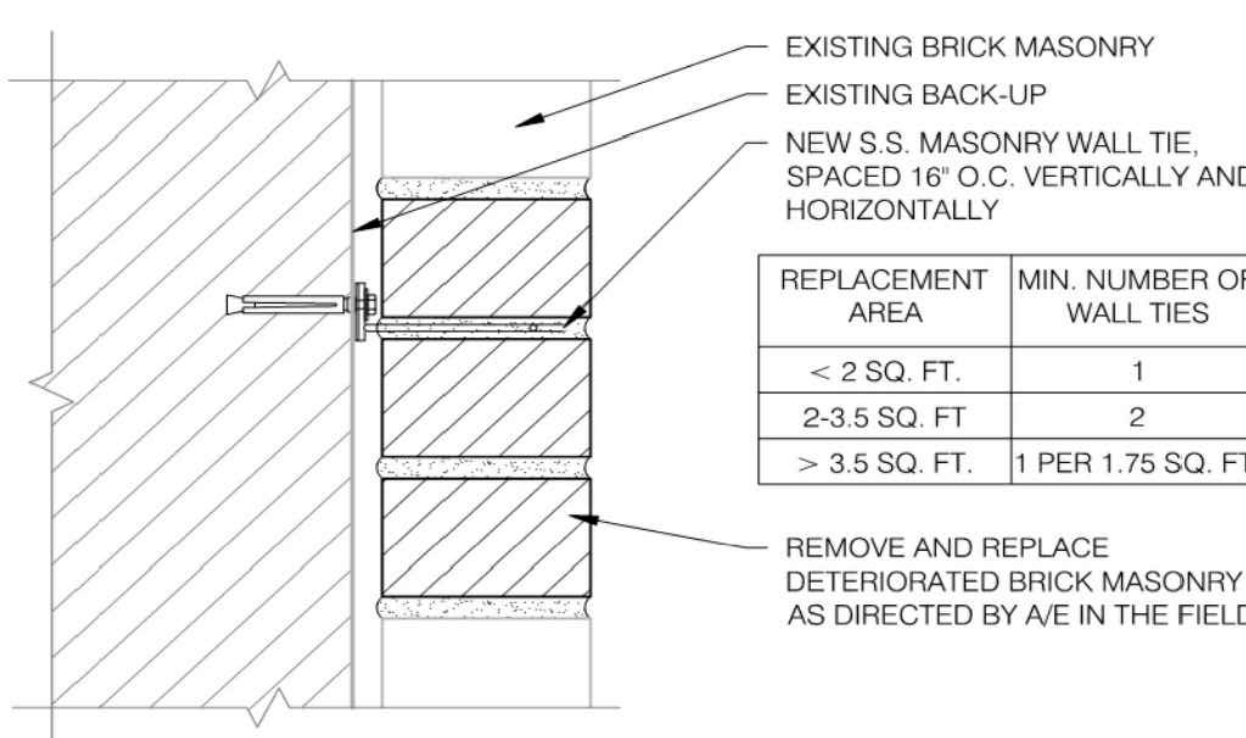


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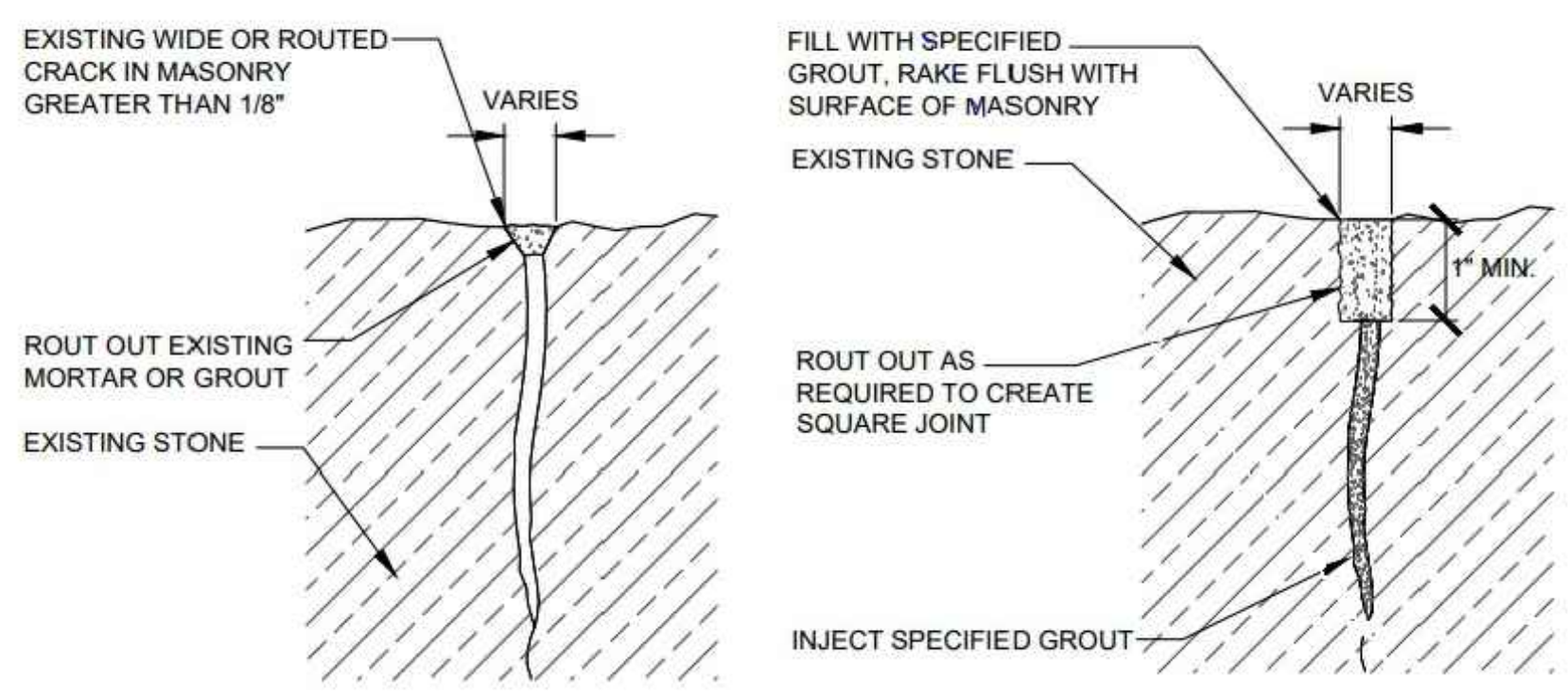


**STEP 5**

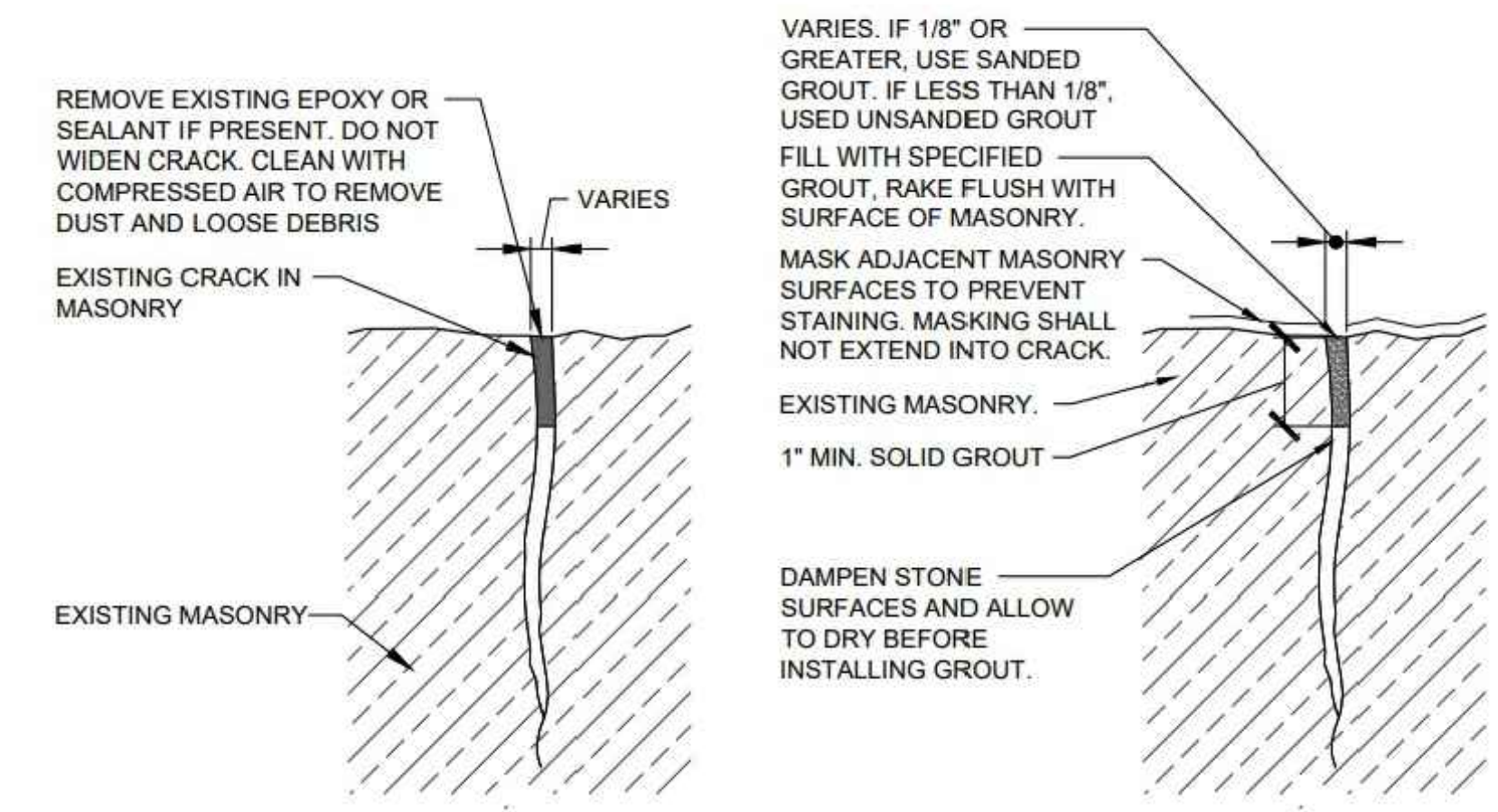
**1 S-402 MORTAR REPOINTING AT JOINT**  
SCALE: N.T.S.



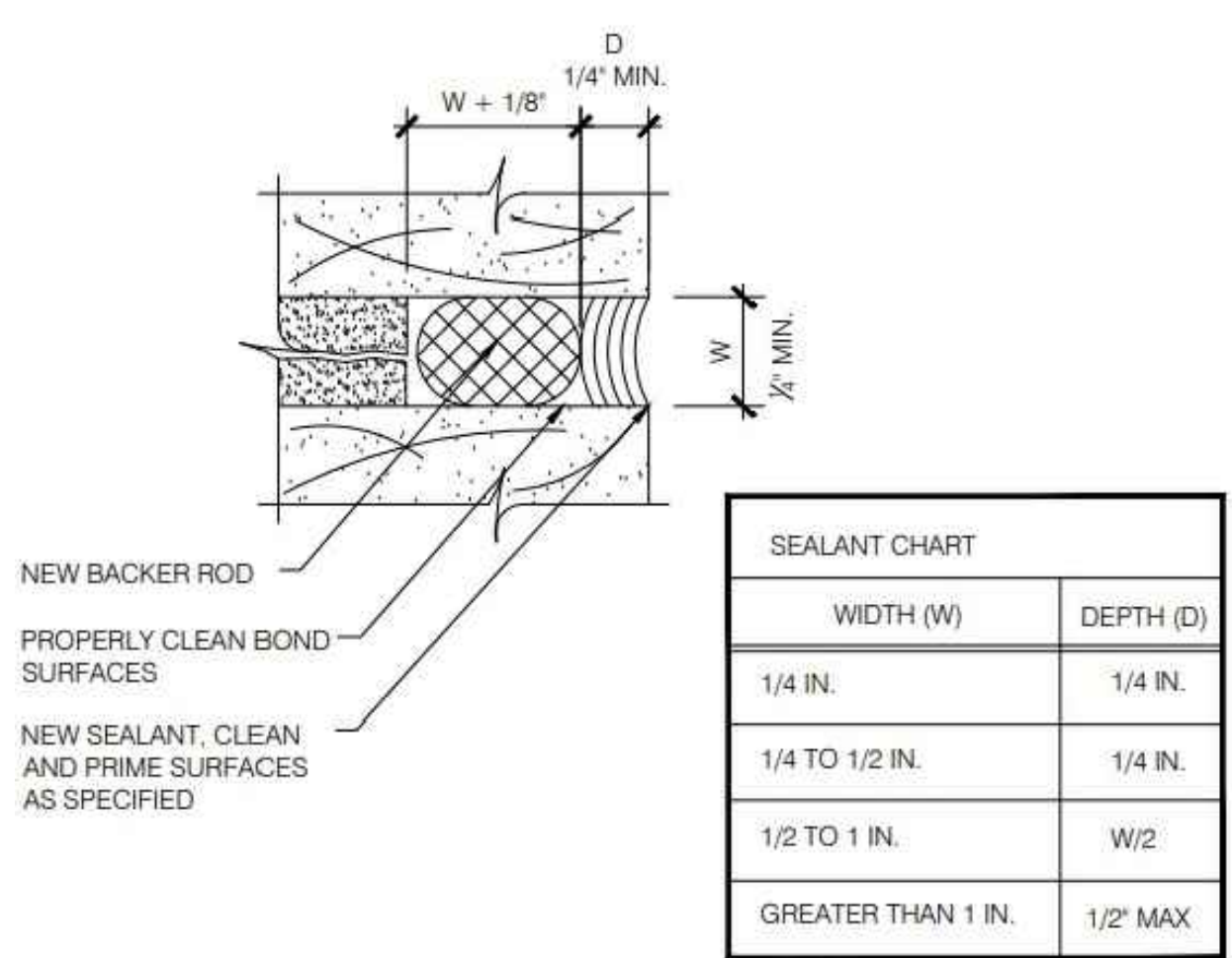
**7 S-402 ISOLATED BRICK MASONRY REBUILD**  
SCALE: N.T.S.



**2 S-402 CRACK REPAIR - ROUT AND GROUT**  
SCALE: N.T.S.

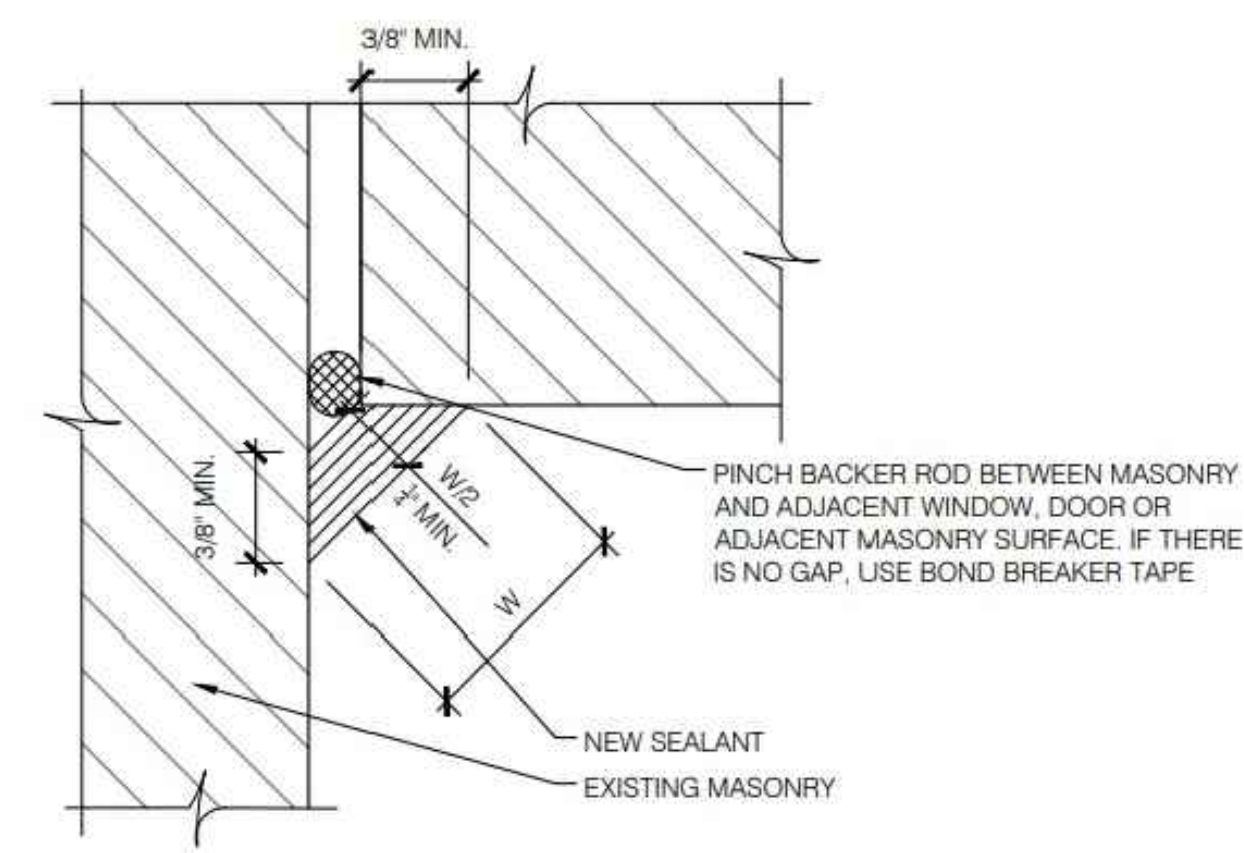


**3 S-402 CRACK REPAIR - INJECTION**  
SCALE: N.T.S.

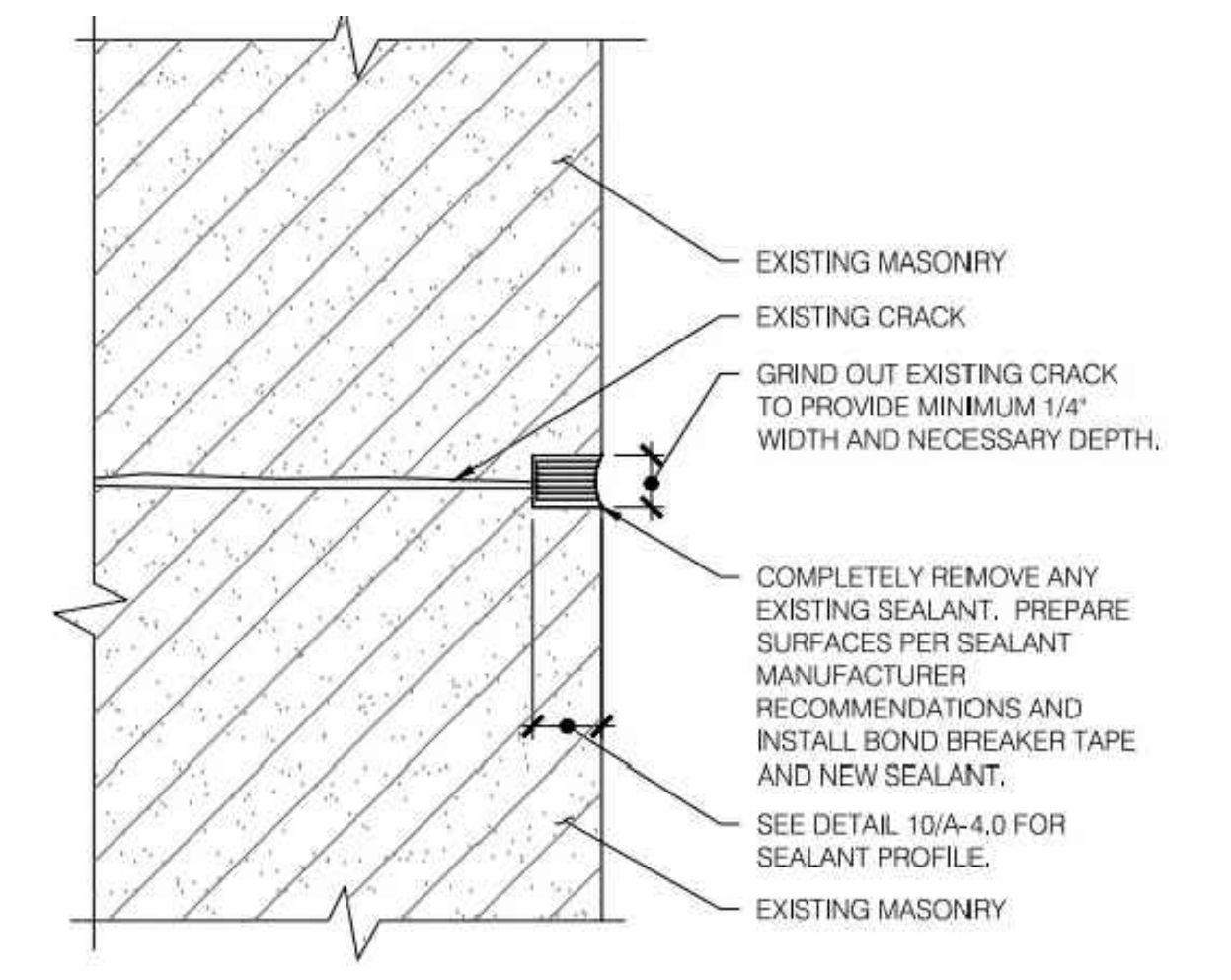


**4 S-402 SEALANT BUTT JOINT DETAIL**  
SCALE: N.T.S.

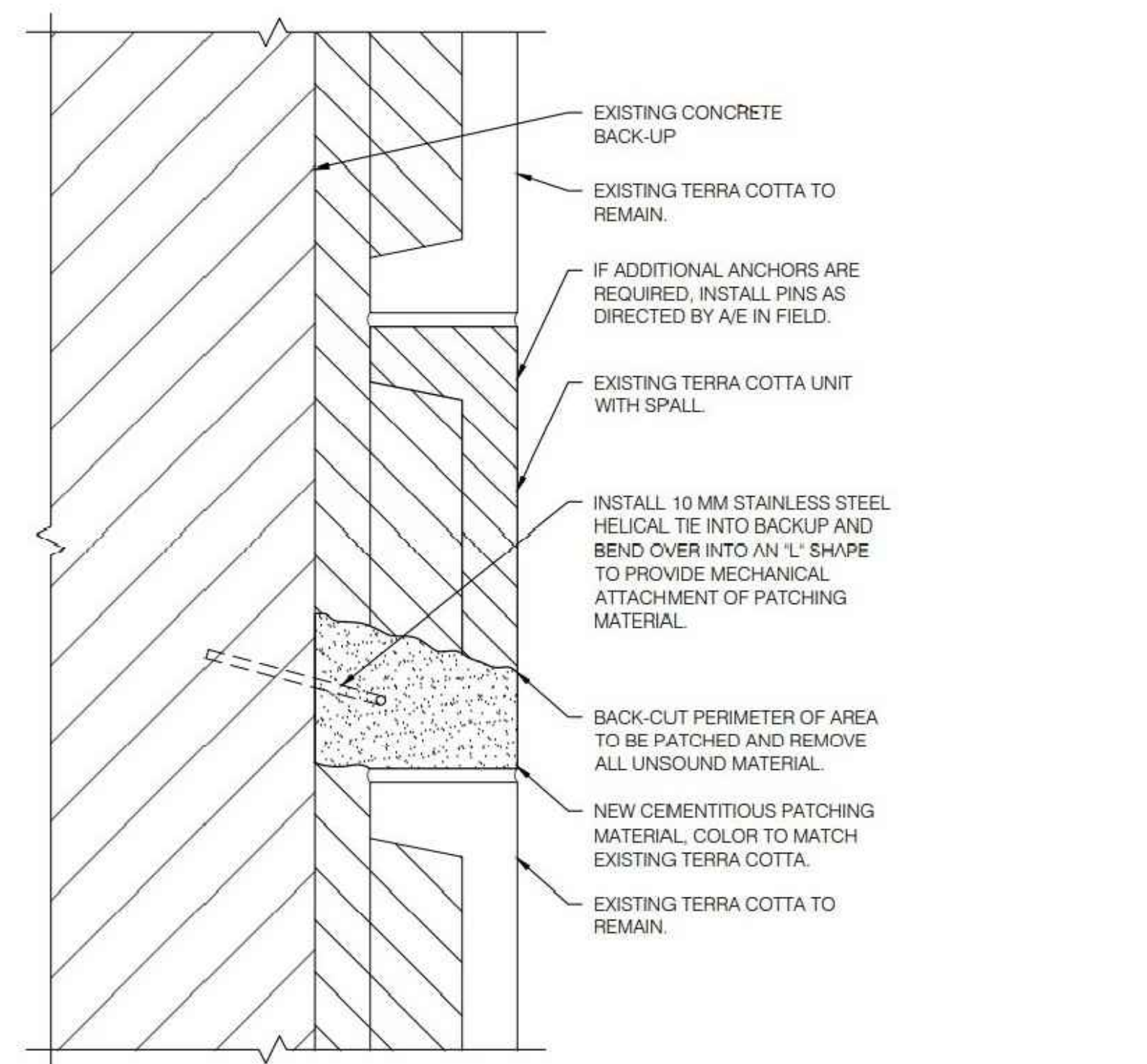
SEALANT CHART	
WIDTH (W)	DEPTH (D)
1/4 IN.	1/4 IN.
1/4 TO 1/2 IN.	1/4 IN.
1/2 TO 1 IN.	W/2
GREATER THAN 1 IN.	1/2\"/>



**5 S-402 SEALANT FILLET JOINT DETAIL**  
SCALE: N.T.S.



**6 S-402 SEALANT DETAIL AT CRACKS**  
SCALE: N.T.S.



**8 S-402 SECTION AT TYPICAL TERRA COTTA PATCH REPAIR**  
SCALE: N.T.S.

REVISION	BY	CHK	DATE	DESCRIPTION

STAMP/STATUS:

**BID SET**

**DETAILS**  
**CORNICE REPAIRS**  
GERMANIA BUILDING  
135 W. WELLS STREET - MILWAUKEE, WI 53201

PROJECT NUMBER:  
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